

March 22, 2006

Wayne S. Quin  
202 663 7274  
wayne.quin@hklaw.com

VIA HAND DELIVERY

D.C. Zoning Commission  
Suite 210  
441 4<sup>th</sup> Street, N.W.  
Washington D.C. 20001

RECEIVED  
D.C. OFFICE OF ZONING  
2006 MAR 22 PM 3:10

Re: Case No. 05-37 – Capitol Place Planned Unit Development  
Square 752  
Amended Plans

Dear Members of the Commission:

The above-referenced application was filed on November 22, 2005, and requests approval of a consolidated planned unit development and related map amendment for a portion of the site from C-2-A to C-2-B. The development proposes the construction of a 305 unit apartment house with retail and service uses. The site has frontage on 2<sup>nd</sup>, 3<sup>rd</sup> G and H Streets and now comprises approximately 76,700 square feet of land area. The application originally proposed a maximum floor area ratio (FAR) of 5.73 and a maximum height of ninety feet.

Since the application was filed, the Applicant has been in discussions with the Office of Planning and with owners of nearby residential properties and representatives of some of the major community groups in the area. As a result of those discussions, the Applicant has revised the plans for which it requests approval from the Zoning Commission. The Applicant hereby submits:

- Twenty copies of a revised set of plans, dated March 20, 2006, for the project, replacing in their entirety the original plans, dated November 18, 2005; and
- Twenty copies of application forms from the owners of lots 2001, 2002 and 2003 in Square 752, to include the property at 200 G Street, N.E., in the project site.

The revisions to the project are as follows:

- The property at the corner of 2<sup>nd</sup> and G Streets has been acquired, allowing the complex to have frontage at the corner of 2<sup>nd</sup> and G Streets and removing an awkward relationship to the existing small structure. This has allowed the G Street Pavilion to be extended to the west by approximately ten feet and to have frontage on 2<sup>nd</sup> Street. The residential entry to the complex is now more visible and prominent from the south along 2<sup>nd</sup> Street.
- The G Street pavilion design has been modified in order to reduce its massing and create a more gradual transition in scale and use to the existing row houses to the east. While the

# Holland+Knight

D.C. Zoning Commission

March 22, 2006

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overall height remains at nine floors at 2<sup>nd</sup> Street, setbacks are proposed at the sixth, seventh and eighth floors towards the existing row houses. In addition, the mechanical penthouse on this pavilion has been removed, with mechanical systems to be served from the 2<sup>nd</sup> Street penthouse.

- Residential use is also proposed for a portion of the ground and mezzanine levels of the G Street pavilion. The east end of the G Street pavilion will be treated as a distinct building with fenestration and façade treatments which are more compatible with the adjacent row houses.
- The H Street pavilion has been modified to increase the residential floor area slightly, as this is the area within the site that has been identified by the H Street corridor master plan for higher density. Approximately two-thirds of a residential floor has been added at the eighth floor level. The Wellness Center, previously on the eighth floor has been shifted to the ninth floor. The massing of the pavilion has remained at seven floors at the corner of 3<sup>rd</sup> and H Streets in order to maintain the previous relationship to the existing row houses along 3<sup>rd</sup> Street. The use of the ground and mezzanine levels at H and 3<sup>rd</sup> Streets has also been revised from office to retail use in order to better serve neighborhood residents.
- The Garden pavilion has also been modified in order to reduce its massing and create a more gradual transition in scale and use to the existing residential neighbors to the east. The eighth and ninth floors have been eliminated and a setback of approximately twenty-five feet has been introduced at the third floor adjacent to the alley. Residential use has also been introduced at the ground and mezzanine levels facing into the Eco-pond courtyard and the alley in lieu of retail.
- The mechanical penthouse on the 2<sup>nd</sup> Street Pavilion has been reduced in height and articulated as a series of rooftop components in lieu of one large mass. The penthouse has also been shifted to the west, closer to the 2<sup>nd</sup> Street frontage, in order to reduce its visibility from the existing residential neighbors to the east. The penthouse setback along 2<sup>nd</sup> Street is ten feet with a maximum height of eighteen feet.

The result of these changes has been to reduce the FAR of the project to approximately 5.50.

In addition, the Applicant has been discussing with the community the specifics of that portion of the amenity package for the PUD related to the historic preservation benefits to the surrounding neighborhood. The Applicant will provide specific language to the Commission regarding the historic preservation survey and other options prior to the hearing.

# Holland+Knight

D.C. Zoning Commission  
March 22, 2006  
Page 3

The Applicant respectfully requests that the Commission consider this matter at its earliest convenience and schedule a public hearing on the application based on the revised plans submitted herewith.

Sincerely,



Wayne S. Quin



Thomas J. Carroll

## Attachments

cc: Jennifer Steingasser, D.C. Office of Planning  
Travis Parker, D.C. Office of Planning  
Advisory Neighborhood Commission 6C

# 3665609\_v1

ZONING COMMISSION OF THE DISTRICT OF COLUMBIA

APPLICATION FOR CONSOLIDATED APPROVAL OF A PLANNED UNIT DEVELOPMENT

Before filling out this form, please see the instructions on the reverse side. Print or type all information unless otherwise indicated.

In accordance with the provisions of Chapter 24 of the Zoning Regulations, request is hereby made for consolidated approval of a Planned Unit Development, details of which are as follows:

Square No.	Lot Nos.	Existing Zoning	Requested Zoning
752	2001	C-2-A	C-2-B .
	2002	C-2-A	C-2-B .
			. .
			. .

Address or description of the premises: 200 G Street, N.E.

Area of the Site: 76,700 square feet or acres

Baist Atlas No. 2, Page 7.

Brief description of the proposal: Applicant intends to construct a new building on the site of approximately 421,850 square feet of gross floor area, approximately 5.50 FAR, containing approximately 304 apartment units and approximately 62,000 square of gross floor area devoted to neighborhood serving retail and service uses. The building will have a maximum height of 90 feet stepping down to the east side of the site and will contain approximately 403 parking spaces.

Concurrent change of zoning requested (check one): X Yes No

The above information and attached documents are true to the best of my knowledge

[Handwritten signature of Karen Sealander]

3-13-06 Date

Owner's Signature Evans H. Sealander, Winfield S. Sealander Karen Sealander Owner's Printed Name

Person to be notified of all actions:

Whayne S. Quin/Thomas J. Carroll Name 202-955-3000 Telephone Number Holland & Knight LLP Address 2099 Pennsylvania Avenue, N.W., Washington D.C. 20006 Zip Code

MAR 21 2006

ZONING COMMISSION OF THE DISTRICT OF COLUMBIA

APPLICATION TO AMEND THE ZONING MAP

Before filling out this form, please see the instructions on the reverse side. Print or type all information unless otherwise indicated.

In accordance with the provisions of Section 102 of the Zoning Regulations, request is hereby made for an amendment to the Zoning Map as follows:

Table with 4 columns: Square No., Lot Nos., Existing Zoning, Requested Zoning. Row 1: 752, 2001, C-2-A, C-2-B. Row 2: 2002, C-2-A, C-2-B.

Address or description of the premises: 200 G Street, N.E.

Area of the Site: 800 square feet or acres

Baist Atlas No. 2, Page 7.

The above information and attached documents are true to the best of my knowledge.

Handwritten signature of Karen Sealander over Owner's Signature line.

3/13/06 over Date line.

Evans H. Sealander
Winfield S. Sealander
Karen Sealander
Owner's Printed Name

Person to be notified of all actions:

Whayne S. Quin/Thomas J. Carroll 202-955-3000
Name Telephone Number
Holland & Knight LLP
2099 Pennsylvania Avenue NW Washington DC 20006
Address Zip Code

MAR 21 2006

ZONING COMMISSION OF THE DISTRICT OF COLUMBIA

APPLICATION FOR CONSOLIDATED APPROVAL OF A PLANNED UNIT DEVELOPMENT

Before filling out this form, please see the instructions on the reverse side. Print or type all information unless otherwise indicated.

In accordance with the provisions of Chapter 24 of the Zoning Regulations, request is hereby made for consolidated approval of a Planned Unit Development, details of which are as follows:

Table with 4 columns: Square No., Lot Nos., Existing Zoning, Requested Zoning. Row 1: 752, 2003, C-2-A, C-2-B.

Address or description of the premises: 200 G Street, N.E.

Area of the Site: 76,700 square feet or acres

Baist Atlas No. 2, Page 7.

Brief description of the proposal: Applicant intends to construct a new building on the site of approximately 421,850 square feet of gross floor area, approximately 5.50 FAR, containing approximately 304 apartment units and approximately 62,000 square of gross floor area devoted to neighborhood serving retail and service uses. The building will have a maximum height of 90 feet stepping down to the east side of the site and will contain approximately 403 parking spaces.

Concurrent change of zoning requested (check one): X Yes No

The above information and attached documents are true to the best of my knowledge.

Owner's Signature (Handwritten signature)

Date 3/17/06

Winfield S. Sealander
Owner's Printed Name

Person to be notified of all actions:

Whayne S. Quin/Thomas J. Carroll
Name 202-955-3000 Telephone Number
Holland & Knight LLP
2099 Pennsylvania Avenue, N.W., Washington D.C. 20006
Address Zip Code

MAR 21 2006

ZONING COMMISSION OF THE DISTRICT OF COLUMBIA

APPLICATION TO AMEND THE ZONING MAP

Before filling out this form, please see the instructions on the reverse side. Print or type all information unless otherwise indicated.

In accordance with the provisions of Section 102 of the Zoning Regulations, request is hereby made for an amendment to the Zoning Map as follows:

Table with 4 columns: Square No., Lot Nos., Existing Zoning, Requested Zoning. Row 1: 752, 2003, C-2-A, C-2-B.

Address or description of the premises: 200 G Street, N.E.

Area of the Site: 400 square feet or acres

Baist Atlas No. 2, Page 7.

The above information and attached documents are true to the best of my knowledge.

Owner's Signature (Handwritten signature)

Date 3/17/06

Winfield S. Sealander
Owner's Printed Name

Person to be notified of all actions:

Whayne S. Quin/Thomas J. Carroll
Name
Holland & Knight LLP
2099 Pennsylvania Avenue NW Washington DC 20006
Address
202- 955-3000
Telephone Number
20006
Zip Code



# Capitol Place

Received  
D.C. Office of Planning  
February 02, 2015 10:28:10



ZONING COMMISSION  
District of Columbia  
Case 05-37  
Exhibit 17

## PROJECT TEAM

Client: Station Holdings LLC  
c/o: Louis Dreyfus Property Group

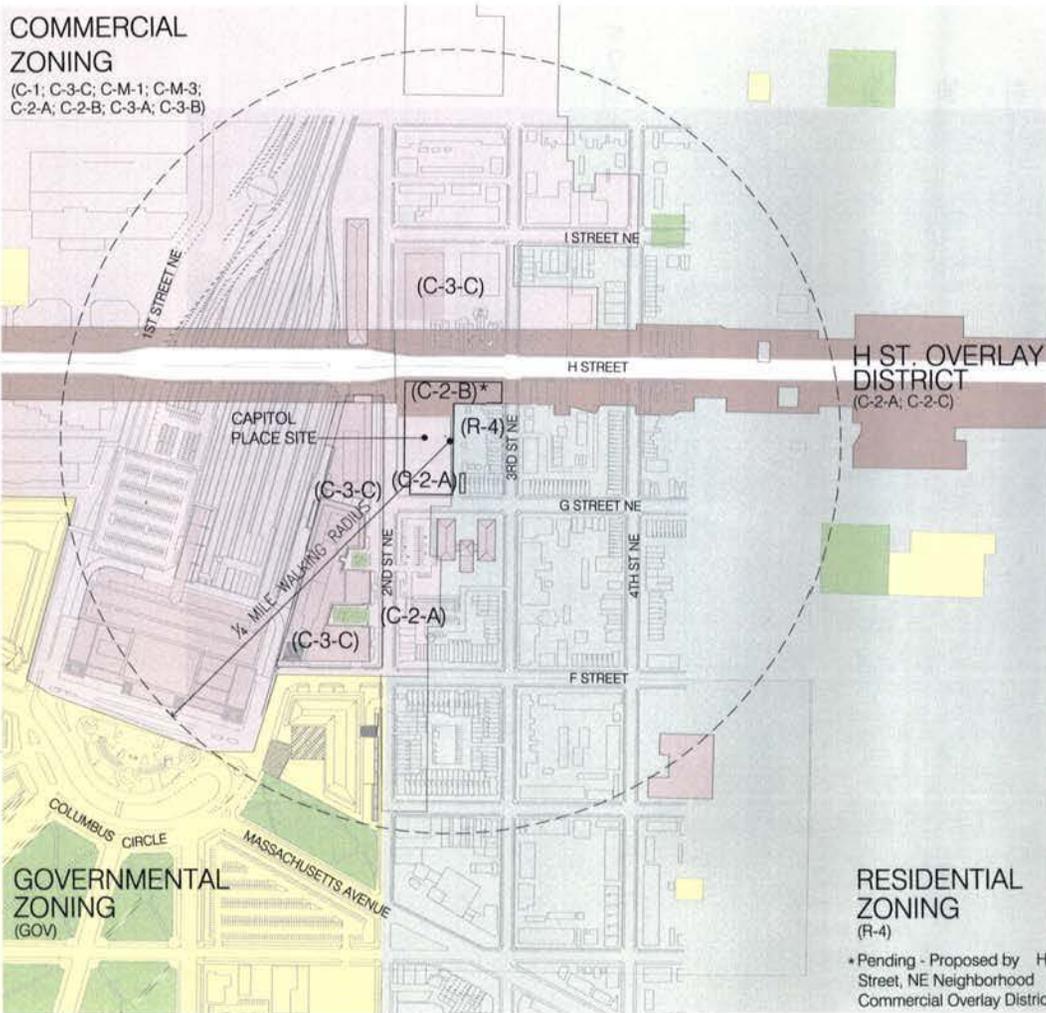
Architect: Cook + Fox Architects LLP  
MEP: Tolk, Inc  
Structural: Tradger-Cohen-Edelson Associates, Inc  
Site Civil: Wiles Mensch Corporation  
Landscape: Jack Curtis & Associates  
Traffic: Wells & Associates  
Sustainable Design: Steven Winter Associates, Inc  
Sustainable Design  
Advocacy: Browning & Bannon, LLC  
Zoning: Holland & Knight LLP  
Residential: The Mayhood Group  
Retail: Street Sense

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# COMMERCIAL ZONING

(C-1; C-3-C; C-M-1; C-M-3; C-2-A; C-2-B; C-3-A; C-3-B)



### ZONING TABULATION:

SQUARE:	752
PROPOSED ZONING:	C-2B
SITE AREA:	76,700 SF
USE:	RETAIL/PROFESSIONSL OFFICE/ RESIDENTIAL
LOT OCCUPANCY:	COVERAGE T.B.D.
BUILDING HEIGHT:	90'-0" MAX.
PENTHOUSE HEIGHT:	18'-6" MAX.
PENTHOUSE AREA:	.37 FAR MAX.
REAR YARDS:	15' REQUIRED - 45' PROVIDED
SIDE YARDS:	NONE

PARKING:		REQUIRED	PROPOSED
		83 SPACES	98 SPACES
	COMMERCIAL:		
	RESIDENTIAL (305 UNITS):	102 SPACES (1:3)	305 SPACES (1:1)
	COMMERCIAL:	1 BERTH @ 30'	1 BERTH @ 30'
	RESIDENTIAL:	1 PLATFORM @ 200 SF 1 BERTH @ 55'	1 PLATFORM @ 200 SF 1 BERTH @ 55'
		1 PLATFORM @ 200 SF 1 SERVICE SPACE @ 20'-0"	1 PLATFORM @ 200 SF 1 SERVICE SPACE @ 20'-0"

BUILDING AREA:		PERMITTED (PUD)	PROPOSED
		76,700 SF 1 FAR	46,072 SF 6.0 FAR
	COMMERCIAL:		
	RESIDENTIAL:	383,500 SF 5.0 FAR	375,918 SF 4.90 FAR
	<b>TOTAL:</b>	<b>460,200 SF 6.0 FAR</b>	<b>421,990 SF 5.50 FAR</b>

### BUILDING CALCULATIONS:

FLOOR	NON-FAR	GROSS FLOOR AREA		TOTAL GFA
		COMMERCIAL	RESIDENTIAL	
MECH PENTHOUSE	14,968 SF	-	30,841 SF	30,841 SF
FLOOR 9	-	-	36,111 SF	36,111 SF
FLOOR 8	-	-	45,138 SF	45,138 SF
FLOOR 7	500 SF	-	47,527 SF	47,527 SF
FLOOR 6	500 SF	-	48,430 SF	48,430 SF
FLOOR 5	500 SF	-	48,837 SF	48,837 SF
FLOOR 4	500 SF	-	47,137 SF	47,137 SF
FLOOR 3	500 SF	-	20,334 SF	10,116 SF
FLOOR 2	500 SF	-	25,738 SF	13,351 SF
FLOOR 1M	19,475 SF	-	-	-
FLOOR P1	69,300 SF	-	-	-
FLOOR P2	69,300 SF	-	-	-
FLOOR P3	69,300 SF	-	-	-
<b>TOTAL BUILDING AREA</b>		<b>46,072 SF</b>	<b>375,918 SF</b>	<b>421,990 SF</b>

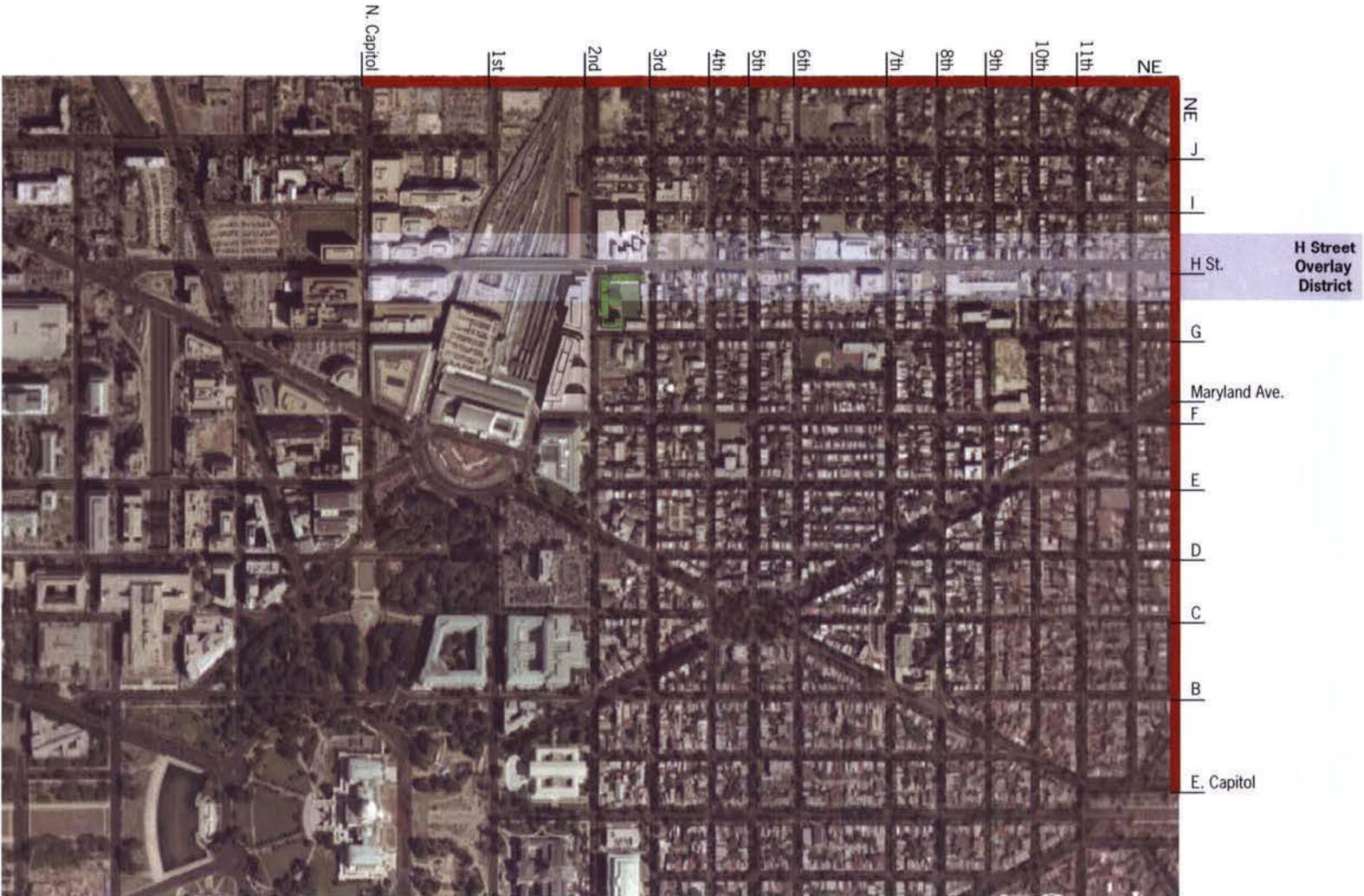
FAR:	COMMERCIAL	RESIDENTIAL	TOTAL BUILDING
	0.60 FAR	4.90 FAR	5.50 FAR

Capitol Place, 2nd Street, NE, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: ZONING TABULATION

Cook + Fox Architects LLP  
March 20, 2006



Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: AERIAL SITE PHOTO

Cook+Fox Architects LLP  
March 20, 2006





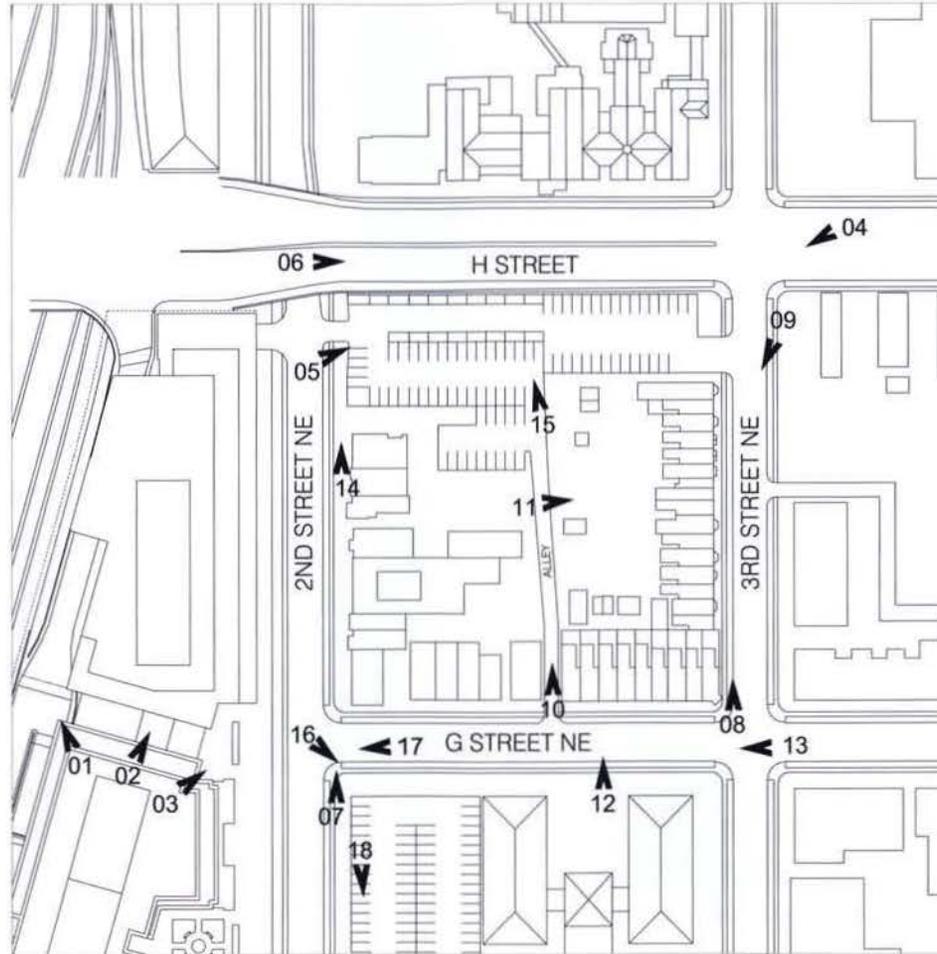
H Street



2nd Street



2nd Street



H Street



G Street



G Street



01



02



03



04



05



06



07



08



09



10



11



12



13



14



15



16



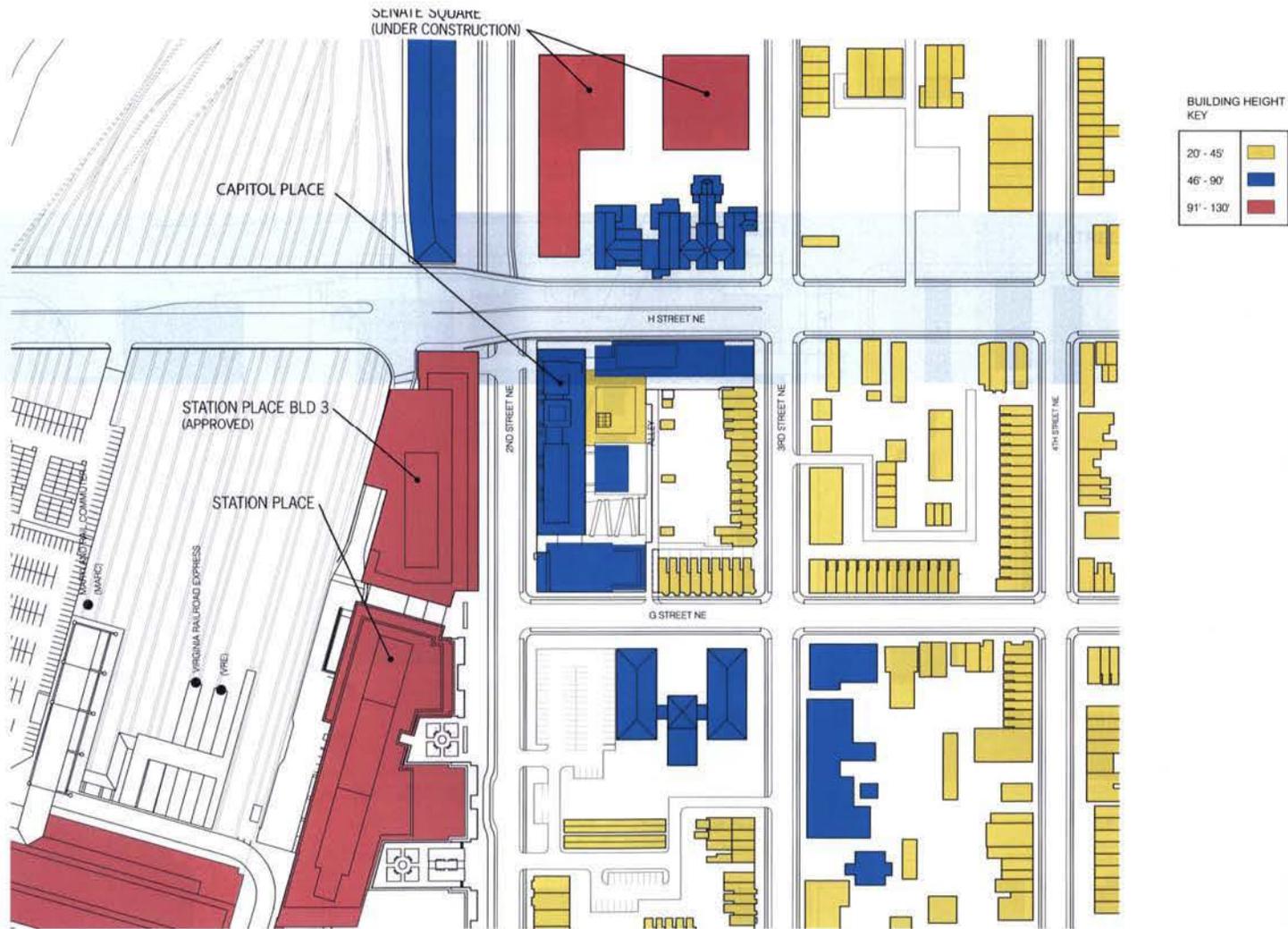
Rendering of approved Station Place building

17



18

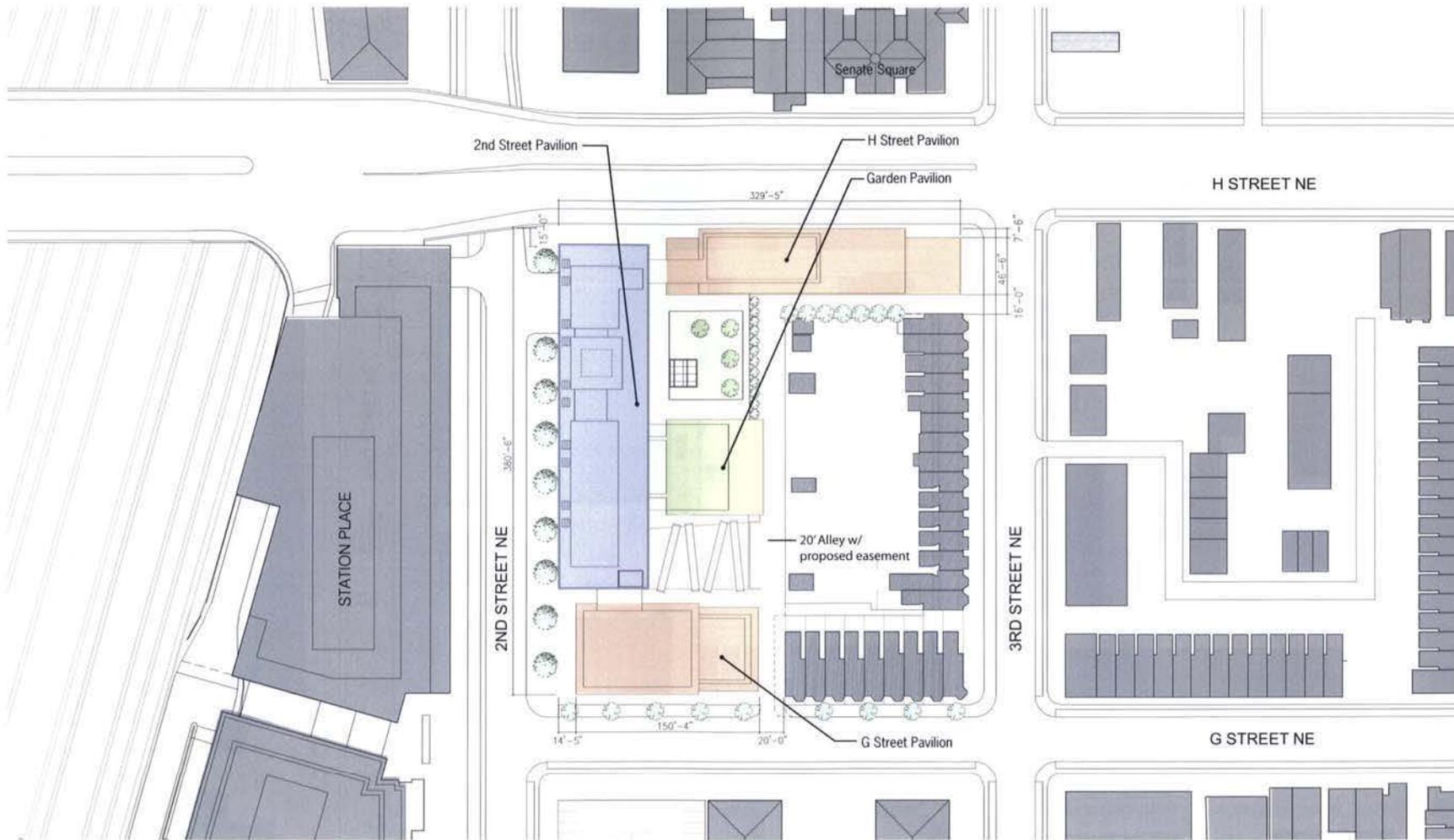
H Street  
Overlay  
District



Capitol Place, 2nd Street, NE, Washington D.C. Station Holdings LLC

P.U.D. SUBMISSION: SITE CONTEXT - BUILDING HEIGHTS

Cook+Fox Architects LLP  
March 20, 2006



Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

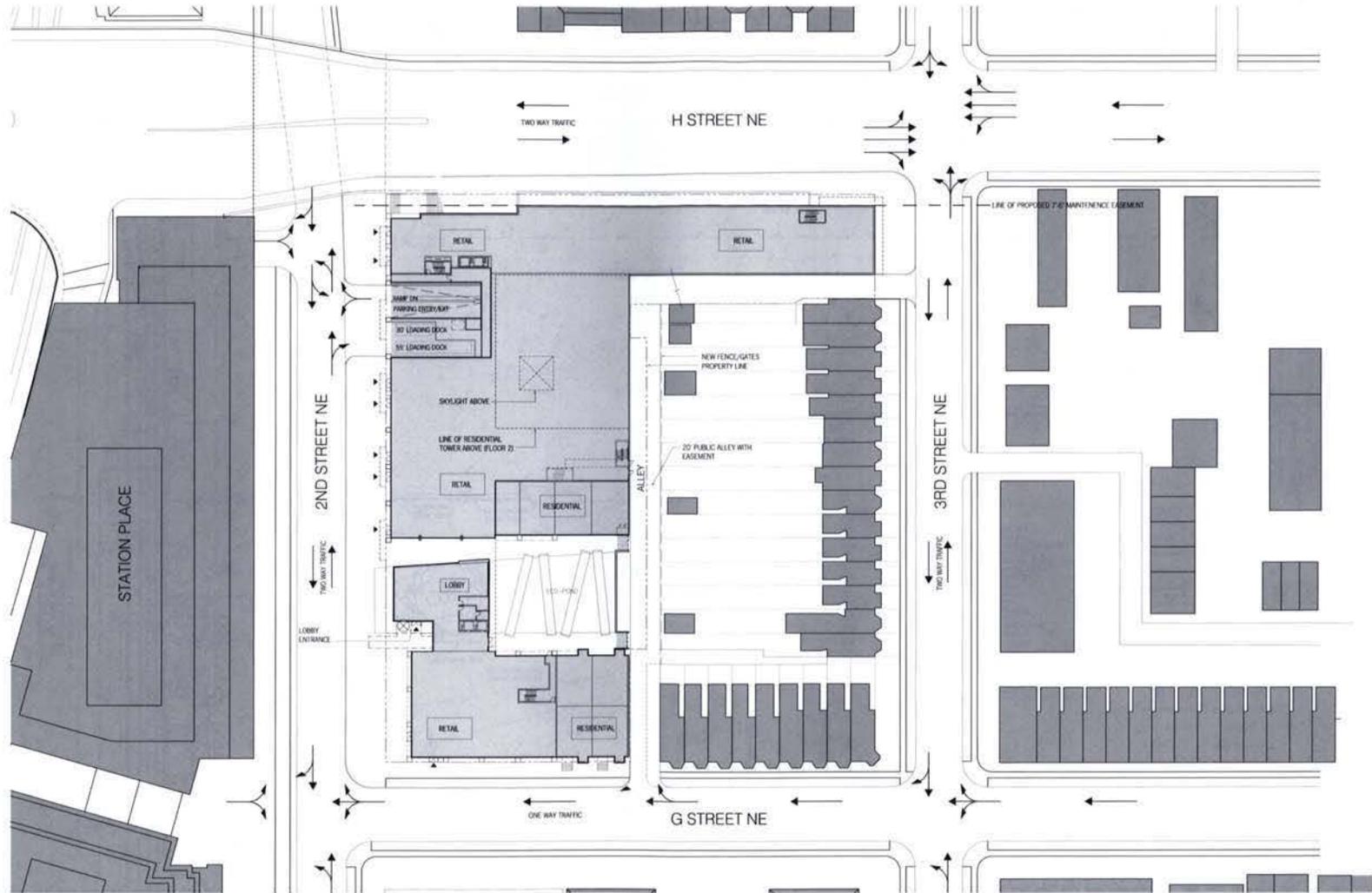
P.U.D. SUBMISSION: SITE PLAN

Cook+Fox Architects LLP  
March 20, 2006

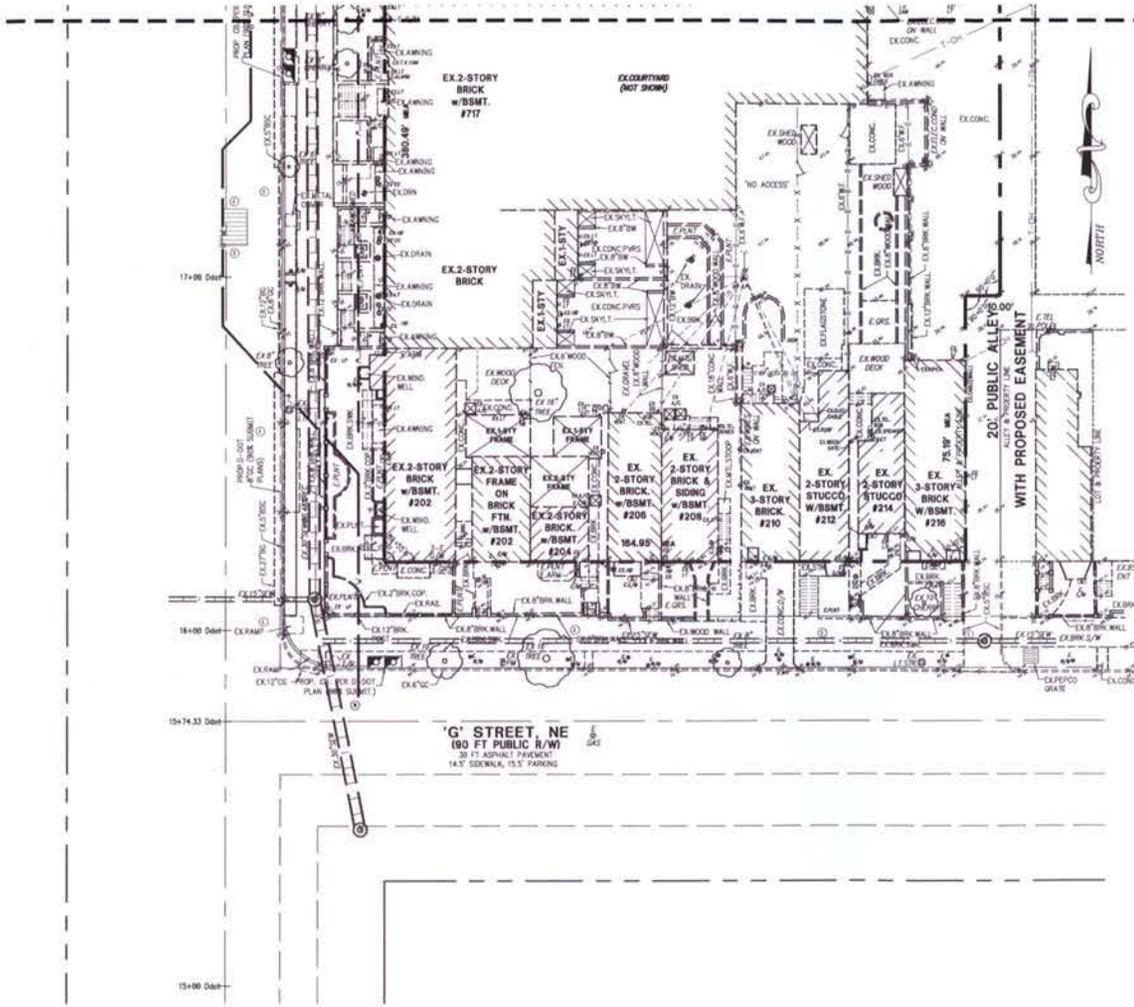


10

Cook+Fox







**ABBREVIATIONS:**

APP	APPROXIMATE	IP	IRON PIPE
ASP	ASPHALT/WOOD CONCRETE	LP	LIGHT POLE
BLOG	BUILDING	MM	MANHOLE STRUCTURE
BC	BLUESHINE CURB	DN	DRAINAGE
BRW	BRICK	PC	PORTLAND CEMENT CONCRETE
CC	CONCRETE CURB	PM	PARKING METER
CD	CURB & GUTTER	PROP	PROPOSED
CJ	CONTRACTION JOINT	RAD	RADIUS
CL	CENTER LINE	SAN	SANITARY
CLF	CHAIN LINK FENCE	SEW	SEWER
CO	CLEAN OUT	STD	STANDARD
CONC	CONCRETE	STM	STORM
COMB	COMBINED(S)	STY	STORY (FLOOR)
CONC	CONCRETE	SWM	SEWER
DOM	DOMESTIC	T	TELEPHONE
DWG	DRAWINGS(S)	TYP	TYPICAL
E	ELECTRICAL	USE	UNDERGROUND ELECTRIC
EC	END OF CURB	W	WATER
ELEV	ELEVATION	WL	WATER LINE
ELEC	ELECTRICAL	WM	WATER MAIN
EJ	EXPANSION JOINT	WF	WATER INLET
ENT	ENTRANCE	WV	WATER VALVE
EX	EXISTING	WV	WATER VALVE
FW	FEED W/DRANK	WV	WATER VALVE
FT	FEET/FOOT	WV	WATER VALVE
G	GRASS	WV	WATER VALVE
GND	GRANITE	WV	WATER VALVE

**APPROXIMATE SITE AREA:  
75,500 SQ.FT. OR 1.73 ACRE**

**EXISTING LEGEND**

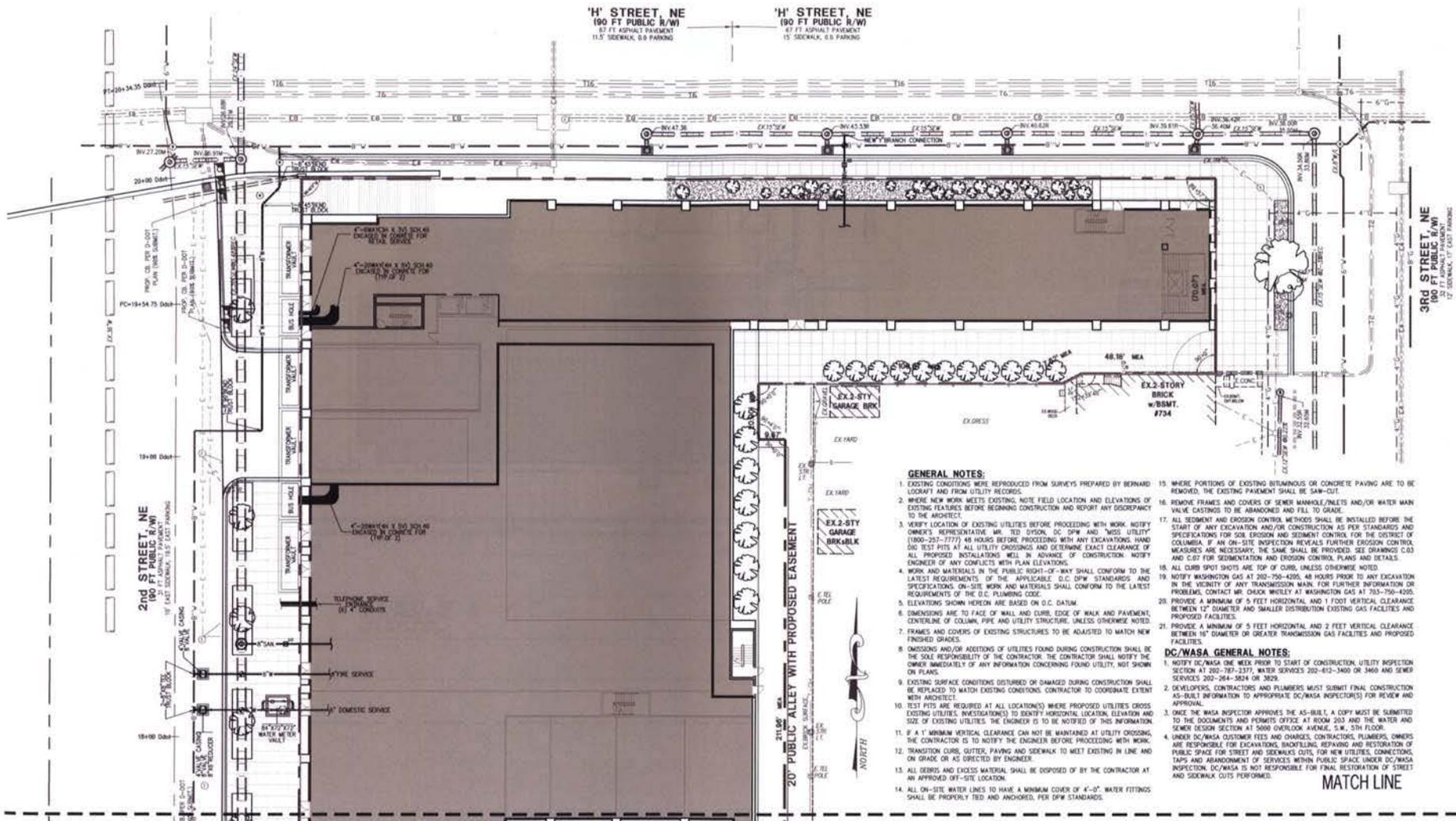
	ELECTRIC LINE & STRUCTURE
	TELEPHONE LINE & STRUCTURE
	LIGHT POLE, STREET LIGHT
	COMBINED SEWER & MH
	STORM INLET
	GAS LINE & VALVE
	WATER LINE & MH
	WATER STRUCTURES
	TEST PIT REQUIRED
	PARKING METER
	CHAIN LINK FENCE
	CONTOURS
	SPOT ELEVATIONS
	FACE OF BUILDING
	CONCRETE SIDEWALK
	CURB & GUTTER
	HEADER CURB
	EDGE OF PAVEMENT
	PAVEMENT MARKING
	RETAINING WALL

Capitol Place, 2nd Street, Washington D.C. Station Holdings LLC

P.U.D. SUBMISSION: EXISTING CONDITIONS PLAN "B"

Cook+Fox Architects LLP  
March 20, 2006





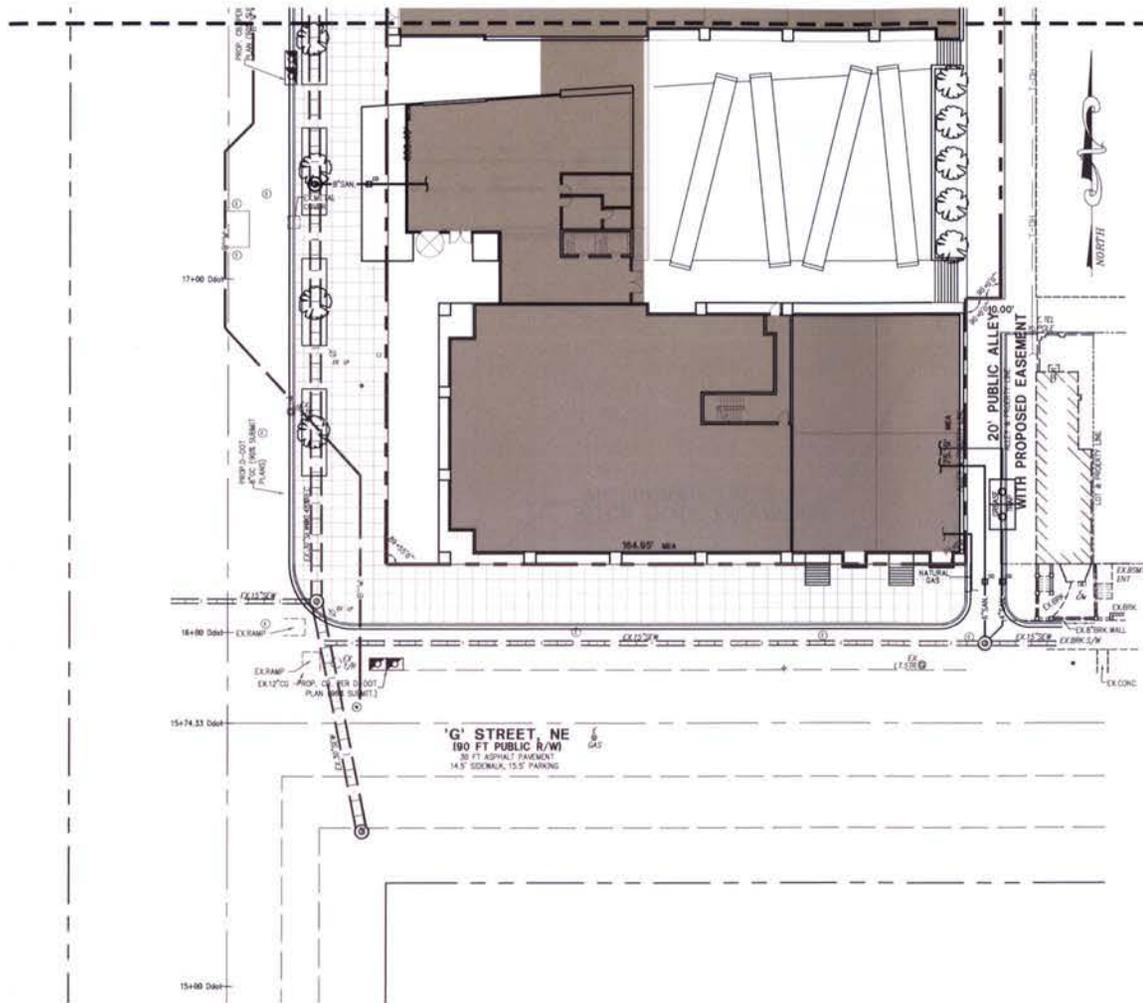
**GENERAL NOTES:**

- EXISTING CONDITIONS WERE REPRODUCED FROM SURVEYS PREPARED BY BERNARD LOGRAFT AND FROM UTILITY RECORDS.
- WHERE NEW WORK MEETS EXISTING, NOTE FIELD LOCATION AND ELEVATIONS OF EXISTING FEATURES BEFORE BEGINNING CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT.
- VERIFY LOCATION OF EXISTING UTILITIES BEFORE PROCEEDING WITH WORK. NOTIFY OWNER'S REPRESENTATIVE MR. TED DYSON, DC DPW AND "MISS UTILITY" (1800-257-7777) 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATIONS. HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND DETERMINE EXACT CLEARANCE OF ALL PROPOSED INSTALLATIONS WELL IN ADVANCE OF CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS WITH PLAN ELEVATIONS.
- WORK AND MATERIALS IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE APPLICABLE D.C. DPW STANDARDS AND SPECIFICATIONS. ON-SITE WORK AND MATERIALS SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE D.C. PLANNING CODE.
- ELEVATIONS SHOWN HEREON ARE BASED ON D.C. DATUM.
- DIMENSIONS ARE TO FACE OF WALL AND CURB, EDGE OF WALK AND PAVEMENT, CENTERLINE OF COLUMN, PIPE AND UTILITY STRUCTURE, UNLESS OTHERWISE NOTED.
- FRAMES AND COVERS OF EXISTING STRUCTURES TO BE ADJUSTED TO MATCH NEW FINISHED GRADES.
- OMISSIONS AND/OR ADDITIONS OF UTILITIES FOUND DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY INFORMATION CONCERNING FOUND UTILITY, NOT SHOWN ON PLANS.
- EXISTING SURFACE CONDITIONS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH EXISTING CONDITIONS. CONTRACTOR TO COORDINATE EXTENT WITH ARCHITECT.
- TEST PITS ARE REQUIRED AT ALL LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UTILITIES. INVESTIGATIONS TO DETERMINE HORIZONTAL LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES. THE ENGINEER IS TO BE NOTIFIED OF THIS INFORMATION.
- IF A 1' MINIMUM VERTICAL CLEARANCE CAN NOT BE MAINTAINED AT UTILITY CROSSING, THE CONTRACTOR IS TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH WORK.
- TRANSITION CURBS, GUTTER, PAVING AND SIDEWALK TO MEET EXISTING IN LINE AND ON GRADE OR AS DIRECTED BY ENGINEER.
- ALL DEBRIS AND EXCESS MATERIAL SHALL BE REMOVED BY THE CONTRACTOR AT AN APPROVED OFF-SITE LOCATION.
- ALL ON-SITE WATER LINES TO HAVE A MINIMUM COVER OF 4'-0". WATER FITTINGS SHALL BE PROPERLY TIED AND ANCHORED, PER DPW STANDARDS.
- WHERE PORTIONS OF EXISTING BITUMINOUS OR CONCRETE PAVING ARE TO BE REMOVED, THE EXISTING PAVEMENT SHALL BE SAW-CUT.
- REMOVE FRAMES AND COVERS OF SEWER MANHOLES/INLETS AND/OR WATER MAIN VALVE CASTINGS TO BE ABANDONED AND FILL TO GRADE.
- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED. SEE DRAWINGS C.03 AND C.07 FOR SEDIMENTATION AND EROSION CONTROL PLANS AND DETAILS.
- ALL CURB SPOT SHOTS ARE TOP OF CURB, UNLESS OTHERWISE NOTED.
- NOTIFY WASHINGTON GAS AT 202-750-4206, 48 HOURS PRIOR TO ANY EXCAVATION IN THE VICINITY OF ANY TRANSMISSION MAIN. FOR FURTHER INFORMATION OR PROBLEMS, CONTACT MR. CHACK WHITELY AT WASHINGTON GAS AT 703-750-4205.
- PROVIDE A MINIMUM OF 6 FEET HORIZONTAL AND 1 FOOT VERTICAL CLEARANCE BETWEEN 12" DIAMETER AND SMALLER DISTRIBUTION EXISTING GAS FACILITIES AND PROPOSED FACILITIES.
- PROVIDE A MINIMUM OF 5 FEET HORIZONTAL AND 2 FEET VERTICAL CLEARANCE BETWEEN 18" DIAMETER OR GREATER TRANSMISSION GAS FACILITIES AND PROPOSED FACILITIES.

**DC/WASA GENERAL NOTES:**

- NOTIFY DC/WASA ONE WEEK PRIOR TO START OF CONSTRUCTION. UTILITY INSPECTION SECTION AT 202-787-2377, WATER SERVICES 202-612-3400 OR 3460 AND SEWER SERVICES 202-264-5828 OR 3028.
- DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO APPROPRIATE DC/WASA INSPECTORS FOR REVIEW AND APPROVAL.
- ONCE THE WASA INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE AT ROOM 203 AND THE WATER AND SEWER DESIGN SECTION AT 6000 OVERLOOK AVENUE, S.W., 5TH FLOOR.
- UNDER DC/WASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS ARE RESPONSIBLE FOR EXCAVATIONS, BACKFILLING, REPAIRING AND RESTORATION OF PUBLIC SPACE FOR STREET AND SIDEWALK CUTS, FOR NEW UTILITIES, CONNECTIONS, TAPS AND AMENDMENT OF SERVICES WITHIN PUBLIC SPACE UNDER DC/WASA INSPECTION. DC/WASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED.

MATCH LINE



MATCH LINE

**NOTES:**

1. ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH LATEST STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF PUBLIC WORKS - WATER AND SEWER UTILITY AUTHORITY.
2. CONTRACTOR TO BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING AND UNDERPINNING, DESIGNED BY STRUCTURAL ENGINEER LICENSED IN DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING SIDEWALK, CURB AND GUTTER TO REMAIN OR TO REPLACE SIDEWALK, CURB AND GUTTER DAMAGED DURING CONSTRUCTION.
4. EXISTING FULL DEPTH PAVEMENT SECTION, CURB AND GUTTER TO BE REMOVED AND REPLACED TO EXTENT NECESSARY TO FACILITATE CONSTRUCTION OF NEW UTILITIES. MATERIALS TO COMPLY WITH DC/DPW STANDARDS AND SPECIFICATIONS.
5. TEST PITS ARE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS WITH ALL EXISTING UTILITY LINES TO DETERMINE THE EXACT HORIZONTAL LOCATION, ELEVATION AND ADD SIZE OF THE EXISTING UTILITIES. A MINIMUM OF ONE FOOT VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN EXISTING AND PROPOSED UTILITIES. TEST PITS SHOULD BE COMPLETED PRIOR TO ORDERING ANY STRUCTURES OR PIPE MATERIALS. NOTIFY ENGINEER OF ANY CONFLICT WITH PROPOSED PLANS.

**METER & METER TRANSMITTING DEVICES NOTES:**

THE AUTHORITY HAS INSTALLED A FIBER NETWORK AUTOMATIC METER READING SYSTEM. THIS SYSTEM WILL ELIMINATE THE REQUIREMENT TO READ METERS MANUALLY. METERS INSTALLED BY WASA OR PRIVATE OWNERS OF METERS WILL NEED TO MEET THE FOLLOWING SPECIFICATIONS IN ORDER FOR WASA TO READ METERS AUTOMATICALLY.

1. METERS, INSTALLATIONS AND INSPECTIONS MUST COMPLY WITH ALL DCWRP CODES AND SPECIFICATIONS.
2. ALL NEW METERS INSTALLED, INCLUDING PRIVATELY OWNED METERS MUST BE "TRUE ABSOLUTE ENCODER" TYPE METERS OR "DIRECT-READ" METERS THAT CONVERT METER READINGS TO DIGITAL PULSES FROM THE METER REGISTERS.
3. ALL METER REGISTERS SHOULD BE ABLE TO CONVERT ALL THE PULSES IN THE METER REGISTER TO DIGITAL PULSES.
4. THE METERS MUST MEASURE WATER IN 100 CUBIC FEET INCREMENTS. ALL NEW METERS MUST HAVE A METER READING TRANSMITTING UNIT ATTACHED TO THE METER REGISTERS, SEALED SO AS TO MAKE IT WATER TIGHT. THE TRANSMITTING UNIT SHOULD BE PROGRAMMABLE TO DCWRP'S FCC APPROVED RADIO FREQUENCY, AND COMPATIBLE WITH HEKADRAM, INC. HARDWARE AND SOFTWARE.
5. ALL NEW METERS 3" OR GREATER MUST HAVE TEST PLUG IN THE METER.
6. ALL NEW METERING CONFIGURATIONS SHOULD HAVE STRAINER WHERE APPROPRIATE TO MANUFACTURER'S SPECIFICATIONS.

**OUTLINE LOCATIONS:**

- A. THE NEW METER LED MUST BE OF A COMPOSITION AND TENSILE STRENGTH SO AS TO PERMIT A RADIO SIGNAL TO PROPAGATE THROUGH THE METER LED AND SECURE THE METER PIT, AGAINST LIGHT VEHICLE TRAFFIC AND PEDESTRIAN FOOT TRAFFIC. LARGER METER INSTALLATIONS MUST HAVE METER LED'S THAT MAY WITHSTAND HEAVY VEHICLE TRAFFIC.
- B. THE RADIO-TRANSMITTING DEVICE MUST BE SECURELY ANCHORED TO THE UNDERSIDE OF THE NEW TRANSMITTER FREQUENCY METER LED, SO AS TO PERMIT A RADIO SIGNAL TO COMMUNICATE WITH A DATA COLLECTION UNIT.
- C. THE RADIO-TRANSMITTING DEVICE MAY ALSO BE INSTALLED THROUGH THE EXISTING CAST IRON METER LED OF A NEW CAST IRON METER LED, SO AS TO PERMIT A SIGNAL TO COMMUNICATE WITH A DATA COLLECTION DEVICE AND PREVENT TRIPPING HAZARD.

**APPROVED METERS, METER LEADS AND MTU CURRENTLY USED BY DCWRP:**

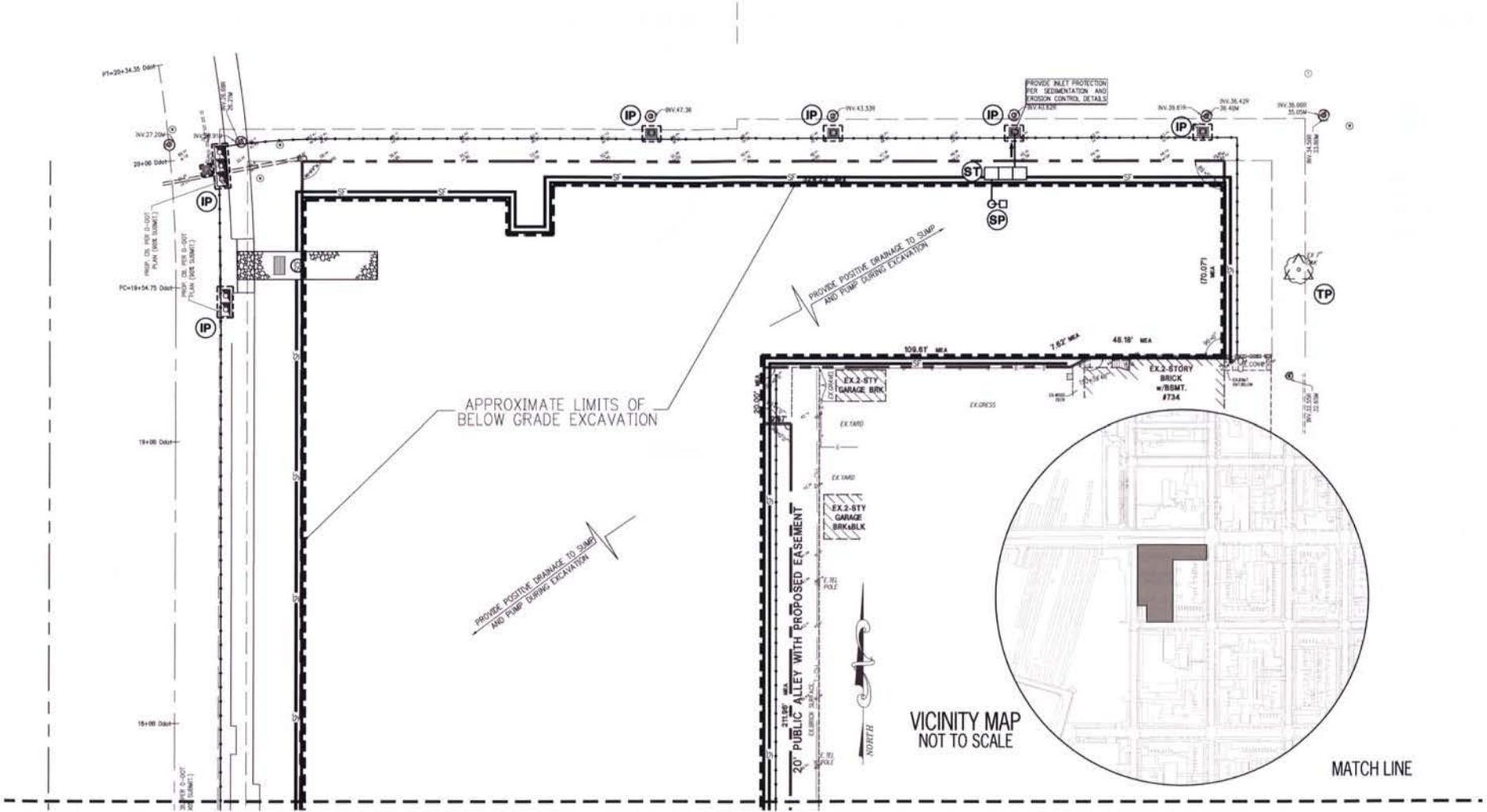
1. HEKADRAM INC. METER TRANSMITTING UNIT.
2. ABB WATER METERS INC. WITH MTU PERMANENTLY POTTED AT THE FACTORY. MODEL CASHO 2" - 4" COMPOUND METERS.
3. ARNORCAST INC.
  - METER LED 2 1/2" METER LED MAY NEED TO BE HEAVY DUTY CAST IRON WITH THE RADIO TRANSMITTING DEVICE INSTALLED THROUGH THE EXISTING CAST IRON METER LED TO ALLOW REMOVAL OF THE LARGER SIZE METERS.

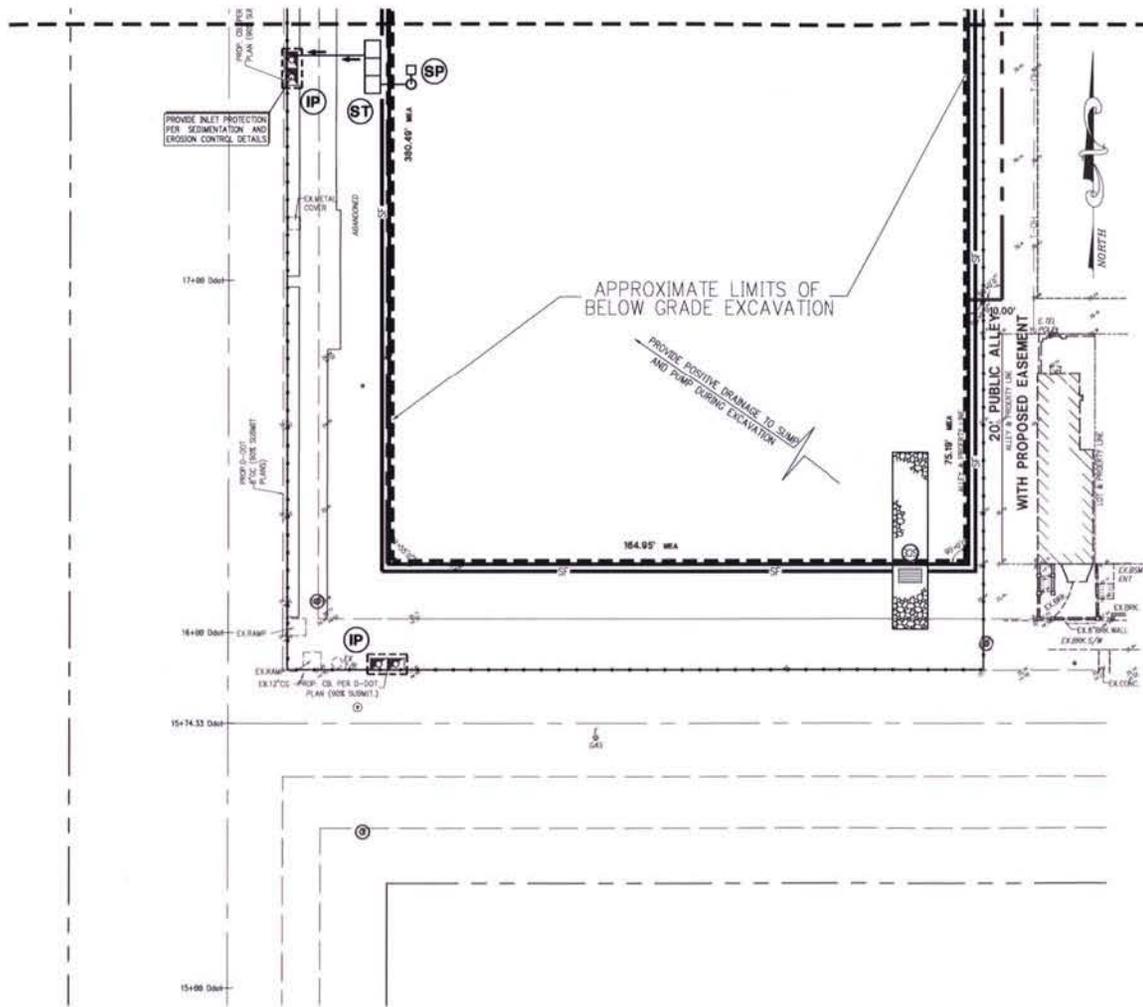
**ESTIMATED PEAK FLOWS AND PIPE SIZES:**

Fire Water Service	1250 GPM	8" diameter pipe
Domestic Water Service	530 GPM	8" diameter pipe
Sewer	2,745 drainage (4) four separate future units	14" four separate 9" diameter outside

**STORMWATER MANAGEMENT NOTE:**

STORMWATER MANAGEMENT TO BE PROVIDED BY MEANS OF A GREEN ROOF SYSTEM OR SIMILAR APPROVED STORMWATER MANAGEMENT DEVICE TO MEET THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA, DEPARTMENT OF HEALTH AND ENVIRONMENTAL ADMINISTRATION WATERBODIED PROTECTION DIVISION.





MATCH LINE

**CONSTRUCTION AND STABILIZATION SEQUENCE:**

1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, SILT FENCE, STRAW BALE DIKE, AS INDICATED ON SHEET C.03. SEE SHEET C.07 FOR SEDIMENTATION AND EROSION CONTROL DETAILS.
2. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
3. REMOVE ITEMS AS INDICATED ON DEMOLITION PLAN.
4. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
5. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SALUTATION, SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

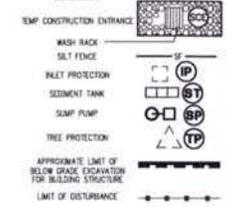
**DUST CONTROL NOTES:**

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST DISBURSING.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
  - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
  - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
  - C. DISPENSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
  - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
  - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
  - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

**SEDIMENTATION AND EROSION CONTROL NOTE:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
2. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNTIL BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
3. PROVIDE CHAIN-LINK CONSTRUCTION FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
4. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIGNED SEDIMENTATION AND EROSION CONTROL DRAWINGS BY DEPARTMENT OF HEALTH, WATERSHED PROTECTION DIVISION.
5. THE APPLICANT MUST NOTIFY THE DEPARTMENT OF HEALTH BY PHONE (202-555-2348) AT LEAST 24 HOURS PRIOR TO THE START OF GRADING ACTIVITY AND WITHIN (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT OF HEALTH MUST BE NOTIFIED IMMEDIATELY.

**LEGEND:**







**NOTES:**

1. LANDSCAPE OF ENTIRE BLOCK SUBJECT TO APPROVAL BY DOT



TYPICAL STREET TREE PLANTING



CABLED VINE PLANTINGS



TYPICAL BRICK PAVEMENT



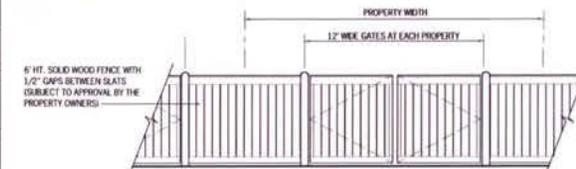
SINGLE GLOBE WASHINGTON LIGHT FIXTURE



WOOD BENCH



POTENTIAL OUTDOOR CAFE AREA



WOOD FENCE AT ALLEY



TYPICAL GRANITE PAVEMENT



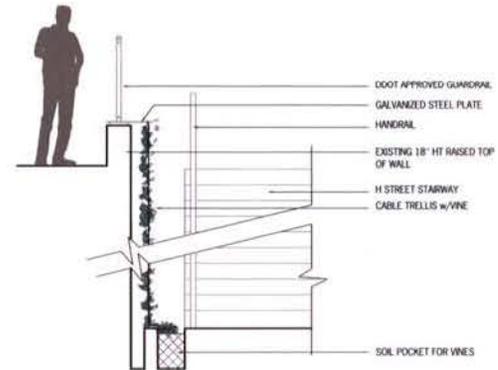
TYPICAL BRICK PAVEMENT



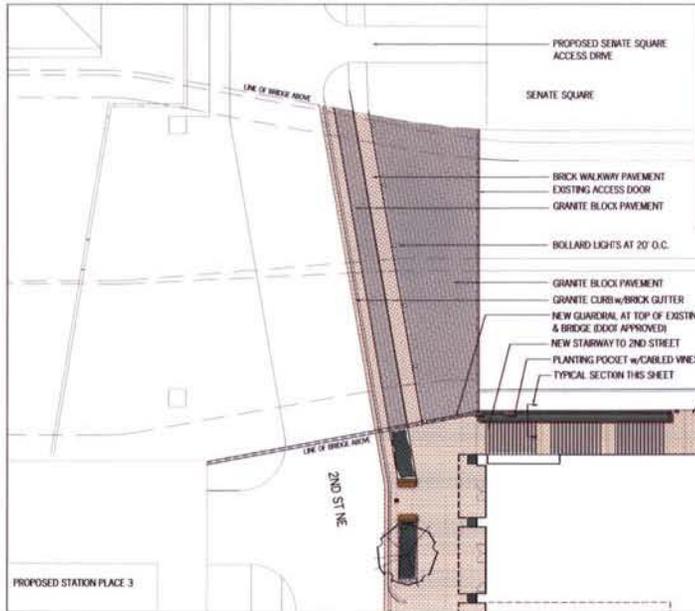
GUARDRAIL



SINGLE GLOBE  
WASHINGTON  
LIGHT FIXTURE

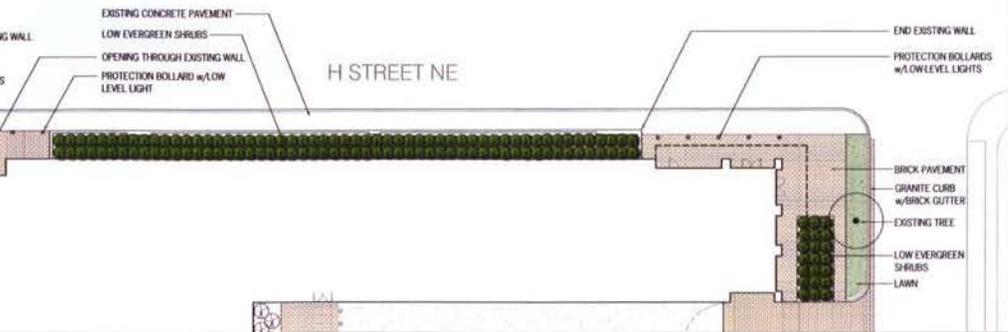


SECTION - H STREET TRELLIS AT STAIRWAY  
NOT TO SCALE



EVERGREEN SHRUBS

NOTES:  
1. LANDSCAPE OF ENTIRE BLOCK SUBJECT TO APPROVAL BY DDOT





WOOD BENCH



TYPICAL STREET TREE AT G STREET



TYPICAL STREET TREE AT 2ND STREET



EVERGREEN SHRUBS



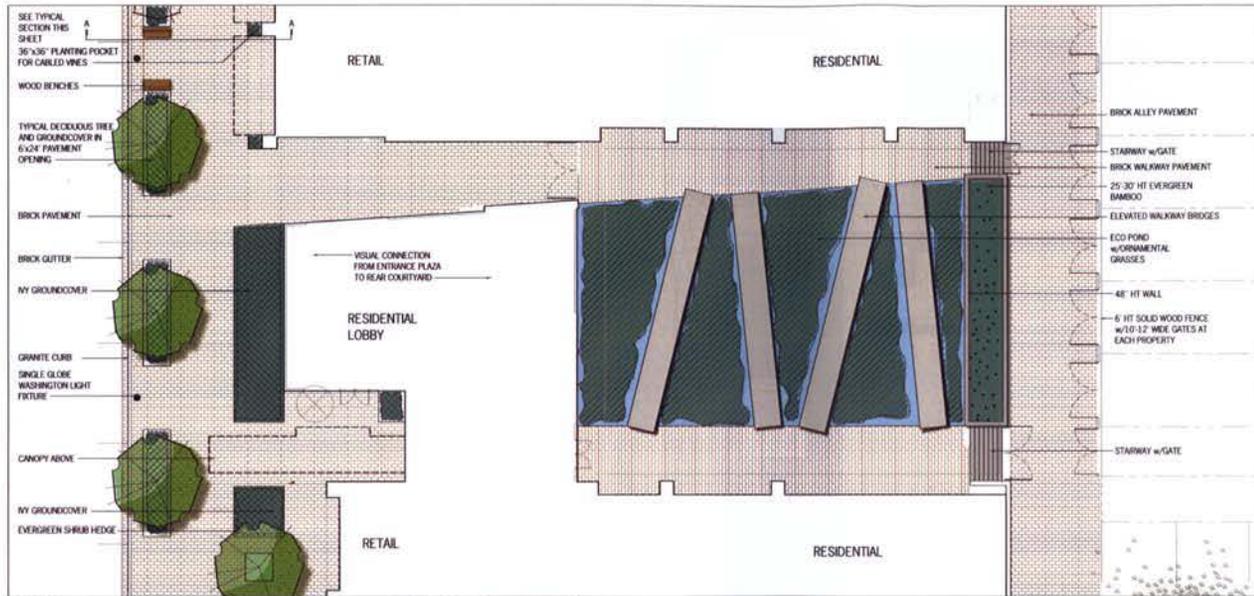
TYPICAL BRICK PAVEMENT



NOTES:  
 1. LANDSCAPE OF ENTIRE BLOCK SUBJECT TO APPROVAL BY DDOT



SINGLE GLOBE WASHINGTON LIGHT FIXTURE

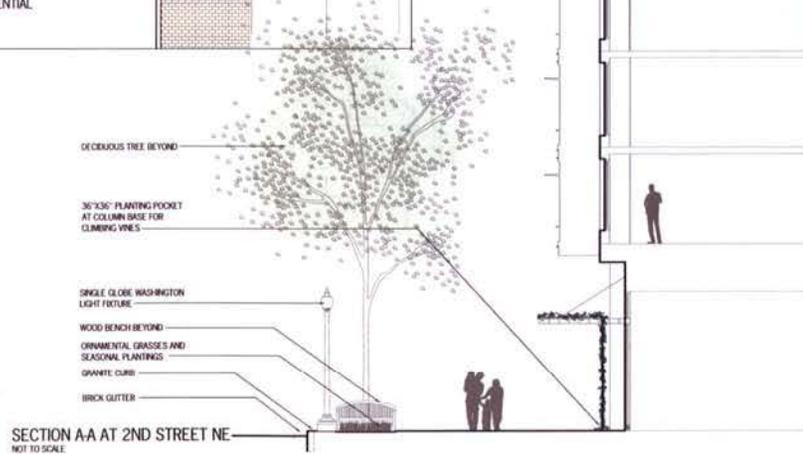


WOOD BENCHES

NOTES:  
 1. LANDSCAPE OF ENTIRE BLOCK SUBJECT TO APPROVAL BY DODT



SINGLE GLOBE WASHINGTON LIGHT FIXTURE





PRIVACY PLANTINGS



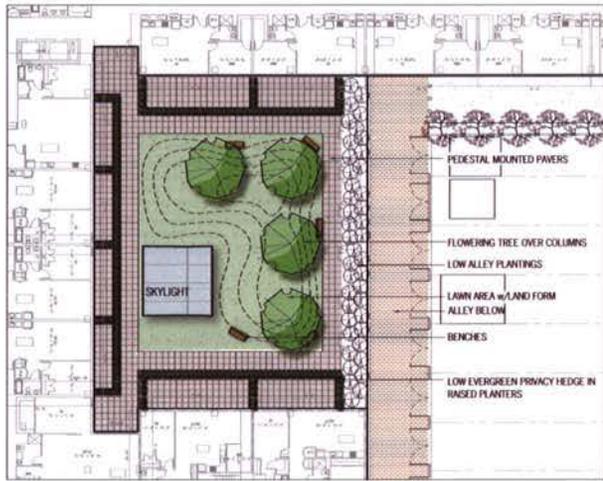
TYPICAL COURTYARD FLOWERING TREE



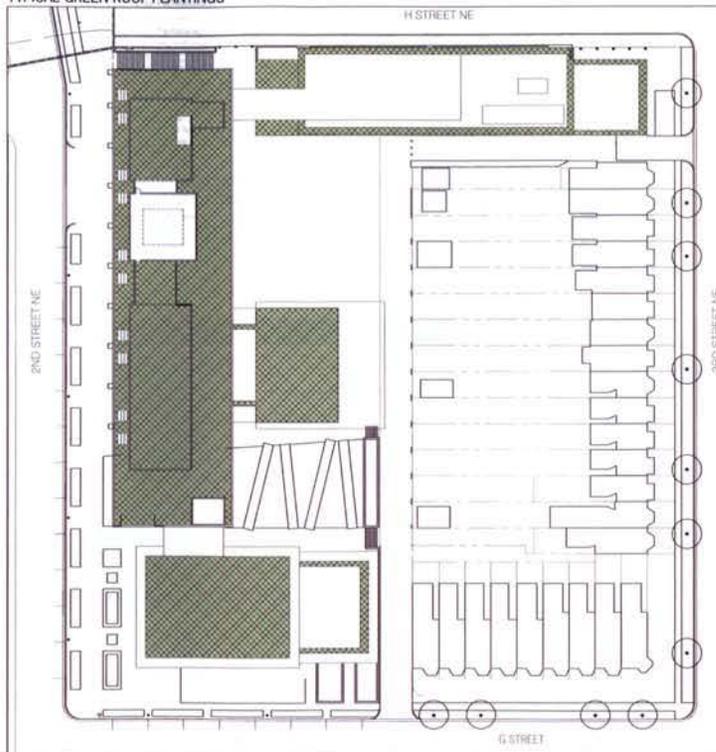
TYPICAL GREEN ROOF PLANTINGS



TYPICAL GREEN ROOF PLANTINGS



UPPER COURTYARD ENLARGEMENT PLAN



GREEN ROOF PLAN



Likely Points		9 Sustainable Sites	14 Points
Required	Points 1	<b>Erosion &amp; Sedimentation Control Site Selection</b>	Required
X	1	The project meets the following criteria: (1) Not on prime farmland; (2) Not on habitat for endangered species; (3) Not within 100' of wetlands; (4) Not on land that prior to acquisition was public parkland; (5) min 5 ft above the 100-year flood level.	1
X	2	<b>Development Density</b> The project meets the following criteria: 60,000 sqft/acre, equivalent to two-story townhouse neighborhood.	1
X	3	<b>Brownfield Redevelopment</b> Existing site is not declared a "brownfield" by the EPA. However, LEED, via a Credit Interpretation Ruling has accepted as equivalent an ASTM E 1903-97 Phase II Environmental Site Assessment performed for contaminated soils or asbestos abatement. Asbestos remediation should be performed following any generally accepted standard such as the Resource Conservation and Recovery Act (RCRA) and NESHAPS (National Emissions Standards for Hazardous Air Pollutants). Alternately, asbestos assessment could follow the EPA regulation 40CFR part 763. The project will review the criteria.	1
X	4	<b>Alternative Transportation, Public Transportation Access:</b> Location within 1/2 mile of a commuter rail or 1/4 mile of at least two bus stations. The project is within 1/2 mile of Union Station Metro Station.	1
X	5	<b>Alternative Transportation, Bicycle Storage &amp; Changing Rooms.</b> Requirement: Covered bicycle storage for 15% of residents. The project will provide the required bicycle storage. (Note: No changing rooms are required in a residential building.)	1
X	6	<b>Alternative Transportation, Alternative Fuel Refueling Stations (3% of Parking)</b> The project will study the following alternative: - Provide alternate fuel vehicles & preferred parking for 3% of building occupants (not 3% of parking). Hybrids are acceptable.	1
X	7	<b>Alternative Transportation, Parking Capacity:</b> Do not exceed local parking requirements and reserve 5% of parking spaces for carpools.	1
X	8	<b>Reduced Site Disturbance, Protect or Restore Open Space:</b> Restore a minimum of 50% of the site area (excluding the building footprint) with native or adapted vegetation.	1
X	9	<b>Reduced Site Disturbance, Development Footprint:</b> Surpass the local zoning requirements for open space by 25%.	1
X	10	<b>Stormwater Management, 25% Reduction in Rate or Quantity</b> 25% of 2-year/24 hr storm, calculated for the entire project site, needs to be collected and, as much as possible, re-used. The water will be stored in the basement. The water will be stored in a cistern, located in the parking levels of the building. The water will be re-used for some or all of the following: cooling tower make-up, irrigation of the green roofs, pavement washing, flushing of the toilets.	1
X	11	<b>Stormwater Management, Treatment:</b> Filter storm water from the entire site, or infiltrate the storm water off the entire site. Fertilize plants and maintain the building exterior with low phosphate products.	1
X	12	<b>Landscaping &amp; Exterior Design to Reduce Heat Islands, Non-Roof:</b> Place min. 50% of parking underground OR provide high-albedo materials for at least 30% of the site's impervious, non-roof surfaces, OR shade at least 30% of these impervious surfaces.	1
X	13	<b>Landscaping &amp; Exterior Design to Reduce Heat Islands, Roof:</b> Vegetated (green) roof for 50% of roof, or a combination of vegetated (green) roof + ENERGY STAR roofing for 75% of the roof. ENERGY STAR roofing has high reflectance and high emittance. The project will meet requirement with vegetated (green) roof.	1
X	14	<b>Light Pollution Reduction:</b> Prevent interior lighting from spill outside building, prevent exterior lighting from trespassing property boundary, and provide appropriate cut-offs for exterior lighting. To be pursued throughout the project by the lighting designer as the project develops.	1

Likely Points		2 Water Efficiency	8 Points
X	1	<b>Water Efficient Landscaping, Reduce by 50%</b> Micro or drip irrigation, or retained storm water will be reviewed to meet the requirement.	1
X	2	<b>Water Efficient Landscaping, No Potable Use or No Irrigation</b> The point can also be obtained by installing no irrigation system for the green roof. (Temporary irrigation is allowed until the plants are established.)	1
X	3	<b>Innovative Wastewater Technologies</b> Point achievable with black water system, or if an extensive rain water collection system is used for toilet flushing in the entire building.	1
X	4	<b>Water Use Reduction, 20% Reduction</b> The project will review use of low flow showerheads (2.0 gpm), kitchen sink lavatories of 1.5 gpm, bathroom lavatories of 1.5 gpm, and dual-flush toilets.	1
X	5	<b>Water Use Reduction, 30% Reduction</b> The project will use energy modeling to study building performance.	1

Likely Points		3 Energy & Atmosphere	17 Points
Required	Points 1	<b>Fundamental Building Systems Commissioning</b>	Required
Required	Points 2	<b>Minimum Energy Performance</b>	Required
Required	Points 3	<b>CFC Reduction in HVAC/R Equipment</b>	Required
X	1	<b>Optimize Energy Performance, 12.51% New</b> The project will use energy modeling to study building performance.	1
X	2	<b>Optimize Energy Performance, 17.51% New</b> The project will use energy modeling to study building performance.	1
X	3	<b>Optimize Energy Performance, 22.51% New</b>	1
X	4	<b>Optimize Energy Performance, 27.51% New</b>	1
X	5	<b>Optimize Energy Performance, 32.51% New</b>	1
X	6	<b>Optimize Energy Performance, 37.51% New</b>	1
X	7	<b>Optimize Energy Performance, 42.51% New</b>	1
X	8	<b>Optimize Energy Performance, 47.51% New</b>	1
X	9	<b>Optimize Energy Performance, 52.51% New</b>	1
X	10	<b>Optimize Energy Performance, 57.51% New</b>	1
X	11	<b>Renewable Energy, 0%</b> Min. requirement is a 2.51% of regulated energy cost (excluding plug loads, cooking, washing/drying, elevators, exterior lighting, occupant-installed lighting).	1
X	12	<b>Renewable Energy, 10%</b>	1
X	13	<b>Renewable Energy, 20%</b>	1
X	14	<b>Additional Commissioning:</b> The project will engage independent commissioning agent.	1
X	15	<b>Ozone Depletion:</b> No HCFCs or Halons.	1
X	16	<b>Measurement &amp; Verification</b>	1
X	17	<b>Green Power:</b> Two-year contract to provide 50% of the building power with renewable energy.	1

Likely Points		5 Materials & Resources	13 Points
Required	Points 1	<b>Storage &amp; Collection of Recyclables</b>	Required
X	1	<b>Building Reuse, Maintain 75% of Existing Shell</b> Not applicable for the project.	1
X	2	<b>Building Reuse, Maintain 100% of Shell</b> Not applicable for the project.	1
X	3	<b>Building Reuse, Maintain 100% Shell &amp; 50% Non-Shell</b> Not applicable for the project.	1
X	4	<b>Construction Waste Management, Divert 50% of C&amp;D waste from landfill.</b> The project will meet requirement.	1
X	5	<b>Construction Waste Management, Divert 75% of C&amp;D waste from landfill.</b> The project will meet requirement.	1
X	6	<b>Resource Reuse, Specify 5%</b> Requires using salvaged materials (i.e. salvaged bricks, reclaimed wood) that make up 5% of all building materials (by cost).	1
X	7	<b>Resource Reuse, Specify 10%</b>	1
X	8	<b>Recycled Content, Specify 5%</b> Percentages are based on cost. The project will use concrete and steel with recycled content.	1
X	9	<b>Recycled Content, Specify 10%</b> The project will review use of additional materials with recycled content.	1
X	10	<b>Local/Regional Materials, 20% Manufactured Locally</b> The project will use a minimum of 20% of materials manufactured within 500 miles (by cost, excluding MEP).	1
X	11	<b>Local/Regional Materials, 0% Above, 50% Harvested Locally</b>	1
X	12	<b>Rapidly Renewable Materials:</b> 5% of building cost for materials only (excluding MEP) would have to be linoleum, cork, agfiber, rapid-growth poplar and similar materials.	1
X	13	<b>Certified Wood:</b> 50% minimum of all wood-based materials (including wood used for construction) to be certified in accordance with the Forest Stewardship Council Guidelines. Percentage is based on cost.	1

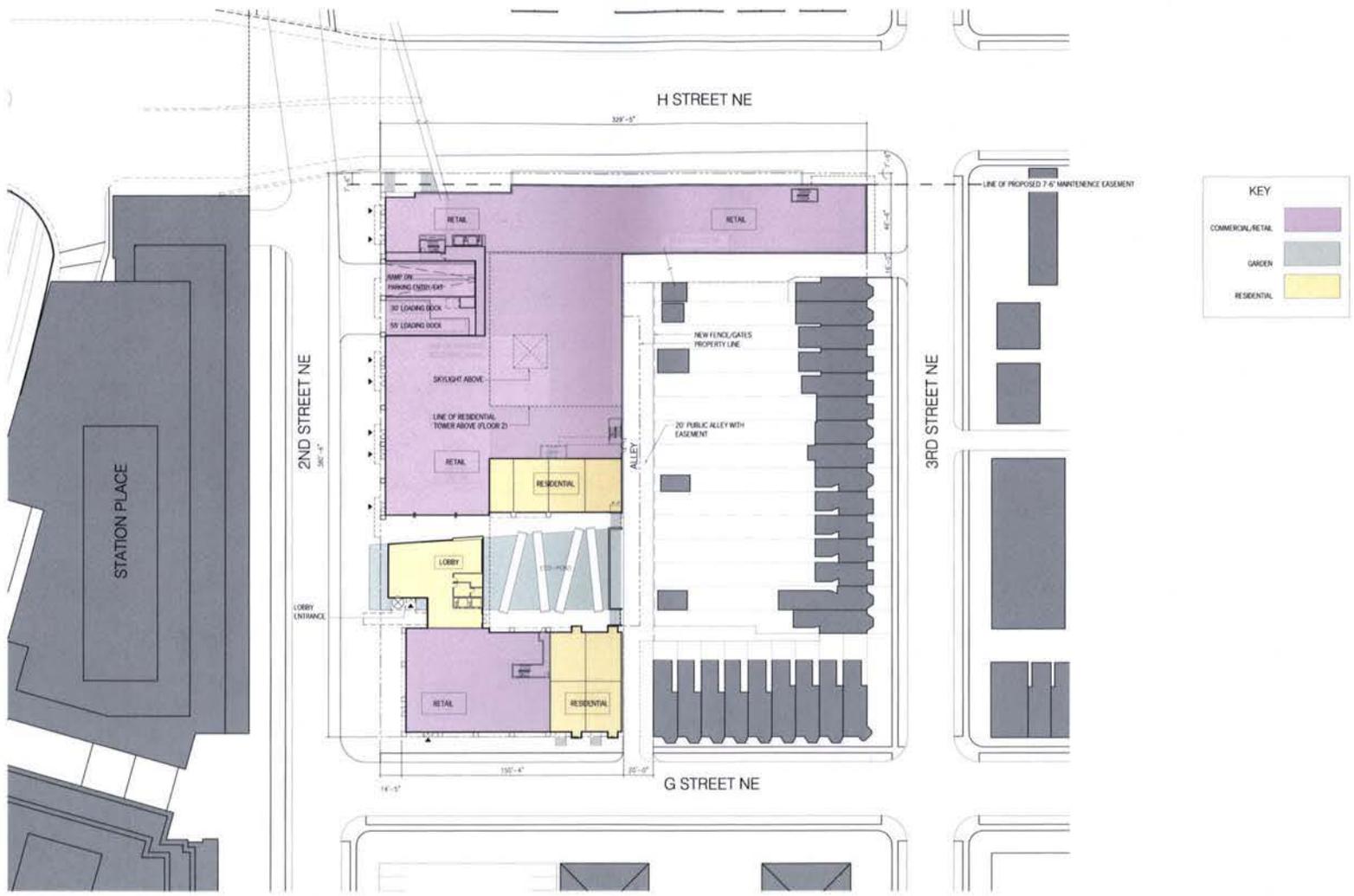
Likely Points		7 Indoor Environmental Quality	15 Points
Required	Points 1	<b>Minimum IAQ Performance</b>	Required
Required	Points 2	<b>Environmental Tobacco Smoke (ETS) Control</b>	Required
X	1	<b>Carbon Dioxide (CO<sub>2</sub>) Monitoring</b> of common areas (Lobby, Wellness Center) will meet criteria.	1
X	2	<b>Increase Ventilation Effectiveness.</b> Diffusers have to be specified with an efficiency of 0.9 according to the calculation in Chapter 32 of the ASHRAE Handbook of Fundamentals.	1
X	3	<b>Construction IAQ Management Plan.</b> During Construction The project will monitor HVAC protection, housekeeping, pathway interruption, source control, etc. during construction.	1
X	4	<b>Construction IAQ Management Plan, Before Occupancy</b> The project will attempt to perform a post construction flush out with outside air for a two week period prior occupancy.	1
X	5	<b>Low-Emitting Materials, Adhesives &amp; Sealants</b> Adhesives and sealants used through the project will comply with the criteria of this credit.	1
X	6	<b>Low-Emitting Materials, Paints</b> Paints used through the project will comply with the criteria of this credit.	1
X	7	<b>Low-Emitting Materials, Carpet</b> Carpets used through the project will comply with the criteria of this credit.	1
X	8	<b>Low-Emitting Materials, Composite Wood</b> No added urea formaldehyde.	1
X	9	<b>Indoor Chemical &amp; Pollutant Source Control</b> Entry grilles or grates to capture dirt. For areas with chemical processes (janitorial/storage) deck-to-deck partitions + separate exhaust.	1
X	10	<b>Controlability of Systems, Thermostat</b> Operable windows for every 200 sqft of perimeter, including commercial areas (permanently occupied spaces only, excluding storage rooms).	1
X	11	<b>Controlability of Systems, Non-Perimeter</b>	1
X	12	<b>Thermal Comfort, Comply with ASHRAE 55-1992</b> Compliance with ASHRAE Standard 55-2004 is now acceptable.	1
X	13	<b>Thermal Comfort, Permanent Monitoring System:</b> Temperature, humidity.	1
X	14	<b>Daylight &amp; Views, Daylight 75% of Spaces</b> To be determined, based on the commercial areas.	1
X	15	<b>Daylight &amp; Views, Views for 90% of Spaces</b> To be determined, based on the commercial areas.	1

Likely Points		3 Innovation & Design Process	9 Points
X	1	<b>Innovation in Design, Education Display</b> of green design process and benefits.	1
X	2	<b>Innovation in Design, Integrated Pest Management</b> + Green Housekeeping plan.	1
X	3	<b>Innovation in Design, Exemplary performance,</b> such as but not limited to the following: Option 1: Exemplary savings of potable water (equivalent to 10% of water use for domestic purposes) Option 2: Exemplary recycled content (10% of the materials, excluding MEP, calculated by cost) Option 3: Exemplary storm water rate & quantity (retain 50% of the storm water instead of 20%) Option 4: 90% of waste is recycled instead of 75%	1
X	4	<b>Innovation in Design, TBD</b>	1
X	5	<b>LEED™ Accredited Professional</b> are part of the project design team.	1

Likely Points		29 Project Totals	69 Points
		Certified 26-32 points Silver 33-38 points Gold 39-51 points Platinum 52-69 points	

Capitol Place will meet requirements for LEED Certification

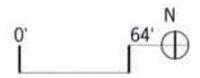
Note: Capitol place is committed to LEED - the project has met or will likely meet requirements for all points indicated. Final points may vary.



Capitol Place, 2nd Street, NE, Washington D.C. Station Holdings LLC

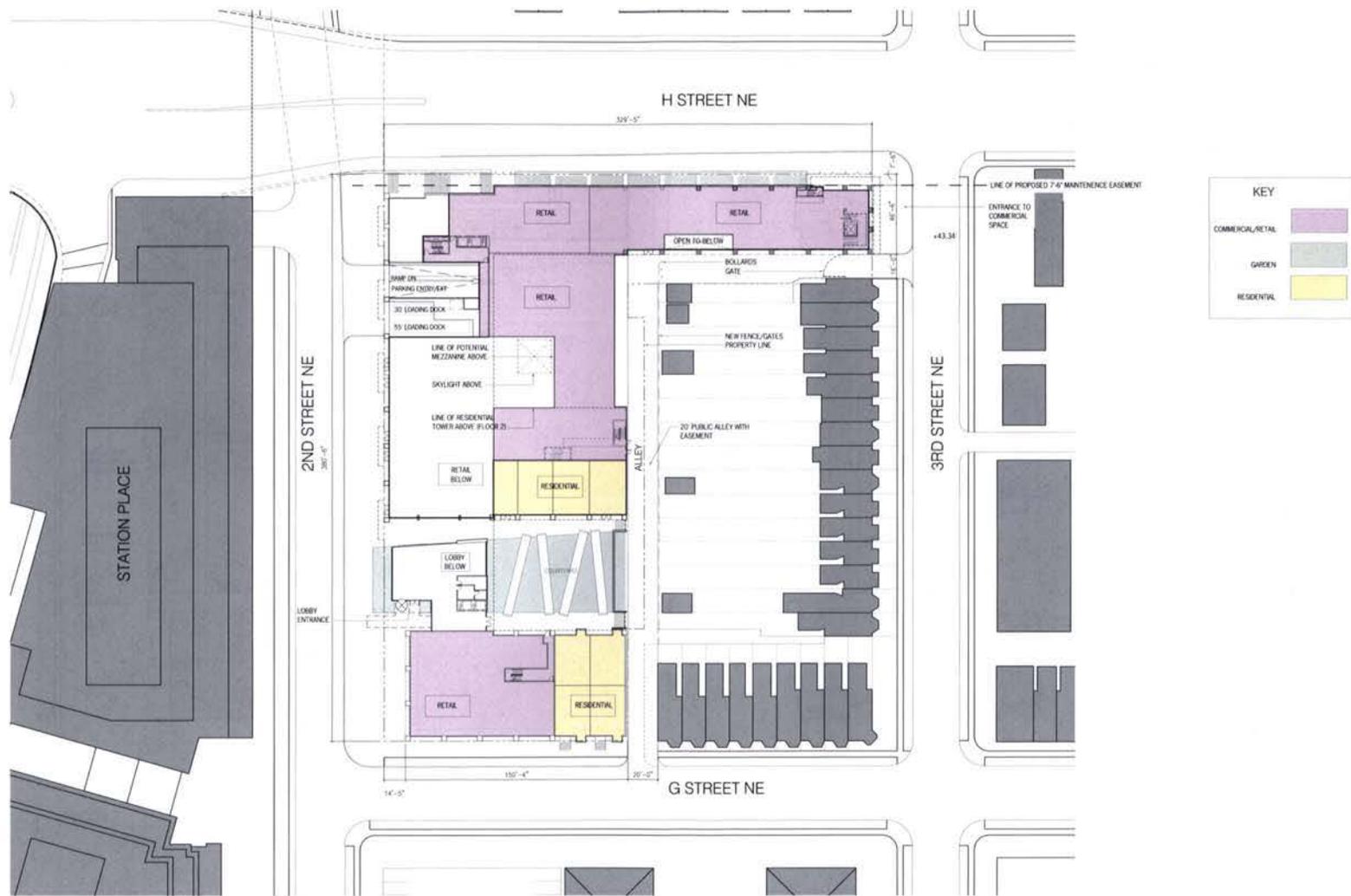
P.U.D. SUBMISSION: GROUND FLOOR PLAN

Cook+Fox Architects LLP  
March 20, 2006



25





**KEY**

COMMERCIAL/RETAIL	[Purple Box]
GREEN	[Green Box]
RESIDENTIAL	[Yellow Box]

Capitol Place, 2nd Street, NE, Washington D.C. Station Holdings LLC

P.U.D. SUBMISSION: MEZZANINE FLOOR PLAN

Cook+Fox Architects LLP  
March 20, 2006



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1 FLOOR 2

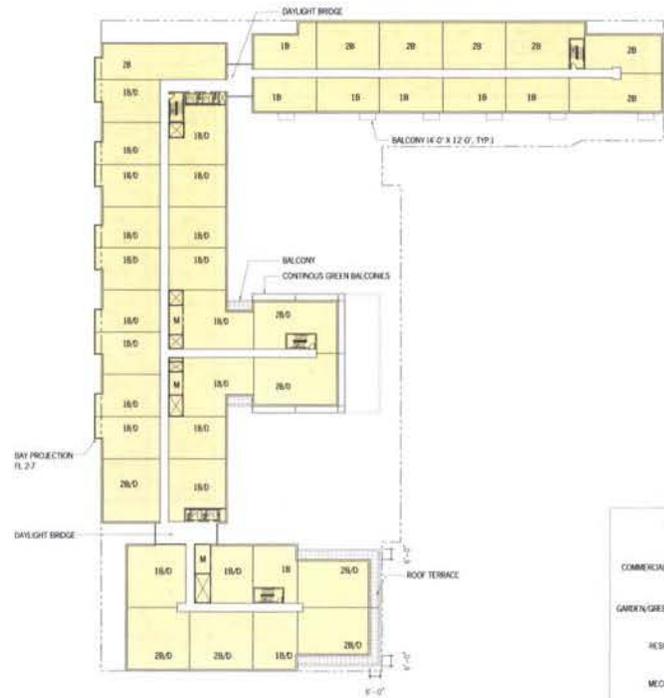


2 FLOOR 3



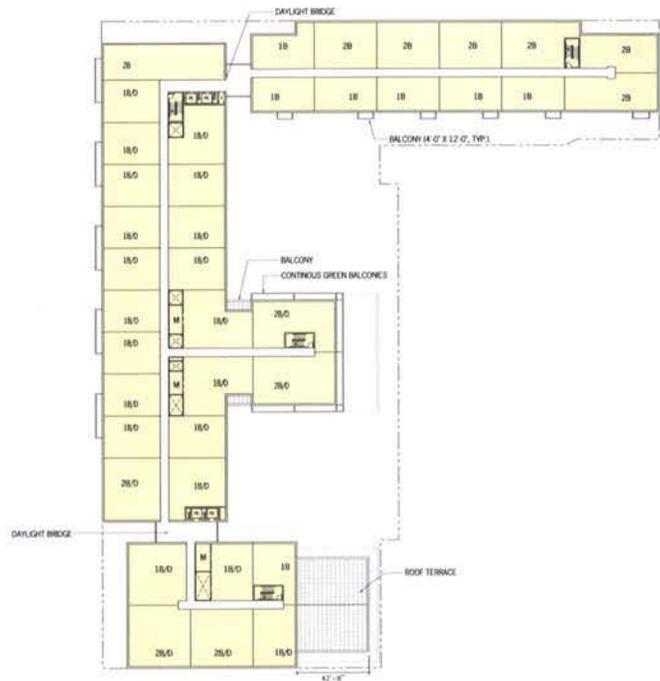


1 FLOOR 4-5

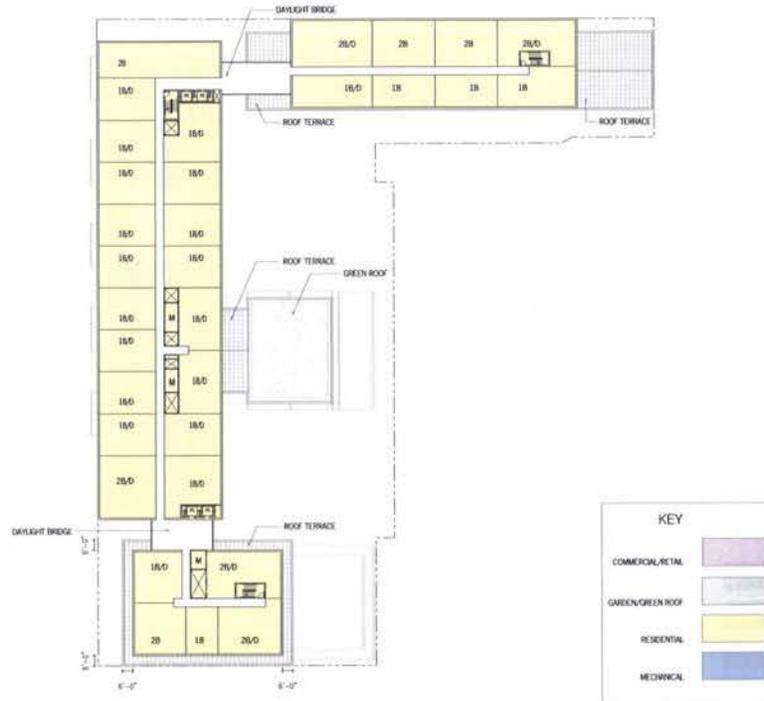


2 FLOOR 6





1 FLOOR 7



2 FLOOR 8

KEY

COMMERCIAL/RETAIL	[Purple Box]
GREEN/GREEN ROOF	[Light Green Box]
RESIDENTIAL	[Yellow Box]
MECHANICAL	[Blue Box]

Capitol Place, 2nd Street, NE, Washington D.C. Station Holdings LLC

P.U.D. SUBMISSION: FLOOR PLANS: 7-8

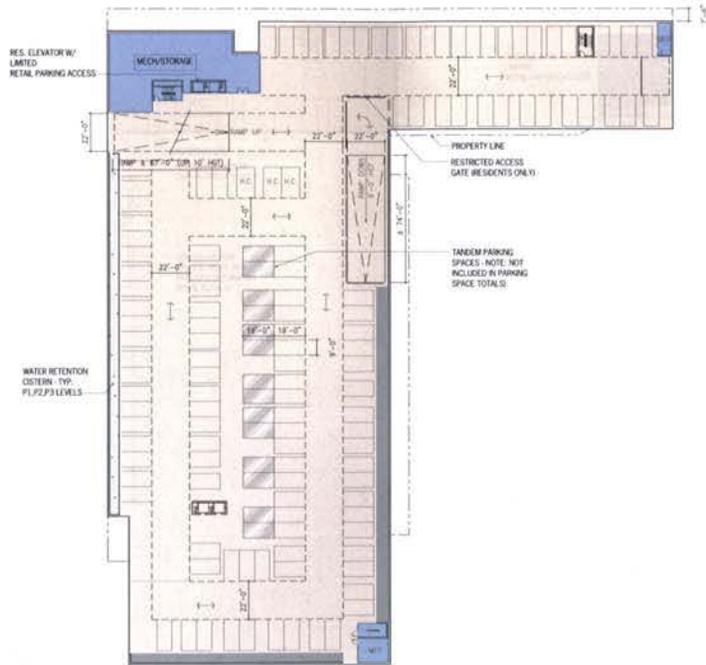
Cook+Fox Architects LLP  
March 20, 2006



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Cook+Fox





**PARKING CALCULATION**

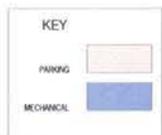
COMMERCIAL	1 SPACE/750 SF over initial 3,000SF free requirement	
RESIDENTIAL	61,556 / 750 = 83 SPACES	
	305 RESIDENTIAL UNITS (1:1 required)	
	309 / 3 = 102 SPACES	
PROPOSED SPACES - 3 levels	403 SPACES	

	REQUIRED	PROPOSED (1:1)
TOTAL SPACES COMMERCIAL	83 SPACES	98 SPACES
TOTAL SPACES RESIDENTIAL	102 SPACES	305 SPACES
TOTAL SPACES (COMM + RES)	185 SPACES	403 SPACES

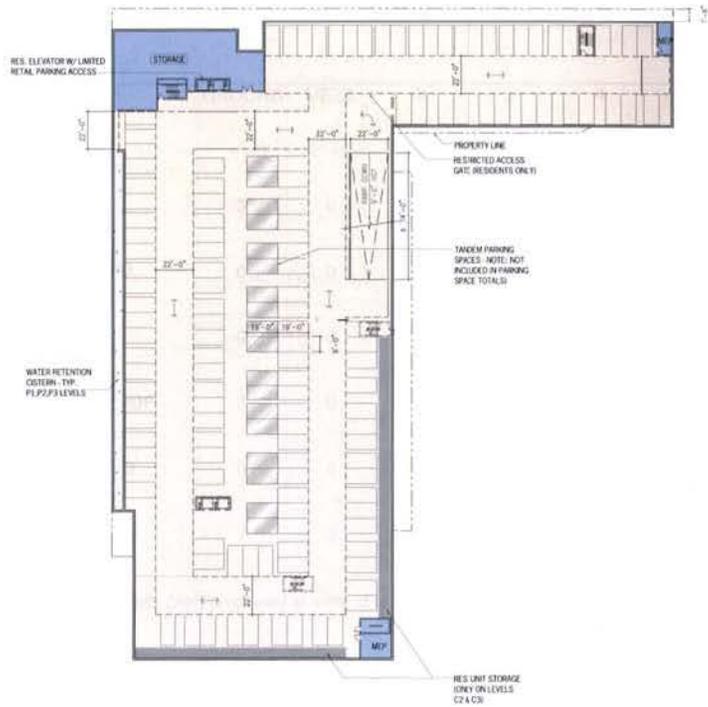
TANDEM SPACES (NOT INCLUDED IN PARKING SPACE TOTALS)

P1	14 SPACES
P2	14 SPACES
P3	14 SPACES
TOTAL TANDEM SPACES	42 SPACES

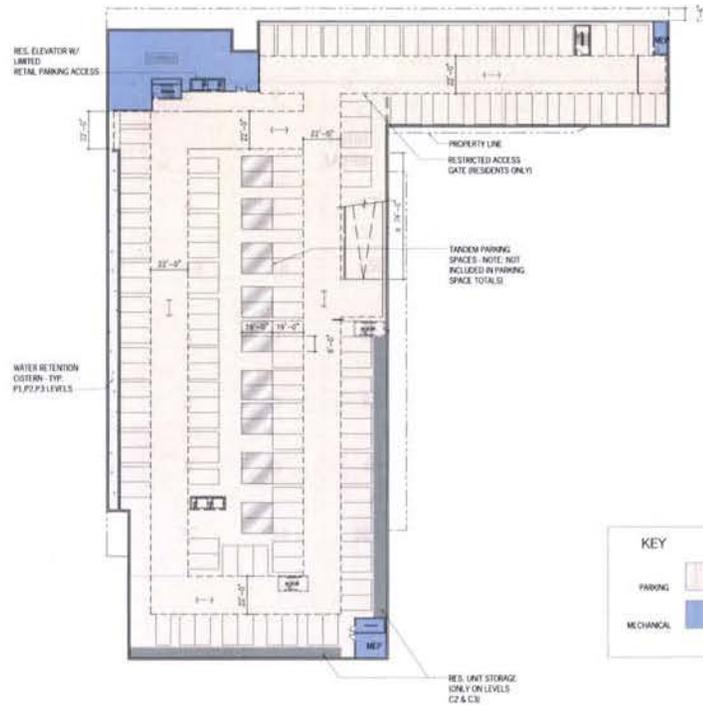


**1** PARKING LEVEL P1





1 PARKING LEVEL P2



2 PARKING LEVEL P3

Floor	GROUND	MEZZ.	2	3	4	5	6	7	8	9				
<b>Unit Type</b>												<b>Total Units</b>	<b>Total AH Units</b>	<b>AH % of Total</b>
1 Bedroom: <b>1B</b> (700 sf)	0	0	7	7	7	7	7	7	4	1	47	4		
1 Bedroom/Den: <b>1B/D</b> (850 sf.)	0	0	20	19	20	20	20	20	19	18	156	17		
2 Bedroom: <b>2B</b> (1,000 sf.)	0	0	5	3	7	7	7	7	4	2	42	7		
2 Bedrm Duplex: <b>2B-DP</b> (1,500 SF)	7	0	5	0	0	0	0	0	0	0	12	1		
2 Bedroom/Den: <b>2B/D</b> (1,200 sf)	0	0	6	8	7	7	7	5	5	3	48	5		
<b>Total Units per Floor</b>	7	0	43	37	41	41	41	39	32	24	<b>305</b>	<b>34</b>	<b>15%*</b>	
<b>Note:</b> Affordable Housing Units (AH) proposed at 15% of total units provided.														
* 15% of additional proposed building under PUD Process.														



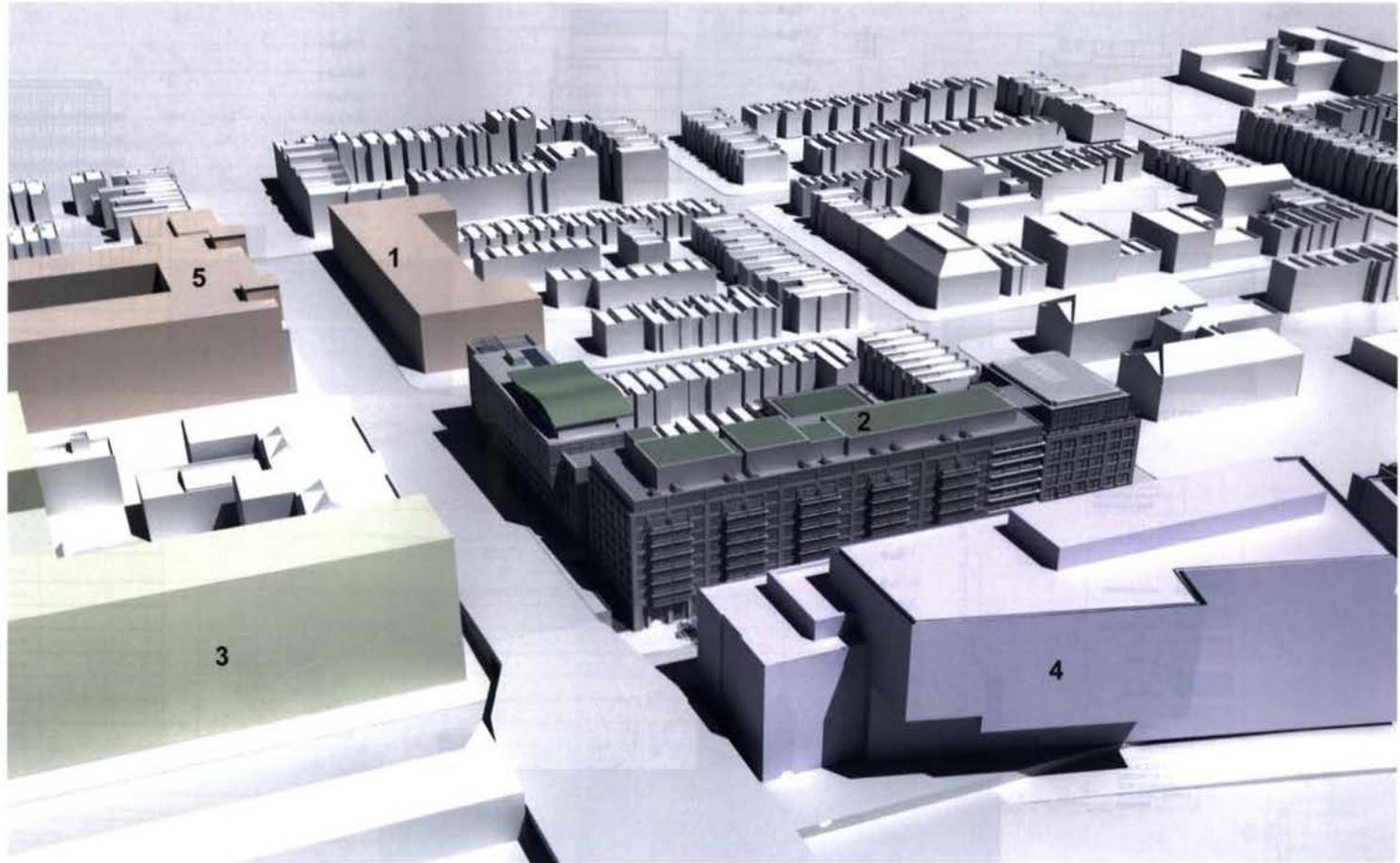
1 FUTURE DEVELOPMENT PROPOSED BY H STREET OVERLAY, 65' MAX. HEIGHT AS OF RIGHT

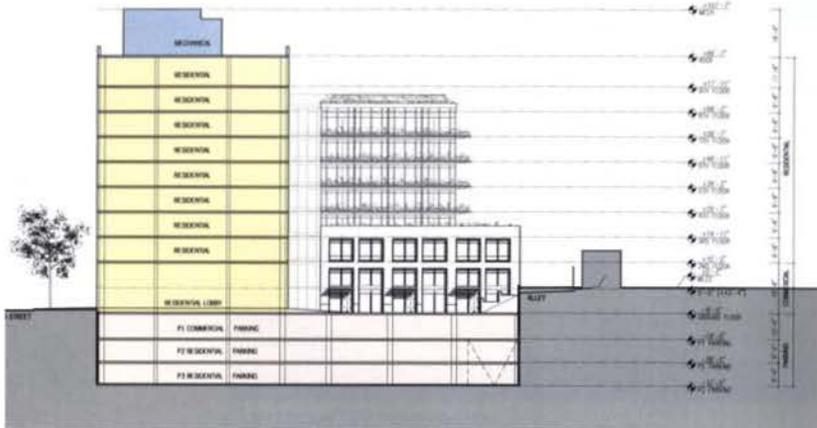
2 CAPITOL PLACE

3 SENATE SQUARE DEVELOPMENT (UNDER CONSTRUCTION)

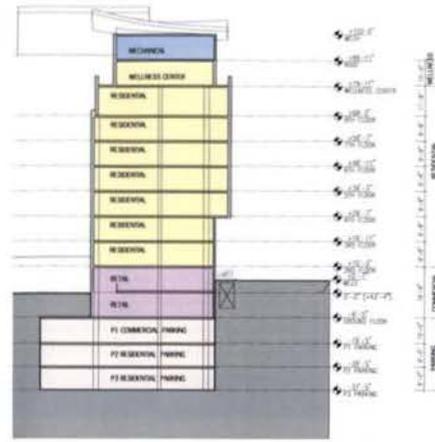
4 STATION PLACE BUILDING 3, APPROVED BY P.U.D. (CONSTRUCTION PENDING)

5 SQUARE 776 PROPOSED DEVELOPMENT UNDER P.U.D REVIEW

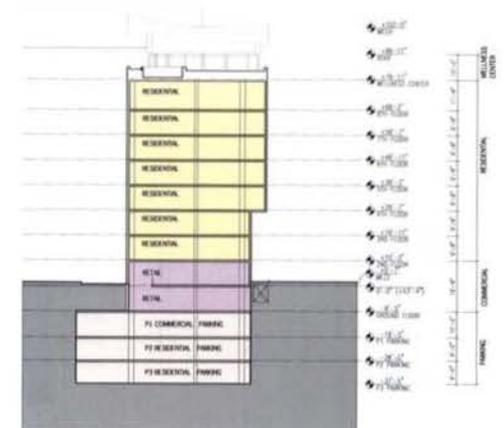




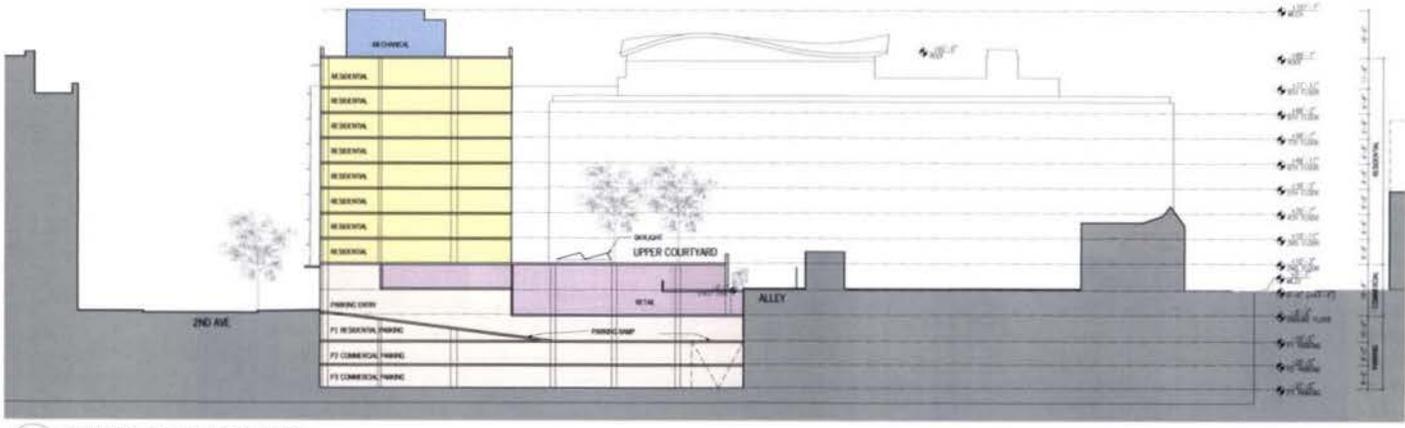
1 E-W SECTION THRU 2ND ST PAVILLION



2 N-S SECTION THRU H ST PAVILLION



3 N-S SECTION THRU H ST PAVILLION



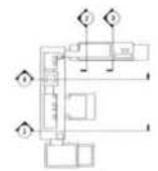
4 E-W SECTION THRU 2ND ST PAVILLION

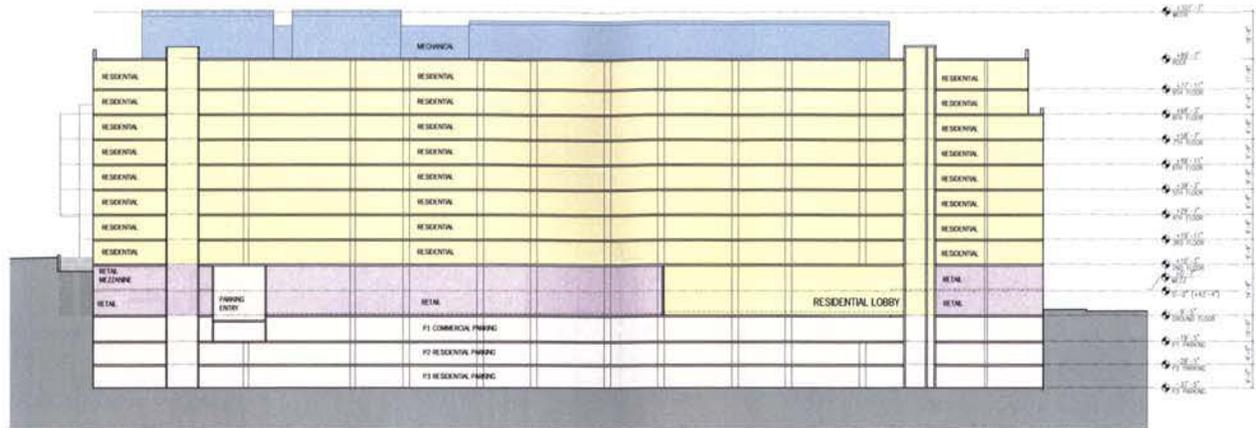
PROJECT 0'-0" = 43'-4"  
 IMPORT OF 3RD STREET  
 FRONTAGE AT CURB

**KEY**

- COMMERCIAL/PAVILION
- GREEN/GREEN ROOF
- RESIDENTIAL
- MECHANICAL
- PARKING

NOTE: FINAL FLOOR ELEVATION TO BE COORDINATED WITH ADJACENT SIDEWALK ELEVATION





1 N-S SECTION THRU 2ND ST PAVILION

PROJECT 0' 0" = 43' 4"  
 MIDPOINT OF 3RD STREET  
 FRONTAGE AT CURB

**KEY**

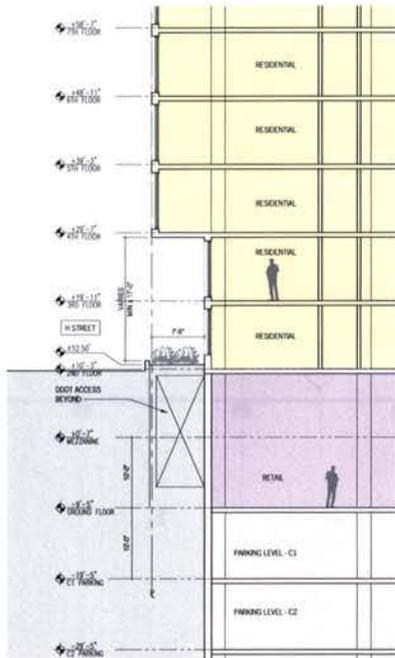
COMMERCIAL/RETAIL	[Purple Box]
GARDEN/GREEN ROOF	[Green Box]
RESIDENTIAL	[Yellow Box]
MECHANICAL	[Blue Box]
PARKING	[White Box]

NOTE: FINAL FL ELEV AT  
 LOBBY/RETAIL TO  
 TO BE COORDINATED  
 W/ ADJACENT SIDEWALK  
 ELEVATION

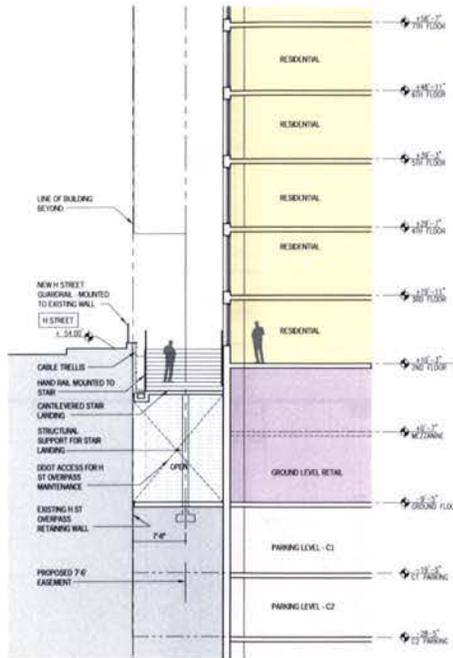


2 N-S SECTION THRU COURTYARDS

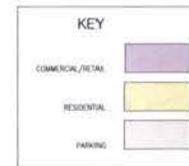


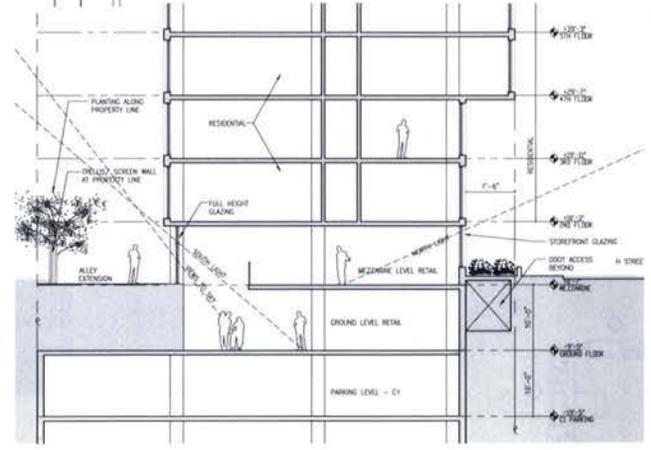
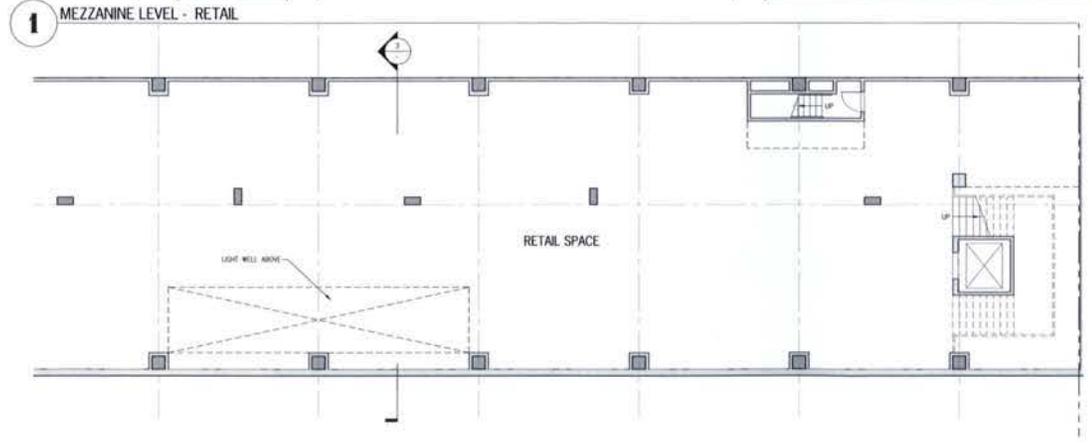
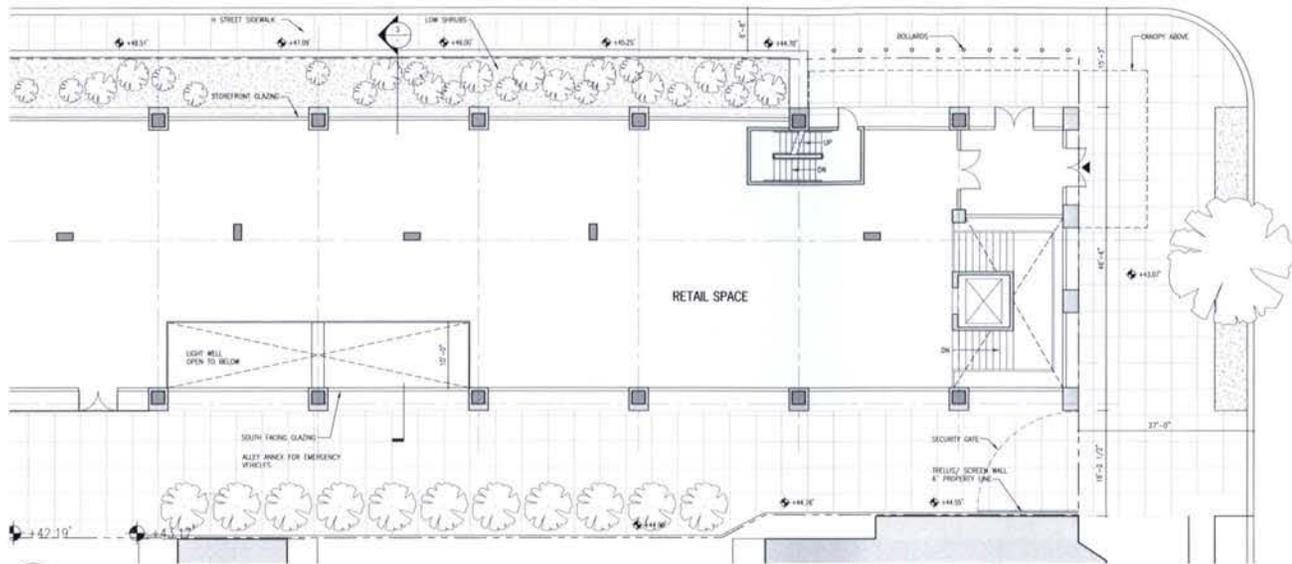


1 ENLARGED SECTION AT H ST



2 ENLARGED SECTION AT H ST





1 MEZZANINE LEVEL - RETAIL

2 GROUND LEVEL - RETAIL

3 SECTION - RETAIL

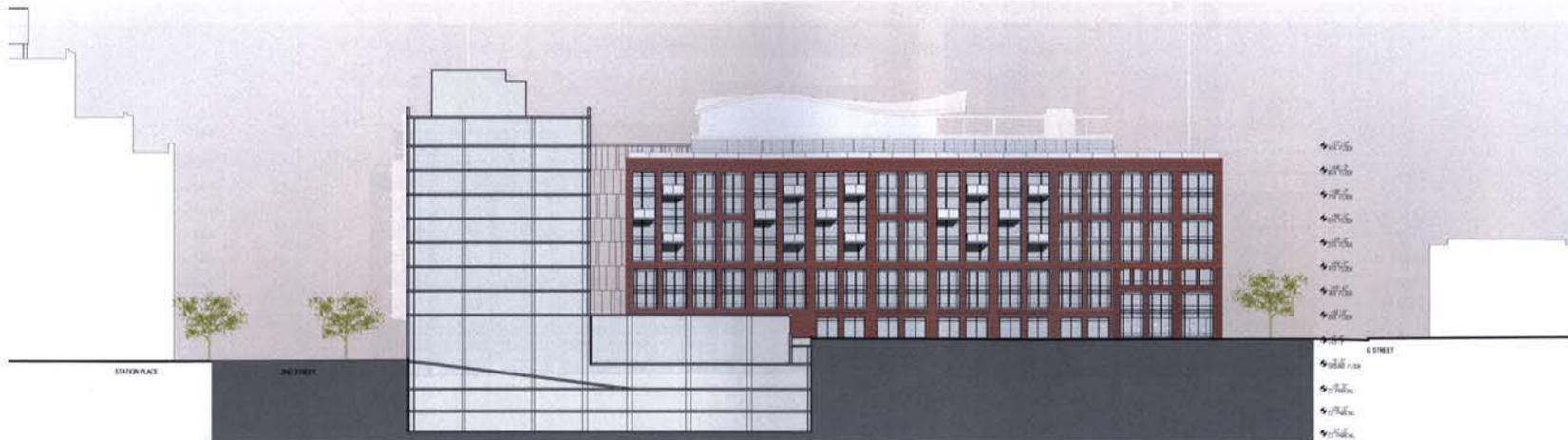


2 WEST ELEVATION - 2ND STREET



1 NORTH ELEVATION - H STREET





**2** SOUTH ELEVATION - H STREET PAVILION



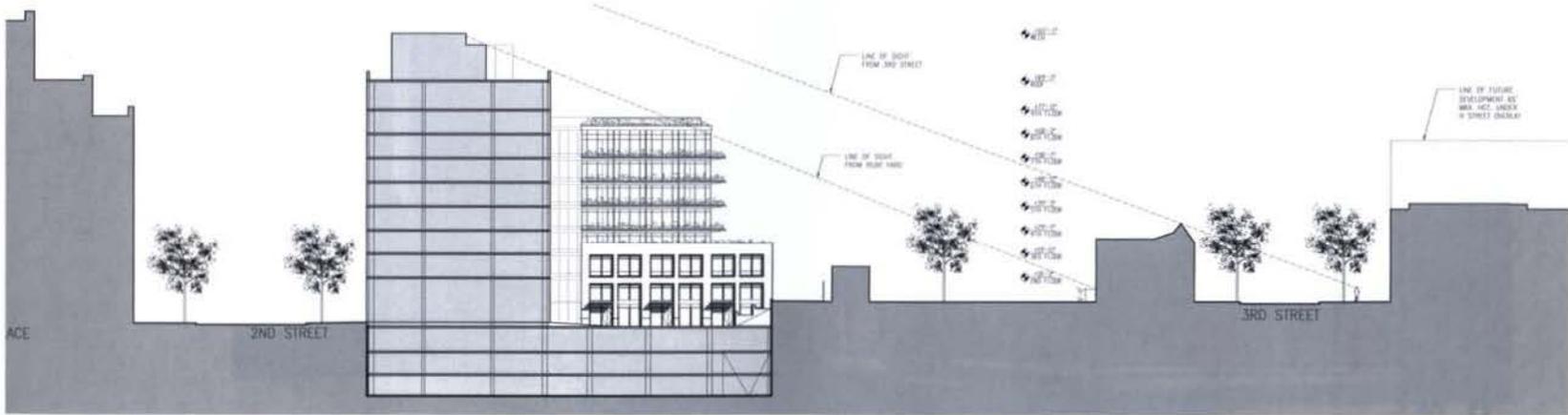
**1** EAST ELEVATION - ALLEY



5 WEST ELEVATION - 2ND STREET



2 EAST ELEVATION - 3 RD STREET



1 SITE SECTION - VIEW DIAGRAM

Capitol Place, 2nd Street, Washington D.C. Stabon Holdings LLC

PUD SUBMISSION - BUILDING ELEVATIONS / VIEW DIAGRAMS

Cook+Fox Architects LLP  
MARCH 20, 2006





Capitol Place, 2nd Street, Washington D.C. Station Holdings LLC

P.U.D. SUBMISSION: PERSPECTIVE, 2ND STREET LOOKING NORTH

Cook+Fox Architects LLP  
March 20, 2006



Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: PERSPECTIVE, H STREET LOOKING WEST

Cook+Fox Architects LLP  
March 20, 2006



Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: PERSPECTIVE, H STREET LOOKING EAST

Cook+Fox Architects LLP  
March 20, 2016