

March 22, 2006

Wayne S. Quin  
202 663 7274  
wayne.quin@hklaw.com

VIA HAND DELIVERY

D.C. Zoning Commission  
Suite 210  
441 4<sup>th</sup> Street, N.W.  
Washington D.C. 20001

Re: Case No. 05-37 – Capitol Place Planned Unit Development  
Square 752  
Amended Plans

RECEIVED  
D.C. OFFICE OF ZONING  
2006 MAR 22 PM 3:10

Dear Members of the Commission:

The above-referenced application was filed on November 22, 2005, and requests approval of a consolidated planned unit development and related map amendment for a portion of the site from C-2-A to C-2-B. The development proposes the construction of a 305 unit apartment house with retail and service uses. The site has frontage on 2<sup>nd</sup>, 3<sup>rd</sup> G and H Streets and now comprises approximately 76,700 square feet of land area. The application originally proposed a maximum floor area ratio (FAR) of 5.73 and a maximum height of ninety feet.

Since the application was filed, the Applicant has been in discussions with the Office of Planning and with owners of nearby residential properties and representatives of some of the major community groups in the area. As a result of those discussions, the Applicant has revised the plans for which it requests approval from the Zoning Commission. The Applicant hereby submits:

- Twenty copies of a revised set of plans, dated March 20, 2006, for the project, replacing in their entirety the original plans, dated November 18, 2005; and
- Twenty copies of application forms from the owners of lots 2001, 2002 and 2003 in Square 752, to include the property at 200 G Street, N.E., in the project site.

The revisions to the project are as follows:

- The property at the corner of 2<sup>nd</sup> and G Streets has been acquired, allowing the complex to have frontage at the corner of 2<sup>nd</sup> and G Streets and removing an awkward relationship to the existing small structure. This has allowed the G Street Pavilion to be extended to the west by approximately ten feet and to have frontage on 2<sup>nd</sup> Street. The residential entry to the complex is now more visible and prominent from the south along 2<sup>nd</sup> Street.
- The G Street pavilion design has been modified in order to reduce its massing and create a more gradual transition in scale and use to the existing row houses to the east. While the

# Holland+Knight

D.C. Zoning Commission  
March 22, 2006  
Page 2

overall height remains at nine floors at 2<sup>nd</sup> Street, setbacks are proposed at the sixth, seventh and eighth floors towards the existing row houses. In addition, the mechanical penthouse on this pavilion has been removed, with mechanical systems to be served from the 2<sup>nd</sup> Street penthouse.

- Residential use is also proposed for a portion of the ground and mezzanine levels of the G Street pavilion. The east end of the G Street pavilion will be treated as a distinct building with fenestration and façade treatments which are more compatible with the adjacent row houses.
- The H Street pavilion has been modified to increase the residential floor area slightly, as this is the area within the site that has been identified by the H Street corridor master plan for higher density. Approximately two-thirds of a residential floor has been added at the eighth floor level. The Wellness Center, previously on the eighth floor has been shifted to the ninth floor. The massing of the pavilion has remained at seven floors at the corner of 3<sup>rd</sup> and H Streets in order to maintain the previous relationship to the existing row houses along 3<sup>rd</sup> Street. The use of the ground and mezzanine levels at H and 3<sup>rd</sup> Streets has also been revised from office to retail use in order to better serve neighborhood residents.
- The Garden pavilion has also been modified in order to reduce its massing and create a more gradual transition in scale and use to the existing residential neighbors to the east. The eighth and ninth floors have been eliminated and a setback of approximately twenty-five feet has been introduced at the third floor adjacent to the alley. Residential use has also been introduced at the ground and mezzanine levels facing into the Eco-pond courtyard and the alley in lieu of retail.
- The mechanical penthouse on the 2<sup>nd</sup> Street Pavilion has been reduced in height and articulated as a series of rooftop components in lieu of one large mass. The penthouse has also been shifted to the west, closer to the 2<sup>nd</sup> Street frontage, in order to reduce its visibility from the existing residential neighbors to the east. The penthouse setback along 2<sup>nd</sup> Street is ten feet with a maximum height of eighteen feet.

The result of these changes has been to reduce the FAR of the project to approximately 5.50.

In addition, the Applicant has been discussing with the community the specifics of that portion of the amenity package for the PUD related to the historic preservation benefits to the surrounding neighborhood. The Applicant will provide specific language to the Commission regarding the historic preservation survey and other options prior to the hearing.

# Holland+Knight

D.C. Zoning Commission  
March 22, 2006  
Page 3

The Applicant respectfully requests that the Commission consider this matter at its earliest convenience and schedule a public hearing on the application based on the revised plans submitted herewith.

Sincerely,



Wayne S. Quin



Thomas J. Carroll

## Attachments

cc: Jennifer Steingasser, D.C. Office of Planning  
Travis Parker, D.C. Office of Planning  
Advisory Neighborhood Commission 6C

# 3665609\_v1

MAR 21 2006

## ZONING COMMISSION OF THE DISTRICT OF COLUMBIA

## APPLICATION FOR CONSOLIDATED APPROVAL OF A PLANNED UNIT DEVELOPMENT

Before filling out this form, please see the instructions on the reverse side. Print or type all information unless otherwise indicated.

In accordance with the provisions of Chapter 24 of the Zoning Regulations, request is hereby made for consolidated approval of a Planned Unit Development, details of which are as follows:

Square No.	Lot Nos.	Existing Zoning	Requested Zoning
752	2001	C-2-A	C-2-B .
	2002	C-2-A	C-2-B .
			.
			.

Address or description of the premises: 200 G Street, N.E.

Area of the Site: 76,700 square feet ~~or acres~~

Baist Atlas No. 2, Page 7.

Brief description of the proposal: Applicant intends to construct a new building on the site of approximately 421,850 square feet of gross floor area, approximately 5.50 FAR, containing approximately 304 apartment units and approximately 62,000 square of gross floor area devoted to neighborhood serving retail and service uses. The building will have a maximum height of 90 feet stepping down to the east side of the site and will contain approximately 403 parking spaces.

Concurrent change of zoning requested (check one): X Yes      No

The above information and attached documents are true to the best of my knowledge.

*Karen Sealander*  
*Winfield S. Sealander*

Owner's Signature

3-13-06  
Date

Evans H. Sealander, Winfield S. Sealander

Karen Sealander

Owner's Printed Name

Person to be notified of all actions:

Whayne S. Quin/Thomas J. Carroll

Name

202-955-3000

Telephone Number

Holland & Knight LLP

2099 Pennsylvania Avenue, N.W., Washington D.C. 20006

Address

Zip Code

MAR 21 2006

## ZONING COMMISSION OF THE DISTRICT OF COLUMBIA

## APPLICATION TO AMEND THE ZONING MAP

Before filling out this form, please see the instructions on the reverse side. Print or type all information unless otherwise indicated.

In accordance with the provisions of Section 102 of the Zoning Regulations, request is hereby made for an amendment to the Zoning Map as follows:

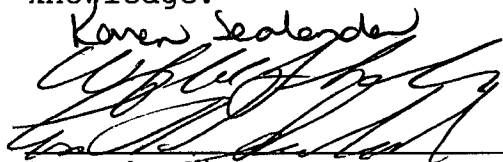
Square No.	Lot Nos.	Existing Zoning	Requested Zoning
752	2001	C-2-A	C-2-B
	2002	C-2-A	C-2-B

Address or description of the premises: 200 G Street, N.E.

Area of the Site: 800 square feet ~~or acres~~

Baist Atlas No. 2, Page 7.

The above information and attached documents are true to the best of my knowledge.

  
 Owner's Signature

3/13/06  
 Date

Evans H. Sealander  
 Winfield S. Sealander  
 Karen Sealander  
 Owner's Printed Name

Person to be notified of all actions:

Whayne S. Quin/Thomas J. Carroll  
 Name

202-955-3000  
 Telephone Number

Holland & Knight LLP  
2099 Pennsylvania Avenue NW Washington DC 20006  
 Address Zip Code

MAR 21 2006

## ZONING COMMISSION OF THE DISTRICT OF COLUMBIA

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Square No.	Lot Nos.	Existing Zoning	Requested Zoning
752	2003	C-2-A	C-2-B

Address or description of the premises: 200 G Street, N.E.

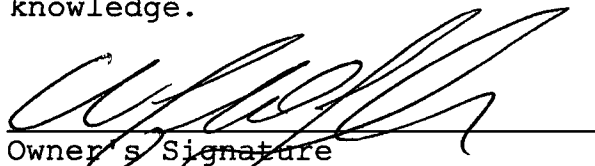
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Concurrent change of zoning requested (check one): X Yes      No

The above information and attached documents are true to the best of my knowledge.

  
Owner's Signature

3/17/06  
Date

Winfield S. Sealander  
Owner's Printed Name

Person to be notified of all actions:

Whayne S. Quin/Thomas J. Carroll  
Name

202-955-3000

Telephone Number

Holland & Knight LLP

2099 Pennsylvania Avenue, N.W., Washington D.C. 20006

Address

Zip Code

MAR 21 2006

**ZONING COMMISSION OF THE DISTRICT OF COLUMBIA****APPLICATION TO AMEND THE ZONING MAP**

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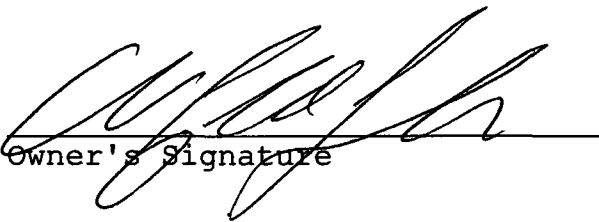
<u>Square No.</u>	<u>Lot Nos.</u>	<u>Existing Zoning</u>	<u>Requested Zoning</u>
752	2003	C-2-A	C-2-B

Address or description of the premises: 200 G Street, N.E.

Area of the Site: 400 square feet ~~or acres~~

Baist Atlas No. 2, Page 7.

The above information and attached documents are true to the best of my knowledge.

  
Owner's Signature

3/17/06  
Date

Winfield S. Sealander  
Owner's Printed Name

Person to be notified of all actions:

Wayne S. Quin/Thomas J. Carroll  
Name

202- 955-3000  
Telephone Number

Holland & Knight LLP

2099 Pennsylvania Avenue NW Washington DC 20006

Address

Zip Code



Capitol Place

RECEIVED  
D.C. OFFICE OF PLANNING  
JUL 27 2010 PM 2:10

Cox & Fox

ZONING COMMISSION  
District of Columbia  
Case 05-37  
Exhibit 17



## PROJECT TEAM

Client: Station Holdings LLC  
c/o: Louis Dreyfus Property Group

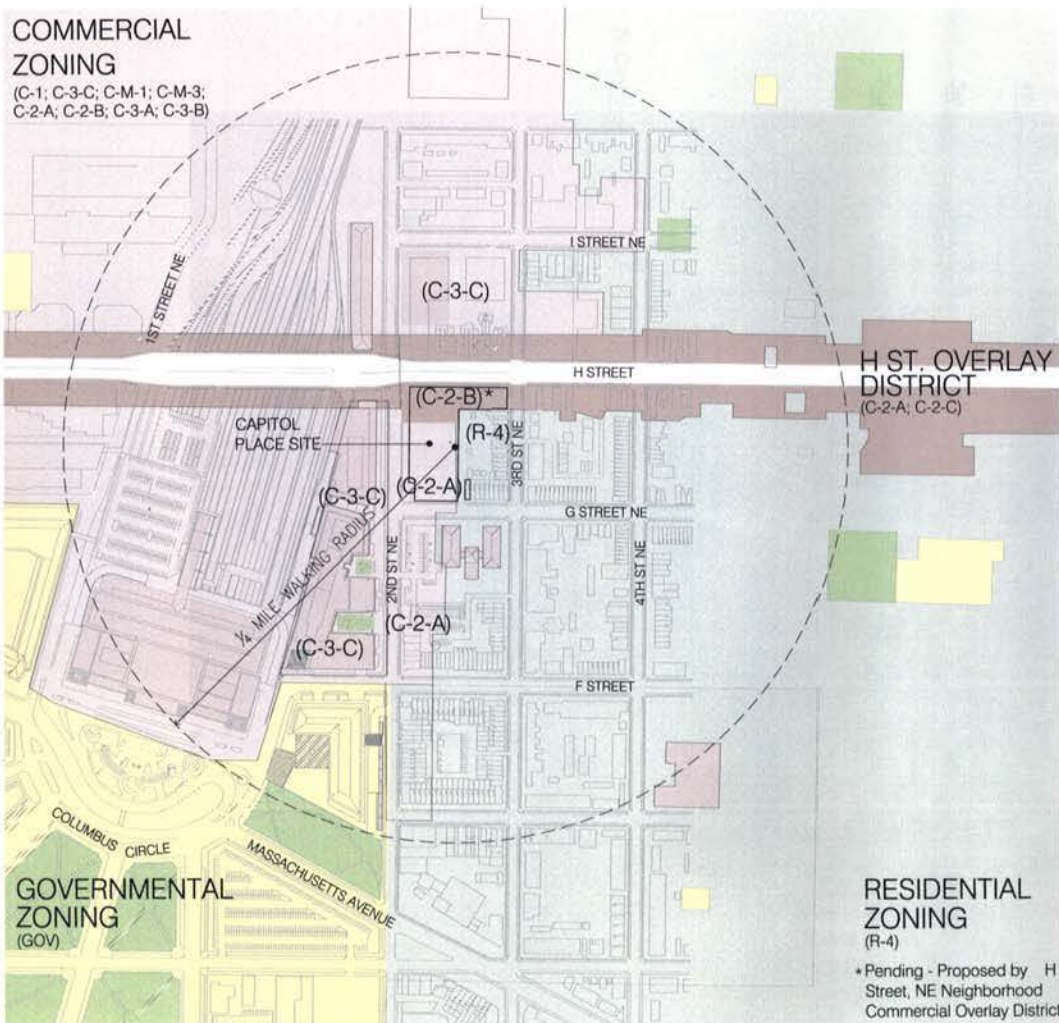
Architect:	Cook + Fox Architects LLP
MEP:	Tolk, Inc
Structural:	Tradler-Cohen-Edelson Associates, Inc
Site Civil:	Wiles Mensch Corporation
Landscape:	Jack Curtis & Associates
Traffic:	Wells & Associates
Sustainable Design:	Steven Winter Associates, Inc
Sustainable Design	
Advocacy:	Browning & Bannon, LLC
Zoning:	Holland & Knight LLP
Residential:	The Mayhood Group
Retail:	Street Sense

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04	Aerial Site Photo	+
05	Site Photo Key	+
06	Site Photos 1	+
07	Site Photos 2	+
08	Site Photos 3	+
09	Site Context - Building Heights	+
10	Site Plan	2406.12(c)
11	Traffic Circulation	2406.12(f)
12	Existing Conditions Plan "A"	2406.11(e5)
13	Existing Conditions Plan "B"	2406.11(e5)
14	Utility Plan "A"	2406.11(e5)
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## COMMERCIAL ZONING

(C-1; C-3-C; C-M-1; C-M-3;  
C-2-A; C-2-B; C-3-A; C-3-B)



\*Pending - Proposed by H Street, NE Neighborhood Commercial Overlay District

### ZONING TABULATION:

SQUARE:	752
PROPOSED ZONING:	C-2B
SITE AREA:	76,700 SF
USE:	RETAIL/PROFESSIONAL OFFICE/ RESIDENTIAL
LOT OCCUPANCY:	COVERAGE T.B.D.
BUILDING HEIGHT:	90'-0" MAX.
PENTHOUSE HEIGHT:	18'-6" MAX.
PENTHOUSE AREA:	.37 FAR MAX.
REAR YARDS:	15' REQUIRED - 45' PROVIDED
SIDE YARDS:	NONE

PARKING:	COMMERCIAL:	REQUIRED 83 SPACES	PROPOSED 98 SPACES
	RESIDENTIAL (305 UNITS):	102 SPACES (1:3)	305 SPACES (1:1)
LOADING:	COMMERCIAL:	1 BERTH @ 30' 1 PLATFORM @ 200 SF	1 BERTH @ 30' 1 PLATFORM @ 200 SF
	RESIDENTIAL:	1 BERTH @ 55' 1 PLATFORM @ 200 SF 1 SERVICE SPACE @ 20'-0"	1 BERTH @ 55' 1 PLATFORM @ 200 SF 1 SERVICE SPACE @ 20'-0"

BUILDING AREA:	COMMERCIAL:	PERMITTED (PUD) 76,700 SF 1 FAR	PROPOSED 46,072 SF 6.0 FAR
	RESIDENTIAL:	383,500 SF 5.0 FAR	375,918 SF 4.90 FAR
	<b>TOTAL:</b>	<b>460,200 SF 6.0 FAR</b>	<b>421,990 SF 5.50 FAR</b>

### BUILDING CALCULATIONS:

FLOOR	NON-FAR	GROSS FLOOR AREA COMMERCIAL	RESIDENTIAL	TOTAL GFA
MECH PENTHOUSE	14,968 SF	-	-	-
FLOOR 9	-	-	30,841 SF	30,841 SF
FLOOR 8	-	-	36,111 SF	36,111 SF
FLOOR 7	500 SF	-	45,138 SF	45,138 SF
FLOOR 6	500 SF	-	47,527 SF	47,527 SF
FLOOR 5	500 SF	-	48,430 SF	48,430 SF
FLOOR 4	500 SF	-	48,430 SF	48,430 SF
FLOOR 3	500 SF	-	48,837 SF	48,837 SF
FLOOR 2	500 SF	-	47,137 SF	47,137 SF
FLOOR 1M	-	20,334 SF	10,116 SF	30,450 SF
FLOOR 1	19,475 SF	25,738 SF	13,351 SF	39,089 SF
FLOOR P1	69,300 SF	-	-	-
FLOOR P2	69,300 SF	-	-	-
FLOOR P3	69,300 SF	-	-	-
<b>TOTAL BUILDING AREA</b>		<b>46,072 SF</b>	<b>375,918 SF</b>	<b>421,990 SF</b>

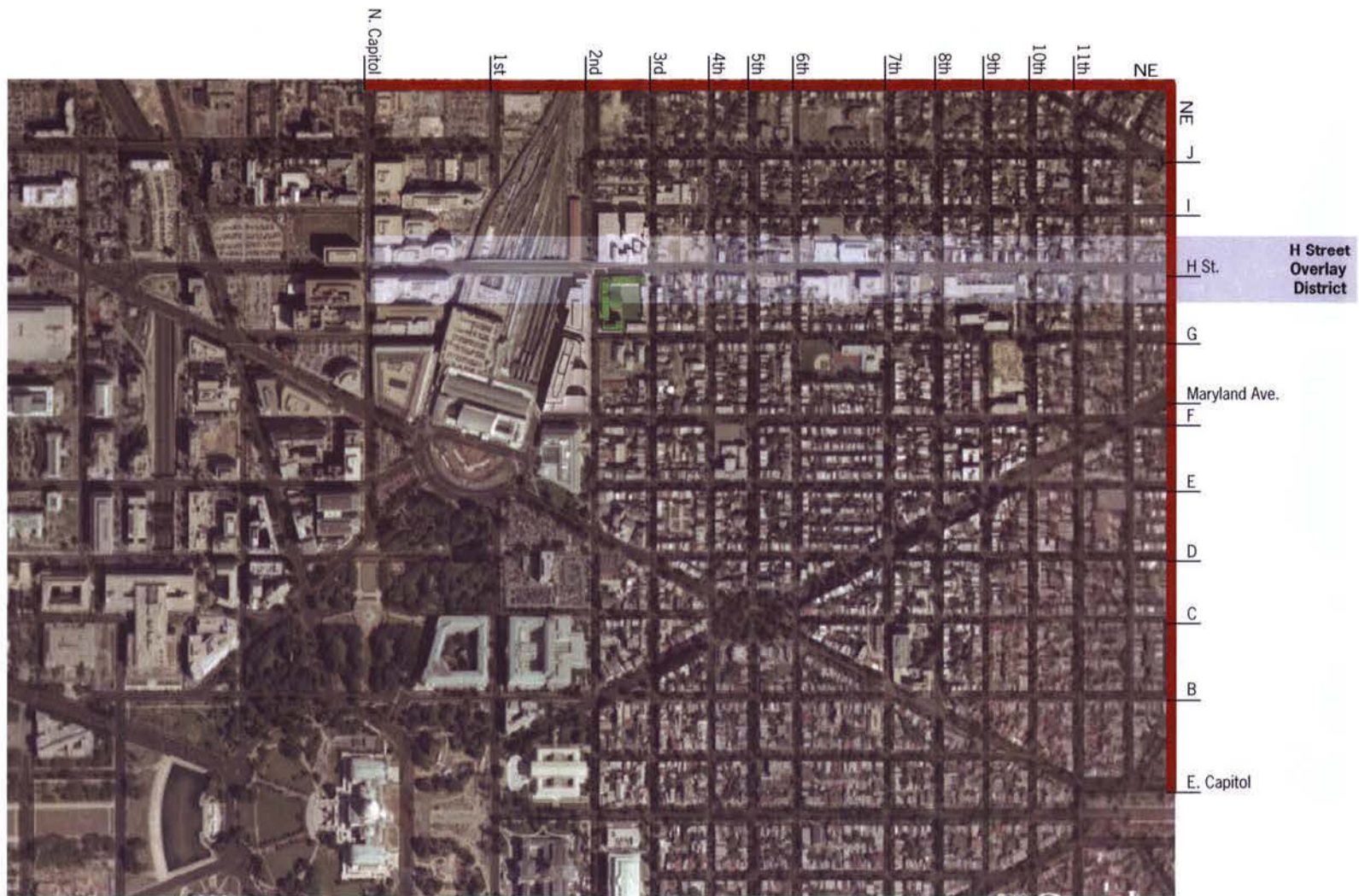
FAR:	COMMERCIAL 0.60 FAR	RESIDENTIAL 4.90 FAR	TOTAL BUILDING 5.50 FAR
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Capitol Place, 2nd Street, NE, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: ZONING TABULATION

Cook+Fox Architects LLP  
March 20, 2006



Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: AERIAL SITE PHOTO

Cook+Fox Architects LLP  
March 20, 2006





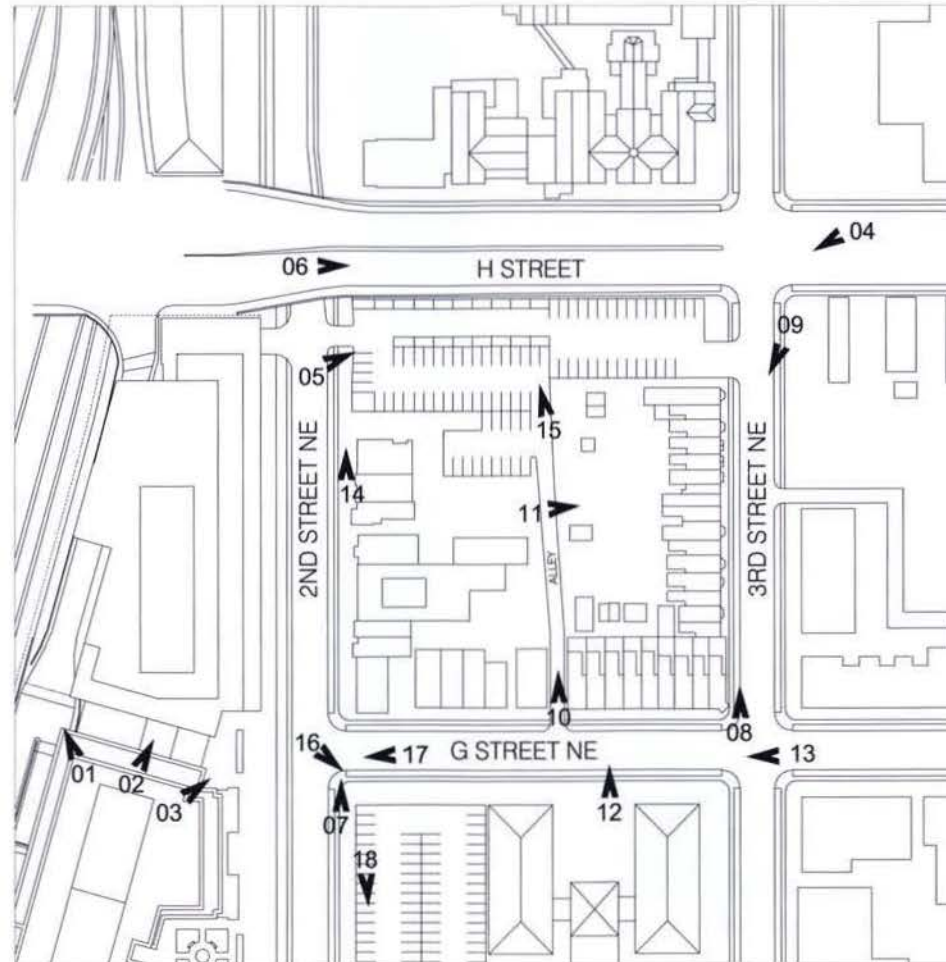
H Street



2nd Street



2nd Street



H Street



G Street



G Street



01



02



03



04



05



06





07



08



09



10



11



12



13



14



15



16



17

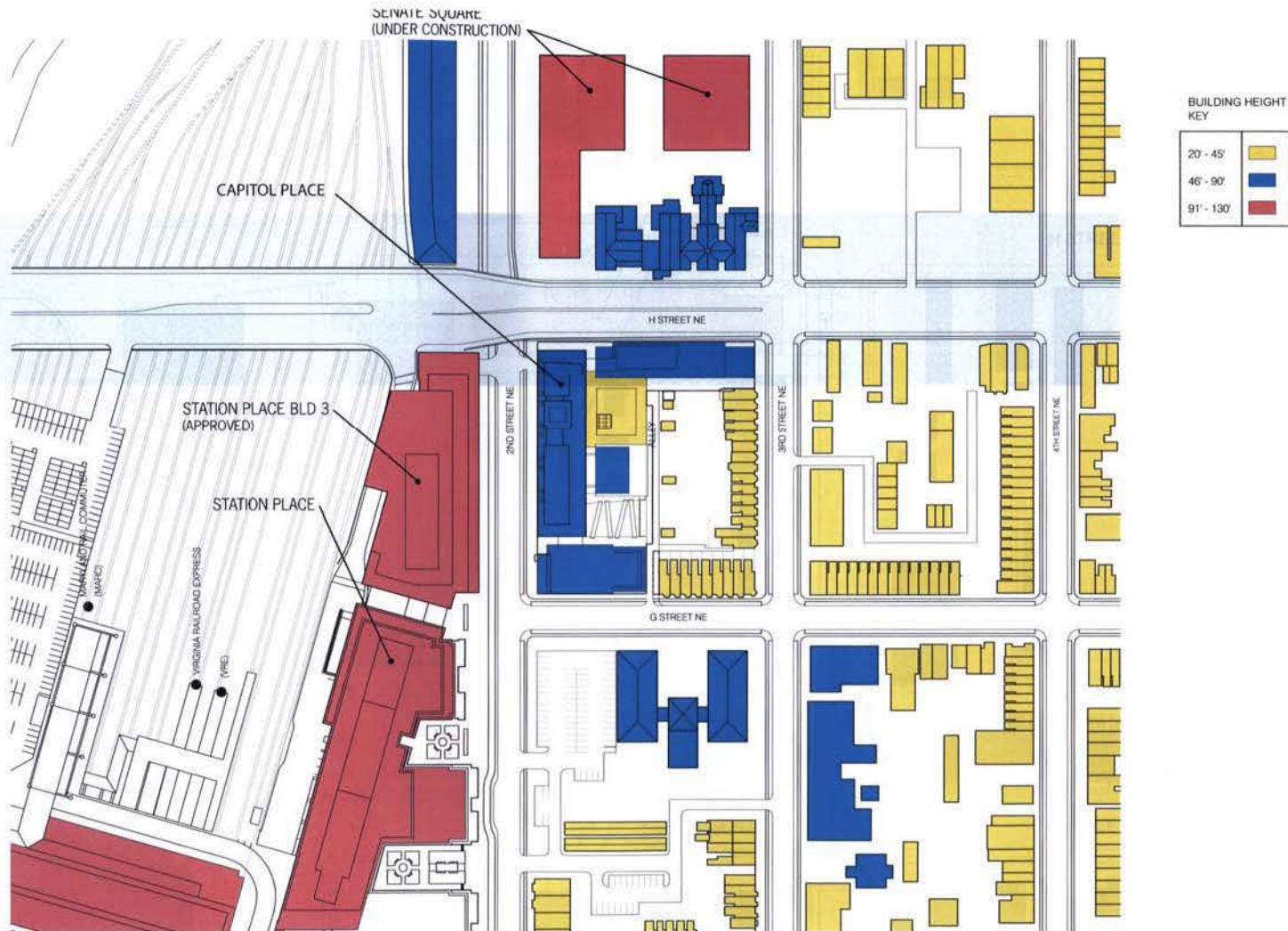
Rendering of approved Station Place building



18



H Street  
Overlay  
District

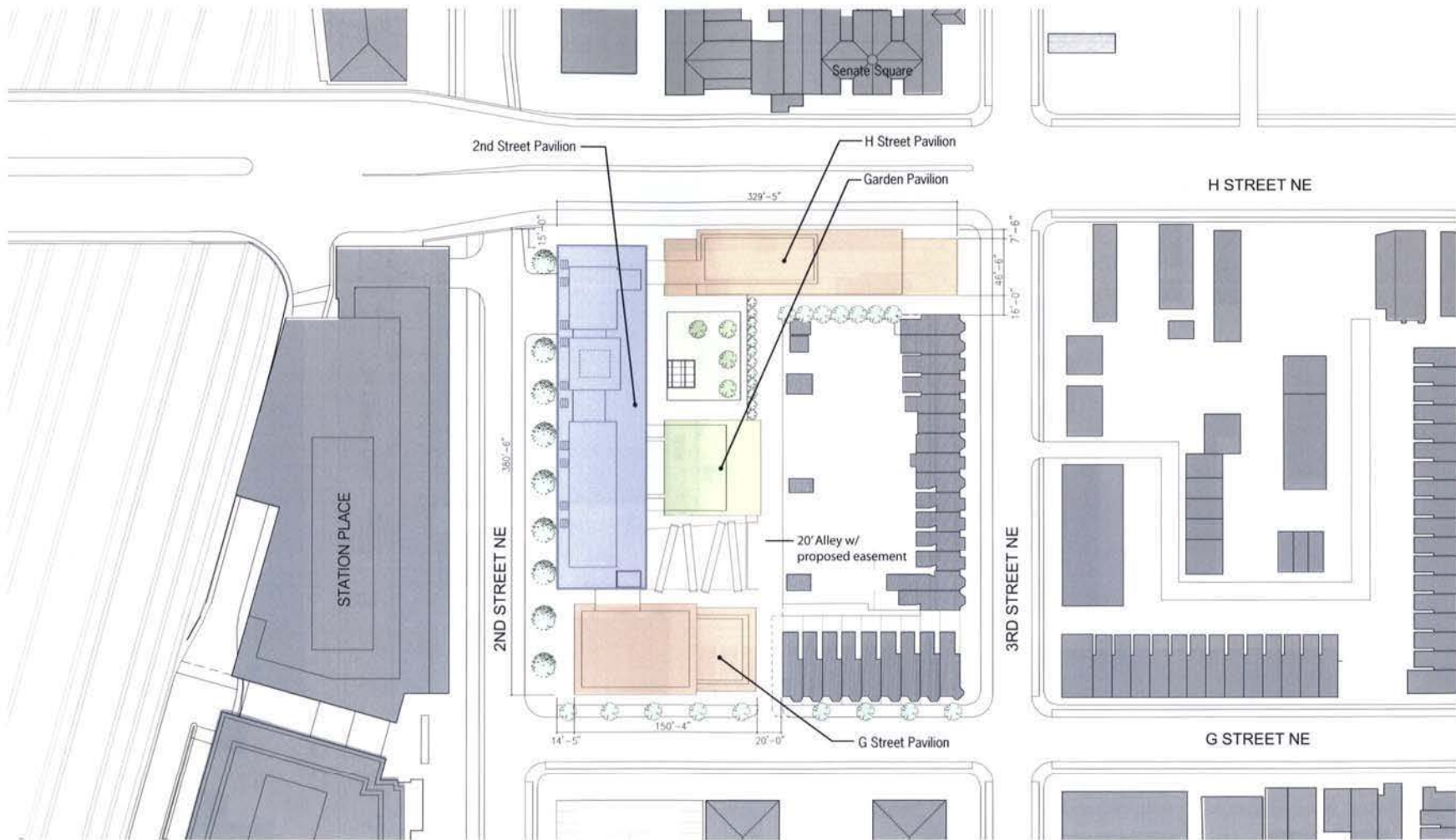


Capitol Place, 2nd Street, NE, Washington D.C. Station Holdings LLC

P.U.D. SUBMISSION: SITE CONTEXT - BUILDING HEIGHTS

Cook+Fox Architects LLP  
March 20, 2006





Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

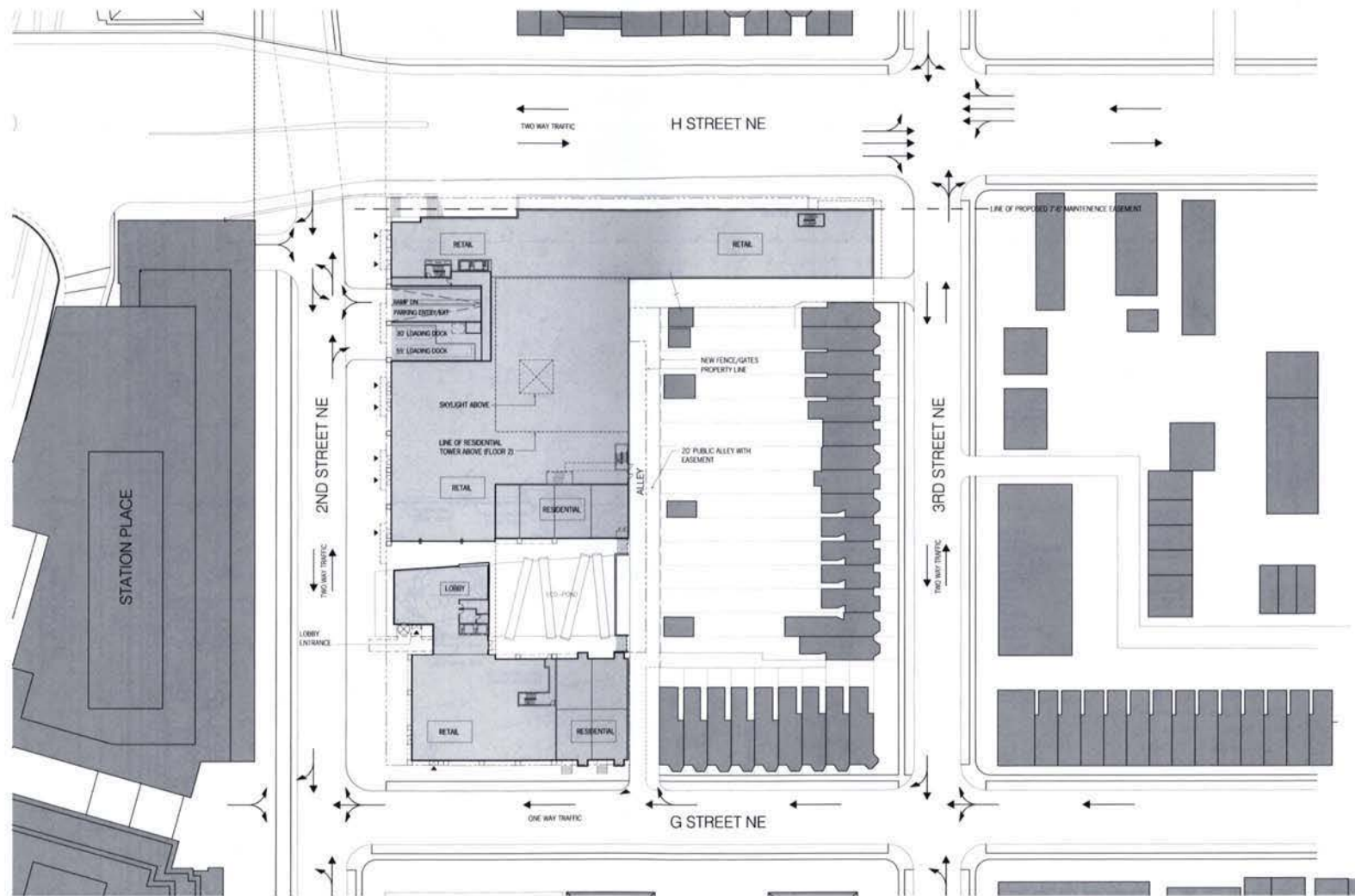
P.U.D. SUBMISSION: SITE PLAN

Cook+Fox Architects LLP  
March 20, 2006



10

Cook+Fox



Capitol Place, 2nd Street, NE, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: TRAFFIC CIRCULATION

Cook+Fox Architects LLP  
March 20, 2006



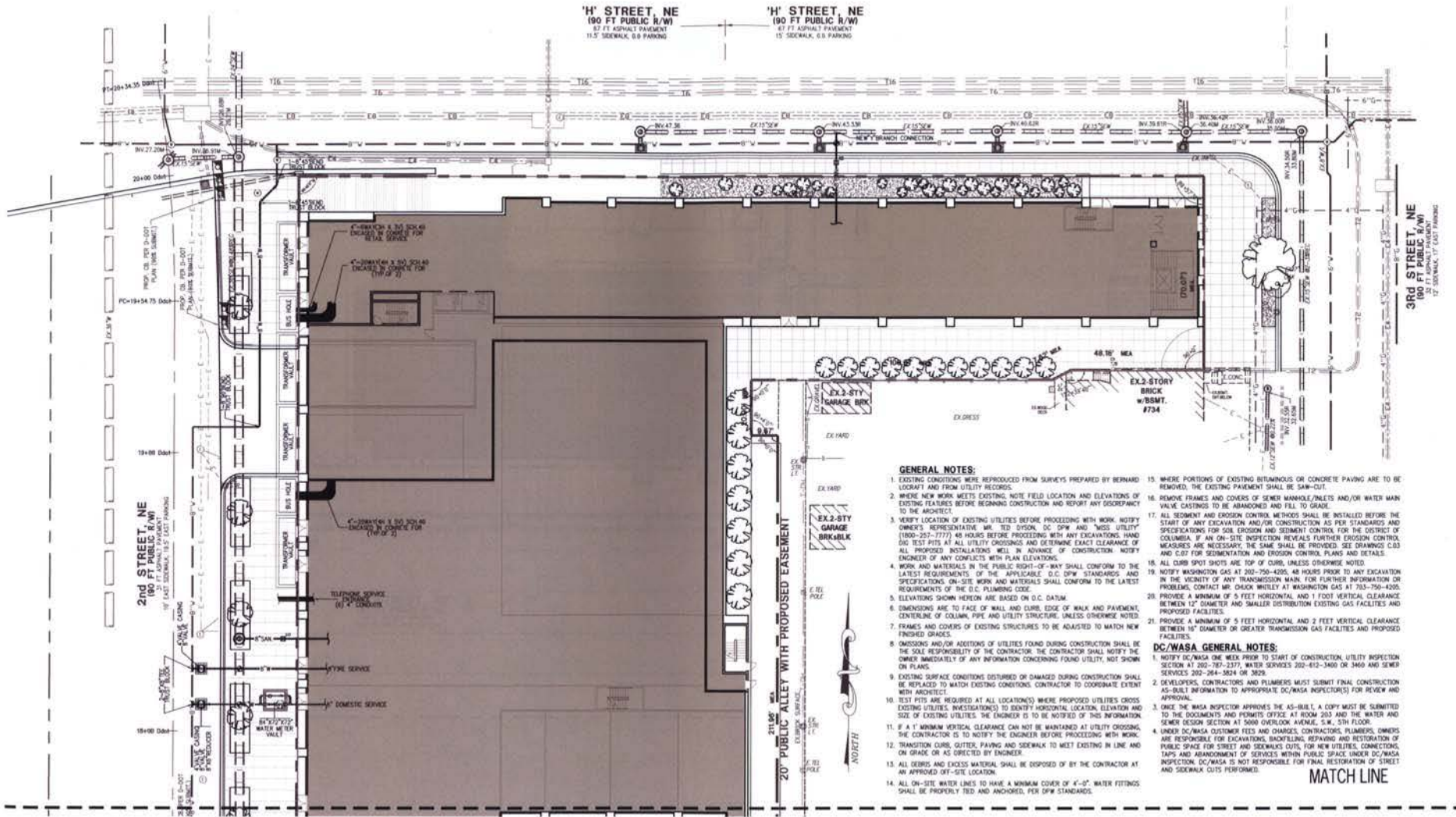
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Cook+Fox









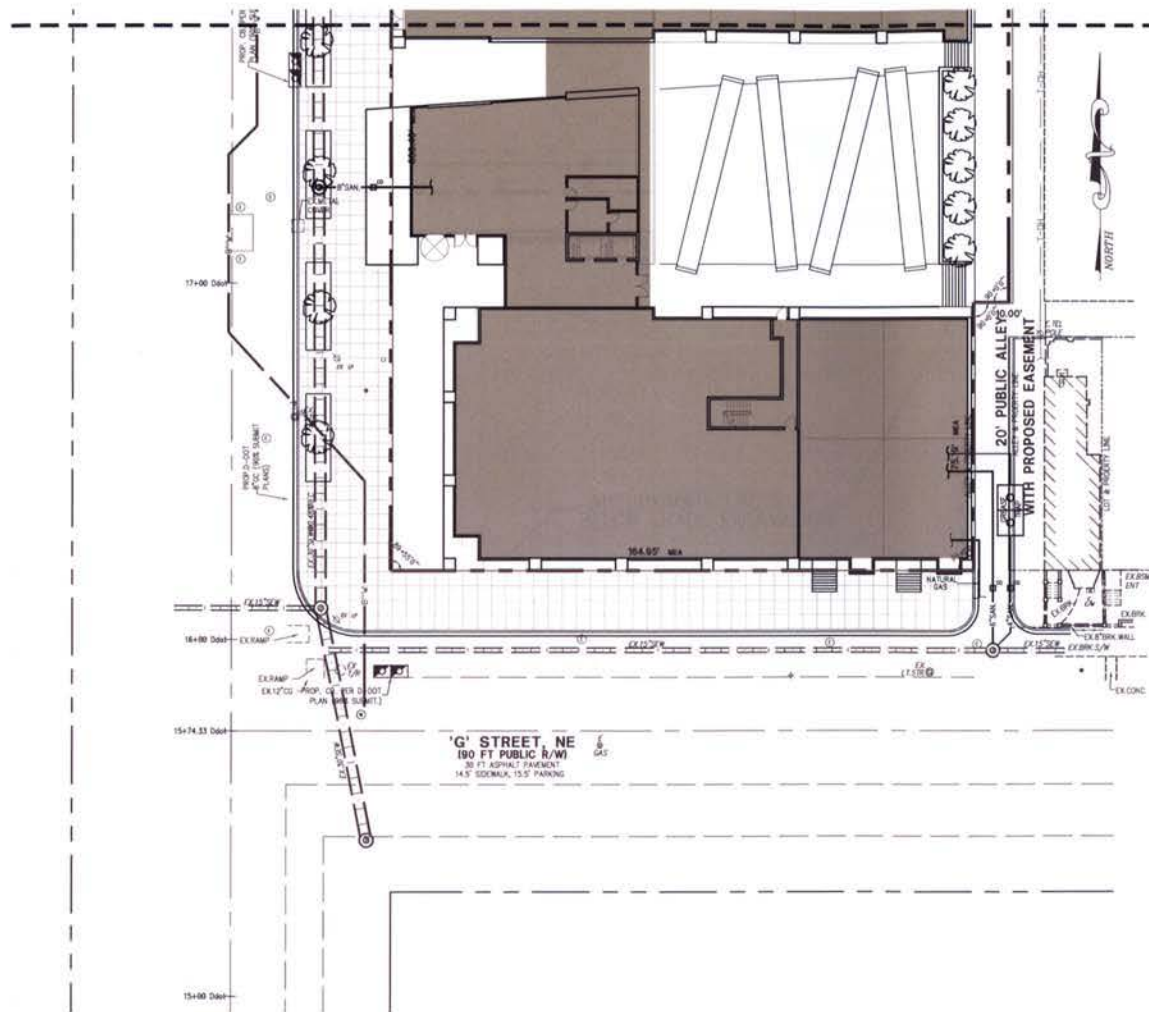
Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: UTILITY PLAN "A"

Cook+Fox Architects LLP  
March 20, 2006





MATCH LINE

#### NOTES:

1. ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH LATEST STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF PUBLIC WORKS - WATER AND SEWER UTILITY AUTHORITY.
2. CONTRACTOR TO BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES, SHORING, BRACING AND UNDERPINNING, DESIGNED BY STRUCTURAL ENGINEER LICENSED IN DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING SIDEWALK, CURB AND GUTTER TO REMAIN OR TO REPLACE SIDEWALK, CURB AND GUTTER DAMAGED DURING CONSTRUCTION.
4. EXISTING FULL DEPTH PAVEMENT SECTION, CURB AND GUTTER TO BE REMOVED AND REPLACED TO EXTENT NECESSARY TO FACILITATE CONSTRUCTION OF NEW UTILITIES. MATERIALS TO COMPLY WITH DC/DPW STANDARDS AND SPECIFICATIONS.
5. TEST PITS ARE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS WITH ALL EXISTING UTILITY LINES TO DETERMINE THE EXACT HORIZONTAL LOCATION, ELEVATION AND ADD SIZE OF THE EXISTING UTILITIES. A MINIMUM OF ONE FOOT VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN EXISTING AND PROPOSED UTILITIES. TEST PITS SHOULD BE COMPLETED PRIOR TO ORDERING ANY STRUCTURES OR PIPE MATERIALS. NOTIFY ENGINEER OF ANY CONFLICT WITH PROPOSED PLANS.

#### METER & METER TRANSMITTING DEVICES NOTES:

THE AUTHORITY HAS INSTALLED A FIXED NETWORK AUTOMATIC METER READING SYSTEM. THIS SYSTEM WILL ELIMINATE THE REQUIREMENT TO READ METERS MANUALLY. METERS INSTALLED BY WASA OR PRIVATE OWNERS OF METERS WILL NEED TO MEET THE FOLLOWING SPECIFICATIONS IN ORDER FOR WASA TO READ METERS AUTOMATICALLY.

1. METERS, INSTALLATIONS AND INSPECTIONS MUST COMPLY WITH ALL DCMP CODES AND SPECIFICATIONS.
2. ALL NEW METERS INSTALLED, INCLUDING PRIVATELY OWNED METERS MUST BE "TRUE ABSOLUTE ENCODER" TYPE METERS OR "DIRECT-READ" METERS THAT CONVERT METER READINGS TO DIGITAL PULSES FROM THE METER REGISTERS.
3. ALL METER REGISTERS SHOULD BE ABLE TO CONVERT ALL THE SIGNALS IN THE METER REGISTER TO DIGITAL PULSES.
4. THE METERS MUST MEASURE WATER IN 100 CUBIC FEET INCREMENTS. ALL NEW METERS MUST HAVE A METER READING TRANSMITTING UNIT ATTACHED TO THE METER REGISTERS, SEALED SO AS TO MAKE IT WATER TIGHT. THE TRANSMITTING UNIT SHOULD BE PROGRAMMABLE TO COMBINE THE FCC APPROVED RADIO FREQUENCY, AND COMPATIBLE WITH HEXAGRAM, INC. HARDWARE AND SOFTWARE.
5. ALL NEW METERS 3" OR GREATER MUST HAVE TEST PLUG IN THE METER.
6. ALL NEW METERING CONFIGURATIONS SHOULD HAVE STRAINER WHERE APPROPRIATE TO MANUFACTURER'S SPECIFICATIONS.

#### OUTSIDE LOCATIONS:

- A. THE NEW METER LD MUST BE OF A COMPOSITION AND TENSILE STRENGTH SO AS TO PERMIT A RADIO SIGNAL TO PROPAGATE THROUGH THE METER LD AND SECURE THE METER PIT, AGAINST LIGHT VEHICLE TRAFFIC AND PEDESTRIAN FOOT TRAFFIC. LARGE METER INSTALLATIONS MUST HAVE METER LIDS THAT MAY WITHSTAND HEAVY VEHICLE TRAFFIC.
- B. THE RADIO-TRANSMITTING DEVICE MUST BE SECURELY ANCHORED TO THE UNDERCOP OF THE NEW TRANSMITTER THROUGH METER LD, SO AS TO PERMIT A RADIO SIGNAL TO COMMUNICATE WITH A DATA COLLECTION UNIT.
- C. THE RADIO-TRANSMITTING DEVICE MAY ALSO BE INSTALLED THROUGH THE EXISTING CAST IRON METER LD OF A NEW CAST IRON METER LIDS SO AS PERMIT A SIGNAL TO COMMUNICATE WITH A DATA COLLECTION DEVICE AND POSSIBLE TRIPPING HAZARD.

#### APPROVED METERS, METER LIDS AND RTU CURRENTLY USED BY DOMANA:

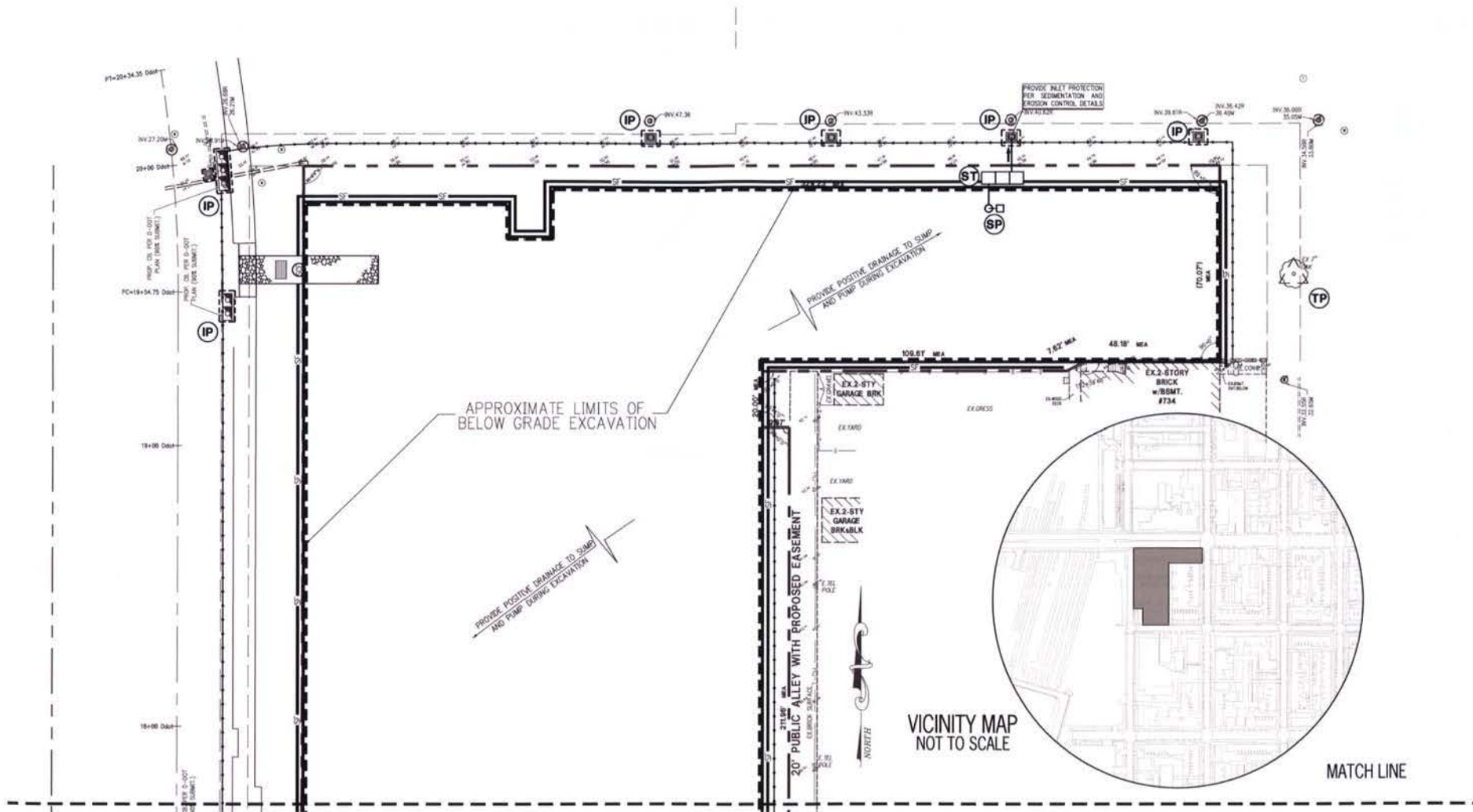
1. HEXAGRAM INC. METER TRANSMITTING UNIT.
2. ABB WATER METERS INC. WITH RTU PERMANENTLY POTTED AT THE FACTORY - MODEL C3000 2"-4" COMPOUND METERS.
3. ARMORCAST INC. - METER LD IS 1/2" METER LD MAY NEED TO BE HEAVY DUTY CAST IRON WITH THE RADIO TRANSMITTING DEVICE INSTALLED THROUGH THE EXISTING CAST IRON METER LD TO ALLOW REMOVAL OF THE LARGER SIZE METERS.

#### ESTIMATED PEAK FLOWS AND PIPE SIZES:

Fire Water Service:	1280 GPM	8" diameter pipe
Domestic Water Service:	530 GPM	8" diameter pipe
Sewer:	2,745 drainage	(4) four separate
(total project load)	future units	8" diameter outside

#### STORMWATER MANAGEMENT NOTE:

STORMWATER MANAGEMENT TO BE PROVIDED BY MEANS OF A GREEN ROOF SYSTEM OR SIMILAR APPROVED STORMWATER MANAGEMENT DEVICE TO MEET THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA, DEPARTMENT OF HEALTH AND ENVIRONMENTAL ADMINISTRATION WATERBOD PROTECTION DIVISION.



Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: SEDIMENTATION AND EROSION CONTROL PLAN "A"

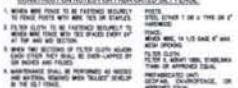
Cook+Fox Architects LLP  
March 20, 2006

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Cook+Fox



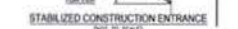




NOT TO SCALE



5. CLEAN THE SEEDS



STONE SIZE - 1/2" OF STONE OR EQUIVALENT IN RECYCLED CONCRETE EQUIVALENT.

100



2. DALLS SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAPLES OR

**STRAW SALE DIKE**  
(NOT TO SCALE)



### STRAW BALE DROP INLET

STIRRER

SUNNY WATER WITH STIRRER

SUNNY WATER

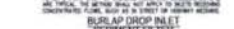
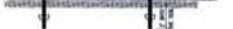


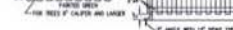
TABLE 1. The 100 Most Influential Journals in the Field of Health Services Research, 1980-1999

CURB INLET SEDIMENT FILTER



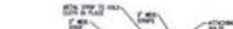
THIS PROTECTION FENCING MUST BE MAINTAINED THROUGHOUT CONSTRUCTION.

1000



### TYPICAL TREE PROTECTION

A horizontal line with a central point labeled '0' and two points on either side labeled '1'.



Age Group	Percentage
18-29	75%
30-49	70%
50-69	65%
70+	60%

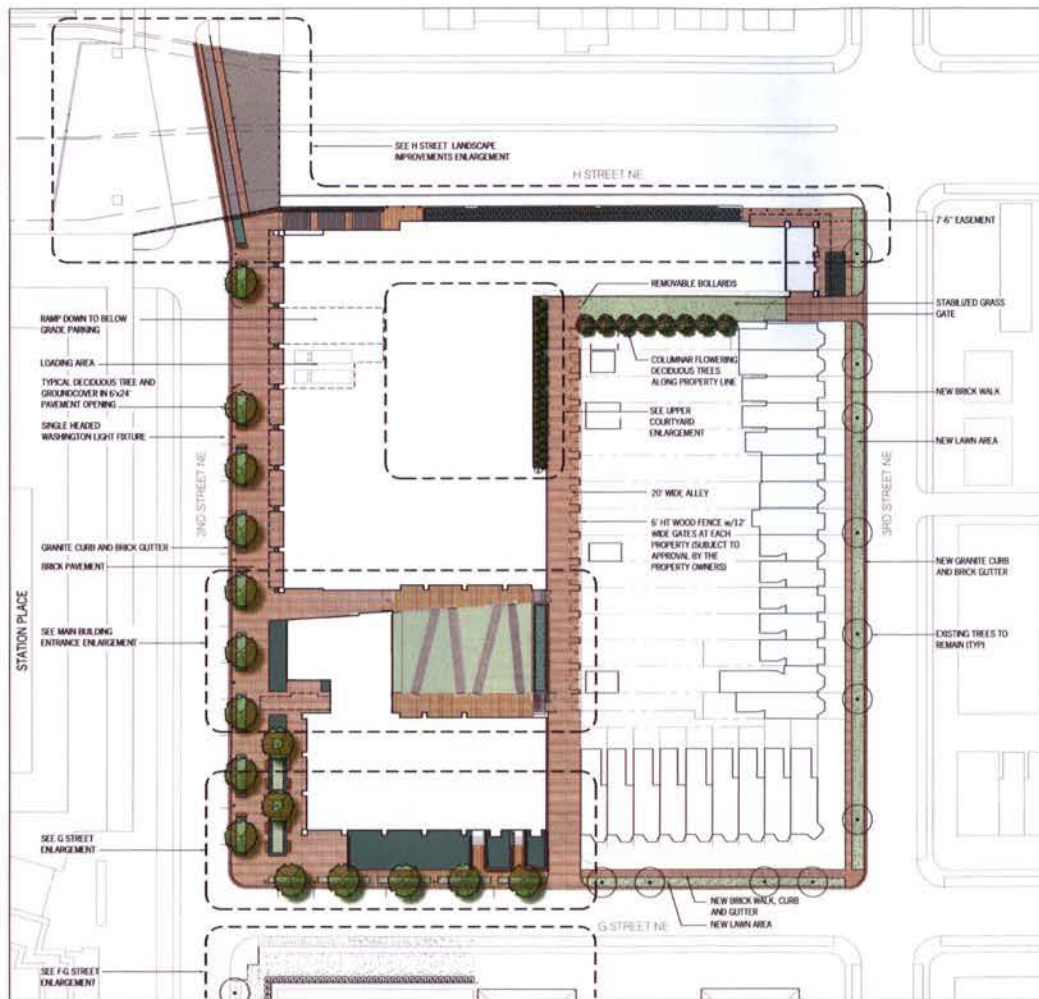
1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

**BRICKBAT GROUND COVER**  
DEFINITION  
BRICKBAT GROUND COVER CONSISTING OF BROKEN BRICK (1/2

Woven fabric

CHOSEN AND QUALITY OF THE MUSCULAR AND BONES.

© 2000 Blackwell Science Ltd, *Journal of Internal Medicine* 247: 395–402



# NOTES:

1. LANDSCAPE OF ENTIRE BLOCK SUBJECT TO APPROVAL BY DDOT



TYPICAL STREET TREE PLANTING



CABLED VINE PLANTINGS



TYPICAL BRICK PAVEMENT



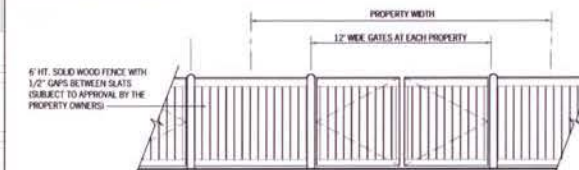
SINGLE GLOBE WASHINGTON LIGHT FIXTURE



WOOD BENCH



POTENTIAL OUTDOOR CAFE AREA



WOOD FENCE AT ALLEY



TYPICAL GRANITE PAVEMENT



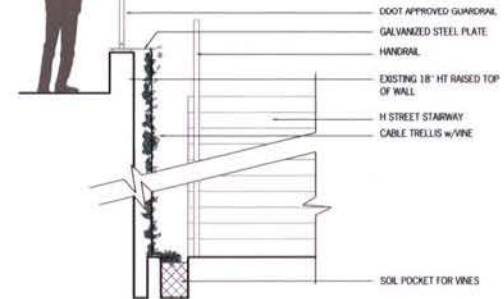
TYPICAL BRICK PAVEMENT



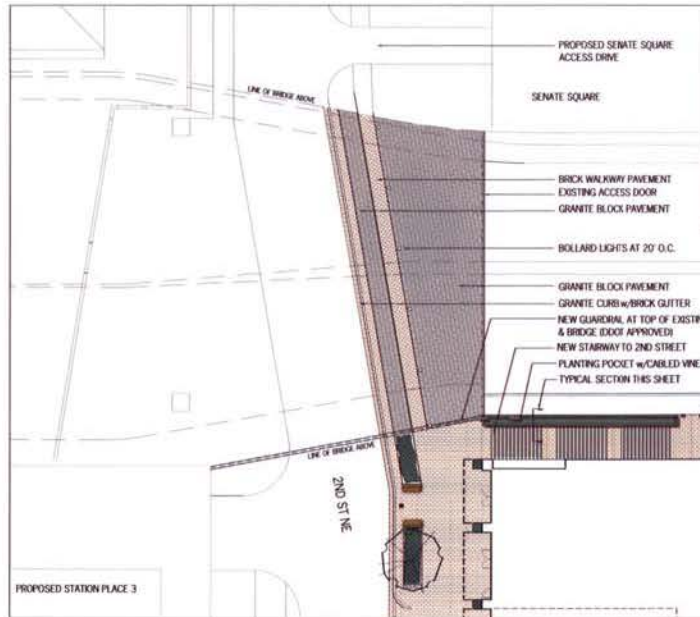
GUARDRAIL



SINGLE GLOBE  
WASHINGTON  
LIGHT FIXTURE



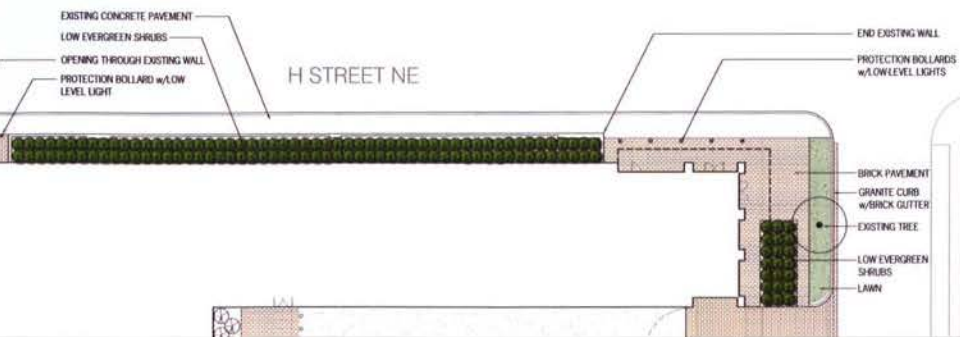
SECTION - H STREET TRELLIS AT STAIRWAY  
NOT TO SCALE



EVERGREEN SHRUBS

NOTES:

1. LANDSCAPE OF ENTIRE BLOCK SUBJECT TO APPROVAL BY DDOT







WOOD BENCH



TYPICAL STREET TREE AT G STREET



TYPICAL STREET TREE AT 2ND STREET



EVERGREEN SHRUBS



TYPICAL BRICK PAVEMENT

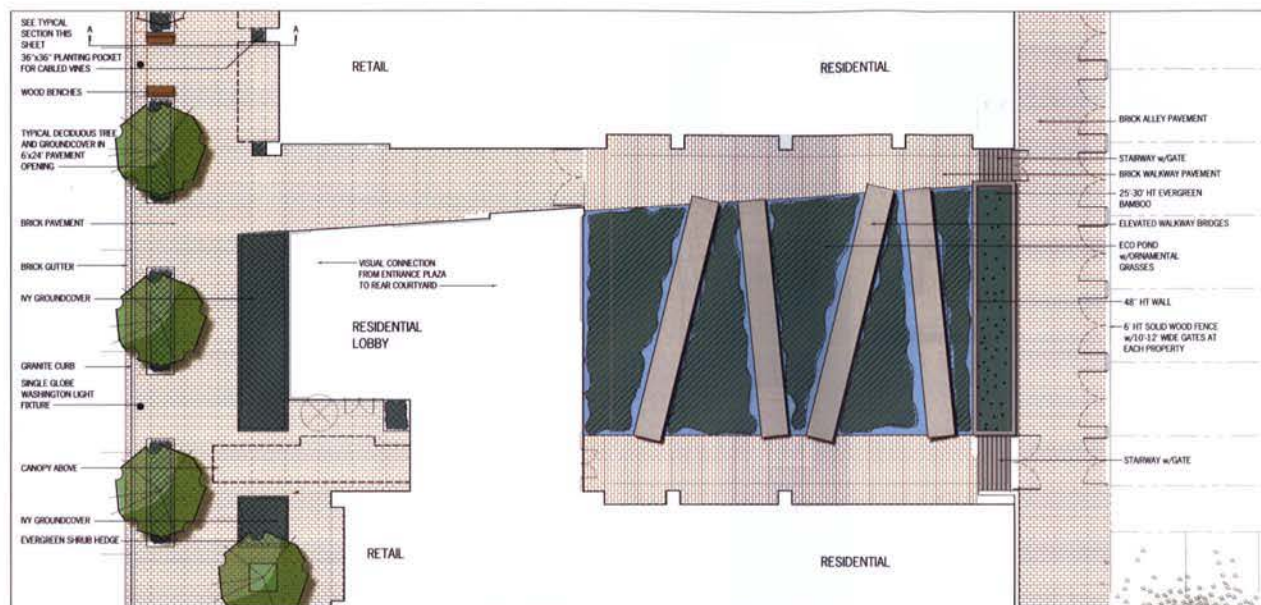


NOTES:

1. LANDSCAPE OF ENTIRE BLOCK SUBJECT TO APPROVAL BY DDOT



SINGLE GLOBE WASHINGTON LIGHT FIXTURE



NOTES:  
1. LANDSCAPE OF ENTIRE BLOCK SUBJECT TO APPROVAL BY DDOT



TYPICAL  
BRICK PAVEMENT



TYPICAL STREET TREES



EVERGREEN SHRUBS



BAMBOO



ORNAMENTAL GRASSES



SINGLE GLOBE  
WASHINGTON  
LIGHT FIXTURE

SECTION A-A AT 2ND STREET NE  
NOT TO SCALE

DECIDUOUS TREE BEYOND

36\"/>

SINGLE GLOBE WASHINGTON  
LIGHT FIXTURE

WOOD BENCH BEYOND

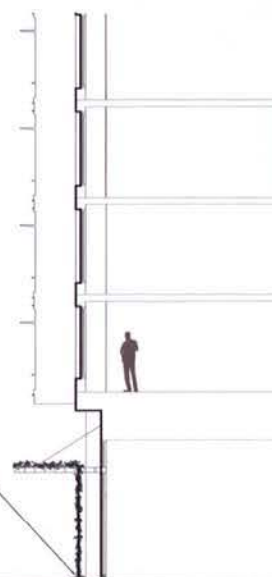
ORNAMENTAL GRASSES AND  
SEASONAL PLANTINGS

GRANITE CURB

BRICK GUTTER



WOOD BENCHES







PRIVACY PLANTINGS



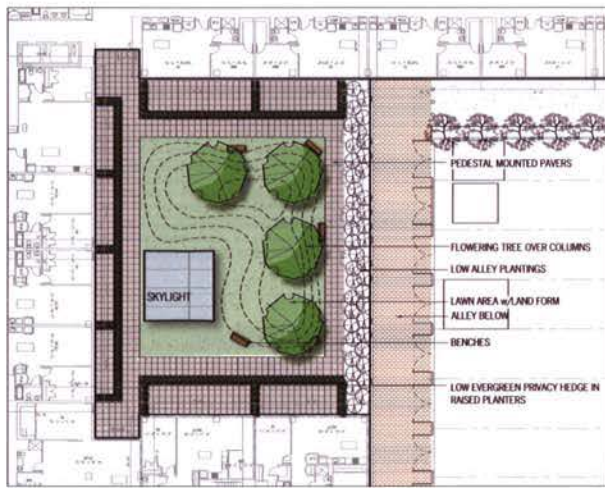
TYPICAL COURTYARD FLOWERING TREE



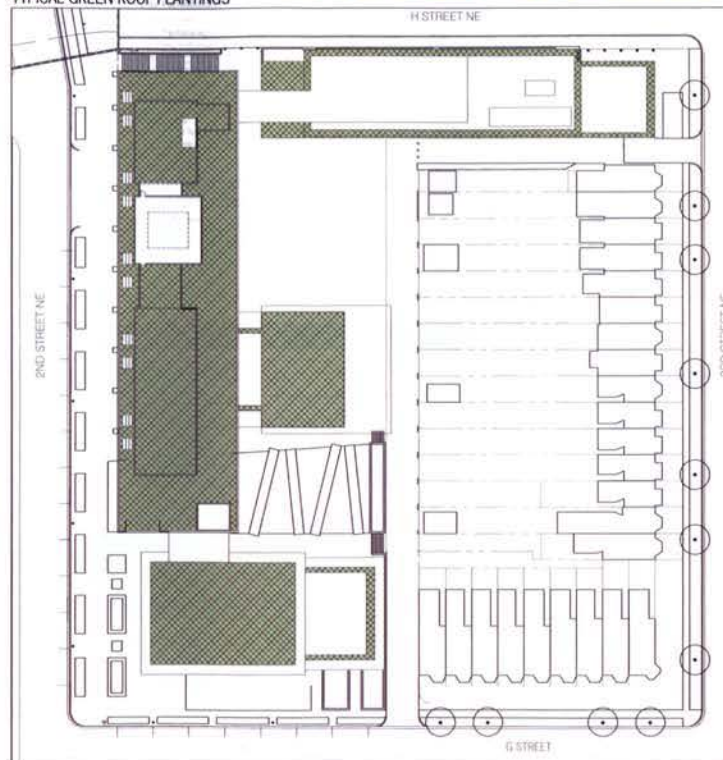
TYPICAL GREEN ROOF PLANTINGS



TYPICAL GREEN ROOF PLANTINGS



UPPER COURTYARD ENLARGEMENT PLAN



GREEN ROOF PLAN



Likely Points	9	Sustainable Sites	14 Points
Required	Points 1	<b>Erosion &amp; Sedimentation Control</b>	Required
Required	Point 1	<b>Site Selection</b> The project meets the following criteria: (1) Not on prime farmland; (2) Not on habitat for endangered species; (3) Not within 100 ft of wetlands; (4) Not on land that prior to acquisition was public parkland; (5) min 5 ft above the 100-year flood level.	1
X	Point 2	<b>Development Density</b> The project meets the following criteria: 60,000 sf/acre, equivalent to two-story townhouse neighborhood	1
X	Point 3	<b>Brownfield Redevelopment</b> Existing site is not declared a "brownfield" by the EPA. However, LEED, via a Credit Interpretation Ruling has accepted as equivalent an ASTM E 1903-97 Phase II Environmental Site Assessment performed for contaminated soils or asbestos abatement. Asbestos remediation should be performed following any generally excepted standard such as the Resource Conservation and Recovery Act (RCRA) and NESHAPS (National Emissions Standards for Hazardous Air Pollutants). Alternately, asbestos assessment could follow the EPA regulation 40CFR part 763. The project will review the criteria.	1
X	Point 4	<b>Alternative Transportation</b> , Public Transportation Access: Location within 1/2 mile of a commuter rail or 1/4 mile of at least two bus stations. The project is within 1/4 mile of Union Station Metro Station.	1
X	Point 5	<b>Alternative Transportation</b> , Bicycle Storage & Changing Rooms. Requirement: Covered bicycle storage for 15% of residents. The project will provide the required bicycle storage. (Note: No changing rooms are required in a residential building.)	1
X	Point 6	<b>Alternative Transportation</b> , Alternative Fuel Refueling Stations (3% of Parking) The project will study the following alternative: - Provide alternate fuel vehicles & preferred parking for 3% of building occupants (not 3% of parking). Hybrids are acceptable.	1
X	Point 7	<b>Alternative Transportation</b> , Parking Capacity: Do not exceed local parking requirements and reserve 5% of parking spaces for carpools.	1
X	Point 8	<b>Reduced Site Disturbance</b> , Protect or Restore Open Space: Restore a minimum of 50% of the site area (excluding the building footprint) with native or adapted vegetation.	1
X	Point 9	<b>Reduced Site Disturbance</b> , Development Footprint: Surpass the local zoning requirements for open space by 25%.	1
X	Point 10	<b>Stormwater Management</b> , 25% Reduction in Rate or Quantity 25% of 2-year/24 hr storm, calculated for the entire project site, needs to be collected and, as much as possible, re-used. The water will be stored in the basement. The water will be stored in a cistern, located in the parking levels of the building. The water will be re-used for some or all of the following: cooling tower make-up, irrigation of the green roofs, pavement washing, flushing of the toilets.	1
X	Point 11	<b>Stormwater Management</b> , Treatment: Filter storm water from the entire site, or infiltrate the storm water off the entire site. - Fertilize plants and maintain the building exterior with low phosphate products.	1
X	Point 12	<b>Landscaping &amp; Exterior Design to Reduce Heat Islands</b> , Non-Roof: Place min. 50% of parking underground OR provide high-albedo materials for at least 30% of the site's impervious, non-roof surfaces. OR shade at least 30% of these impervious surfaces.	1
X	Point 13	<b>Landscaping &amp; Exterior Design to Reduce Heat Islands</b> , Roof: Vegetated (green) roof for 50% of roof, or a combination of vegetated (green) roof + ENERGY STAR roofing for 75% of the roof. ENERGY STAR roofing has high reflectance and high emittance. The project will meet requirement with vegetated (green) roof.	1
X	Point 14	<b>Light Pollution Reduction</b> : Prevent interior lighting from spill outside building, prevent exterior lighting from trespassing property boundary, and provide appropriate cut-offs for exterior lighting. To be pursued throughout the project by the lighting designer as the project develops.	1

Likely Points	2	Water Efficiency	8 Points
X	Point 1	<b>Water Efficient Landscaping</b> , Reduce by 50% Micro or drip irrigation, or retained storm water will be reviewed to meet the requirement.	1
X	Point 2	<b>Water Efficient Landscaping</b> , No Potable Use or No Irrigation The point can also be obtained by installing no irrigation system for the green roof. (Temporary irrigation is allowed until the plants are established.)	1
X	Point 3	<b>Innovative Wastewater Technologies</b> Point achievable with black water system, or if an extensive rain water collection system is used for toilet flushing in the entire building.	1
X	Point 4	<b>Water Use Reduction</b> , 20% Reduction The project will review use of low flow showerheads (2.0 gpm), kitchen sink lavatories of 1.5 gpm, bathroom lavatories of 1.5 gpm, and dual-flush toilets.	1
X	Point 5	<b>Water Use Reduction</b> , 30% Reduction The project will use energy modeling to study building performance.	1

Likely Points	3	Energy & Atmosphere	17 Points
Required	Points 1	<b>Fundamental Building Systems Commissioning</b>	Required
Required	Point 1	<b>Minimum Energy Performance</b>	Required
Required	Point 1	<b>CFC Reduction in HVAC/R Equipment</b>	Required
X	Point 2	<b>Optimize Energy Performance</b> , 12.51% New The project will use energy modeling to study building performance.	1
X	Point 3	<b>Optimize Energy Performance</b> , 17.51% New The project will use energy modeling to study building performance.	1
X	Point 4	<b>Optimize Energy Performance</b> , 22.51% New	1
X	Point 5	<b>Optimize Energy Performance</b> , 27.51% New	1
X	Point 6	<b>Optimize Energy Performance</b> , 32.51% New	1
X	Point 7	<b>Optimize Energy Performance</b> , 37.51% New	1
X	Point 8	<b>Optimize Energy Performance</b> , 42.51% New	1
X	Point 9	<b>Optimize Energy Performance</b> , 47.51% New	1
X	Point 10	<b>Optimize Energy Performance</b> , 52.51% New	1
X	Point 11	<b>Optimize Energy Performance</b> , 57.51% New	1
X	Point 12	<b>Renewable Energy</b> , 5% Min. requirement is 2.51% of regulated energy cost (excluding plug loads, cooking, washing/drying, elevators, exterior lighting, occupant-installed lighting).	1
X	Point 13	<b>Renewable Energy</b> , 10% Min. requirement is 5.01% of regulated energy cost (excluding plug loads, cooking, washing/drying, elevators, exterior lighting, occupant-installed lighting).	1
X	Point 14	<b>Additional Commissioning</b> : The project will engage independent commissioning agent.	1
X	Point 15	<b>Ozone Depletion</b> No HCFCs or Halons	1
X	Point 16	<b>Measurement &amp; Verification</b>	1
X	Point 17	<b>Green Power</b> : Two-year contract to provide 50% of the building power with renewable energy.	1

Likely Points	5	Materials & Resources	13 Points
Required	Points 1	<b>Storage &amp; Collection of Recyclables</b>	Required
X	Point 1	<b>Building Reuse</b> , Maintain 75% of Existing Shell Not applicable for the project.	1
X	Point 2	<b>Building Reuse</b> , Maintain 100% of Shell Not applicable for the project.	1
X	Point 3	<b>Building Reuse</b> , Maintain 100% Shell & 50% Non-Shell Not applicable for the project.	1
X	Point 4	<b>Construction Waste Management</b> , Divert 50% of C&D waste from landfill. The project will meet requirement.	1
X	Point 5	<b>Construction Waste Management</b> , Divert 75% of C&D waste from landfill. The project will meet requirement.	1
X	Point 6	<b>Resource Reuse</b> , Specify 5% Requires using salvaged materials (i.e. salvaged bricks, reclaimed wood) that make up 5% of all building materials (by cost).	1
X	Point 7	<b>Resource Reuse</b> , Specify 10% Requires using salvaged materials (i.e. salvaged bricks, reclaimed wood) that make up 10% of all building materials (by cost).	1
X	Point 8	<b>Recycled Content</b> , Specify 5% Percentages are based on cost. The project will use concrete and steel with recycled content.	1
X	Point 9	<b>Recycled Content</b> , Specify 10% The project will review use of additional materials with recycled content.	1
X	Point 10	<b>Local/Regional Materials</b> , 20% Manufactured Locally The project will use a minimum of 20% of materials manufactured within 500 miles (by cost, excluding MEP).	1
X	Point 11	<b>Local/Regional Materials</b> , 20% Above: 50% Harvested Locally	1
X	Point 12	<b>Rapidly Renewable Materials</b> : 5% of building cost for materials only (excluding MEP) would have to be linoleum, cork, ag/fiber, rapid-growth poplar and similar materials.	1
X	Point 13	<b>Certified Wood</b> : 50% minimum of all wood-based materials (including wood used for construction) to be certified in accordance with the Forest Stewardship Council Guidelines. Percentage is based on cost.	1

Likely Points	7	Indoor Environmental Quality	15 Points
Required	Points 1	<b>Minimum IAQ Performance</b>	Required
Required	Point 1	<b>Environmental Tobacco Smoke (ETS) Control</b>	Required
X	Point 2	<b>Carbon Dioxide (CO<sub>2</sub>) Monitoring</b> of common areas (Lobby, Wellness Center) will meet criteria.	1
X	Point 3	<b>Increase Ventilation Effectiveness</b> . Diffusers have to be specified with an efficiency of 0.9 according to the calculation in Chapter 32 of the ASHRAE Handbook of Fundamentals.	1
X	Point 4	<b>Construction IAQ Management Plan</b> , During Construction The project will monitor HVAC protection, housekeeping, pathway interruption, source control, etc. during construction.	1
X	Point 5	<b>Construction IAQ Management Plan</b> , Before Occupancy The project will attempt to perform a post construction flush out with outside air for a two week period prior occupancy.	1
X	Point 6	<b>Low-Emitting Materials</b> , Adhesives & Sealants Adhesives and sealants used through the project will comply with the criteria of this credit.	1
X	Point 7	<b>Low-Emitting Materials</b> , Paints Paints used through the project will comply with the criteria of this credit.	1
X	Point 8	<b>Low-Emitting Materials</b> , Carpet Carpets used through the project will comply with the criteria of this credit.	1
X	Point 9	<b>Low-Emitting Materials</b> , Composite Wood No added urea formaldehyde.	1
X	Point 10	<b>Indoor Chemical &amp; Pollutant Source Control</b> Entry grilles or grates to capture dirt. For areas with chemical processes (janitorial/storage), deck-to-deck partitions + separate exhaust.	1
X	Point 11	<b>Controllability of Systems</b> , Perimeter Operable windows for every 200 sqft of perimeter, including commercial areas (permanently occupied spaces only, excluding storage rooms).	1
X	Point 12	<b>Controllability of Systems</b> , Non-Perimeter	1
X	Point 13	<b>Thermal Comfort</b> , Comply with ASHRAE 55-1992 Compliance with ASHRAE Standard 55-2004 is now acceptable.	1
X	Point 14	<b>Thermal Comfort</b> , Permanent Monitoring System: Temperature, humidity	1
X	Point 15	<b>Daylight &amp; Views</b> , Daylight 75% of Spaces To be determined, based on the commercial areas.	1
X	Point 16	<b>Daylight &amp; Views</b> , Views for 90% of Spaces To be determined, based on the commercial areas.	1

Likely Points	3	Innovation & Design Process	8 Points
X	Point 1	<b>Innovation in Design</b> , Education Display of green design process and benefits.	1
X	Point 2	<b>Innovation in Design</b> , Integrated Pest Management + Green Housekeeping plan.	1
X	Point 3	<b>Innovation in Design</b> , Exemplary performance, such as but not limited to the following: Option 1: Exemplary savings of potable water (equivalent to 10% of water use for domestic purposes) Option 2: Exemplary recycled content (15% of the materials, excluding MEP, calculated by cost) Option 3: Exemplary storm water rate & quantity (retain 50% of the storm water instead of 20%) Option 4: 90% of waste is recycled instead of 75%.	1
X	Point 4	<b>Innovation in Design</b> , TBD	1
X	Point 5	<b>LEED™ Accredited Professional</b> are part of the project design team	1

Likely Points	29	Project Totals	69 Points
		Certified 26-32 points Silver 33-38 points Gold 39-51 points Platinum 52-69 points	

### Capitol Place will meet requirements for LEED Certification

Note: Capitol place is committed to LEED - the project has met or will likely meet requirements for all points indicated. Final points may vary.

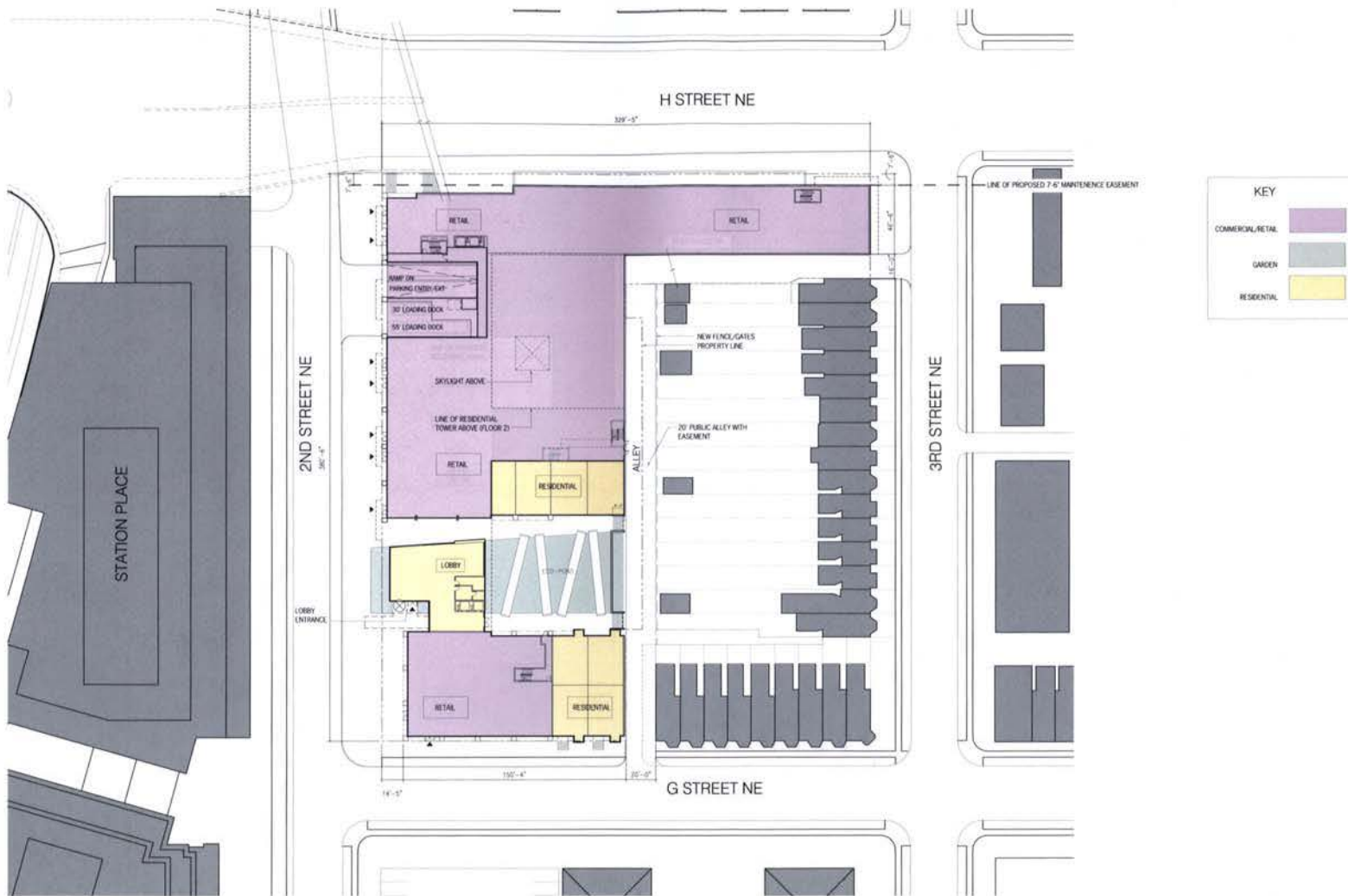
Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: LEED

Cook+Fox Architects LLP  
March 20, 2006





Capitol Place, 2nd Street, NE, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: GROUND FLOOR PLAN

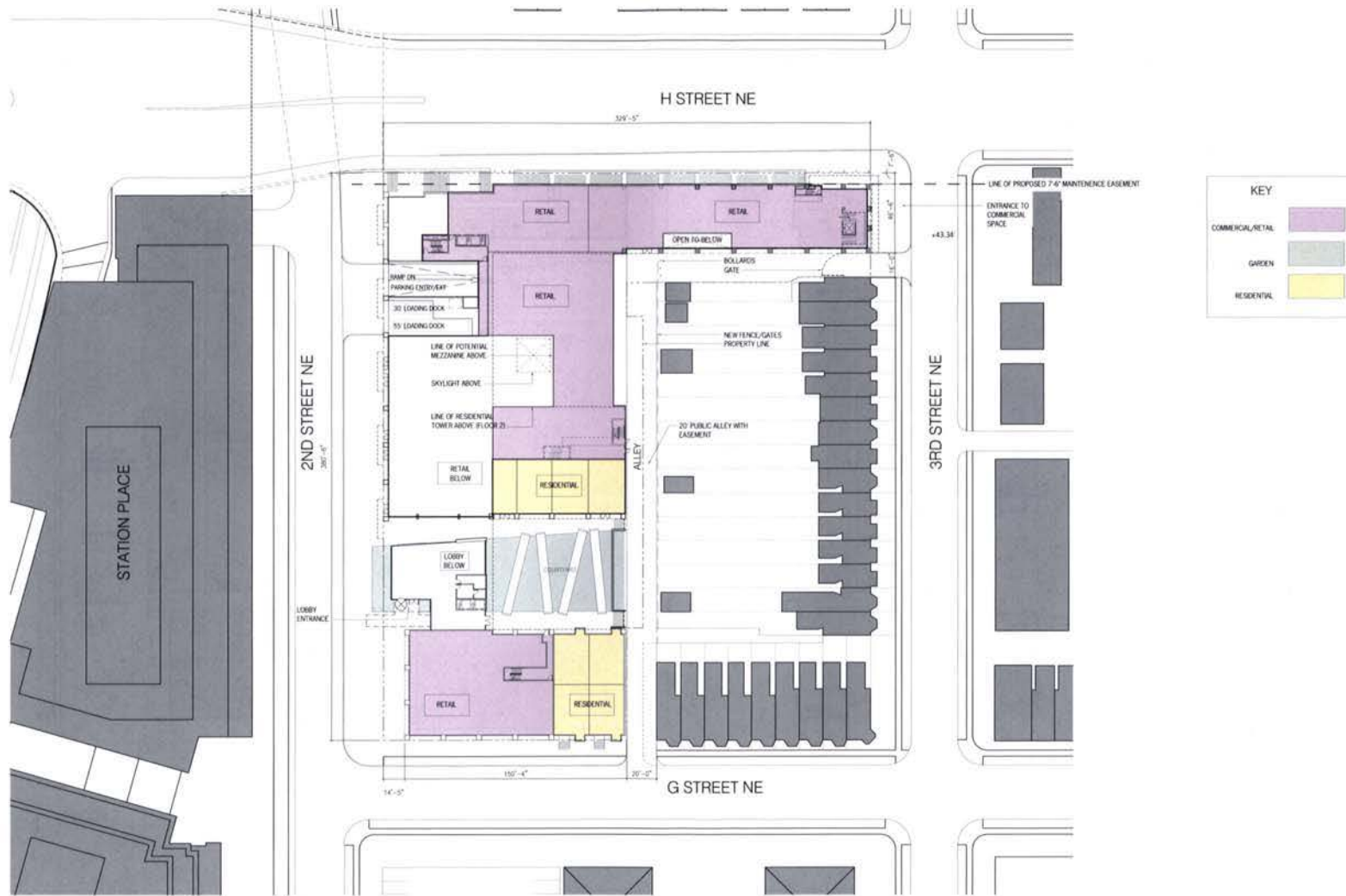
Cook+Fox Architects LLP  
March 20, 2006



25







Capitol Place, 2nd Street, NE, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: MEZZANINE FLOOR PLAN

Cook+Fox Architects LLP  
March 20, 2006



26

Cook+Fox

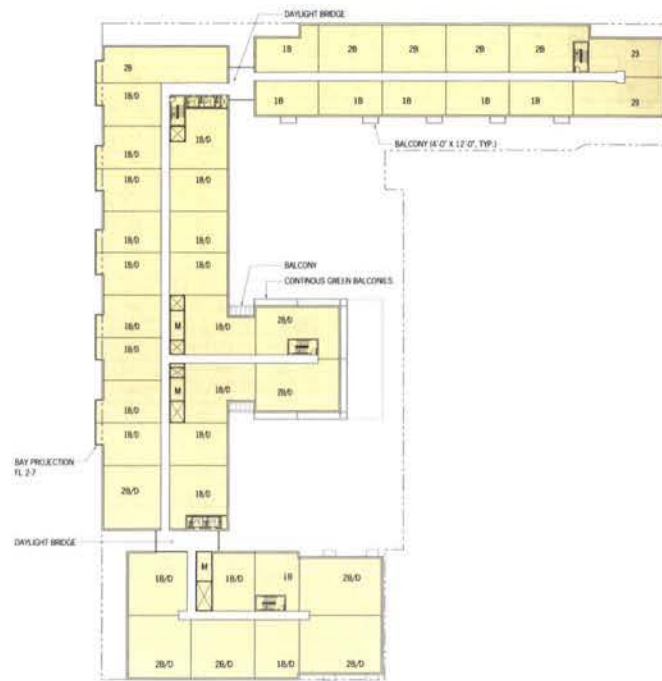


1 FLOOR 2



2 FLOOR 3

KEY	
COMMERCIAL/RETAIL	
GREEN/ROOF	
RESIDENTIAL	
MECHANICAL	

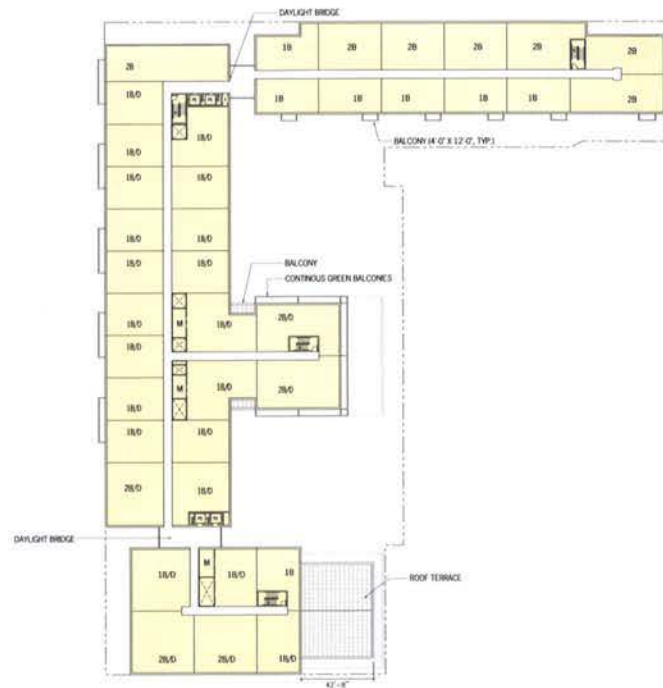


1 FLOOR 4-5



2 FLOOR 6

KEY	
COMMERCIAL/RETAIL	
GARDEN/GREEN ROOF	
RESIDENTIAL	
MECHANICAL	

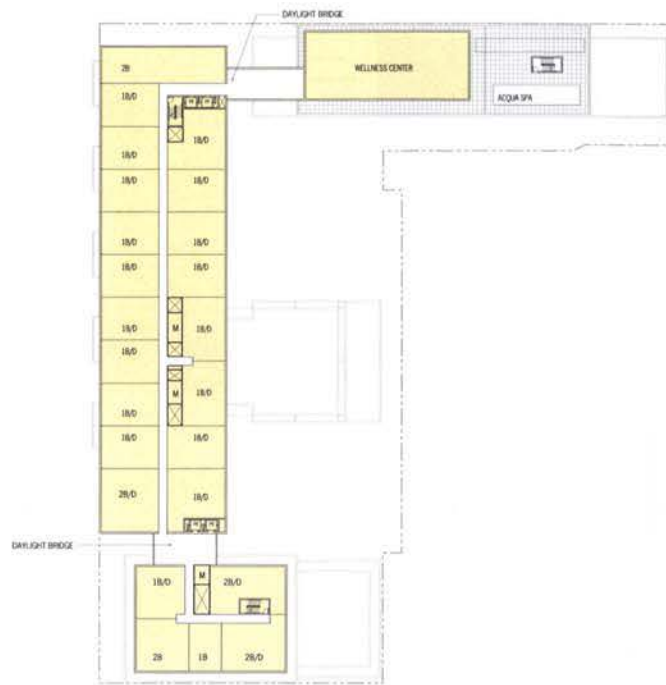


1 FLOOR 7

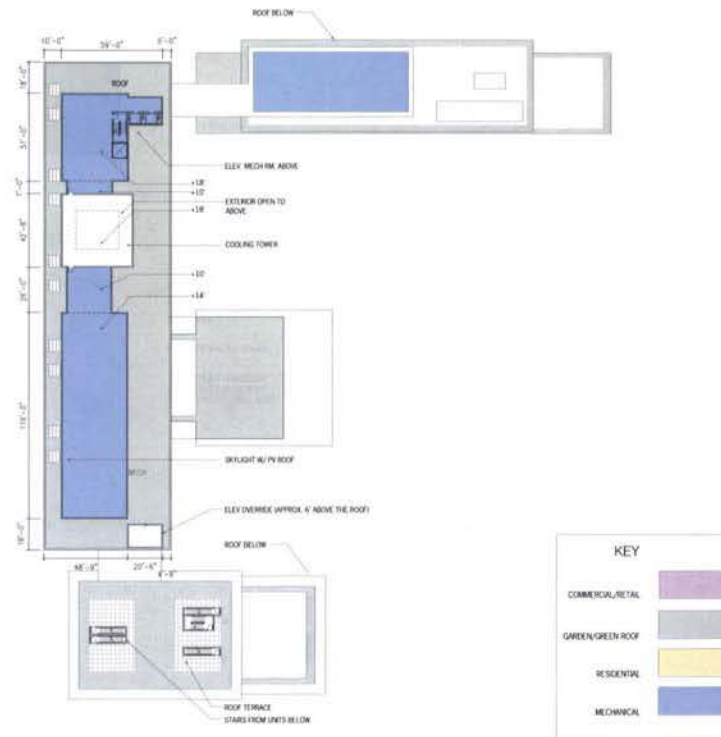


2 FLOOR 8

KEY	
COMMERCIAL/RETAIL	
GREEN/GREEN ROOF	
RESIDENTIAL	
MECHANICAL	



1 FLOOR 9



2 PENTHOUSE

Capitol Place, 2nd Street, NE, Washington D.C. Station Holdings LLC

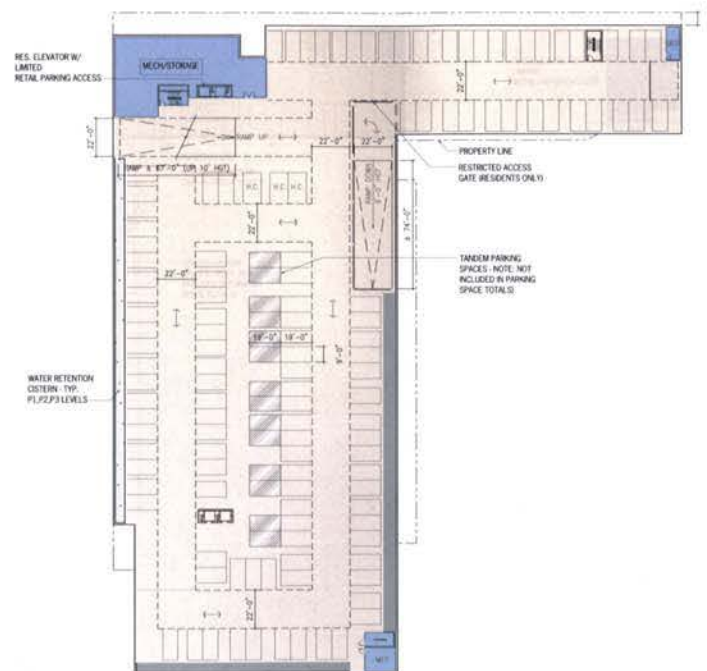
P.U.D. SUBMISSION: FLOOR PLANS: 9 AND ROOF

Cook+Fox Architects LLP  
March 20, 2006



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Cook+Fox



PARKING CALCULATION		
COMMERCIAL	1 SPACE/750 SF (over initial 3,000SF (min requirement))	
	61,556 / 750 = 83 SPACES	
RESIDENTIAL	305 RESIDENTIAL UNITS (1:1 required)	
	305 / 3 = 102 SPACES	
PROPOSED SPACES - 3 levels	403 SPACES	
	REQUIRED	PROPOSED (1:1)
TOTAL SPACES COMMERCIAL	83 SPACES	98 SPACES
TOTAL SPACES RESIDENTIAL	102 SPACES	305 SPACES
TOTAL SPACES (COMM + RES)	185 SPACES	403 SPACES
TANDEM SPACES (NOT INCLUDED IN PARKING SPACE TOTALS)		
P1	14 SPACES	
P2	14 SPACES	
P3	14 SPACES	
TOTAL TANDEM SPACES	42 SPACES	



# 1 PARKING LEVEL P1

Capitol Place, 2nd Street, NE, Washington D.C.

Station Holdings LLC

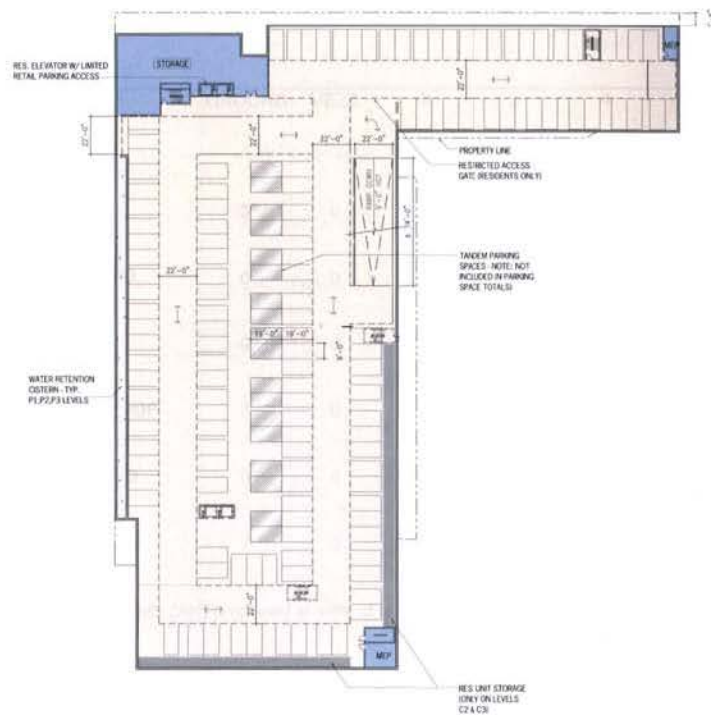
P.U.D. SUBMISSION: PARKING PLAN: LEVEL P1

Cook+Fox Architects LLP  
March 20, 2006

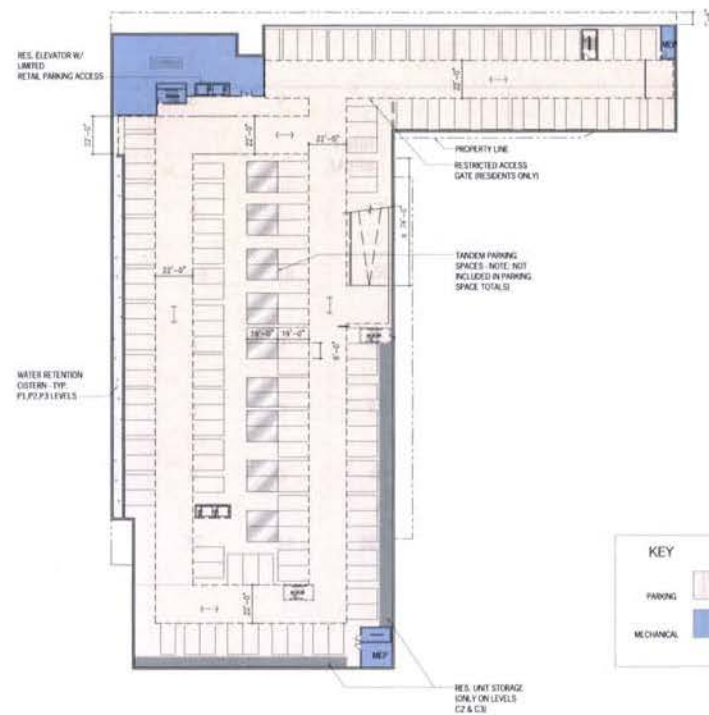


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1 PARKING LEVEL P2



2 PARKING LEVEL P3



Floor	GROUND	MEZZ.	2	3	4	5	6	7	8	9				
Unit Type											Total Units		Total AH Units	AH % of Total
1 Bedroom: <b>1B</b> (700 sf)	0	0	7	7	7	7	7	7	4	1	47		4	
1 Bedroom/Den: <b>1B/D</b> (850 sf.)	0	0	20	19	20	20	20	20	19	18	156		17	
2 Bedroom: <b>2B</b> (1,000 sf.)	0	0	5	3	7	7	7	7	4	2	42		7	
2 Bedrm Duplex: <b>2B-/DP</b> (1,500 SF)	7	0	5	0	0	0	0	0	0	0	12		1	
2 Bedroom/Den: <b>2B/D</b> (1,200 sf)	0	0	6	8	7	7	7	5	5	3	48		5	
<b>Total Units per Floor</b>	7	0	43	37	41	41	41	39	32	24	305		34	15%*
<b>Note:</b> Affordable Housing Units (AH) proposed at 15% of total units provided.														
* 15% of additional proposed building under PUD Process.														



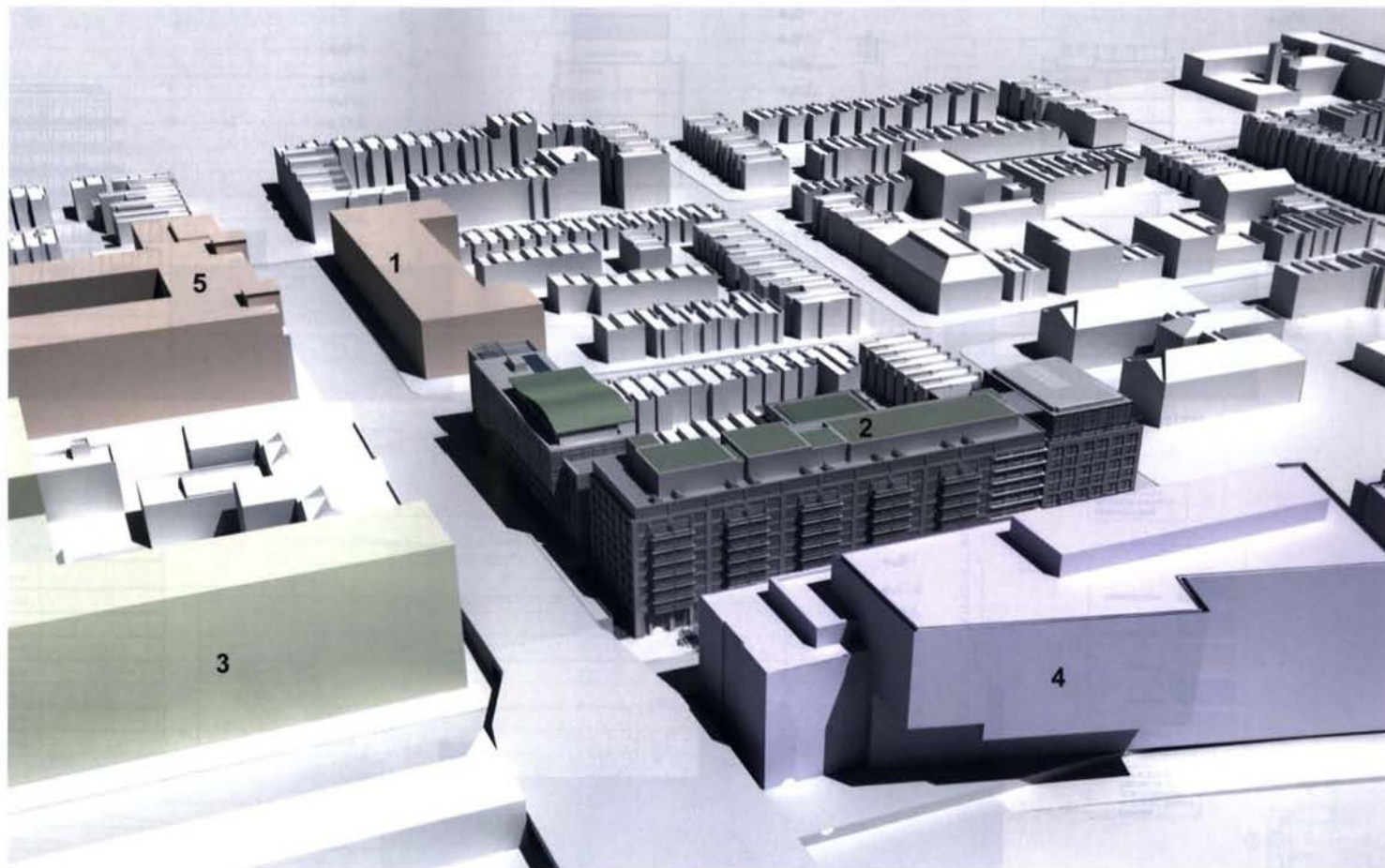
1 FUTURE DEVELOPMENT PROPOSED  
BY H STREET OVERLAY, 65' MAX.  
HEIGHT AS OF RIGHT

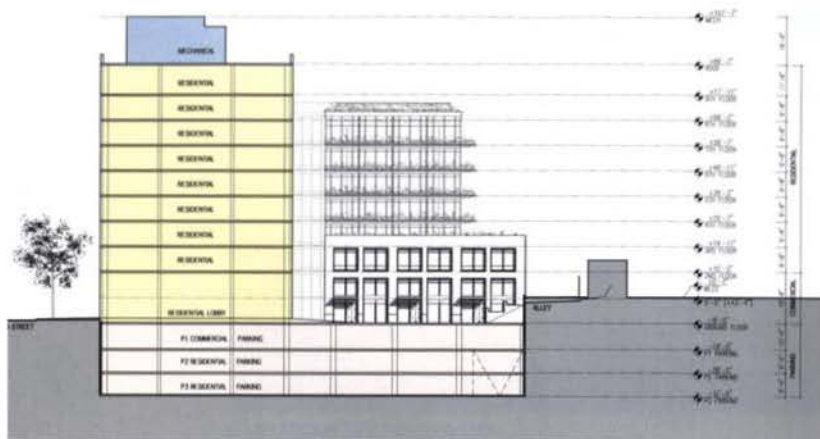
2 CAPITOL PLACE

3 SENATE SQUARE DEVELOPMENT  
(UNDER CONSTRUCTION)

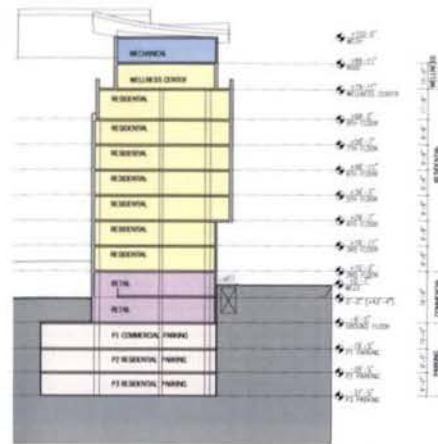
4 STATION PLACE BUILDING 3,  
APPROVED BY P.U.D. (CONSTRUC-  
TION PENDING)

5 SQUARE 776 PROPOSED  
DEVELOPMENT UNDER  
P.U.D REVIEW

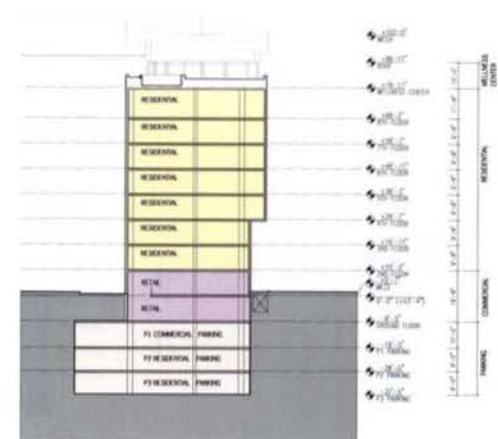




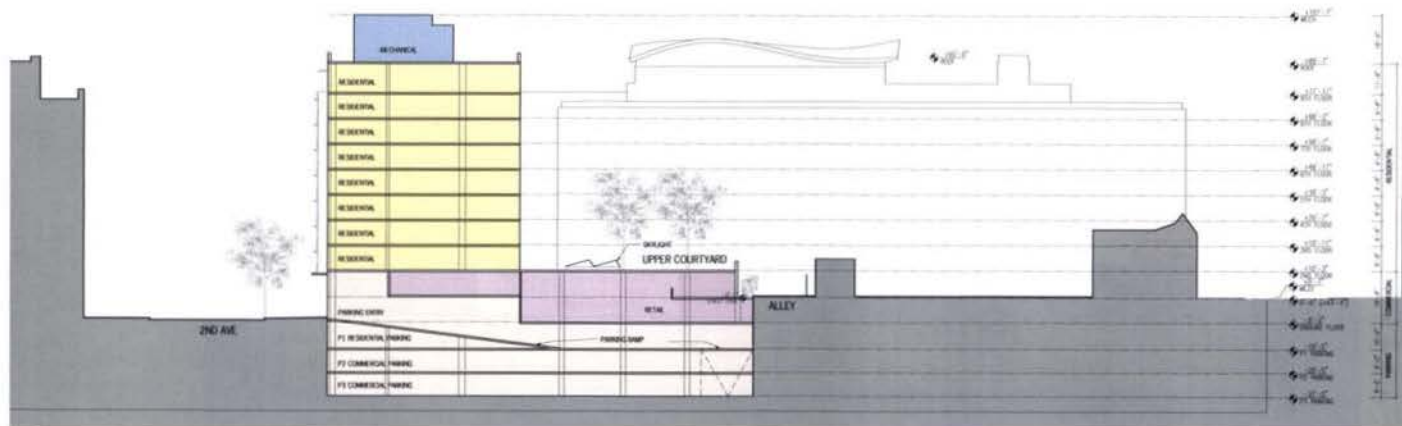
1 E-W SECTION THRU 2ND ST PAVILLION



2 N-S SECTION THRU H ST PAVILLION



3 N-S SECTION THRU H ST PAVILLION

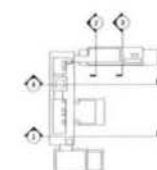


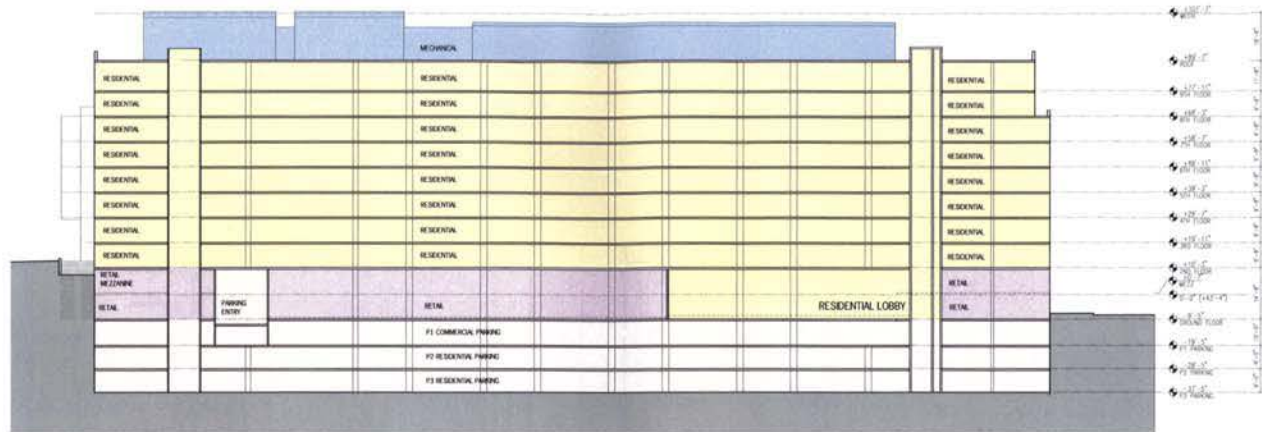
4 E-W SECTION THRU 2ND ST PAVILLION

PROJECT G.P. = 43'4"  
IMPORT OF 3RD STREET  
FOOTCUT AT CURB

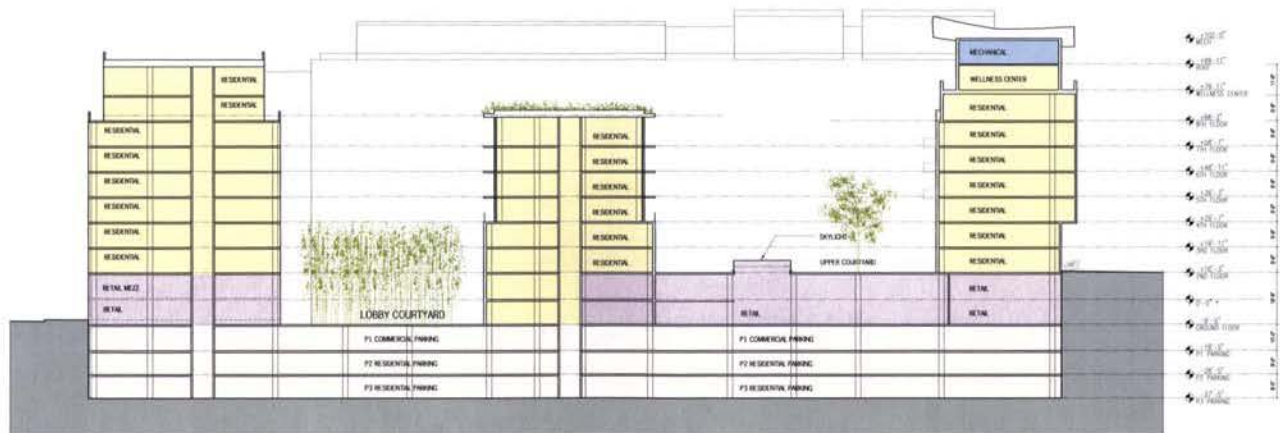


NOTE: FINAL FLOOR ELEVATION  
TO BE COORDINATED  
W/ ADJACENT SIDEWALK  
ELEVATION

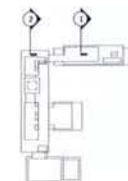




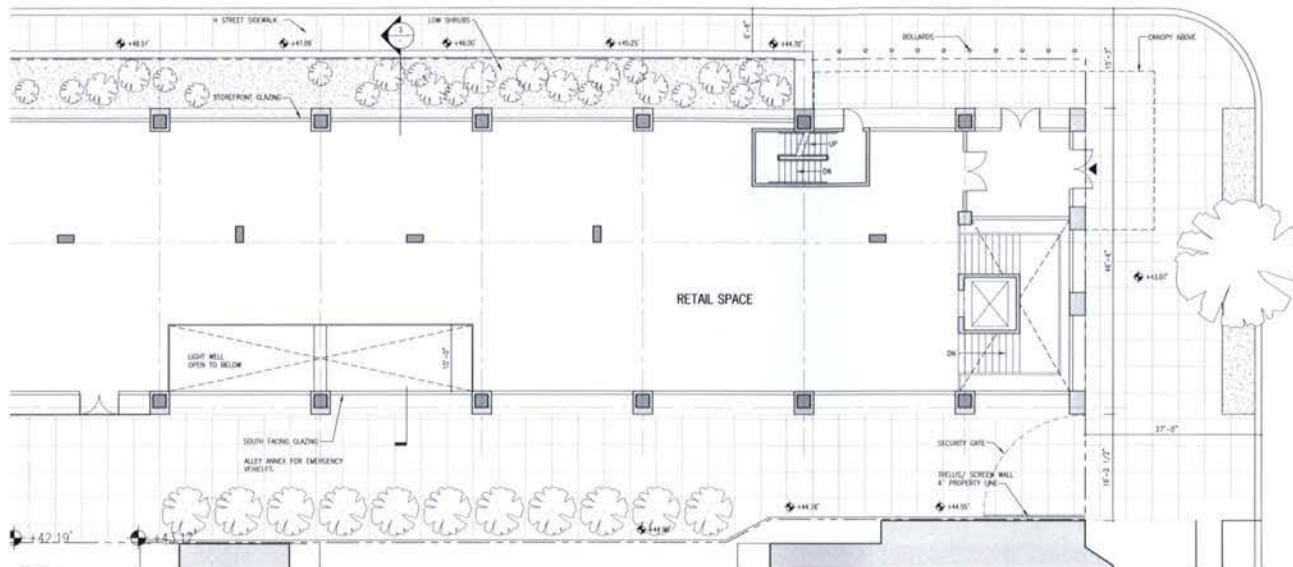
1 N-S SECTION THRU 2ND ST PAVILION



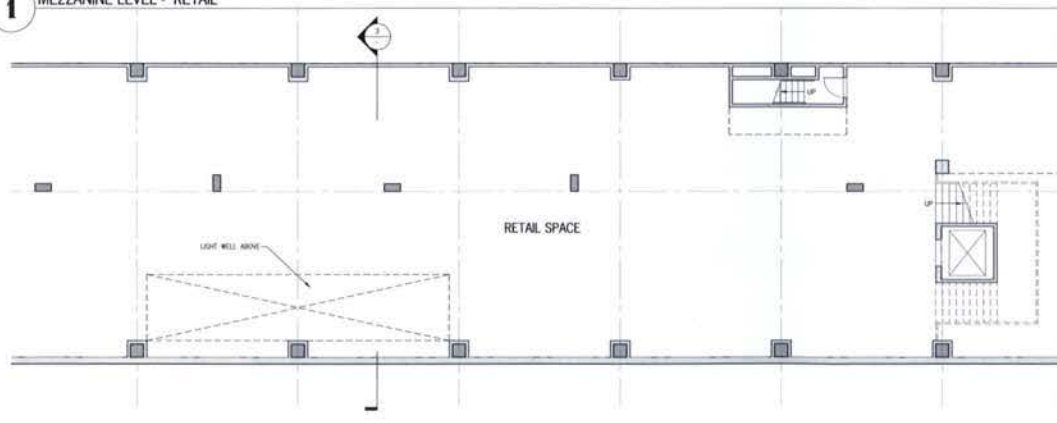
2 N-S SECTION THRU COURTYARDS



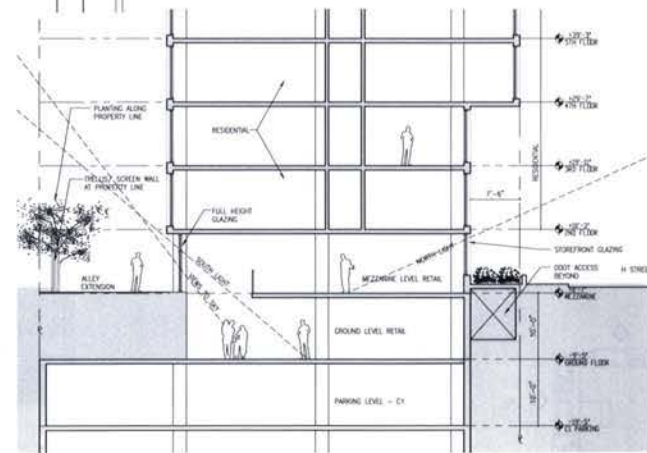




1 MEZZANINE LEVEL - RETAIL



2 GROUND LEVEL - RETAIL



3 SECTION - RETAIL

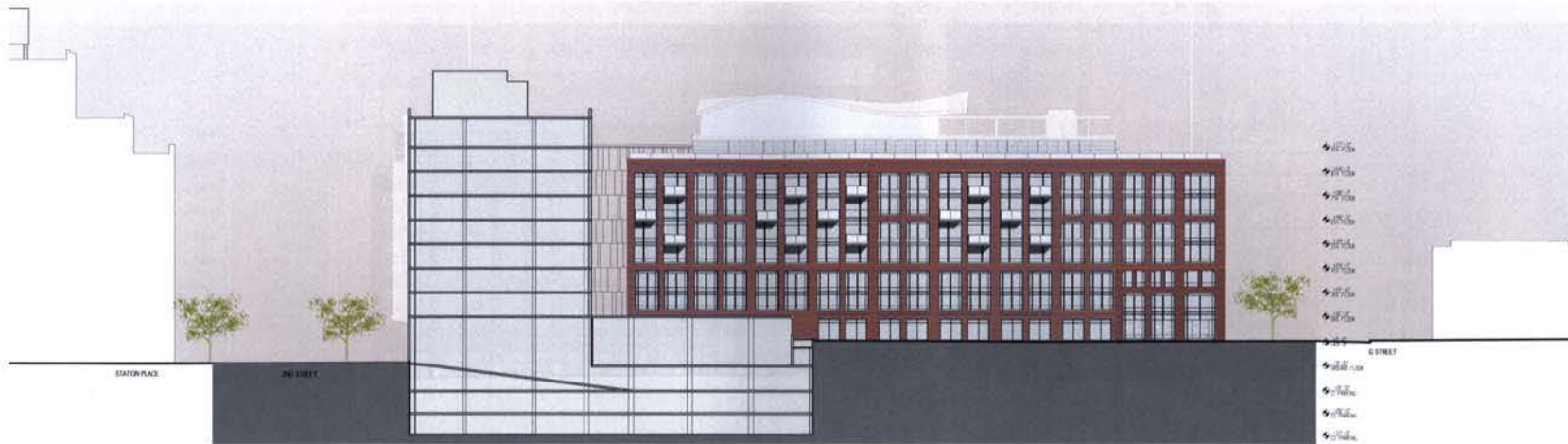


2 WEST ELEVATION - 2ND STREET



1 NORTH ELEVATION - H STREET





2 SOUTH ELEVATION - H STREET PAVILION



1 EAST ELEVATION - ALLEY

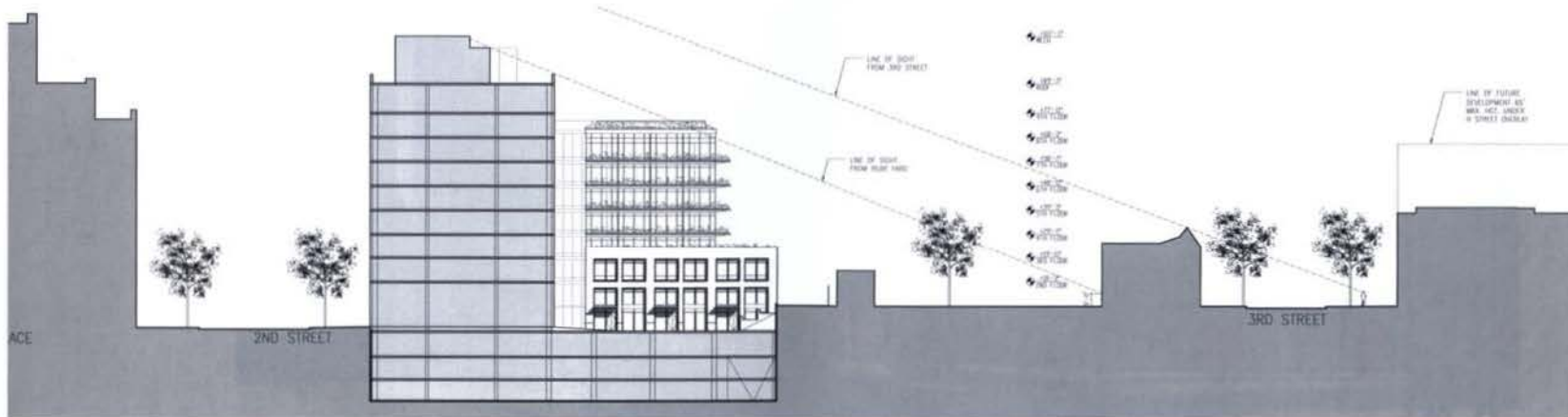




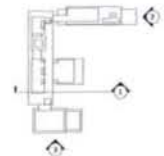
5 WEST ELEVATION - 2ND STREET



2 EAST ELEVATION - 3RD STREET



1 SITE SECTION - VIEW DIAGRAM



Capitol Place, 2nd Street, Washington D.C. Station Holdings LLC

PUD SUBMISSION - BUILDING ELEVATIONS / VIEW DIAGRAMS

Cook+Fox Architects LLP  
MARCH 20, 2006

0' 40'

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Cook+Fox





Capitol Place, 2nd Street, Washington D.C. Station Holdings LLC

P.U.D. SUBMISSION: PERSPECTIVE, 2ND STREET LOOKING NORTH

Cook+Fox Architects LLP  
March 20, 2006



Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: PERSPECTIVE, H STREET LOOKING WEST

Cook+Fox Architects LLP  
March 20, 2006



Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: PERSPECTIVE, H STREET LOOKING EAST

Cook+Fox Architects LLP  
March 20, 2006