



Capitol Place

Square 752, 2nd Street NE, Washington D.C. Station Holdings, LLC

Supplemental Prehearing Submission

Planned Unit Development (Exhibit A) - October 1, 2007

Cook+Fox

ZONING COMMISSION

CASE No. 05-37

EXHIBIT No. 102

ZONING COMMISSION
District of Columbia
CASE NO.05-37
EXHIBIT NO.102

PROJECT TEAM

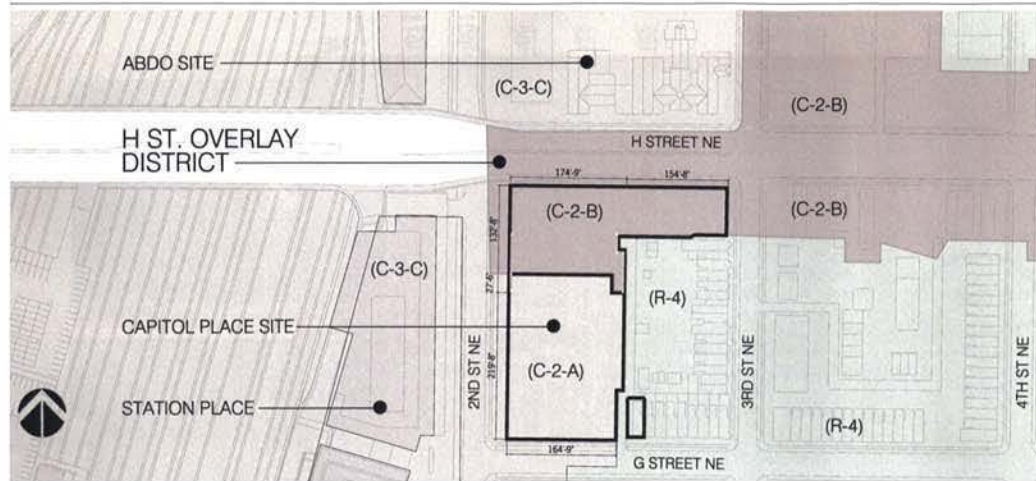
Station Holdings LLC
c/o: Louis Dreyfus Property Group

Architect:	Cook + Fox Architects, LLC
MEP:	hsk, inc
Structural:	Trudger Cohen-Coleman Associates, Inc.
Site Civil:	Edwards and Reiley, Inc.
Landscapes:	Jack Curtis & Associates
Traffic:	Wells & Associates
Sustainable Design:	Versian Energy & Environmental LLC
Sustainable Design:	
Advocacy:	Wynne Bright Green LLC
Zoning:	Hickout + Knight LLP
Residential:	The Maymont Group
Retail:	Street Sense

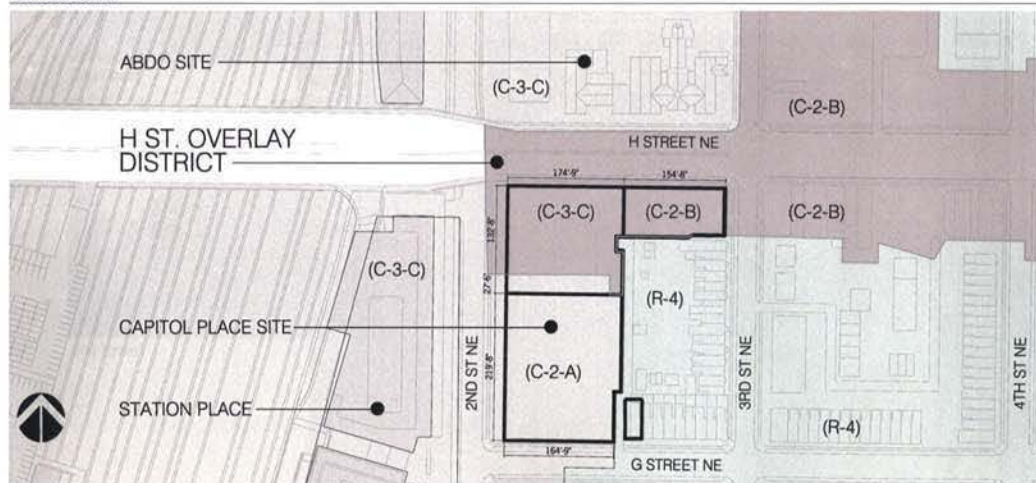
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EXISTING ZONING



PROPOSED ZONING



ZONING TABULATION:

SQUARE:	752			
EXISTING ZONING:	C2-A, C2-B			
USE:	RETAIL/PROFESSIONSL OFFICE/ RESIDENTIAL			
PROPOSED ZONING:	C-2-A	C-2-B	C-3-C	Site Total
SITE AREA:	37,626 SF	11,190 SF	27,897 SF	76,713 SF
LOT OCCUPANCY:				
PROPOSED	76% COVERAGE	83% COVERAGE	65% COVERAGE	73% COVERAGE
ALLOWED	60% COVERAGE	80% COVERAGE	100% COVERAGE	77% COVERAGE
BUILDING HEIGHT:	65'-0" MAX.	90'-0" MAX.	110'-0" MAX.	18'-6" MAX.
PENTHOUSE HEIGHT:				37' FAR MAX.
PENTHOUSE AREA:				15' REQUIRED - 45' PROVIDED
REAR YARDS:				NONE
SIDE YARDS:				
PARKING:	COMMERCIAL: RESIDENTIAL: (302 UNITS) TOTAL	REQUIRED 54 SPACES 114 SPACES 168 SPACES	PROPOSED 40 SPACES 278 SPACES 318 SPACES (Note: Additional 60 non-zoning compliant tandem spaces = 378 Spaces Total - See Parking Plan - Drawing # 34)	
LOADING:	COMMERCIAL: RESIDENTIAL:	NONE 1 BERTH @ 55' 1 PLATFORM @ 200 SF 1 SERVICE SPACE @ 20'-0"	1 BERTH @ 30' 1 PLATFORM @ 200 SF 1 BERTH @ 55' 1 PLATFORM @ 200 SF 1 SERVICE SPACE @ 20'-0"	
BUILDING AREA:	COMMERCIAL: RESIDENTIAL: TOTAL:	PERMITTED (PUD) 320,888 SF 4.18 FAR 403,194 SF 5.25 FAR 403,194 SF 5.25 FAR	PROPOSED 25,777 GSF 0.34 FAR 363,324 GSF 4.73 FAR 389,101 GSF 5.07 FAR	

BUILDING ANALYSIS:

FLOOR	NON - FAR	COMMERCIAL	RESIDENTIAL	TOTAL GFA
MECH PENTHOUSE	9,331 SF	-	8,737 GSF	8,737 GSF
FLOOR 10	-	-	16,750 GSF	16,750 GSF
FLOOR 9	-	-	18,166 GSF	18,166 GSF
FLOOR 8	-	-	31,345 GSF	31,345 GSF
FLOOR 7	-	-	46,071 GSF	46,071 GSF
FLOOR 6	404 SF	-	52,881 GSF	52,881 GSF
FLOOR 5	525 SF	-	53,156 GSF	53,156 GSF
FLOOR 4	637 SF	2,343 GSF	53,677 GSF	56,020 GSF
FLOOR 3	637 SF	6,915 GSF	49,750 GSF	56,665 GSF
FLOOR 2	4,450 SF	16,519 SF	32,791 GSF	49,310 GSF
FLOOR 1	60,789 SF	-	-	-
FLOOR P1	60,789 SF	-	-	-
FLOOR P2	60,789 SF	-	-	-
FLOOR P3	60,789 SF	-	-	-
TOTAL BUILDING AREA		25,777 GSF	363,324 GSF	389,101 GSF
FAR:		COMMERCIAL 0.34 FAR	RESIDENTIAL 4.73 FAR	TOTAL BUILDING 5.07 FAR

Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: ZONING ANALYSIS

Cook+Fox Architects LLP
October 1, 2007



Capitol Place, 2nd Street, Washington D.C.

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P.U.D. SUBMISSION: AERIAL SITE PHOTO

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October 1, 2007



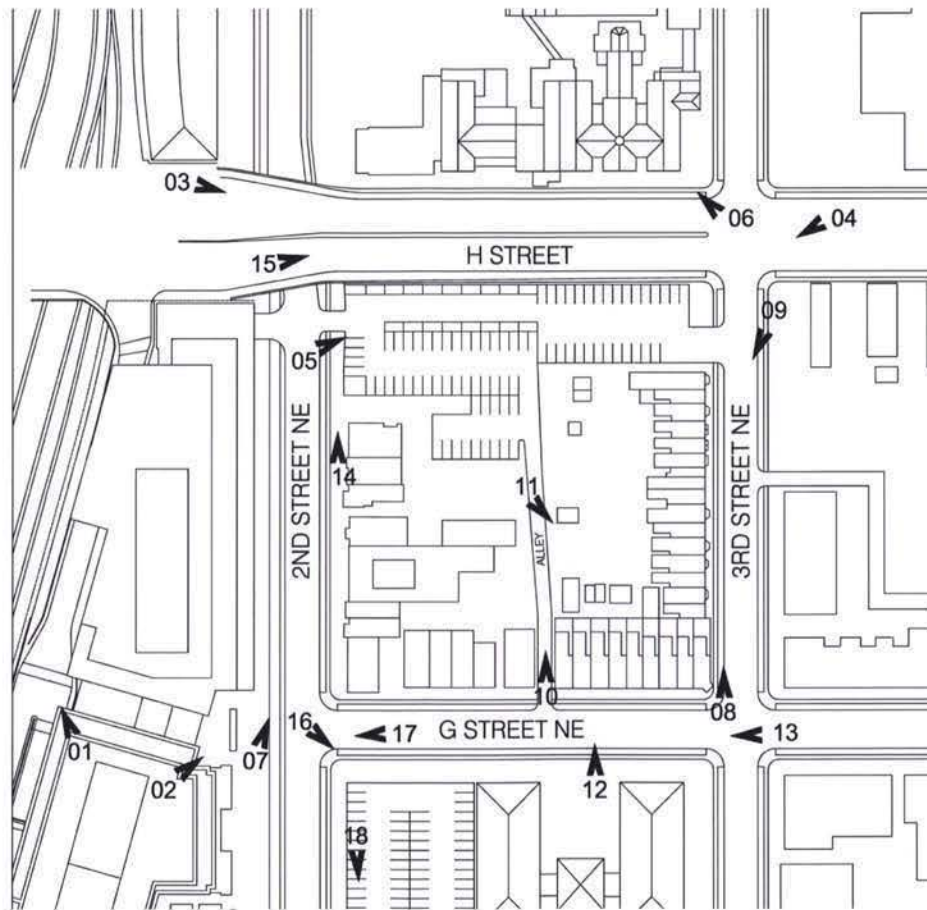
H Street



2nd Street



2nd Street



H Street



G Street



G Street



01



02



03



04



05



06

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08



09



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12



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16



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Rendering of approved Station Place building



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Capitol Place, 2nd Street, Washington D.C.

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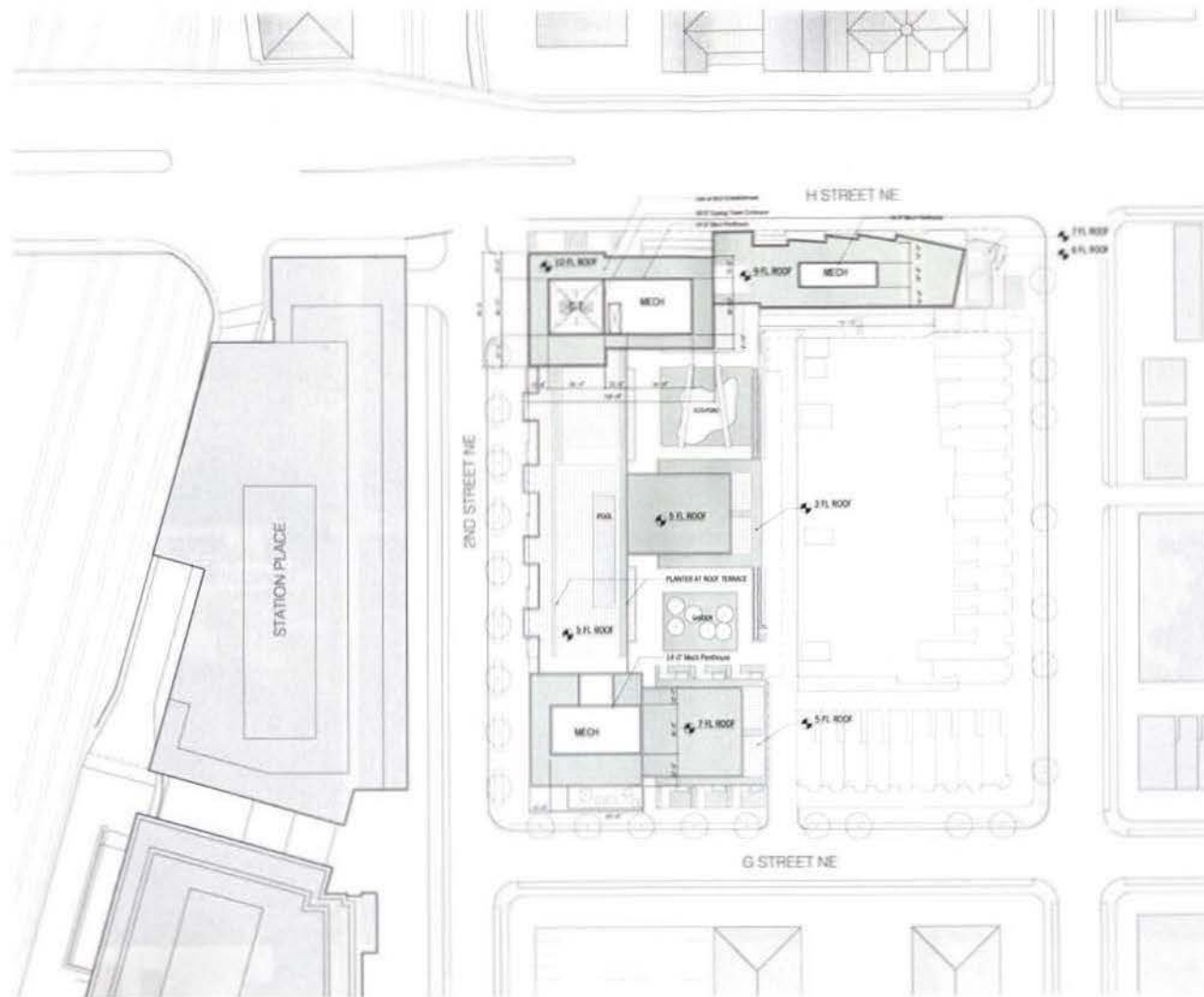
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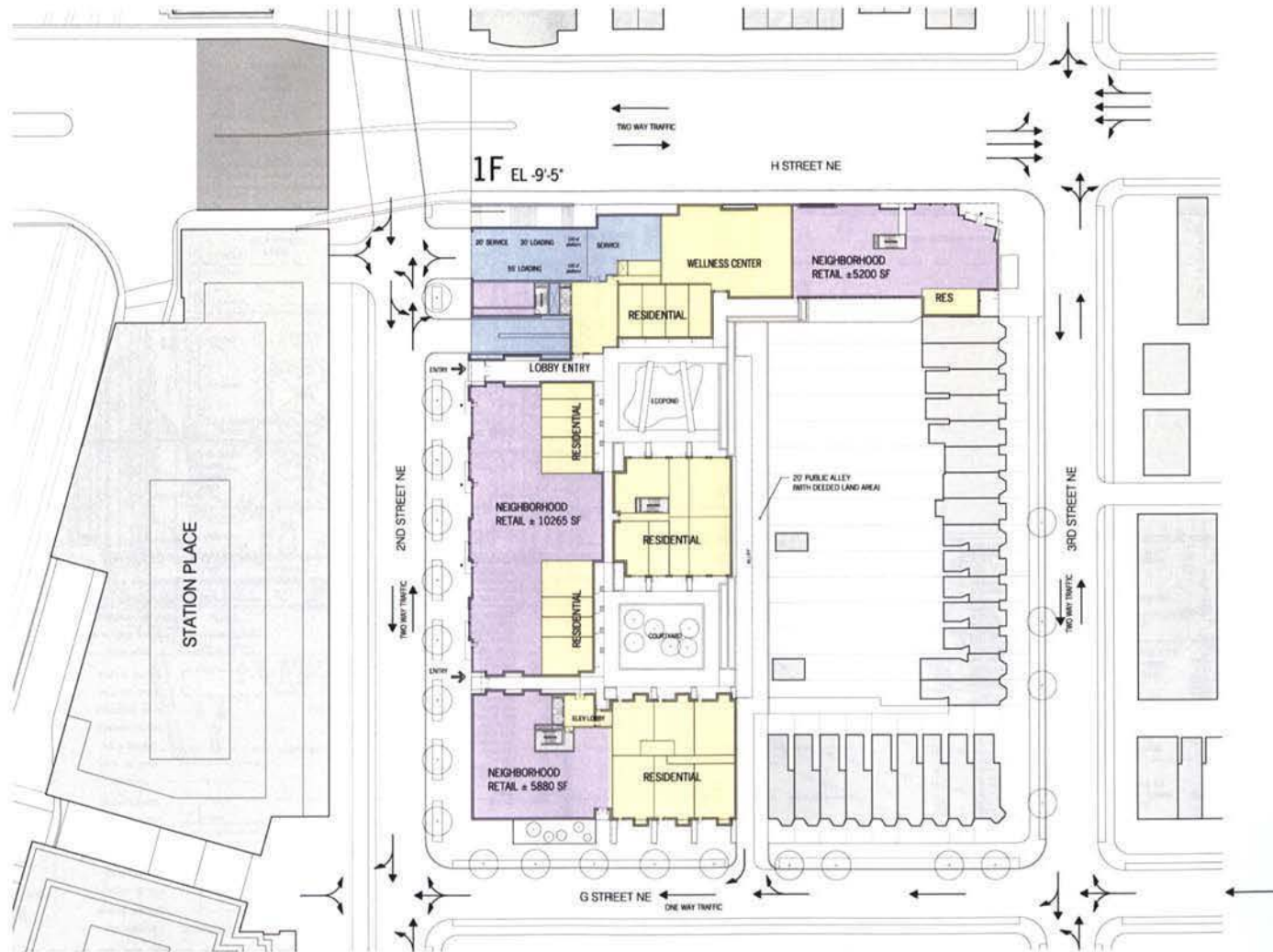
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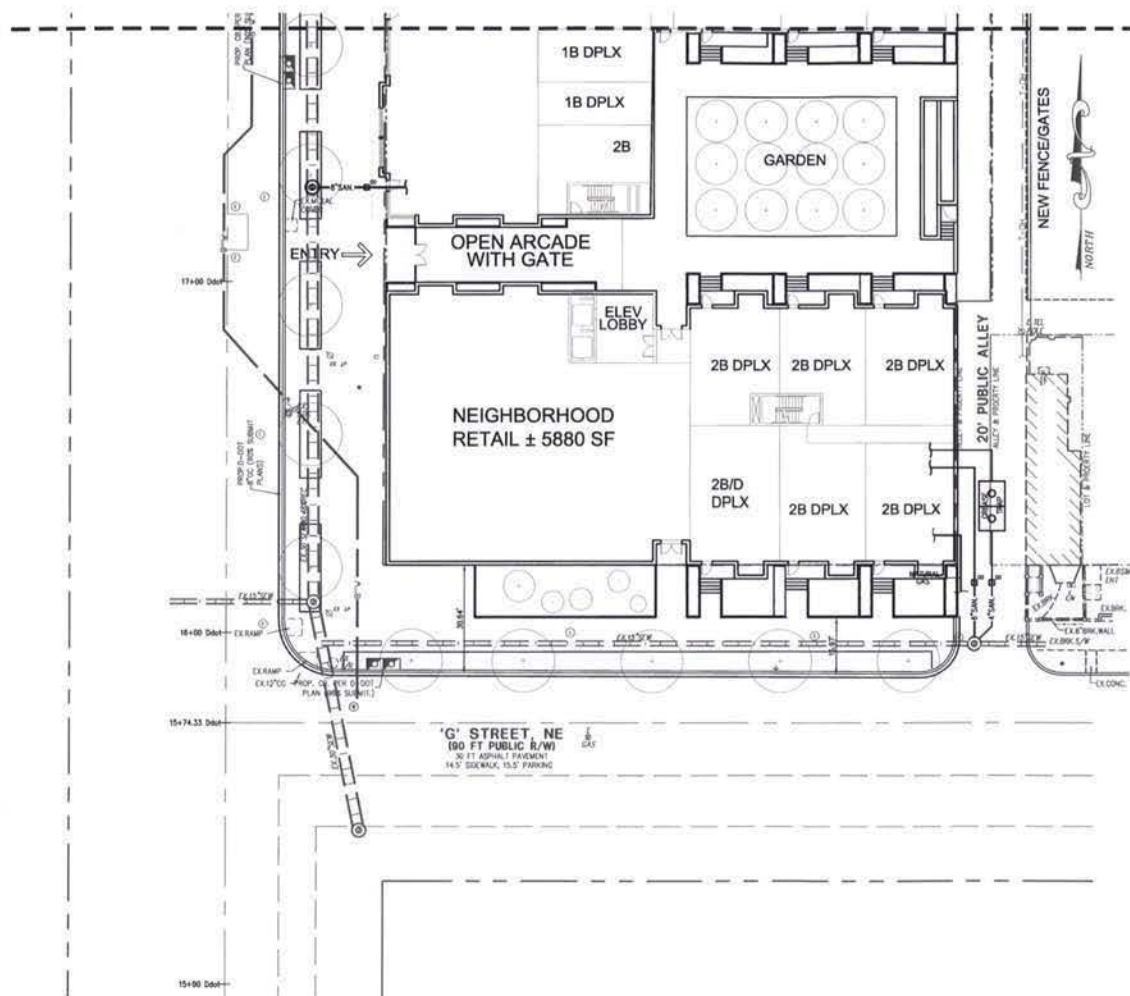
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Cook+Fox





MATCH LINE

NOTES:

1. ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH LATEST STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF PUBLIC WORKS - WATER AND SEWER UTILITY AUTHORITY.
2. CONTRACTOR TO BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING AND UNDERPINNING, DESIGNED BY STRUCTURAL ENGINEER LICENSED IN DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING SIDEWALK, CURB AND GUTTER TO REMAIN OR TO REPLACE SIDEWALK, CURB AND GUTTER DAMAGED DURING CONSTRUCTION.
4. EXISTING FULL DEPTH PAVEMENT SECTION, CURB AND GUTTER TO BE REMOVED AND REPLACED TO EXTENT NECESSARY TO FACILITATE CONSTRUCTION OF NEW UTILITIES. MATERIALS TO COMPLY WITH DCSPM STANDARDS AND SPECIFICATIONS.

5. TEST PITS ARE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS WITH ALL EXISTING UTILITY LINES TO DETERMINE THE EXACT HORIZONTAL LOCATION, ELEVATION AND ADD SIZE OF THE EXISTING UTILITIES. A MINIMUM OF ONE FOOT VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN EXISTING AND PROPOSED UTILITIES. TEST PITS SHOULD BE COMPLETED PRIOR TO ORDERING ANY STRUCTURES OR PIPE MATERIALS. NOTIFY ENGINEER OF ANY CONFLICT WITH PROPOSED PLANS.

METER & METER TRANSMITTING DEVICES NOTES:

THE AUTHORITY HAS INSTALLED A FIXED NETWORK AUTOMATIC METER READING SYSTEM. THIS SYSTEM WILL ELIMINATE THE REQUIREMENT TO READ METERS MANUALLY. METERS INSTALLED BY WASA OR PRIVATE OWNERS OF METERS WILL NEED TO MEET THE FOLLOWING SPECIFICATIONS IN ORDER FOR WASA TO READ METERS AUTOMATICALLY:

1. METERS, INSTALLATIONS AND INSPECTIONS MUST COMPLY WITH ALL DCMP CODES AND SPECIFICATIONS.
2. ALL NEW METERS INSTALLED, INCLUDING PRIVATELY OWNED METERS MUST BE "TIE" METER, ENCLOSED PIPE METERS OR TIE-BEAT METERS THAT CONVERT METER READINGS TO DIGITAL PULSES FROM THE METER RECORDERS.
3. ALL METER RECORDERS SHOULD BE ABLE TO CONVERT ALL THE DIALS IN THE METER REGISTER TO DIGITAL PULSES.
4. THE METERS MUST MEASURE WATER IN 100 CUBIC FEET INCREMENTS. ALL NEW METERS MUST HAVE A METER READING TRANSMITTING UNIT ATTACHED TO THE METER RECORDERS. SEALED SO AS TO MAKE IT WATER TIGHT. THE TRANSMITTING UNIT SHOULD BE PROGRAMMABLE TO DOWNSA'S FCC APPROVED RADIO FREQUENCY, AND COMPATIBLE WITH HEXAGRAM, INC. HARDWARE AND SOFTWARE.
5. ALL NEW METERS 3" OR GREATER MUST HAVE TEST PLUG IN THE METER.
6. ALL NEW METERING CONFIGURATIONS SHOULD HAVE STRAINER WHERE APPROPRIATE TO MANUFACTURER'S SPECIFICATIONS.

OUTSIDE LOCATIONS:

- A. THE NEW METER LID MUST BE OF A COMPOSITION AND TENSILE STRENGTH SO AS TO PERMIT A RADIO SIGNAL TO PROPAGATE THROUGH THE METER LID AND SECURE THE METER PIT AGAINST LIGHT VEHICLE TRAFFIC AND PEDESTRIAN FOOT TRAFFIC. LARGE METER INSTALLATIONS MUST HAVE METER LIDS THAT MAY WITHSTAND HEAVY VEHICLE TRAFFIC.
- B. THE RADIO-TRANSMITTING DEVICE MUST BE SECURELY ANCHORED TO THE UNDERSIDE OF THE NEW TRANSMITTER FRIENDLY METER LID, SO AS TO PERMIT A RADIO SIGNAL TO COMMUNICATE WITH A DATA COLLECTION UNIT.
- C. THE RADIO-TRANSMITTING DEVICE MAY ALSO BE INSTALLED THROUGH THE EXISTING CAST IRON METER LID OR A NEW CAST IRON METER LID SO AS TO PERMIT A SIGNAL TO COMMUNICATE WITH A DATA COLLECTION DEVICE AND POSE NO TRIPPING HAZARDS.

APPROVED METERS, METER LIDS AND MTS CURRENTLY USED BY DCWASA:

1. HEXAGRAM INC. METER TRANSMITTING UNIT.
2. ADD WATER METERS INC. WITH MTS PERMANENTLY POTTED AT THE FACTORY - MODEL C3000 2'-8" COMPOUND METER.
3. AMMOCAST INC.
 - METER LID 21 1/2" METER LID MAY NEED TO BE HEAVY DUTY CAST IRON WITH THE RADIO TRANSMITTING DEVICE INSTALLED THROUGH THE EXISTING CAST IRON METER LID TO ALLOW REMOVAL OF THE LARGER SIZE METERS.

ESTIMATED PEAK FLOWS AND PIPE SIZES:

Pre Water Service	1,380 GPM	8" diameter pipe
Remain Water Service	890 GPM	8" diameter pipe
Sanitary Sewer	2,745 discharge	16" four separate
Total project load	Discharge	8" diameter culverts

STORMWATER MANAGEMENT NOTE:

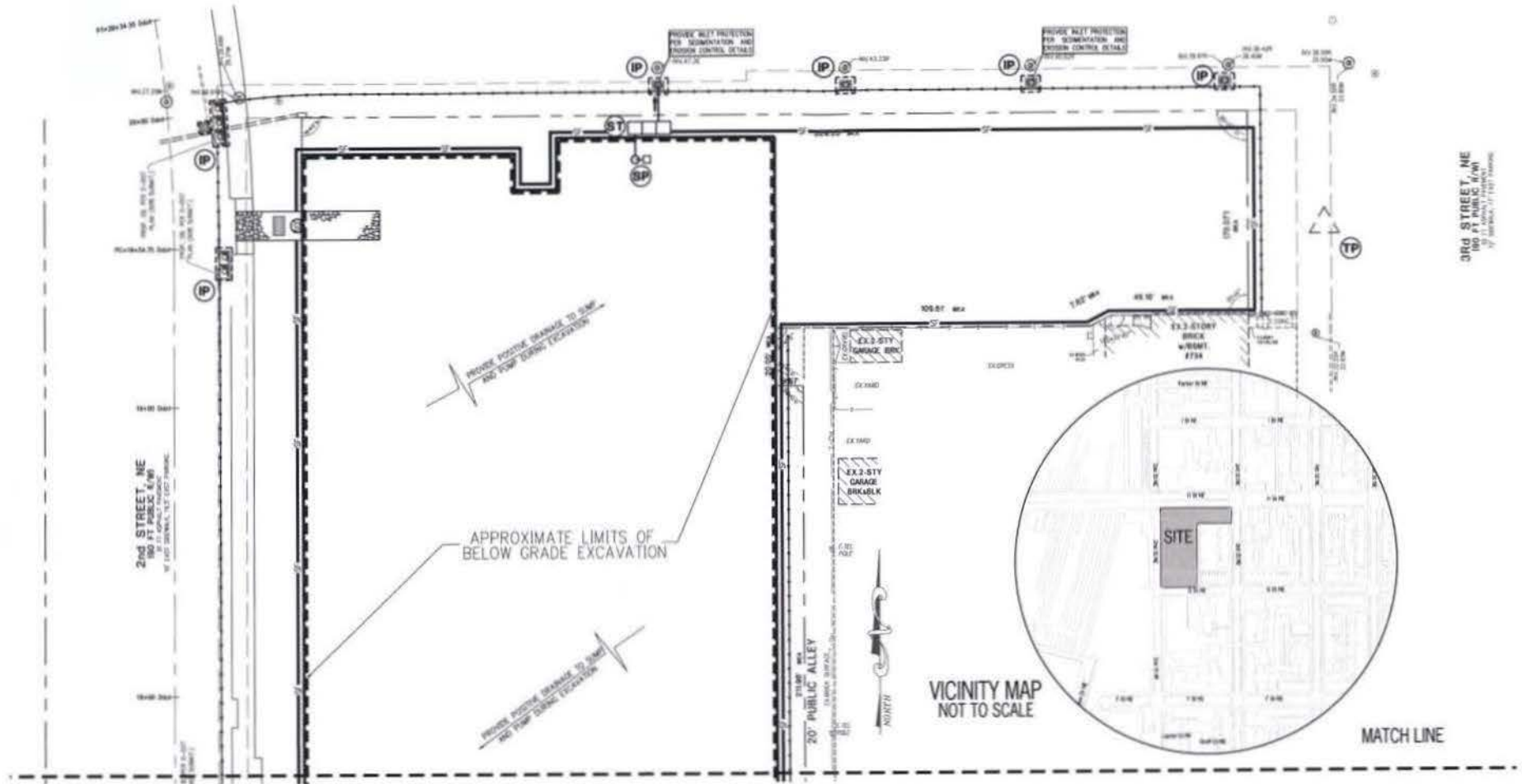
STORMWATER MANAGEMENT TO BE PROVIDED BY MEANS OF A GREEN ROOF SYSTEM OR SIMILAR APPROVED STORMWATER MANAGEMENT DEVICE TO MEET THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA, DEPARTMENT OF HEALTH AND ENVIRONMENTAL ADMINISTRATION WATERSHED PROTECTION DIVISION.

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Station Holdings LLC

P.U.D. SUBMISSION: UTILITY PLAN "B"

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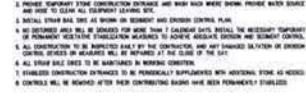
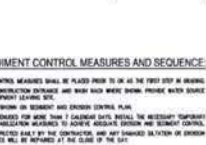
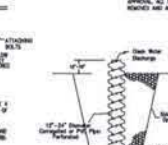
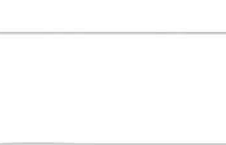
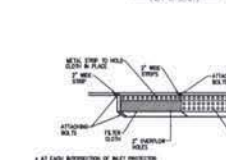
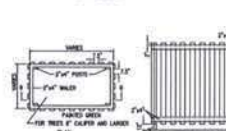
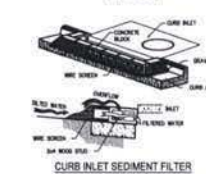
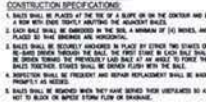
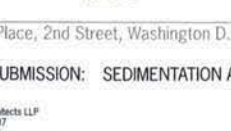
3RD STREET, NE
100 FT PUBLIC R/W
17' SIDEWALK 11'10" TYPING

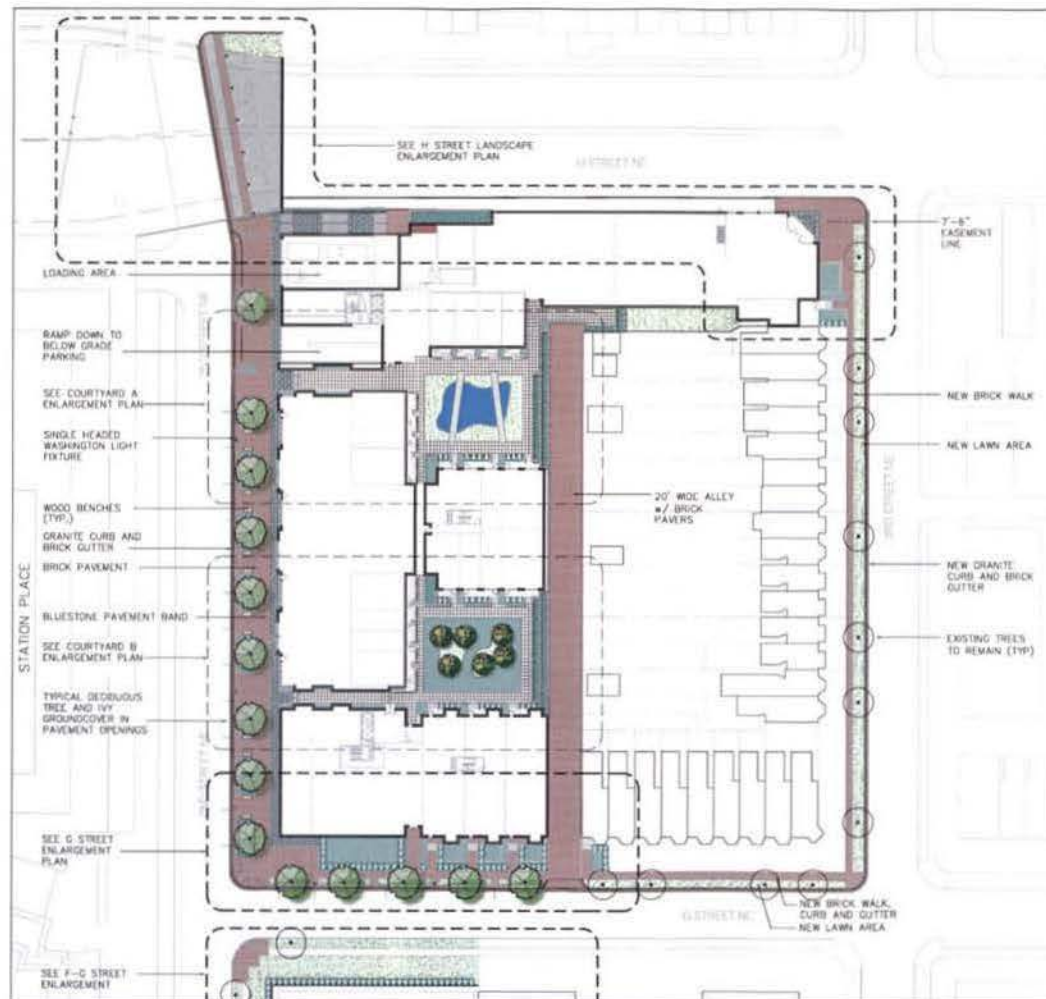
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Station Holdings LLC

P.U.D. SUBMISSION: SEDIMENTATION AND EROSION CONTROL PLAN "A"

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October 1, 2021





TYPICAL STREET TREE PLANTINGS



TYPICAL BRICK PAVEMENT



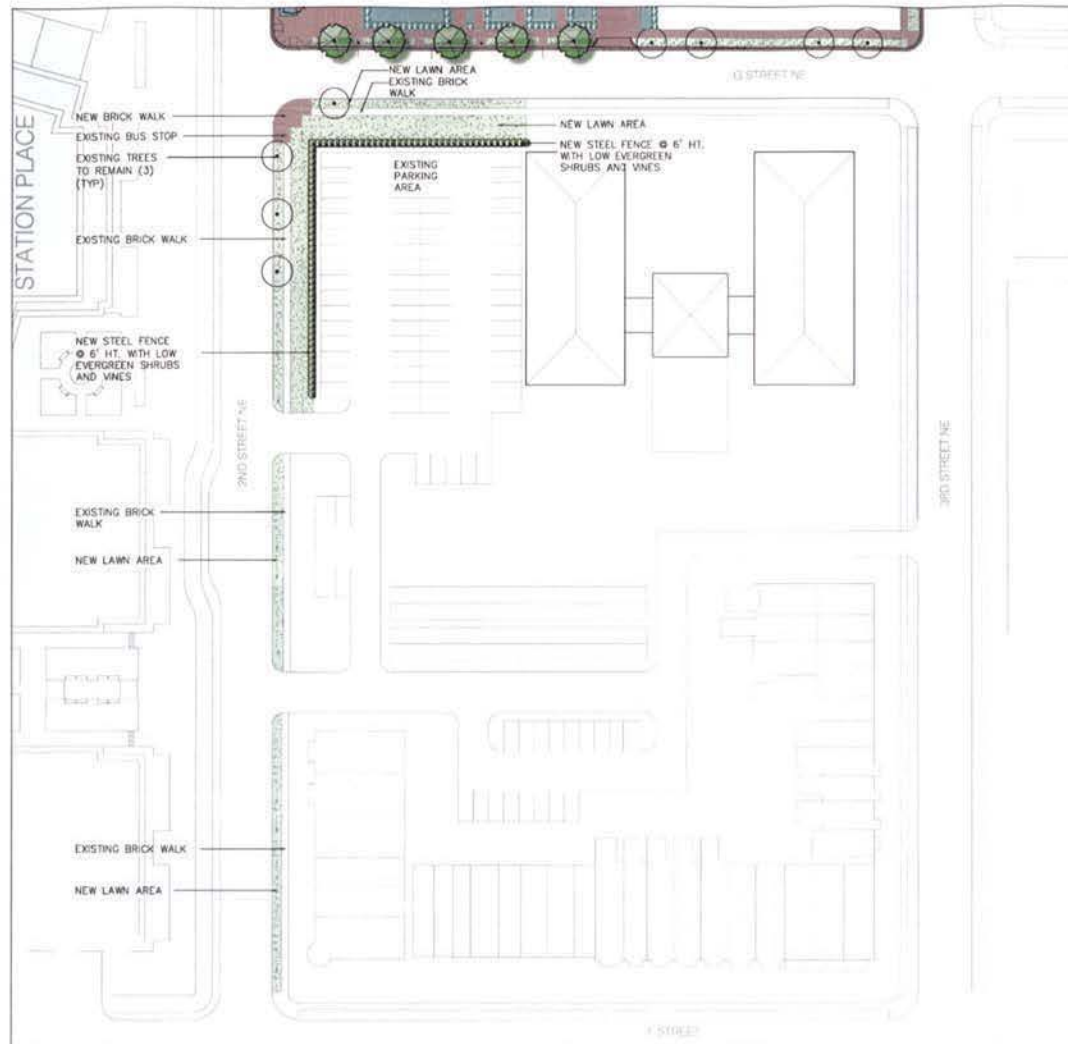
SINGLE GLOBE
WASHINGTON
LIGHT FIXTURE



WOOD BENCH



POTENTIAL OUTDOOR CAFE AREA at
G AND 2ND STREET



TYPICAL BRICK PAVEMENT



STEEL FENCE at EXISTING PARKING AREA

Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: STREETScape PLAN ALONG 2ND STREET BETWEEN F & G STREETS

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TYPICAL GRANITE PAVEMENT

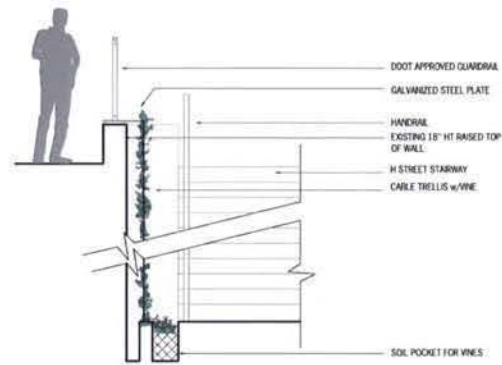


GUARDRAIL at BRIDGE

EVERGREEN SHRUBS



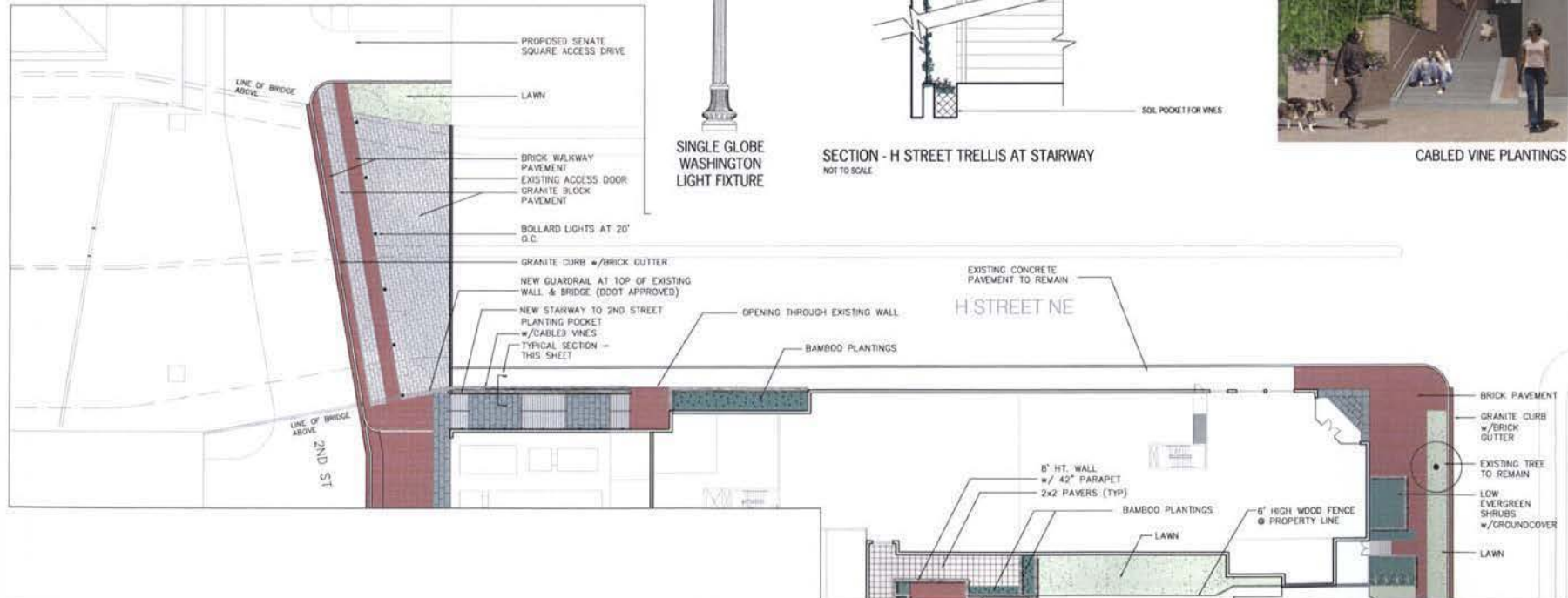
SINGLE GLOBE
WASHINGTON
LIGHT FIXTURE



SECTION - H STREET TRELLIS AT STAIRWAY
NOT TO SCALE



CABLED VINE PLANTINGS





WOOD BENCH



TYPICAL STREET TREE AT G STREET



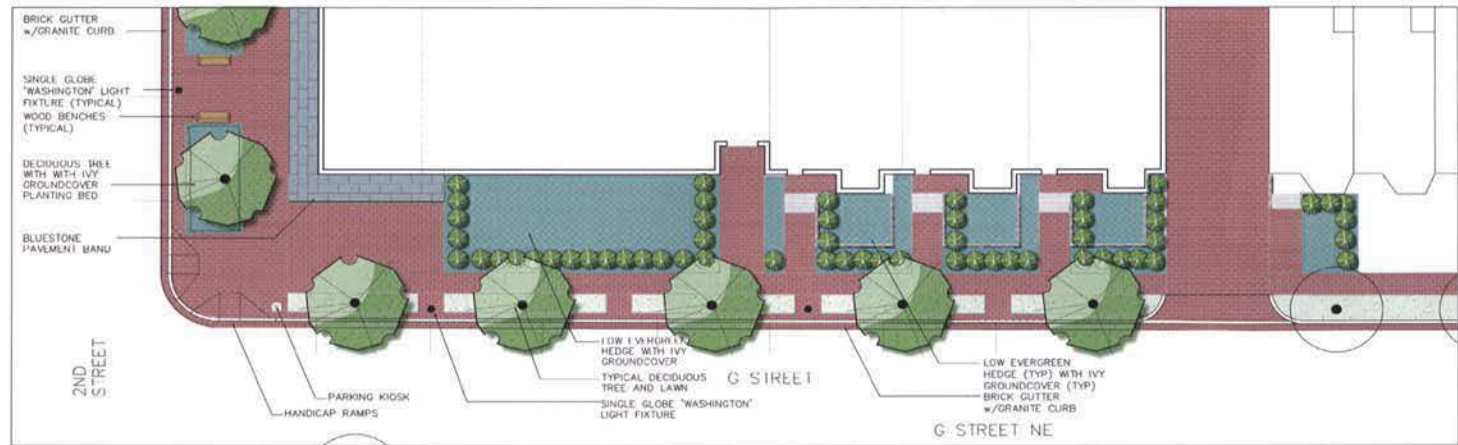
TYPICAL BRICK PAVEMENT



EVERGREEN SHRUBS



G STREET





COURTYARD ENTRY ARCADE — ENLARGEMENT PLAN



TYPICAL
BRICK PAVEMENT



TYPICAL STREET TREE
at 2nd STREET



EVERGREEN SHRUBS



WOOD BENCHES



SINGLE GLOBE
WASHINGTON
LIGHT FIXTURE

DECIDUOUS TREE

SINGLE GLOBE
WASHINGTON LIGHT
FIXTURE

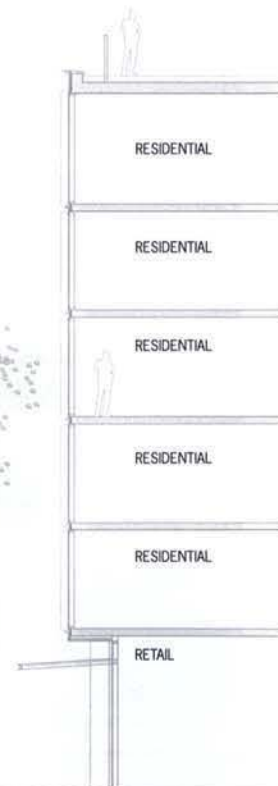
WOOD BENCH

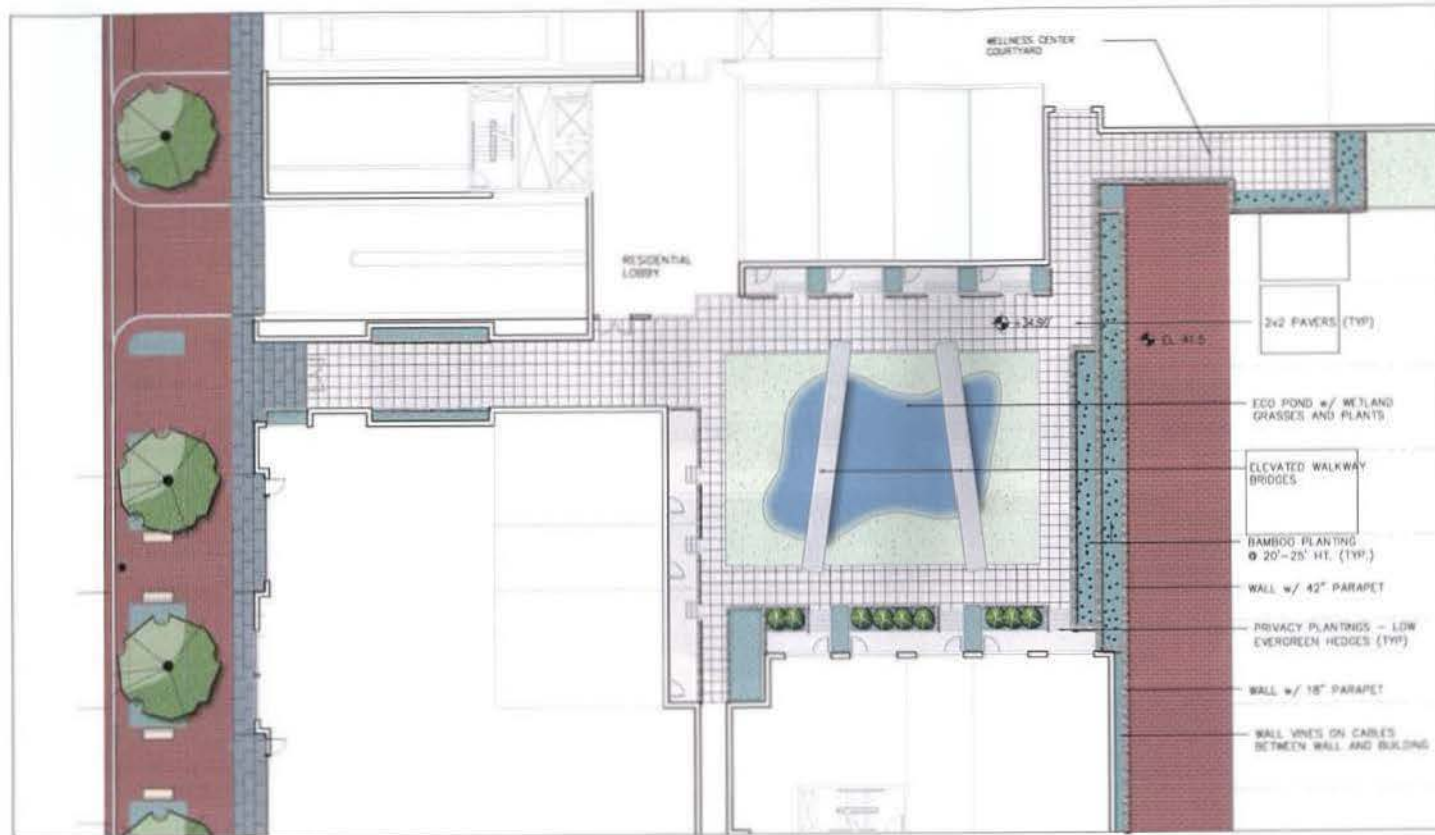
IVY
GROUNDCOVER

GRANITE CURB

BRICK GUTTER

SECTION AA AT 2ND STREET NE
NOT TO SCALE





BAMBOO



ORNAMENTAL GRASSES



Likely Points	Possible Points
9 Sustainable Sites	14 Points
SS-1 Erosion & Sedimentation Control Site Selection The project meets the following criteria: (1) Not on prime farmland; (2) Not on habitat for endangered species; (3) Not within 100 ft of wetlands; (4) Not on land that prior to acquisition was public parkland; (5) min 5 ft above the 100-year flood level. Development Density The project meets the following criteria: 60,000 sf/stac, equivalent to two-story low-rise neighborhood. Brownfield Redevelopment Existing site is not declared a "brownfield" by the EPA. However, LEED, via a Credit Interpretation Ruling has accepted as equivalent an ASTM E 1903-07 Phase I Environmental Site Assessment performed for contaminated soils or asbestos abatement. Asbestos remediation should be performed following any generally accepted standard such as the Resource Conservation and Recovery Act (RCRA) and NESHAPS (National Emissions Standards for Hazardous Air Pollutants). Alternately, asbestos assessment could follow the EPA regulation 40CFR part 763. The project will review the criteria. Alternative Transportation, Public Transportation Access Location within 1/2 mile of a commuter rail or 1/4 mile of at least two bus stations. The project is within 1/2 mile of Union Station Metro Station. Alternative Transportation, Bicycle Storage & Changing Rooms Requirement: Covered bicycle storage for 15% of residents. The project will provide the required bicycle storage. (Note: No changing rooms are required in a residential building.) Alternative Transportation, Alternative Fuel Refueling Stations (3% of Parking) The project will study the following alternative: - Provide alternate fuel vehicles & preferred parking for 3% of building occupants (not 3% of parking). Hybrids are acceptable. Alternative Transportation, Parking Capacity Do not exceed local parking requirements and reserve 5% of parking spaces for carpools. Reduced Site Disturbance, Protect or Restore Open Space Restore a minimum of 50% of the site area (excluding the building footprint) with native or adapted vegetation. Reduced Site Disturbance, Development Footprint Surpass the local zoning requirements for open space by 25%. Stormwater Management, 25% Reduction in Rate or Quantity 25% of 2-year/24 hr storm, calculated for the entire project site, needs to be collected and, as much as possible, re-used. The water will be stored in the basement. The water will be stored in a cistern, located in the parking levels of the building. The water will be re-used for some or all of the following: cooling tower make-up, irrigation of the green roofs, pavement washing, flushing of the toilets. Stormwater Management, Treatment Filter storm water from the entire site, or infiltrate the storm water off the entire site. Fertilize plants and maintain the building exterior with low phosphate products. Landscape & Exterior Design to Reduce Heat Islands, Non-Roof Place min. 50% of parking underground OR provide high-albedo materials for at least 30% of the site's impervious, non-roof surfaces, OR shade at least 30% of these impervious surfaces. Landscape & Exterior Design to Reduce Heat Islands, Roof Vegetated (green) roof for 50% of roof, or a combination of vegetated (green) roof + ENERGY STAR roofing for 75% of the roof. ENERGY STAR roofing has high reflectance and high emittance. The project will meet requirement with vegetated (green) roof. Light Pollution Reduction Prevent interior lighting from spill outside building, prevent exterior lighting from trespassing property boundary, and provide appropriate cut-offs for exterior lighting. To be pursued throughout the project by the lighting designer as the project develops.	

Likely Points	Possible Points
8 Water Efficiency	5 Points
WE-1 Water Efficient Landscaping, Reduce by 50% Micro or drip irrigation, or retained storm water will be reviewed to meet the requirement. WE-2 Water Efficient Landscaping, No Potable Use or No Irrigation The point can also be obtained by installing no irrigation system for the green roof. (Temporary irrigation is allowed until the plants are established.) WE-3 Innovative Wastewater Technologies Point achievable with black water system, or if an extensive rain water collection system is used for toilet flushing in the entire building. WE-4 Water Use Reduction, 20% Reduction The project will review use of low flow showerheads (2.0 gpm), kitchen sink lavatories of 1.5 gpm, bathroom lavatories of 1.5 gpm, and dual-flush toilets. WE-5 Water Use Reduction, 30% Reduction The project will use energy modeling to study building performance.	

Likely Points	Possible Points
3 Energy & Atmosphere	17 Points
EA-1 Fundamental Building Systems Commissioning Minimum Energy Performance CFE Reduction in HVAC/AR Equipment EA-2 Optimize Energy Performance, 12.51% New The project will use energy modeling to study building performance. EA-3 Optimize Energy Performance, 22.51% New The project will use energy modeling to study building performance. EA-4 Optimize Energy Performance, 27.51% New EA-5 Optimize Energy Performance, 32.51% New EA-6 Optimize Energy Performance, 37.51% New EA-7 Optimize Energy Performance, 42.51% New EA-8 Optimize Energy Performance, 47.51% New EA-9 Optimize Energy Performance, 52.51% New EA-10 Optimize Energy Performance, 57.51% New EA-11 Renewable Energy, 5% Min. requirement is 2.51% of regulated energy cost (excluding plug loads, cooking, washing/drying, elevators, exterior lighting, occupant-installed lighting). EA-12 Renewable Energy, 10% EA-13 Renewable Energy, 20% EA-14 Additional Commissioning The project will engage independent commissioning agent. EA-15 Ozone Depletion No HCFCs or Halons. EA-16 Measurement & Verification EA-17 Green Power Two-year contract to provide 50% of the building power with renewable energy.	

Likely Points	Possible Points
8 Materials & Resources	13 Points
MR-1 Storage & Collection of Recyclables MR-2 Building Reuse, Maintain 75% of Existing Shell Not applicable for the project. MR-3 Building Reuse, Maintain 100% of Shell Not applicable for the project. MR-4 Building Reuse, Maintain 100% Shell & 50% Non-Shell Not applicable for the project. MR-5 Construction Waste Management, Divert 50% of C&D waste from landfill The project will meet requirement. MR-6 Construction Waste Management, Divert 75% of C&D waste from landfill The project will meet requirement. MR-7 Resource Reuse, Specify 5% Requires using salvaged materials (i.e. salvaged bricks, reclaimed wood) that make up 5% of all building materials (by cost). MR-8 Resource Reuse, Specify 10% MR-9 Recycled Content, Specify 5% Percentages are based on cost. The project will use concrete and steel with recycled content. MR-10 Recycled Content, Specify 10% The project will review use of additional materials with recycled content. MR-11 Local/Regional Materials, 20% Manufactured Locally The project will use a minimum of 20% of materials manufactured within 500 miles (by cost, excluding MEP). MR-12 Local/Regional Materials, of 20% Above, 50% Harvested Locally MR-13 Rapidly Renewable Materials 5% of building cost for materials only (excluding MEP) would have to be bamboo, cork, ag/bamboo, rapid-growth poplar and similar materials. MR-14 Certified Wood 50% minimum of all wood-based materials (including wood used for construction) to be certified in accordance with the Forest Stewardship Council Guidelines. Percentage is based on cost.	

Likely Points	Possible Points
8 Indoor Environmental Quality	15 Points
IEQ-1 Minimum IAQ Performance IEQ-2 Environmental Tobacco Smoke (ETS) Control IEQ-3 Carbon Dioxide (CO₂) Monitoring of common areas (Lobby, Wellness Center) will meet criteria. IEQ-4 Increase Ventilation Effectiveness Diffusers have to be specified with an efficiency of 0.9 according to the calculation in Chapter 32 of the ASHRAE Handbook of Fundamentals. IEQ-5 Construction IAQ Management Plan, During Construction The project will monitor HVAC protection, housekeeping, pathway interruption, source control, etc. during construction. IEQ-6 Construction IAQ Management Plan, Before Occupancy The project will attempt to perform a post construction flush out with outside air for a two week period prior occupancy. IEQ-7 Low-Emitting Materials, Adhesives & Sealants Adhesives and sealants used through the project will comply with the criteria of this credit. IEQ-8 Low-Emitting Materials, Paints Paints used through the project will comply with the criteria of this credit. IEQ-9 Low-Emitting Materials, Carpet Carpet used through the project will comply with the criteria of this credit. IEQ-10 Low-Emitting Materials, Composite Wood No added urea formaldehyde. IEQ-11 Indoor Chemical & Pollutant Source Control Entry grilles or grates to capture dirt. For areas with chemical processes (garage/storage), deck-to-deck partitions & separate exhaust. IEQ-12 Controllability of Systems, Perimeter Operable windows for every 200 sqft of perimeter, including commercial areas (permanently occupied spaces only, excluding storage rooms). IEQ-13 Controllability of Systems, Non-Perimeter IEQ-14 Thermal Comfort Comply with ASHRAE 55-1992. Compliance with ASHRAE Standard 55-2006 is now acceptable. IEQ-15 Thermal Comfort Permanent Monitoring System: Temperature, humidity. IEQ-16 Daylight & Views, Daylight 75% of Spaces To be determined, based on the commercial areas. IEQ-17 Daylight & Views, Views for 90% of Spaces To be determined, based on the commercial areas.	

Likely Points	Possible Points
5 Innovation & Design Process	8 Points
ID-1 Innovation in Design: Education Display of green design process and benefits ID-2 Innovation in Design: Integrated Pest Management & Green Housekeeping ID-3 Innovation in Design: Exemplary performance, such as but not limited to the following: Option 1: Exemplary savings of potable water (equivalent to 10% of water use for domestic purposes) Option 2: Exemplary recycled content (15% of the materials, excluding MEP, calculated by cost) Option 3: Exemplary storm water rate & quantity (retain 50% of the storm water instead of 25%) Option 4: 90% of waste is recycled instead of 75%. ID-4 Innovation in Design: TBD LEED™ Accredited Professional are part of the project design team.	

Likely Points	Possible Points
33 Project Totals	69 Points
Certified 26-32 points Silver 33-38 points Gold 39-51 points Platinum 52-69 points	

Capitol Place will meet requirements for LEED Certification

Note: Capitol place is committed to LEED - the project has met or will meet requirements for all points indicated, final points may vary.

Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: LEED MATRIX

Coof-Fox Architects LLP
October 1, 2007

“Biophilia...

is the innately emotional affiliation of human beings to other living organisms...life around us exceeds in complexity and beauty anything else humanity is ever likely to encounter.”

Edward O. Wilson
The Biophilia Hypothesis



Responsible Construction

During construction erosion and sedimentation control measures are taken to prevent unnecessary damage to the site and to prevent increased storm runoff. Construction debris is disposed of appropriately and recycled if possible.



Healthy Indoor Air Quality in Units

Low VOC and nontoxic finishes and materials are specified where ever possible and unhealthy building products avoided. A high-performance air-conditioning system draws in and filters fresh outdoor air to every apartment.



Energy Efficiency

Energy Efficient lighting fixtures are designed to minimize added heat to indoor spaces and plumbing fixtures are water efficient. Energy Star equipment, appliances and a Heat Recovery System will contribute to the goal of 20% Less Energy use.



Clean, Modern and Sustainable Materials

A clean, modern palette is derived from natural and durable materials. Composite materials are encouraged, and a minimum of 50% of all wood used will be FSC (Forest Stewardship Council) Certified. Local masonry traditions are contrasted with concrete, glass and steel creating a modern aesthetic.



Native Landscaping

The landscaped courtyard provides examples of local vegetation chosen to improve the habitat and biodiversity of the landscaping. Composting, used to maintain the community gardens located in the courtyard of the building, is available on site from food scraps.



Daylight and Views

Light from the sun is diffused into occupied spaces, including corridors connecting residents to the surrounding environment. Indirect daylighting also reduces the need for artificial lighting thereby reducing the building's energy requirements.



Green Building

Building will achieve Leed Certification from U.S. Green Building Council (USGBC) and will promote and provide amenities for recycling, a healthy/wellness center and a green cleaning.



Alternative Transportation

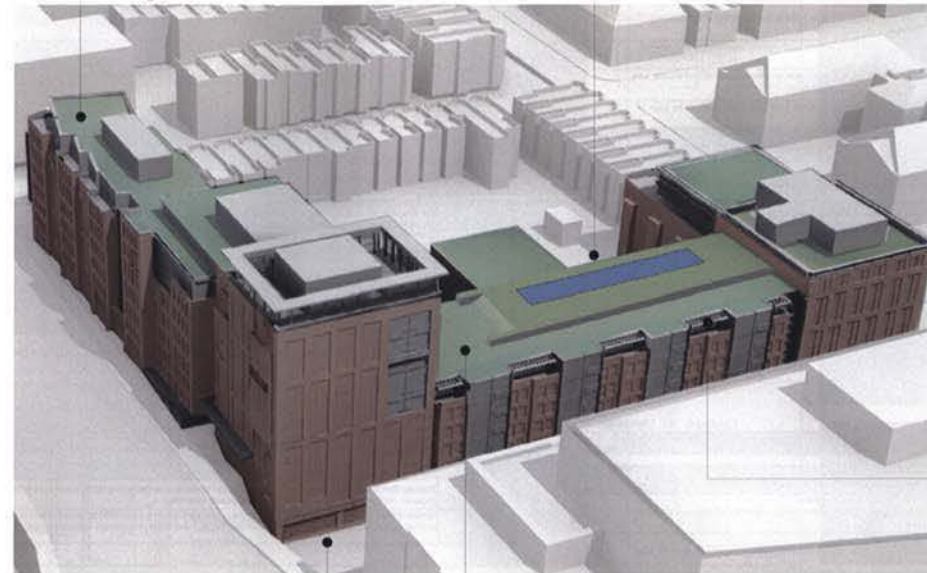
The development is located within a half mile of Union Station and has access to the Bus Stops on 2nd Street, NE. A ZipCar station is also proposed to be located on the property.

Terrace

The rooftop terrace uses high albedo pavers and vegetation planting which reduces heat island effect and aids in storm water management.

Landscaped Courtyard

The landscaped courtyard includes an Eco-Pond and community gardens.



Planted Trellis

A planted trellis provides natural sunshading that decreases the amount of solar heat gain and direct sunlight entering the units.

Water Cisterns in Cellar Level

The cisterns function as storm water management. Rainwater from the roof levels are captured, collected, and channeled to a cistern located in the cellar levels. Collected water will be used

Daylight View Corridors

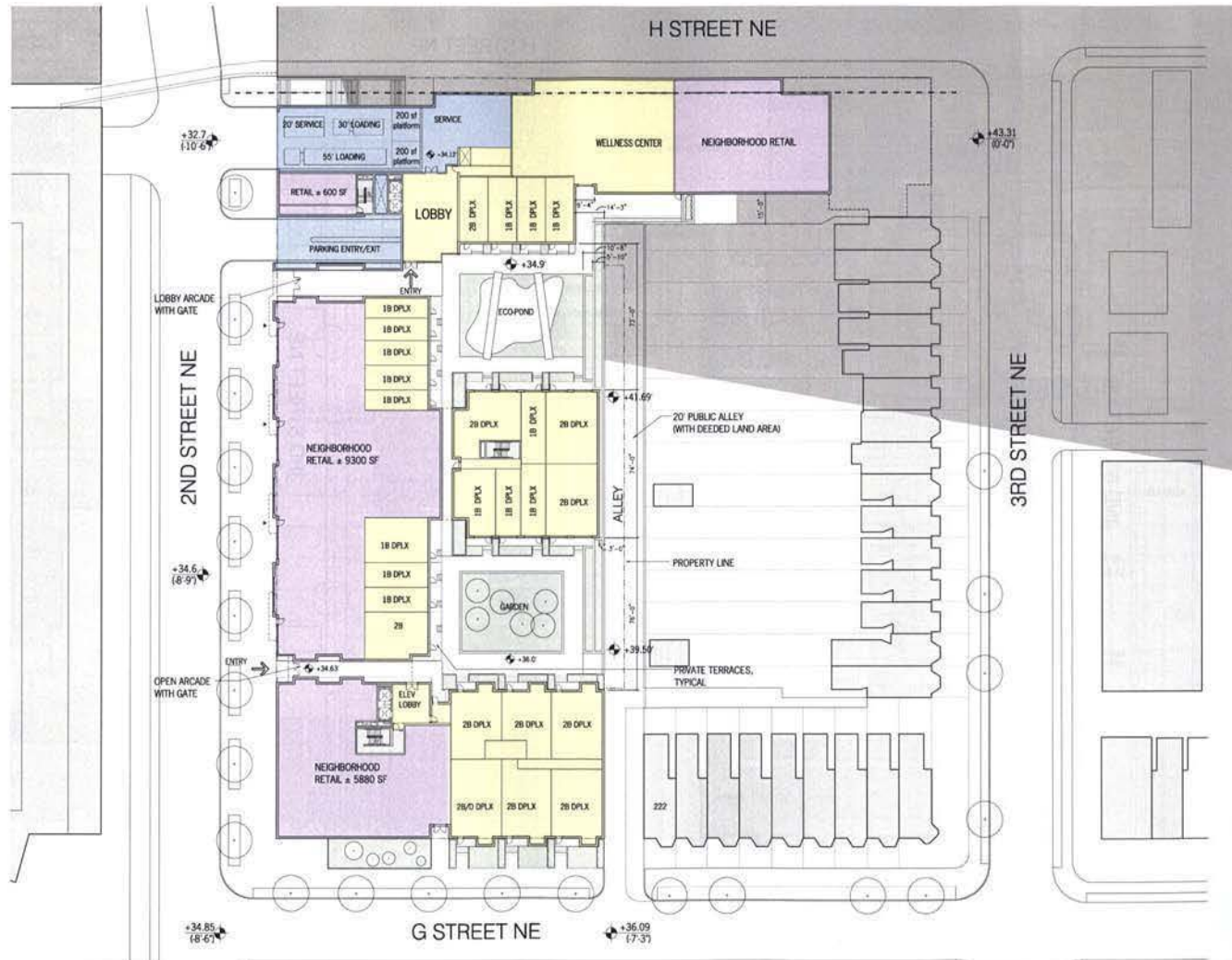
Daylight is provided at key areas to the interior circulation to provided natural lighting and to reinforce visual connection to the courtyard and surrounding environment.

Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: GREEN STRATEGIES

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October 1, 2007



NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE
BUILDING PLANS ARE SCHEMATIC. CHANGES
TO THE LAYOUTS, NOT AFFECTING THE
EXTERIOR ENVELOPE OR SQUARE FOOTAGE
DISTRIBUTION, MAY OCCUR.

Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

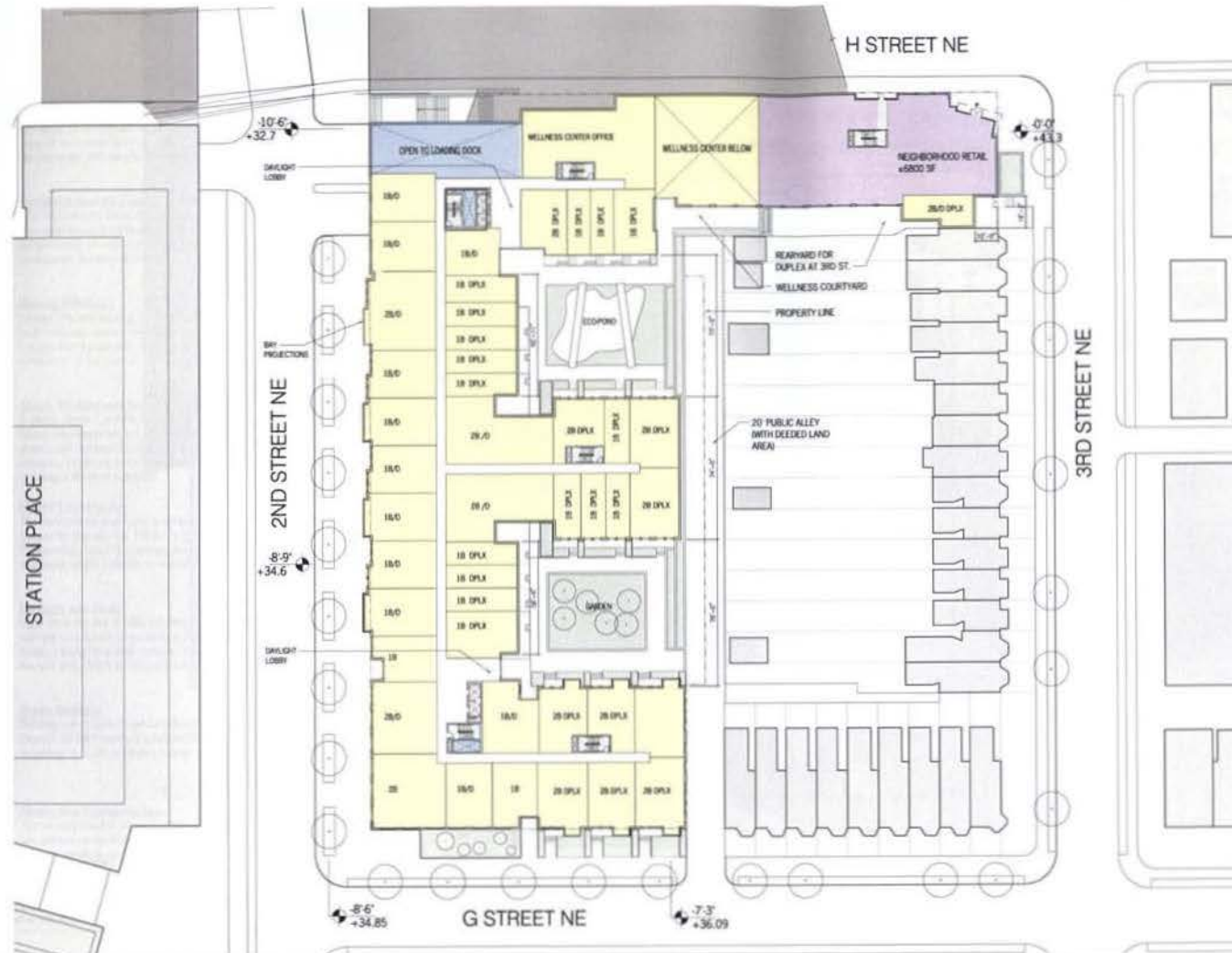
P.U.D. SUBMISSION: GROUND FLOOR PLAN - ELEVATION - 9' - 5"

Cook+Fox Architects LLP
October 1, 2007



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Cook+Fox



KEY	
COMMERCIAL/RETAIL	
SERVICE	
RESIDENTIAL	
GARDEN	

NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE
BUILDING PLANS ARE SCHEMATIC. CHANGES
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DISTRIBUTION, MAY OCCUR.

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P.U.D. SUBMISSION: SECOND FLOOR PLAN + 5' - 3"

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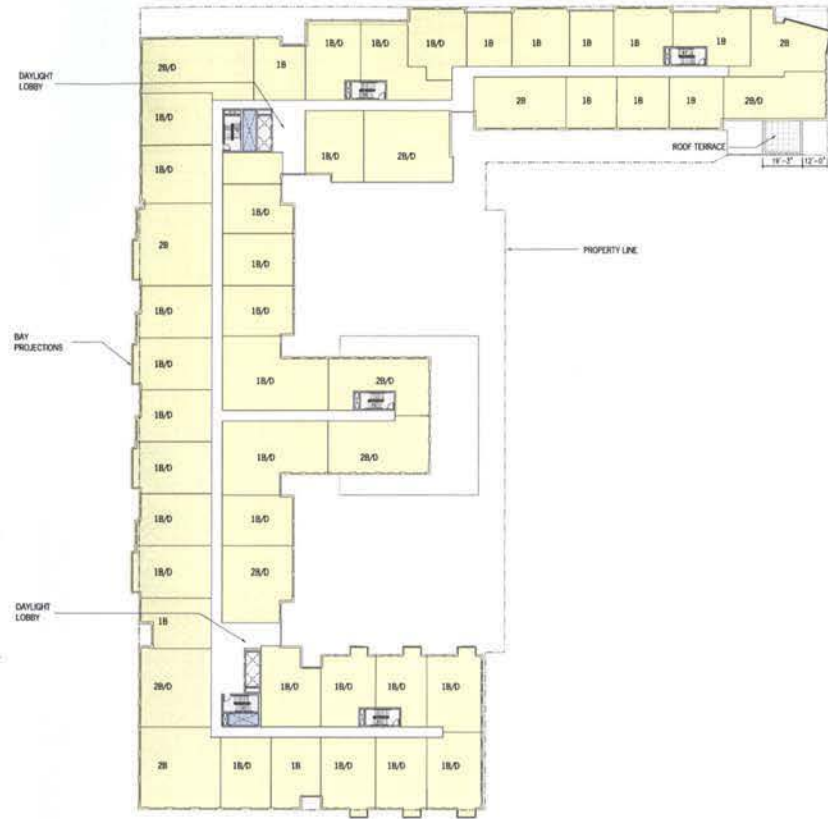


3RD FLOOR PLAN - ELEV 14'-11"



4TH FLOOR PLAN - ELEV 24'-7"

NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.



5TH FLOOR PLAN - ELEV 34'-3"



6TH FLOOR PLAN - ELEV 43'-11"

NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE
BUILDING PLANS ARE SCHEMATIC. CHANGES
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EXTERIOR ENVELOPE, OR SQUARE FOOTAGE
DISTRIBUTION, MAY OCCUR.

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P.U.D. SUBMISSION: FLOOR PLANS: 5-6

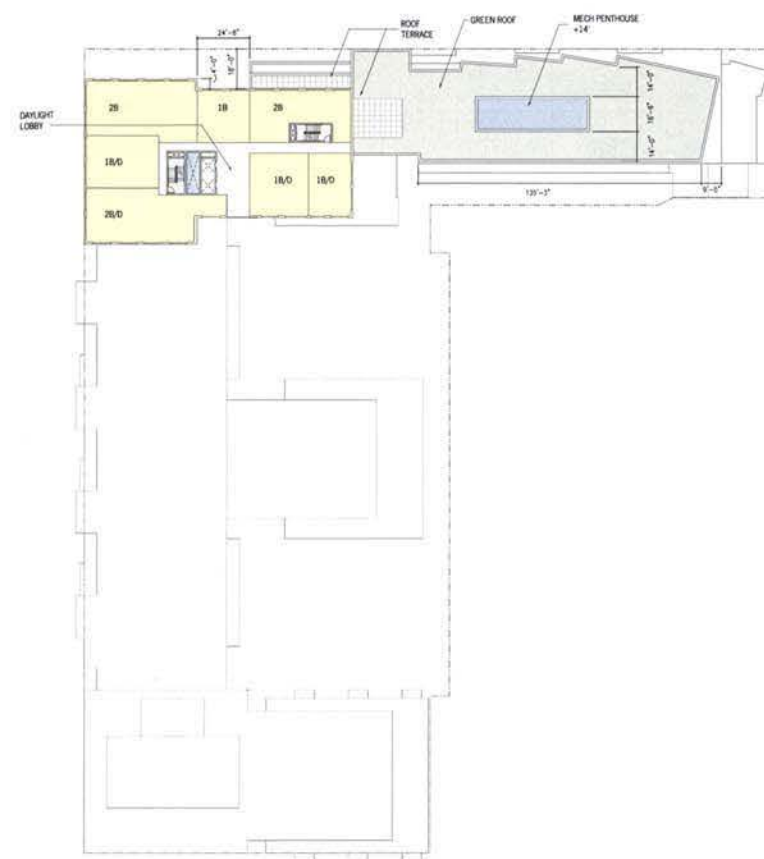
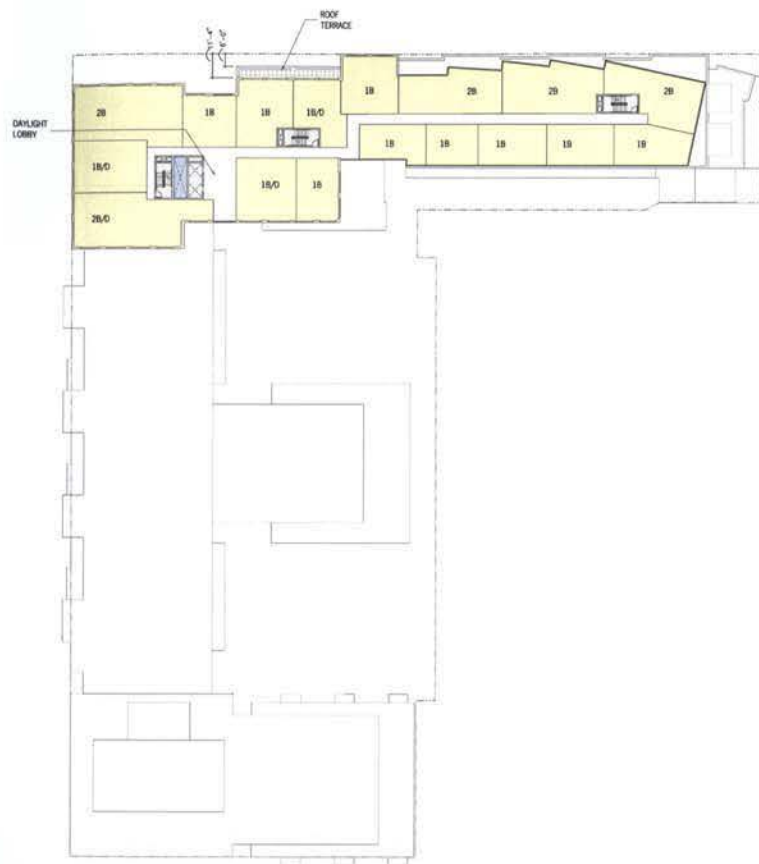
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October 1, 2007



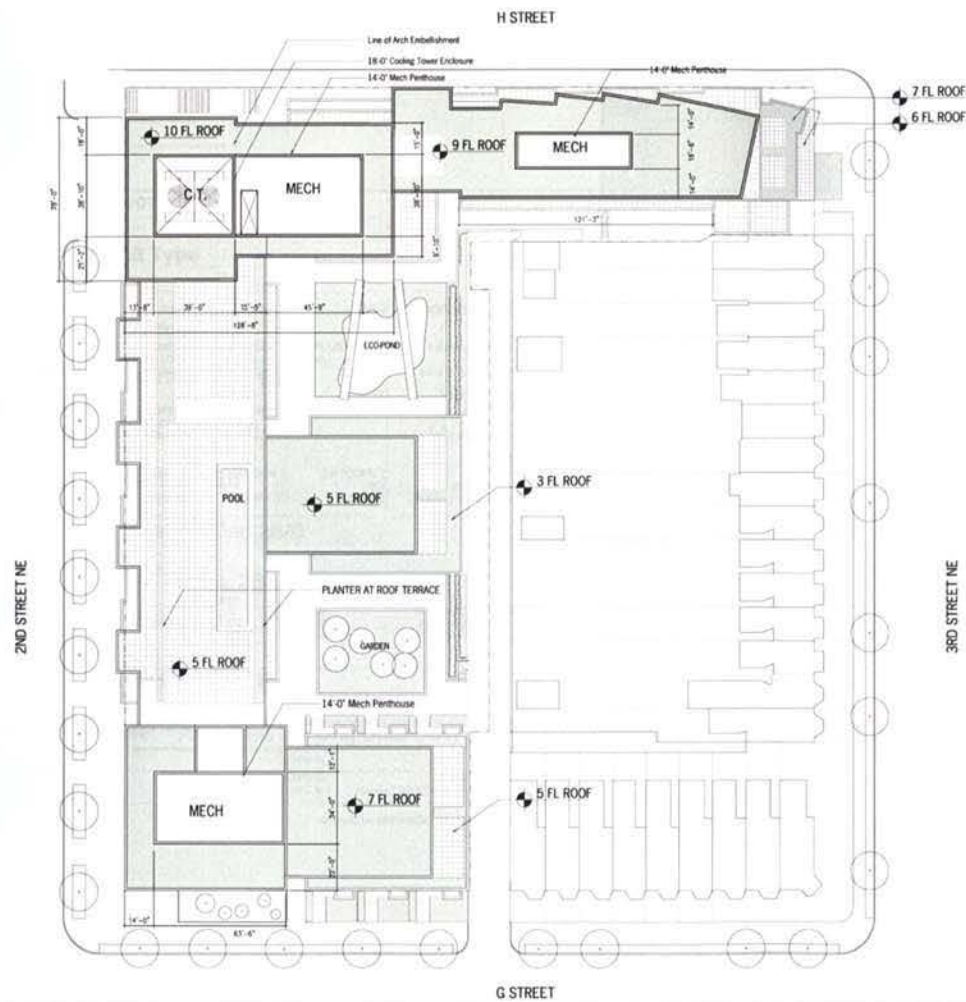
30







NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE
BUILDING PLANS ARE SCHEMATIC. CHANGES
TO THE LAYOUTS, NOT AFFECTING THE
EXTERIOR ENVELOPE OR SQUARE FOOTAGE
DISTRIBUTION, MAY OCCUR.



TOTAL ROOF AREA: 56,444 sf
GREEN ROOF AREA: 28,786 sf (51%)



Cook+Fox Architects Office Green Roof
New York, NY

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P.U.D. SUBMISSION: GREEN ROOF PLAN

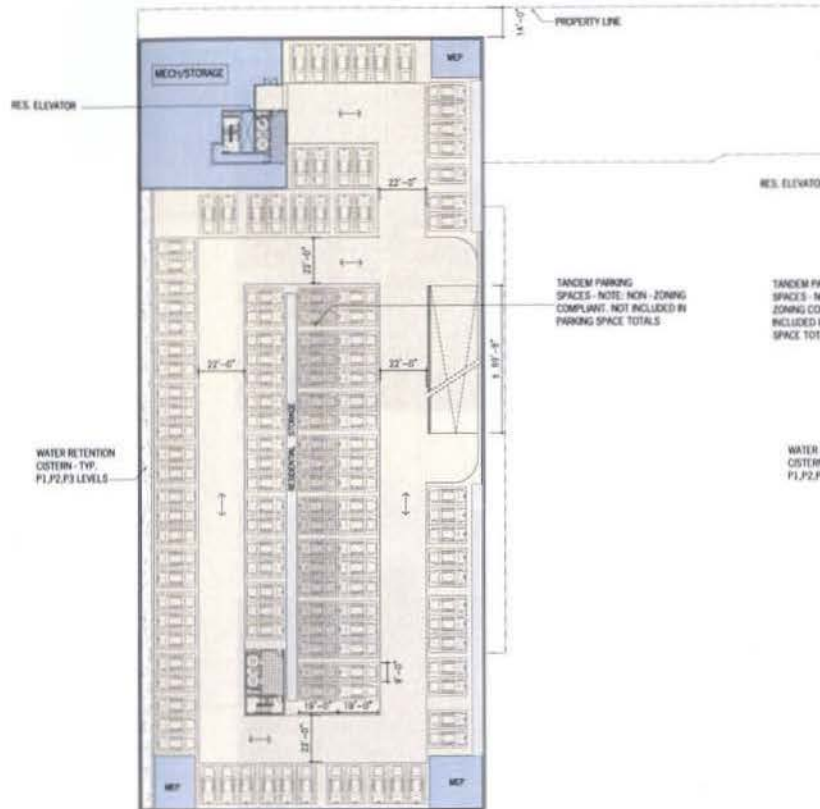
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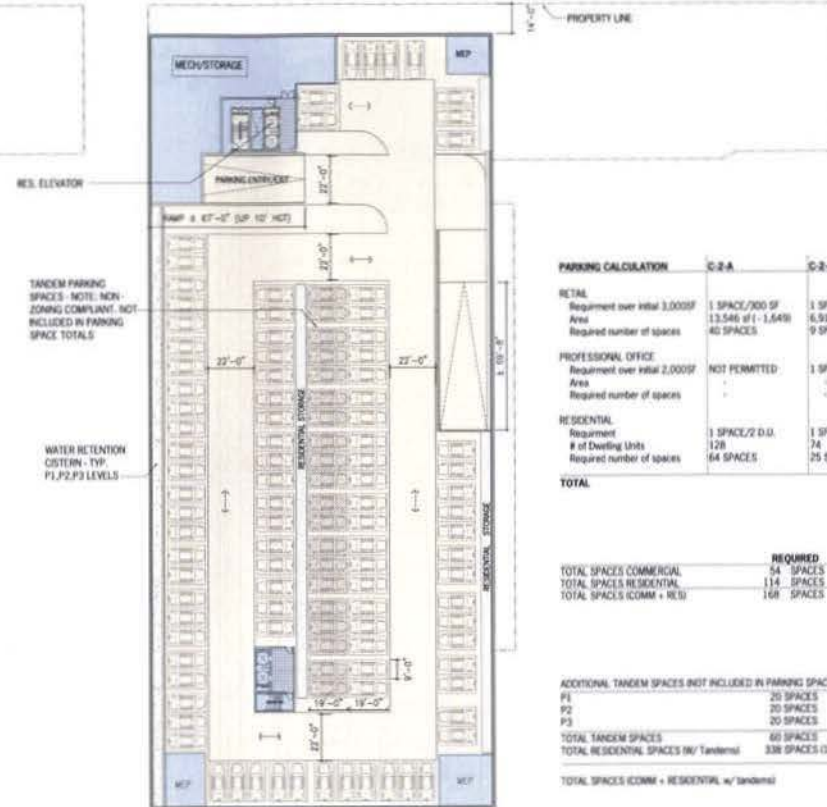
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P2-3



P1



PARKING CALCULATION	C-2-A	C-2-B	C-2-C	Site Total
RETAIL Requirement over initial 3,000sf Area Required number of spaces	1 SPACE/750 SF 13,546 sf (- 1,648) 40 SPACES	1 SPACE/750 SF 6,915 sf (- 743) 9 SPACES	1 SPACE/750 SF 2,973 sf (- 311) 4 SPACES	53 SPACES
PROFESSIONAL OFFICE Requirement over initial 2,000sf Area Required number of spaces	NOT PERMITTED	1 SPACE/1,800 SF -	1 SPACE/1,800 SF 2,343 sf (- 198) 1 SPACE	1 SPACE
RESIDENTIAL Requirement # of Dwelling Units Required number of spaces	1 SPACE/2 D.U. 128 64 SPACES	1 SPACE/3 D.U. 74 25 SPACES	1 SPACE/4 D.U. 100 25 SPACES	302 114 SPACE
TOTAL				168 SPACES

	REQUIRED	PROPOSED
TOTAL SPACES COMMERCIAL	54 SPACES	40 SPACES
TOTAL SPACES RESIDENTIAL	114 SPACES	278 SPACES (1.0.92)
TOTAL SPACES (COMM + RES)	168 SPACES	318 SPACES

ADDITIONAL TANDEM SPACES (NOT INCLUDED IN PARKING SPACE TOTALS)	
P1	20 SPACES
P2	20 SPACES
P3	20 SPACES
TOTAL TANDEM SPACES	60 SPACES
TOTAL RESIDENTIAL SPACES (w/ Tandem)	338 SPACES (1.1.19)
TOTAL SPACES (COMM + RESIDENTIAL w/ tandem)	378 SPACES

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P.U.D. SUBMISSION: PARKING PLANS: LEVELS P1 - P3

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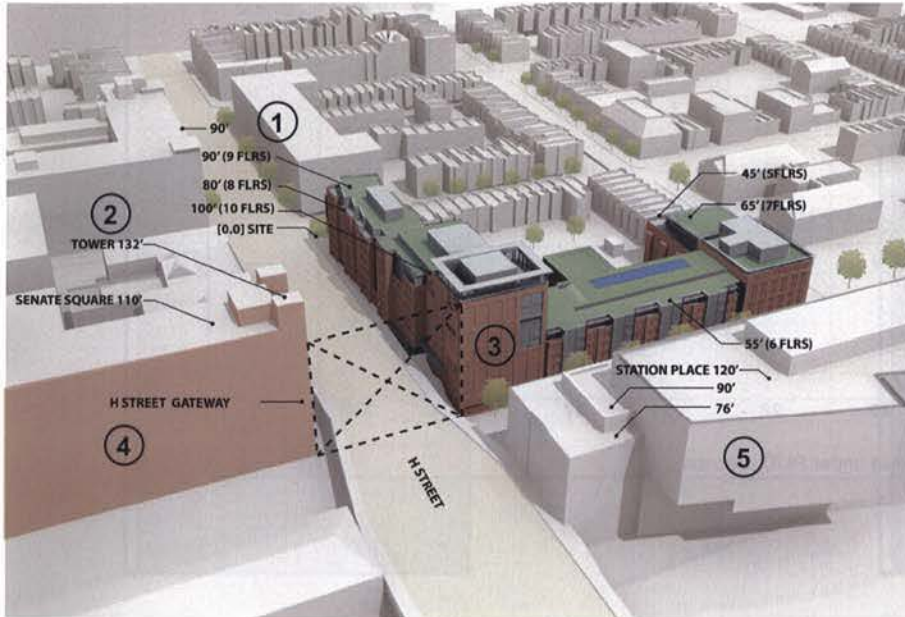


34



Floor	Ground	2	3	4	5	6	7	8	9	10		
Unit Type											Total Units	Total AH Units*
1 Bedroom: 1B		2	12	11	11	10	10	13	9	3	81	
1 Bedroom/Den: 1B/D		11	25	27	27	21	8	3	4	2	128	
1 BR-Duplex: 1B-DU	14										14	
2 Bedroom: 2B			4	4	4	2	2	3	4	3	26	
2 Bedroom/Den: 2B/D	1	5	6	6	6	9	8	2			43	
2 BR- Duplex: 2B-DU	9	1									10	
Total Units per Floor	24	19	47	48	48	42	28	21	17	8	302	19
Note: * Affordable Housing Units (AH) proposed at 15% of additional proposed building area under PUD process												

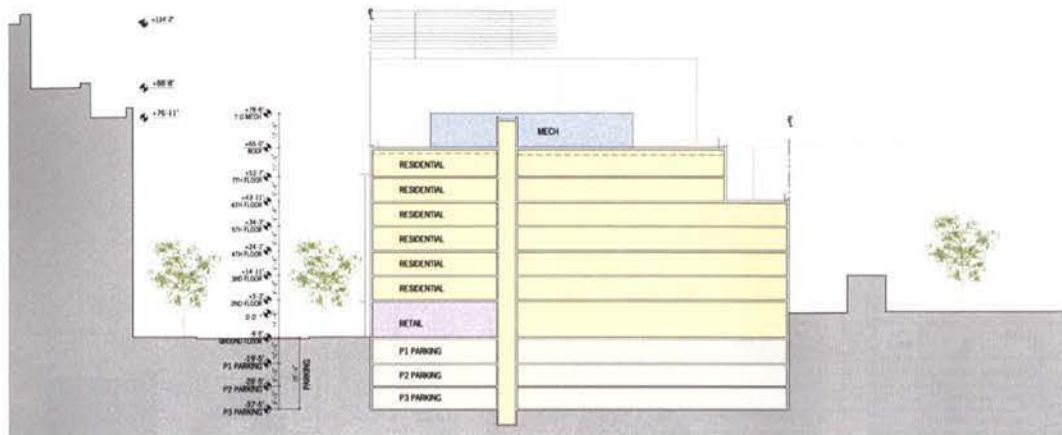
- 1 FUTURE DEVELOPMENT PERMITTED BY H STREET OVERLAY, 65' MAX. HEIGHT AS OF RIGHT
- 2 3RD & H STREETS NE SQUARE 776 APPROVED DEVELOPMENT
- 3 CAPITOL PLACE
- 4 SENATE SQUARE DEVELOPMENT (UNDER CONSTRUCTION)
- 5 STATION PLACE BUILDING 3 (UNDER CONSTRUCTION)



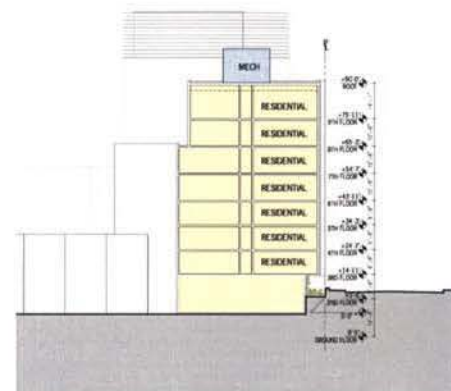
VIEW FROM NORTHWEST



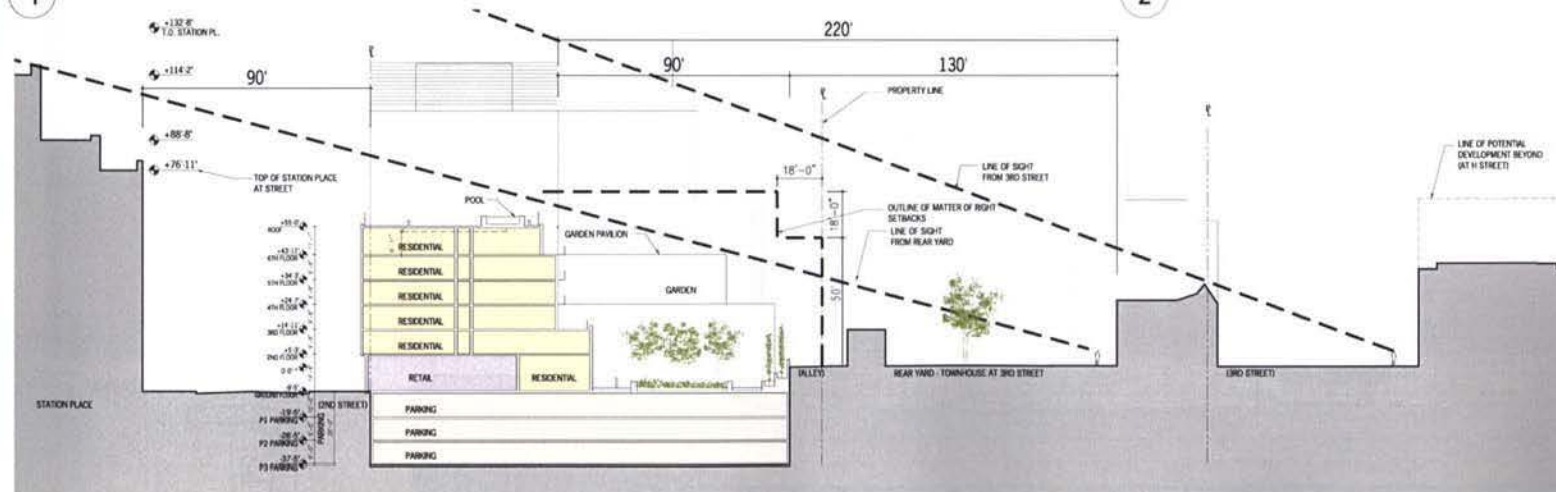
VIEW FROM SOUTHEAST



1 E-W SECTION THRU G ST PAVILION



2 N-S SECTION THRU H ST PAVILION



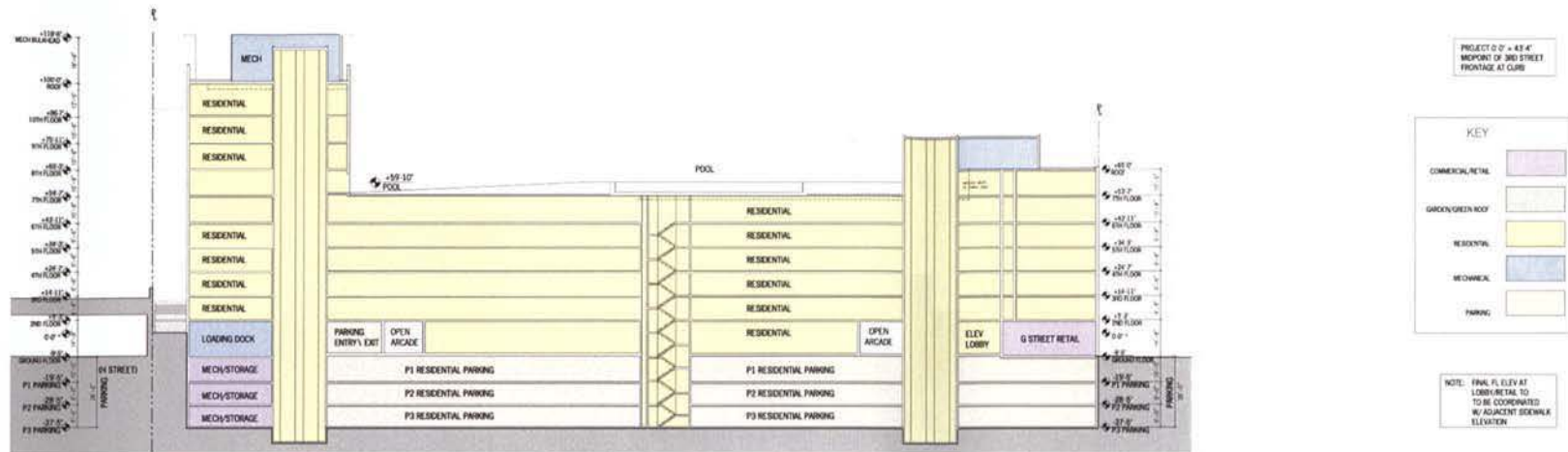
3 E-W SECTION THRU 2ND ST PAVILION

PROJECT 0' 0" = 43'-4"
BEFORE OF 3RD STREET
FRONTAGE AT CURB

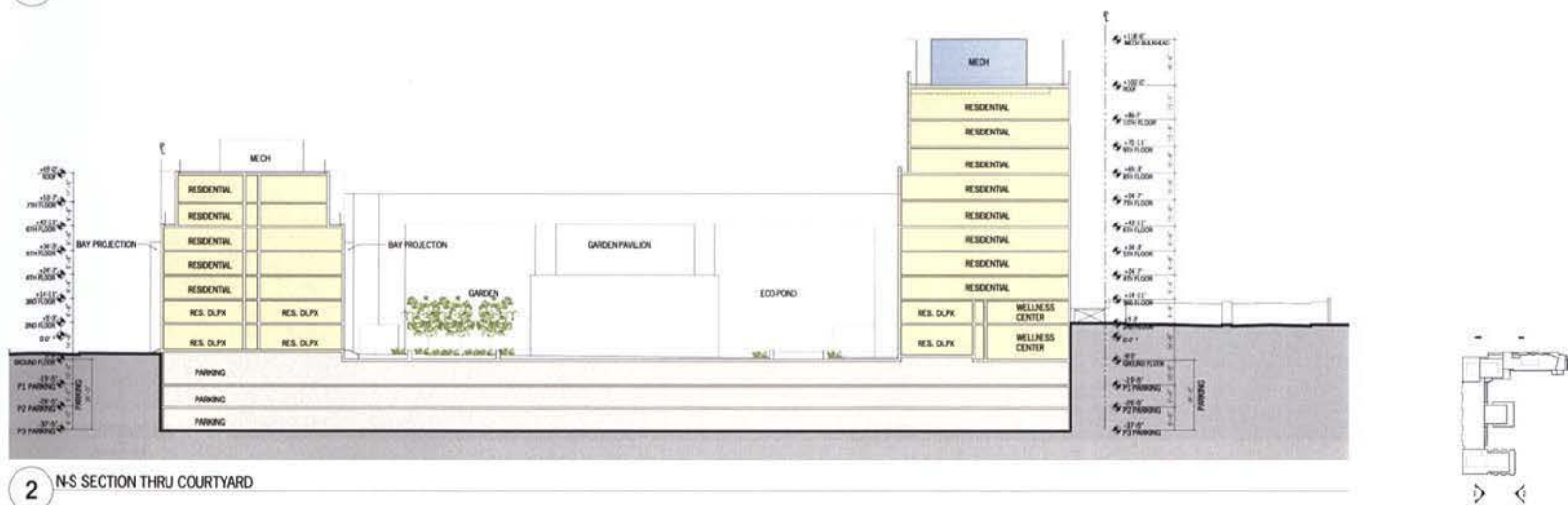
KEY	
COMMERCIAL/RETAIL	
GARDEN/GREEN ROOF	
RESIDENTIAL	
MECH/COMM	
PARKING	

NOTE: FINAL ELEVAT
TO BE COORDINATED
W/ ADJACENT SIDEWALK
ELEVATION





1 N-S SECTION THRU 2ND ST PAVILION / TOWER



2 N-S SECTION THRU COURTYARD

Capitol Place, 2nd Street, Washington D.C.

Station Holdings LLC

P.U.D. SUBMISSION: BUILDING SECTIONS: NORTH - SOUTH

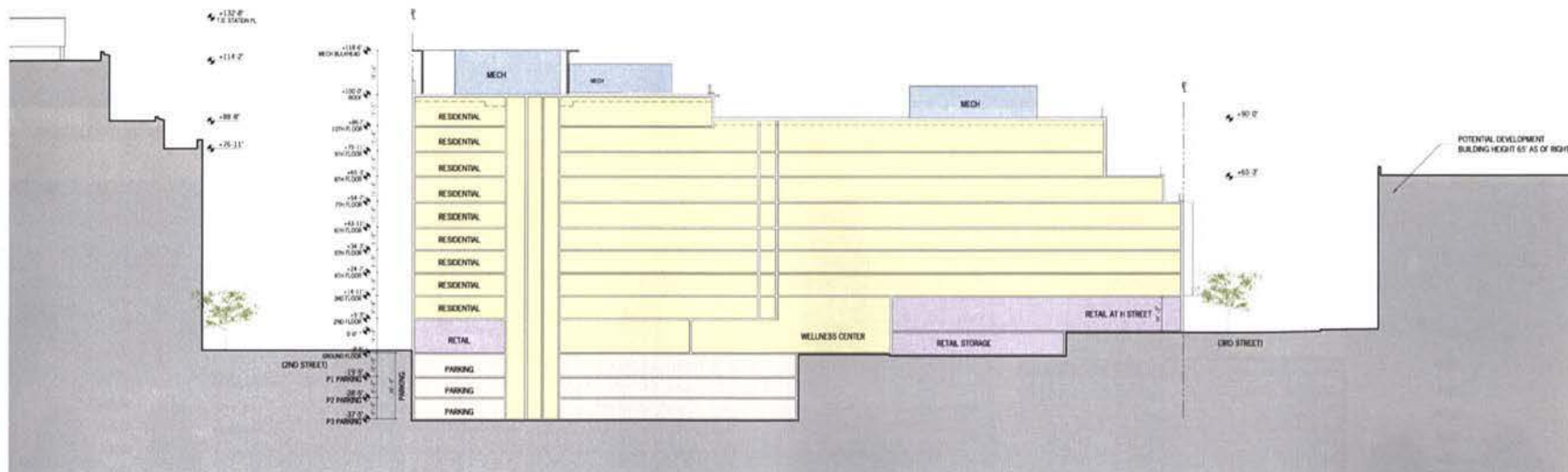
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0' 20' 40' 80'

38

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KEY	
COMMERCIAL/RETAIL	
GREEN/ROOF	
RESIDENTIAL	
MECHANICAL	
PARKING	



1 E-W SECTION THRU H ST PAVILION / TOWER



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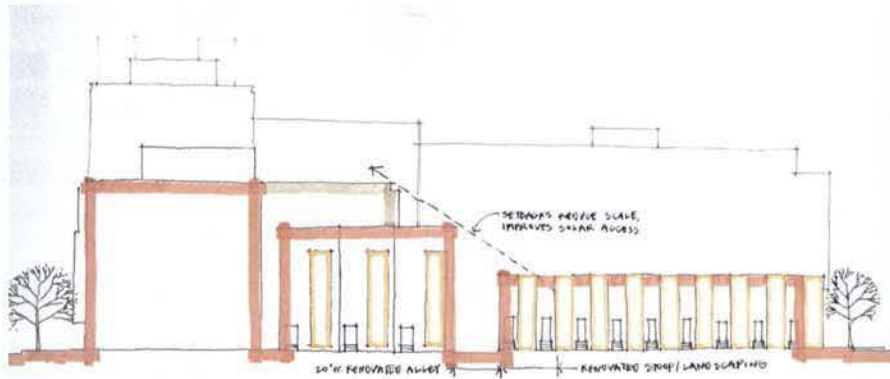
P.U.D. SUBMISSION: BUILDING SECTIONS: EAST - WEST

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0' 20' 40' 80'

39

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A SOUTH ELEVATION CONCEPT - G STREET



1 SOUTH ELEVATION - G STREET

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P.U.D. SUBMISSION: BUILDING ELEVATIONS

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0' 20' 40' 80'

40

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2 WEST ELEVATION - 2ND STREET



1 NORTH ELEVATION - H STREET





1 EAST ELEVATION - GARDEN COURTYARD



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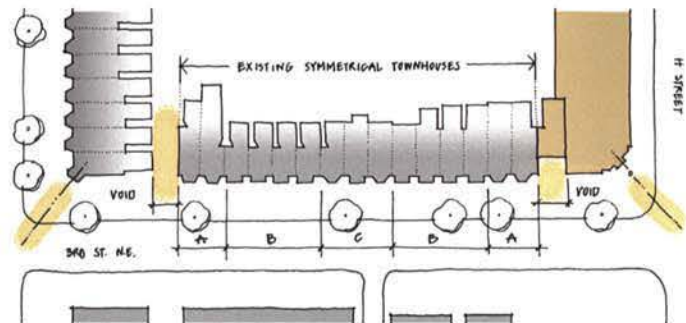
P.U.D. SUBMISSION: BUILDING ELEVATIONS

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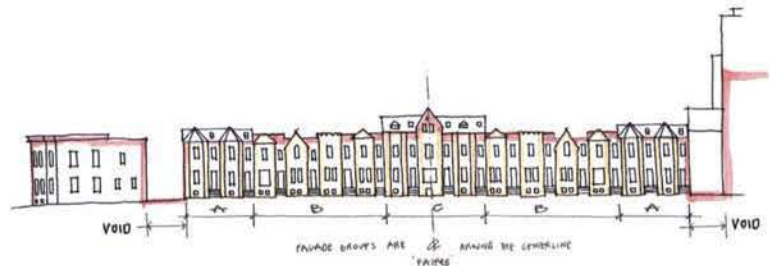
0' 20' 40' 80'

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A 3RD STREET ANALYSIS DIAGRAM - PLAN

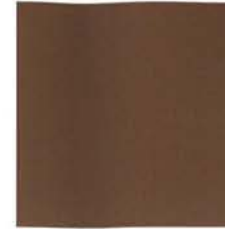


B 3RD STREET ANALYSIS DIAGRAM - ELEVATION



1 EAST ELEVATION - 3RD STREET

2nd/G ST PAVILION BRICK



STEEL CORNICE COLOR

G ST FACADE BRICK



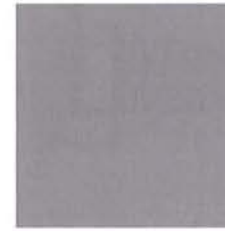
WINDOW FRAME COLOR



STOREFRONT / BLDG BASE BRICK



STOREFRONT FRAME COLOR



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P.U.D. SUBMISSION: MATERIALS

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2ND ST BRICK



2nd/G ST PAVILION BRICK



STOREFRONT BASE BRICK



STEEL CORNICE COLOR



WINDOW FRAME COLOR



STOREFRONT FRAME COLOR



TOWER BRICK



H ST/MID-BLOCK BLDG BRICK



BASE BRICK



STEEL CORNICE COLOR

WINDOW FRAME COLOR



STOREFRONT FRAME COLOR



3RD ST/TOWNHOUSE BRICK



H ST/3RD ST BRICK



STOREFRONT / BLDG BASE



STEEL CORNICE COLOR

WINDOW FRAME COLOR



STOREFRONT FRAME COLOR





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P.U.D. SUBMISSION: PERSPECTIVE: 2ND STREET LOOKING NORTH

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P.U.D. SUBMISSION: DETAIL: 2ND STREET

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STUDIO FOX



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P.U.D. SUBMISSION: PERSPECTIVE: H STREET LOOKING EAST

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Capitol Place, 2nd Street, Washington D.C. Station Holdings LLC

P.U.D. SUBMISSION: PERSPECTIVE: H STREET LOOKING SOUTHWEST

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Capitol Place, 2nd Street, Washington D.C.

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P.U.D. SUBMISSION: DETAIL: H STREET

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P.U.D. SUBMISSION: PERSPECTIVE: 3RD STREET LOOKING NORTH

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P.U.D. SUBMISSION: PERSPECTIVE: G STREET LOOKING WEST

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P.U.D. SUBMISSION: DETAIL: G STREET

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Capitol Place, 2nd Street, Washington D.C.

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P.U.D. SUBMISSION: PERSPECTIVE: GARDEN PAVILION (FROM ALLEY)

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