



TOWNHOMES AT STANTON SQUARE

APPLICATION TO THE DISTRICT OF COLUMBIA ZONING COMMISSION FOR
CONSOLIDATED REVIEW AND APPROVAL OF A PLANNED UNIT DEVELOPMENT
AND ZONING MAP AMENDMENT

APPLICANTS: HORNING BROTHERS, INC.
1350 CONNECTICUT AVENUE, NW
SUITE 800 | WASHINGTON, DC 2036

DEVELOPMENT TEAM

ARCHITECT

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GREENBELT, MD 20706-3118

LAND USE COUNSEL

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2300 N STREET, NW
WASHINGTON, DC 20037

DATE: January 30, 2007

INDEX

A.00	COVER	LL.00	RENDERED SITE PLAN
A.001	PERSPECTIVE	LL.01	ENLARGEMENTS AND IMAGES
A.002	STREETSCAPE ELEVATION	LL.02	SITE PLAN
A.003	STREETSCAPE ELEVATION	LL.03	BURRIED BASEMENT
A.004	TABULATION DATA	C.01	EXISTING CONDITIONS PLANS
A.010	PHOTO VIGNETTE	C.02	SITE PLAN
A.011	PHOTO VIGNETTE	C.03	GRADING PLAN
A.100	FLOOR PLANS UNIT A 14'	C.04	UTILITY PLAN
A.110	FLOOR PLANS UNIT B 14'	C.05	CIRCULATION PLAN
A.120	FLOOR PLANS UNIT C 16'	C.06	SEDIMENTATION AND EROSION
A.130	FLOOR PLANS UNIT D 18'	C.07	CONTROL PLAN
A.140	FLOOR PLANS UNIT E 20'	C.08	SEDIMENTATION AND EROSION
A.200	ELEVATIONS UNIT A 14'		CONTROL PLAN
A.210	ELEVATIONS UNIT B 14'		
A.220	ELEVATIONS UNIT C 16'		
A.230	ELEVATIONS UNIT D 18'		
A.231	ELEVATIONS UNIT D 18'		
A.232	ELEVATIONS UNIT D 18'		
A.240	ELEVATIONS UNIT E 20'		
A.241	ELEVATIONS UNIT E 20'		
A.300	ELEVATIONS UNIT A 14'		
A.310	ELEVATIONS UNIT B 14'		
A.320	ELEVATIONS UNIT C 15'		
A.330	ELEVATIONS UNIT D 18'		
A.340	ELEVATIONS UNIT E 20'		



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PERSPECTIVE CENTRAL GREEN

January 30, 2007

TOWNHOMES AT STANTON SQUARE
WASHINGTON DC,
HORNING BROTHERS
HER. 02540



A 001



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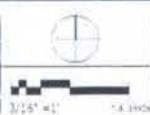
STREETSCAPE ELEVATION

JANUARY 30, 2007

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HCR.0254.000



A 002



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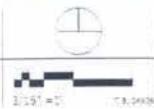
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STREETSCAPE ELEVATION

JANUARY 30, 2007

TOWNHOMES AT STANTON SQUARE

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A 003

Tabulation of Development Data		
Requirement	R-5-A PUD Guidelines/ Matter of Right	Project Design
FAR	1.0 (PUD) > 0.9 (MOR)	0.9
Building Height	60 feet (PUD) 40 feet (MOR)	28'-6" to ceiling - 40'-3" to top of ridge max height from slabs
Building Lot Occupancy	40%	30.96% (109,368 s.f.)
Green Space		
Gross Floor Area	353,256 s.f. x 1.0 FAR Total: 353,256 s.f. (PUD) 353,256 s.f. x 0.9 FAR Total: 317,900 s.f. (MOR)	Total: 318,024 s.f.
Parking	18 spaces, one for each residential unit	243 total spaces 18 spaces per unit on site

UNIT MIX		
Unit Type	Number of Units	Parking
14'x36' RL	43	43
14'x36' 2-story	20	
16'x36' RL	51	51-104
18'x36' FL	10	30
18'x36' RL	50	100
20'x36' SL	13	26
On site Street		37
Total	187	229

UPPER & LOWER UNIT MIX			
Unit Type	UPPER	LOWER	Parking
14'x36' RL	18	27	41
14'x36' 2-story	5	15	
16'x36' RL	17	34	51-104
18'x36' FL		10	20
18'x36' RL	23	24	100
20'x36' SL	3	8	26
On site Street			37
Total	86	121	228

Gross S.F.	Net S.F. w/ 2-car garage	Net s.f. w/ 1 car 3 br	Total Gross S.F./unit	Total Building Lot occupancy
1,512.00	1,396 s.f.	1,318 s.f.	89,016.00	21,372.00
1,008.00			29,160.00	10,280.00
1,725.00	1,224 s.f.	1,204 s.f.	88,128.00	29,375.00
1,944.00	1,662 s.f.		19,440.00	6,480.00
1,844.00	1,614 s.f.		97,200.00	32,400.00
2,160.00	1,812 s.f.		29,080.00	9,360.00
				Total building 109,368.00 s.f.
				Building occ. 30.96%
Lot Area	353,256.00	Building area	318,024.00	0.90 F.A.R.



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TABULATION DATA

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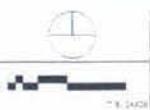
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PHOTO VIGNETTE

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A 010



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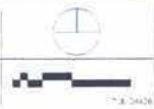
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PHOTO VIGNETTE

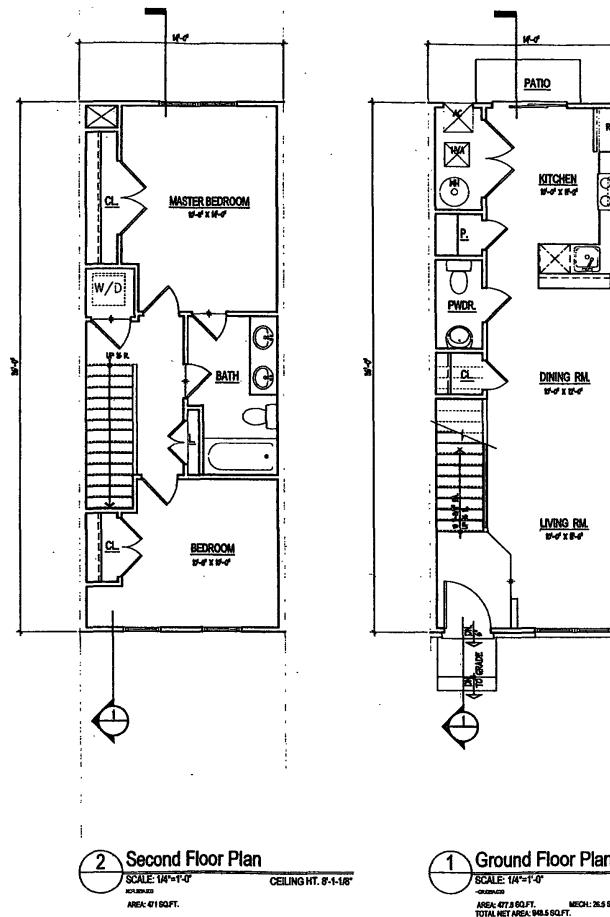
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TOWNHOMES AT STANTON SQUARE

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HCR-025A-00G
1-3 04426



A 011



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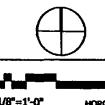
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FLOOR PLANS
UNIT "A" 14' T.H.

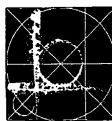
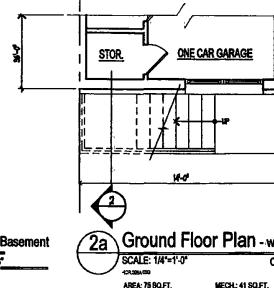
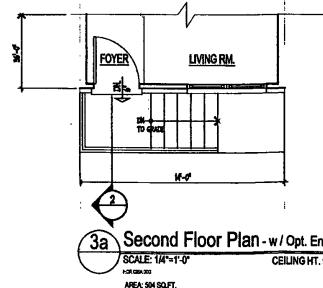
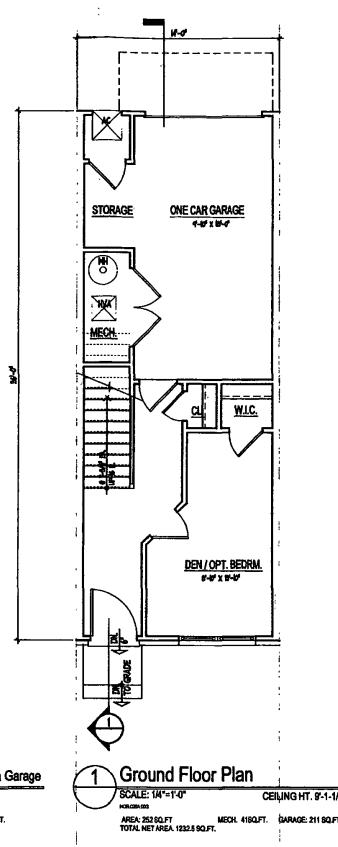
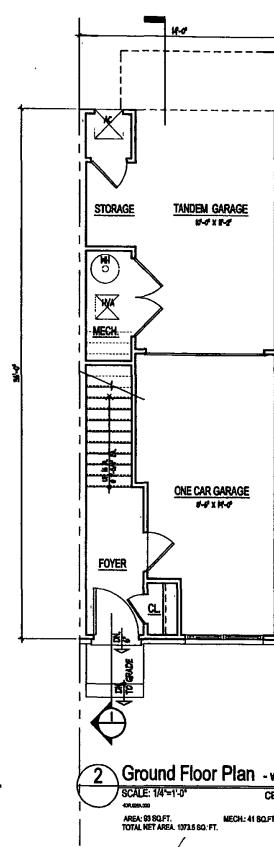
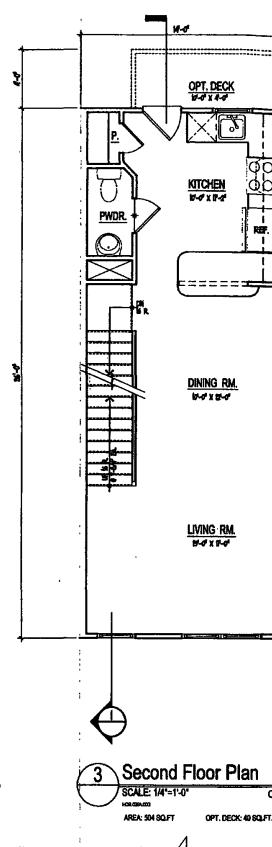
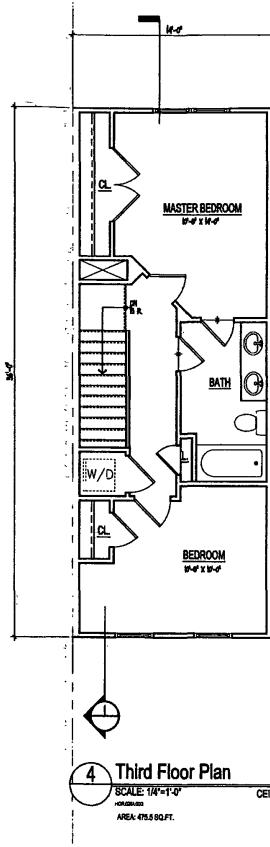
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A.100



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**FLOOR PLANS
UNIT "B" 14' T.H.**

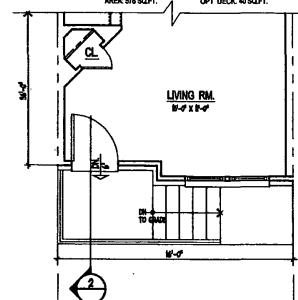
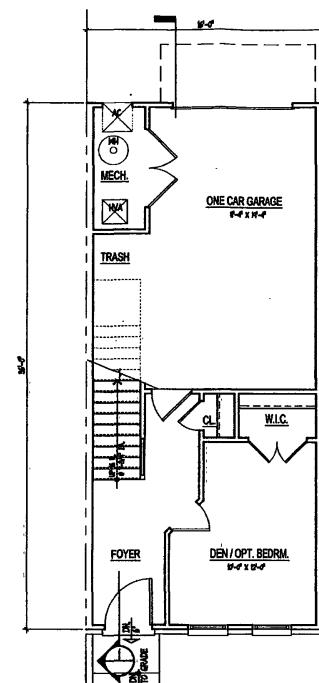
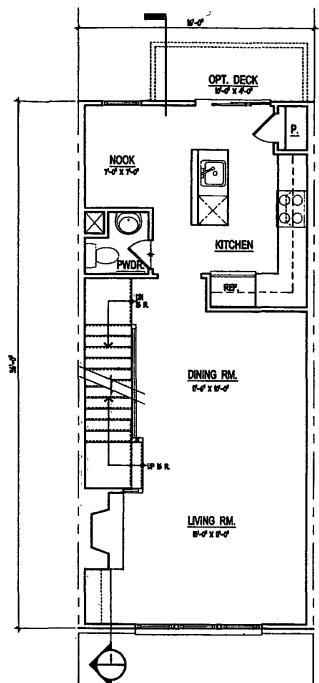
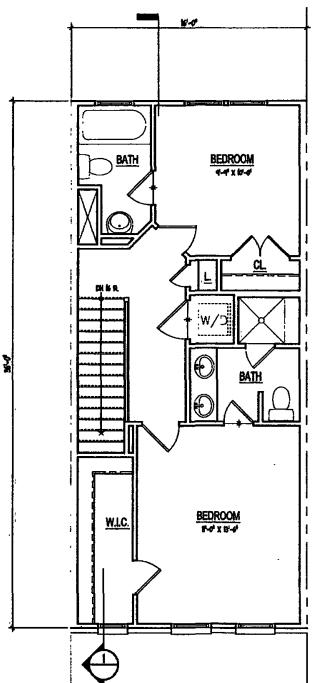
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A.110



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FLOOR PLANS
UNIT "C" 16' T.H.

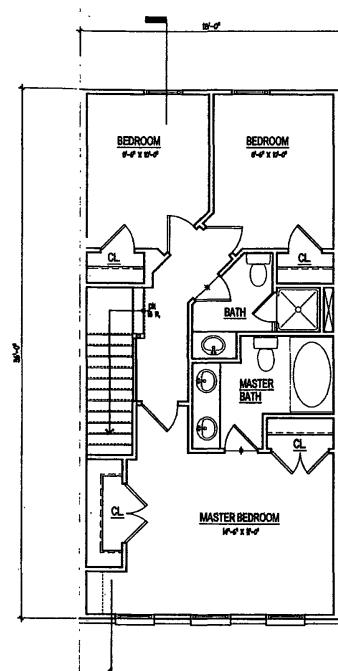
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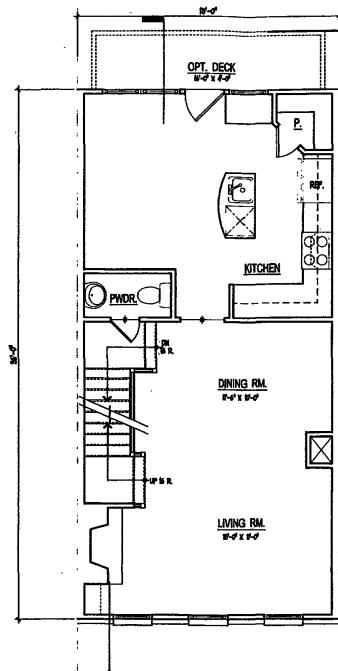
A.120



4 Third Floor Plan

SCALE: 1/4"=1'-0" CEILING HT. 8'-1 1/8"

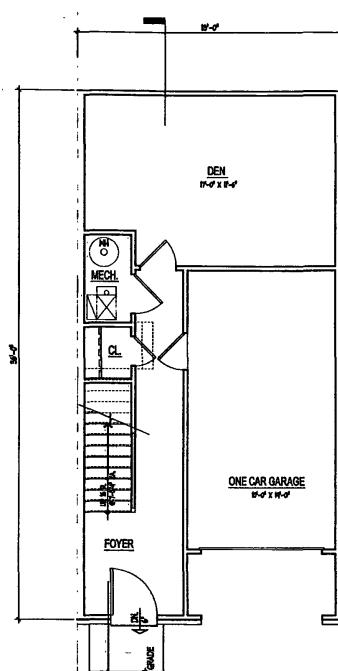
AREA: 608 SQ.FT.



3 Second Floor Plan

SCALE: 1/4"=1'-0" CEILING HT. 9'-1 1/8"

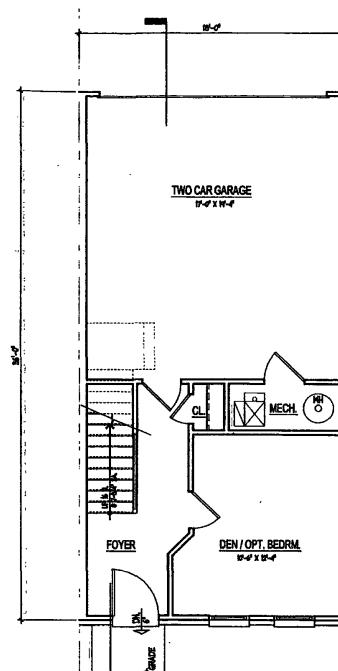
AREA: 945 SQ.FT.



2 Ground Floor Plan w/ Front Load

SCALE: 1/4"=1'-0" CEILING HT. 9'-1 1/8"

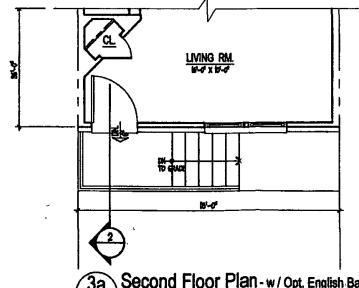
AREA: 385 SQ.FT. MECH: 19 SQ.FT. GARAGE: 248 SQ.FT.



1 Ground Floor Plan w/ Rear Load

SCALE: 1/4"=1'-0" CEILING HT. 9'-1 1/8"

AREA: 385 SQ.FT. MECH: 27 SQ.FT. GARAGE: 353 SQ.FT.

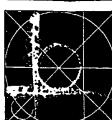


3a Second Floor Plan - w/ Opt. English Basement

SCALE: 1/4"=1'-0" CEILING HT. 9'-1 1/8"

AREA:

TOTAL AREA:



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FLOOR PLANS
UNIT "D" 18' T.H.

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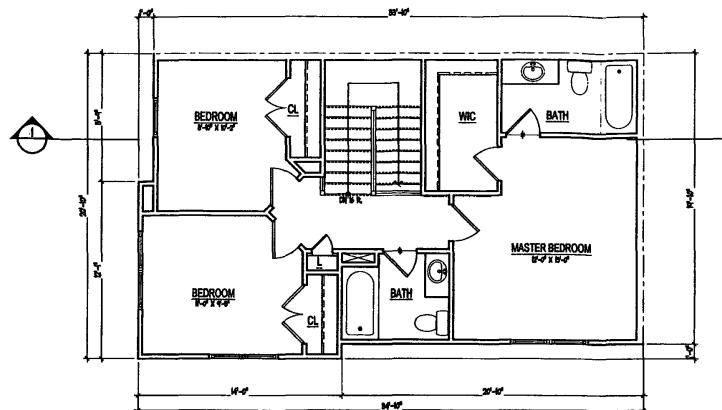
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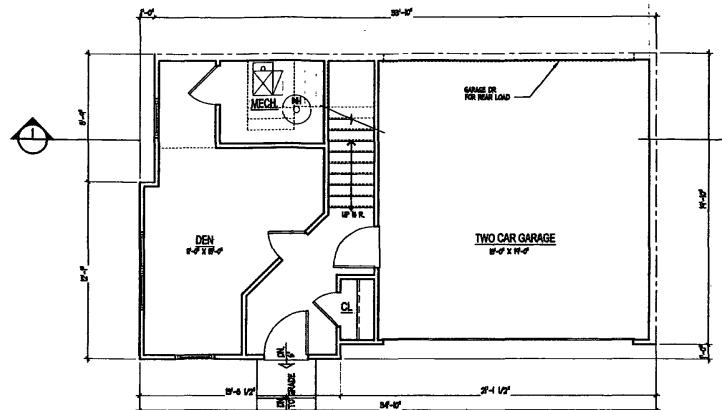
1/8"=1'-0"
HOR.026A.00G.

A.130



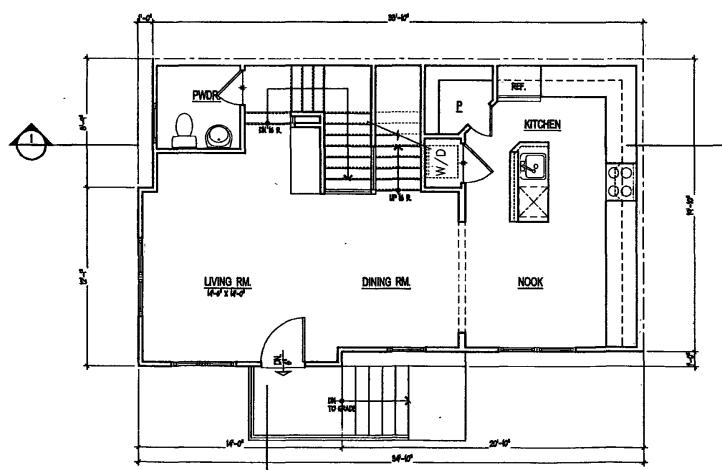
3 Third Floor Plan

SCALE: 1/4"=1'-0" NO. 2584-001
CEILING HT. 8'-1-1/2"
AREA: 636 SQ.FT.



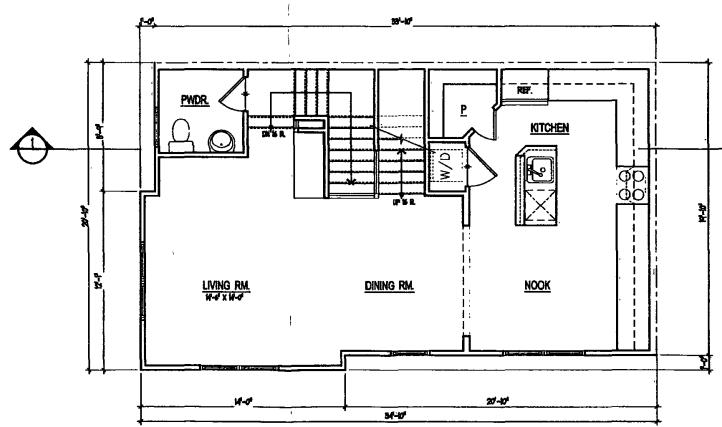
1 Ground Floor Plan

SCALE: 1/4"=1'-0" CEILING HT. 9'-1"
HCR 228A-003
AREA: 293 SQ.FT. MECH: 35 SQ.FT. GARAGE: 368 SQ.FT.
TOTAL NET AREA: 1,624 SQ.FT.



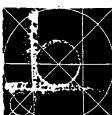
4 Second Floor Plan

SCALE: 1/4"-1'-0" CEILING HT. 8'-1-1/8"
HCR28420



2 Second Floor Plan

SCALE: 1/4"=1'-0" CEILING HT. 9'-1" KCR 284-303 AREA: 600.00 SF



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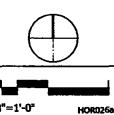
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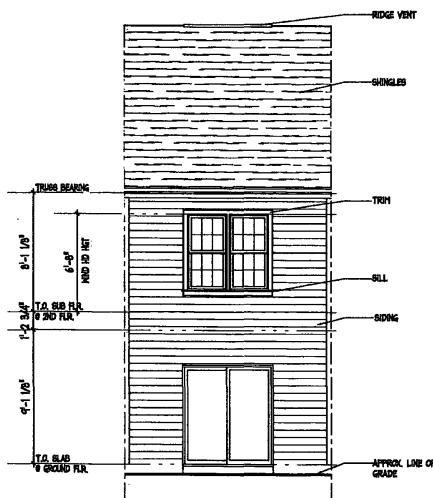
FLOOR PLANS

JANUARY 30, 2007

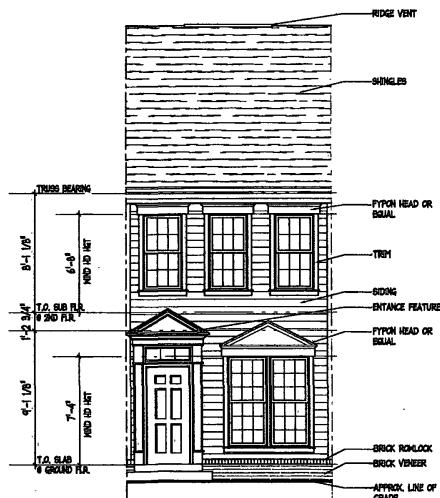
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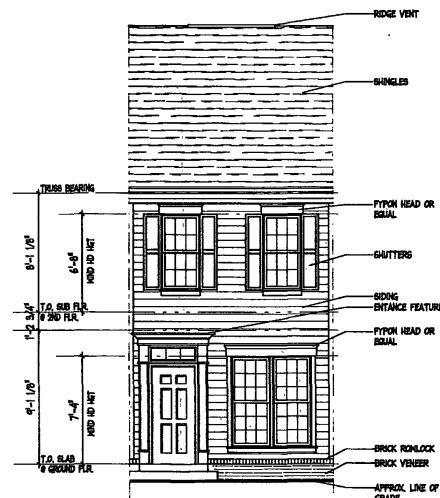




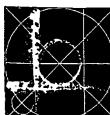
3 Rear Elevation Unit A



2 Front Elevation A-2 2 Story Slab on Grade
Shown in Siding



1 Front Elevation A-1 2 Story Slab on Grade
Shown in Siding



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ELEVATIONS
UNIT "A" 14' TH

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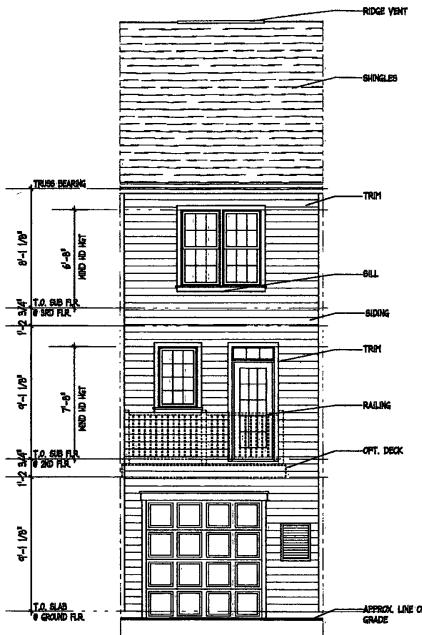
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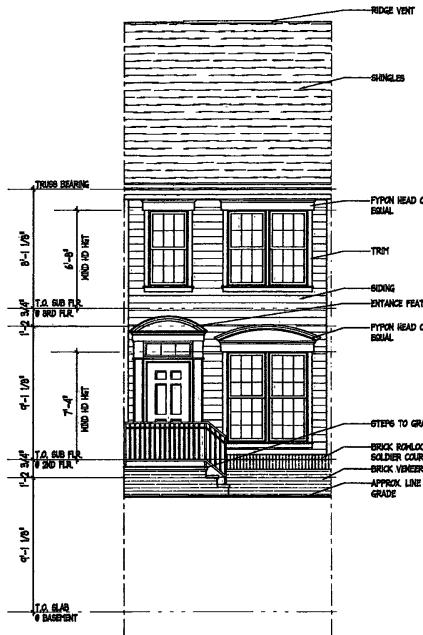


1/8"=1'-0"
HOR026A.00G

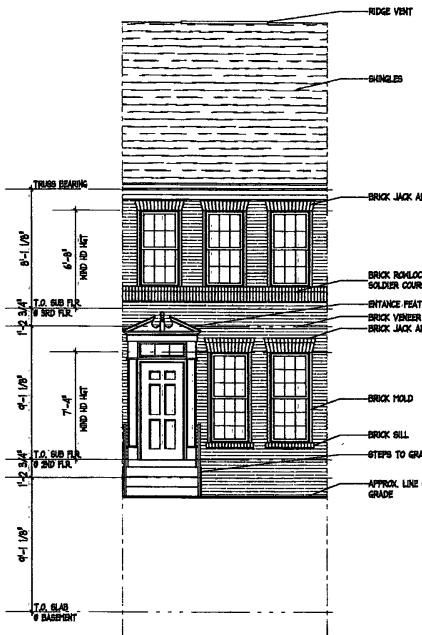
A.200



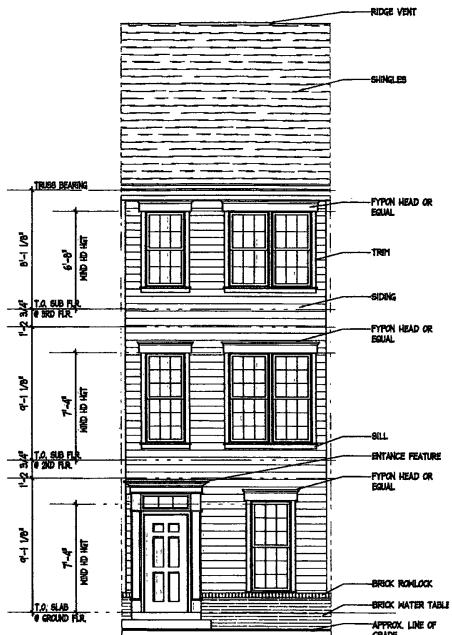
4 Rear Elevation Unit B



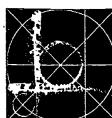
3 Front Elevation B-3 w/ Opt. English Basement
Shown In Siding



2 Front Elevation B-2 w/ Opt. English Basement



1 Front Elevation B-1 Slab on Grade
Shown in Siding



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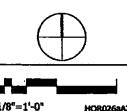
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ELEVATIONS
UNIT "B" 14' TH

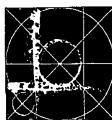
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A.210



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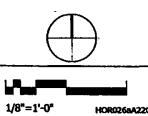
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**ELEVATIONS
UNIT "C" 16' TH**

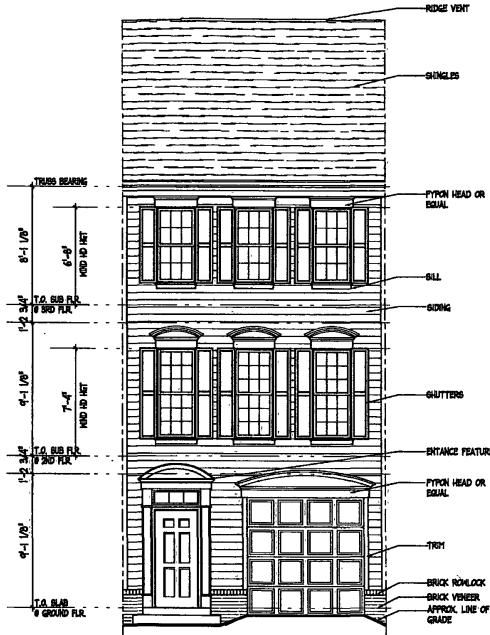
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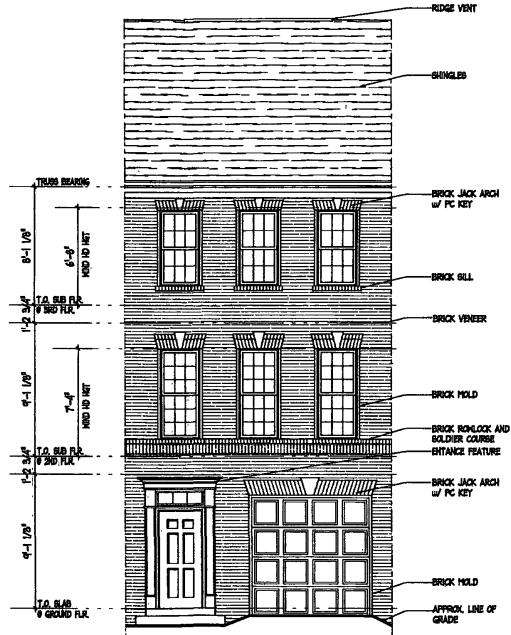
HORNING BROTHERS
HOR.026A.00G.



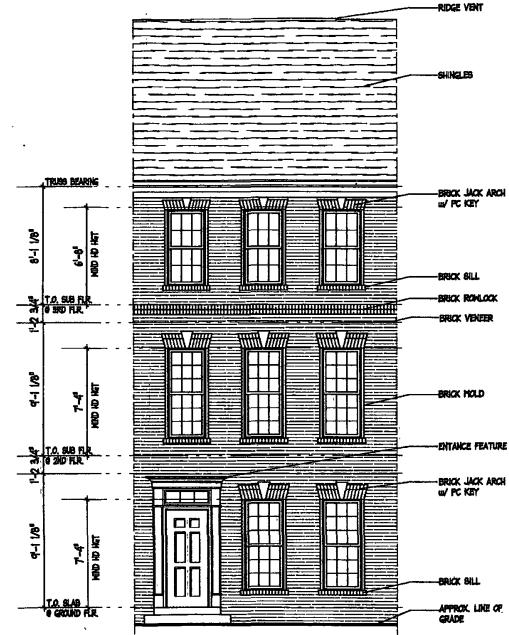
A.220



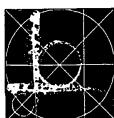
3 Front Elevation D-2 Slab on Grade
Alt. Front Garage w/ Siding



2 Front Elevation D-1 Slab on Grade
Alt. Front Garage w/ Brick



1 Front Elevation D-1 Slab on Grade
Shown in Brick



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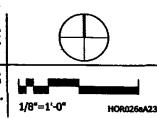
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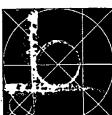
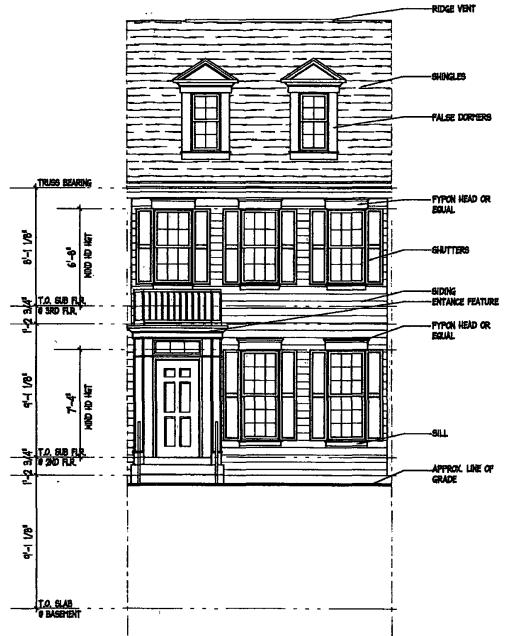
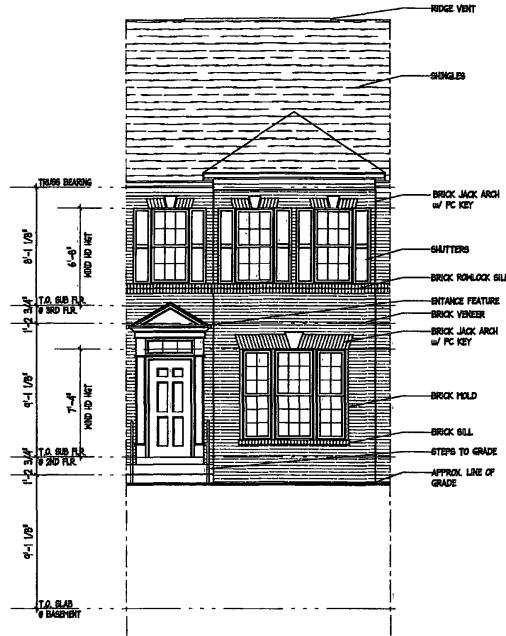
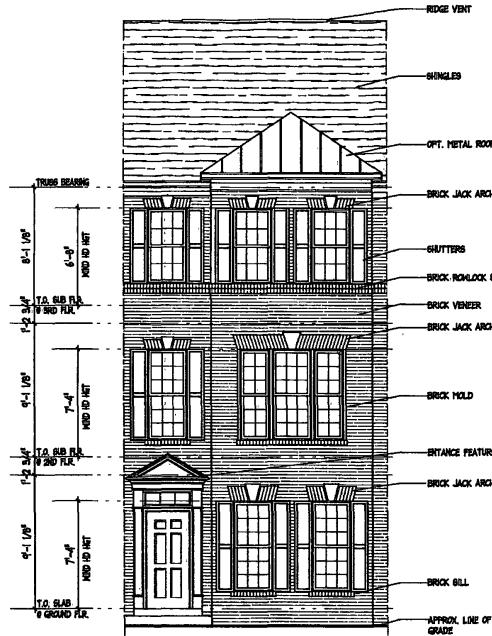
ELEVATIONS
UNIT "D" 18' TH

JANUARY 30, 2007

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.





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ELEVATIONS
UNIT "D" 18' TH

JANUARY 30, 2007

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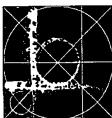
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1 Rear Elevation - w/ Rear Garage

1 Rear Elevation - w/ Front Garage



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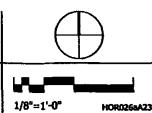
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ELEVATIONS
UNIT "D" 18' TH

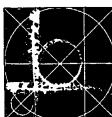
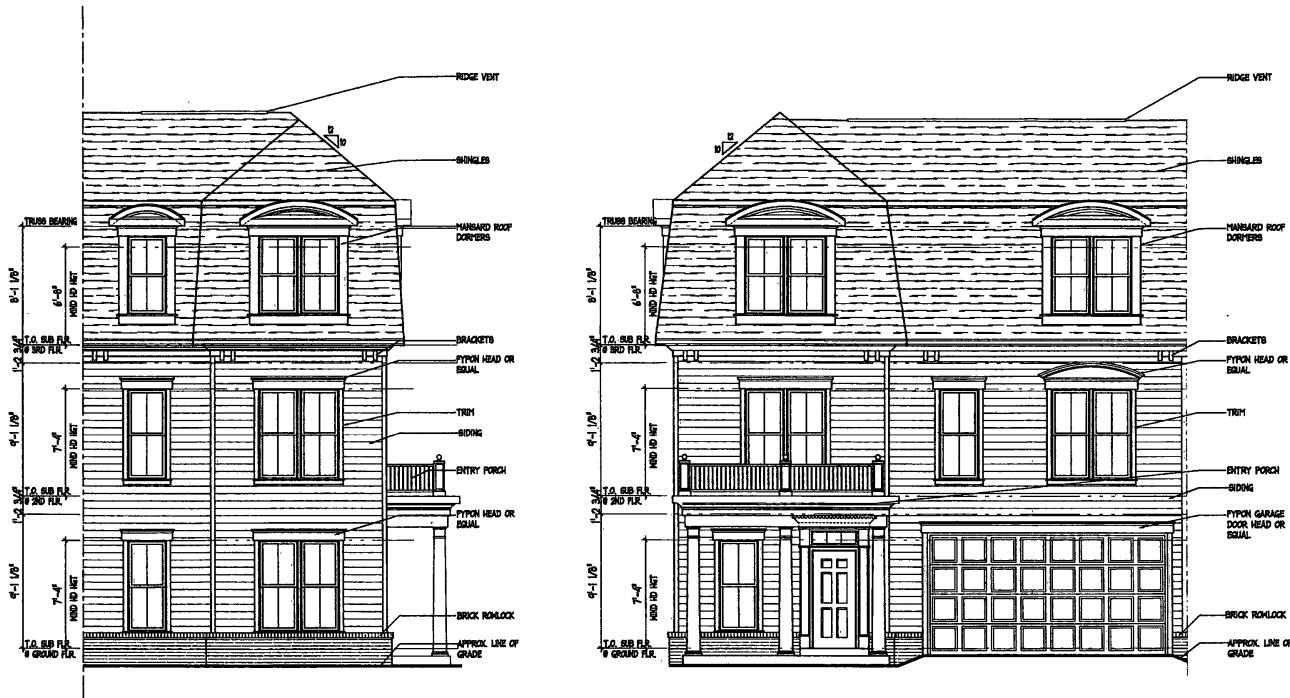
JANUARY 30, 2007

TOWN HOMES AT
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A.232



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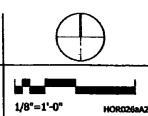
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ELEVATIONS
UNIT "E" 20' TH

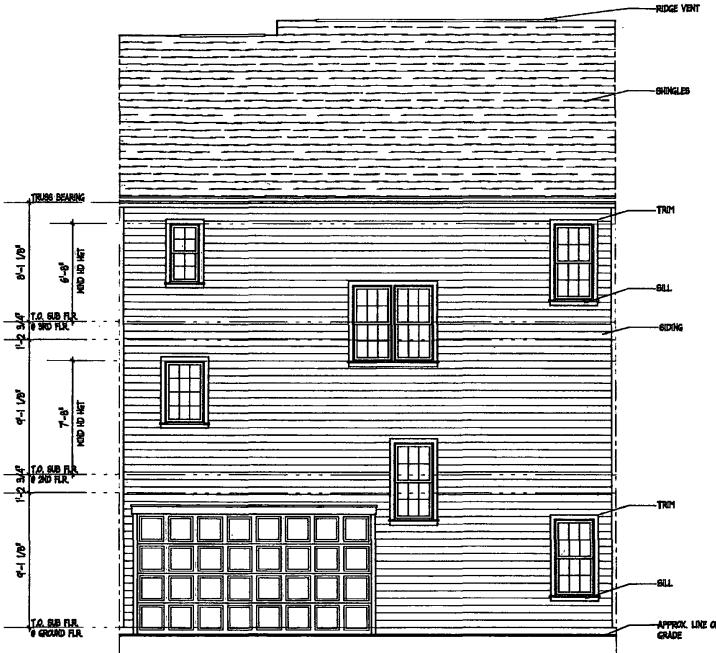
JANUARY 30, 2007

TOWN HOMES AT
STANTON SQUARE

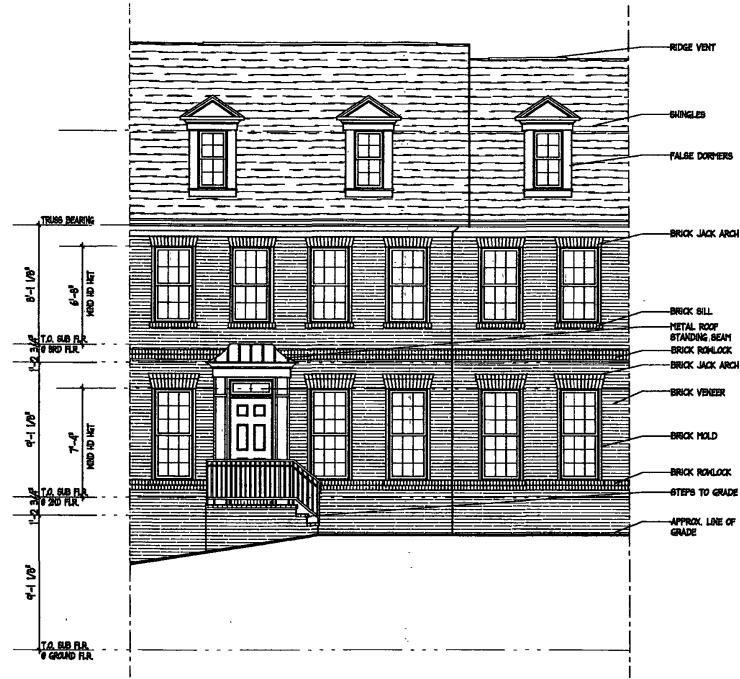
HORNING BROTHERS
HOR.026A.00G.



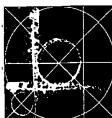
A.240



2 Rear Elevation E-2



1 Front Elevation E-2 w/ Opt. English Basement
Shown in Brick



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**ELEVATIONS
UNIT "E" 20' TH.**

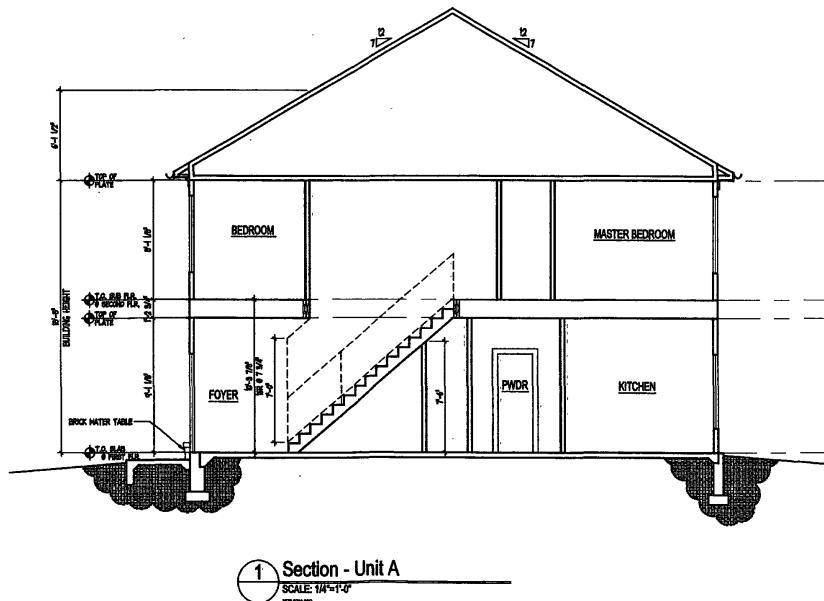
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TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G



A.241



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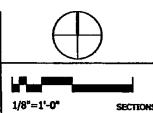
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SECTIONS
UNIT "A" 14' T.H.

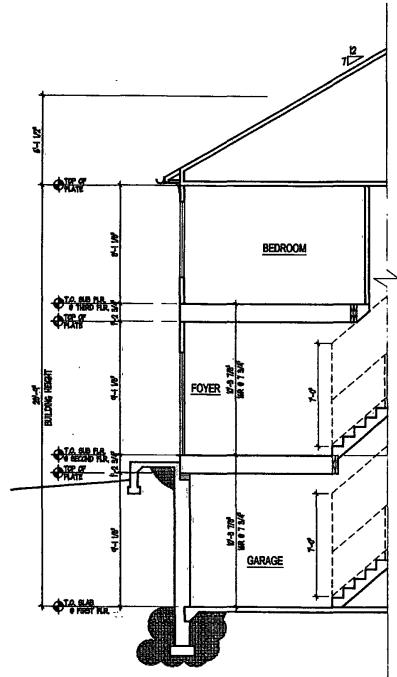
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TOWN HOMES AT
STANTON SQUARE

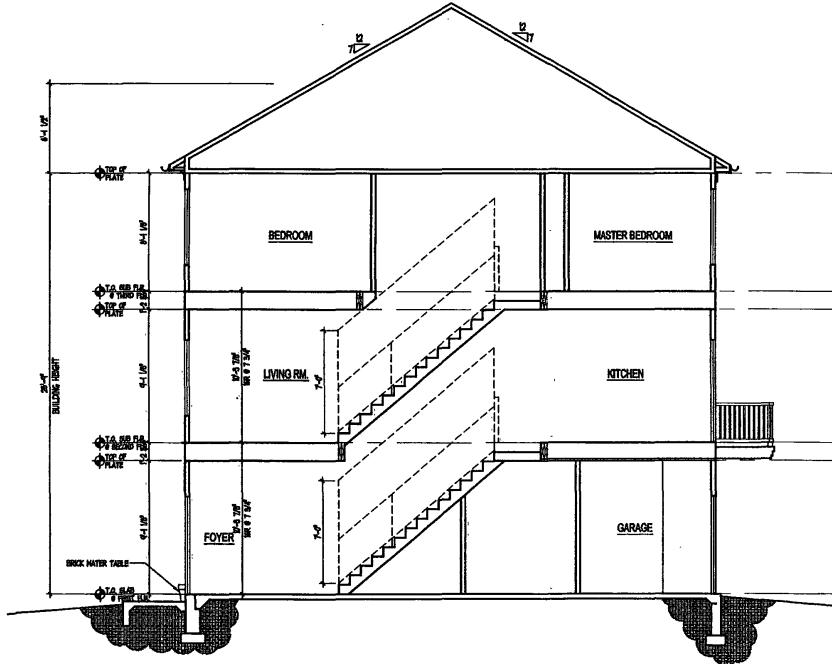
HORNING BROTHERS
HOR.026A.00G.



A.300



2 Partial Section - Unit B - w / Opt. English Basement



1 Section - Unit B
SCALE: 1/4"=1'-0"



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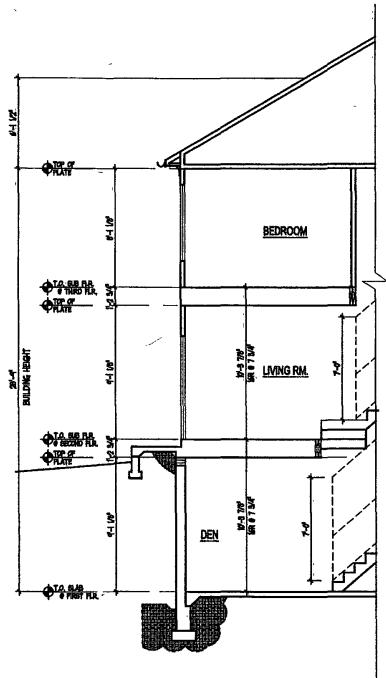
SECTIONS
UNIT "B" 14' T.H.

JANUARY 30, 2007

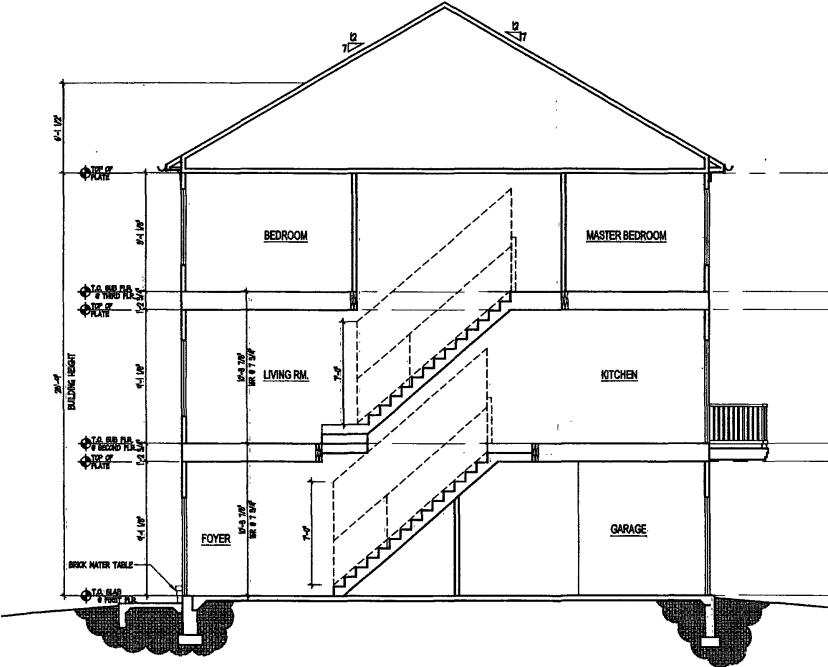
TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS
HOB 026A 006

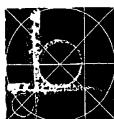




2 Partial Section - Unit C - w / Opt. English Basement
SCALE: 1/4"=1'-0"



1 Section - Unit C



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SECTIONS

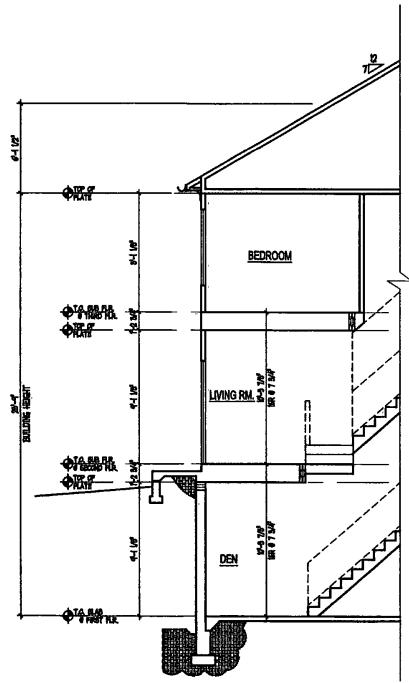
UNIT "C" 16' T.H.

JANUARY 30, 2007

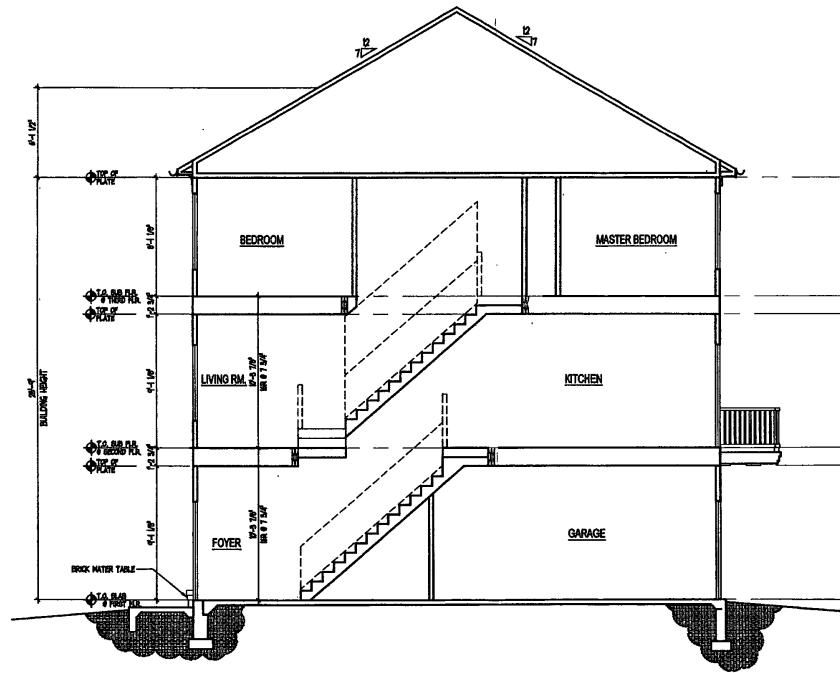
TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G

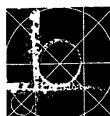
A.320



2 Partial Section - Unit D
SCALE: 1/4"=1'-0"



1 Section - Unit D



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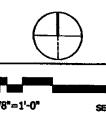
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SECTIONS
UNIT "D" 18' T.H.

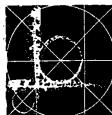
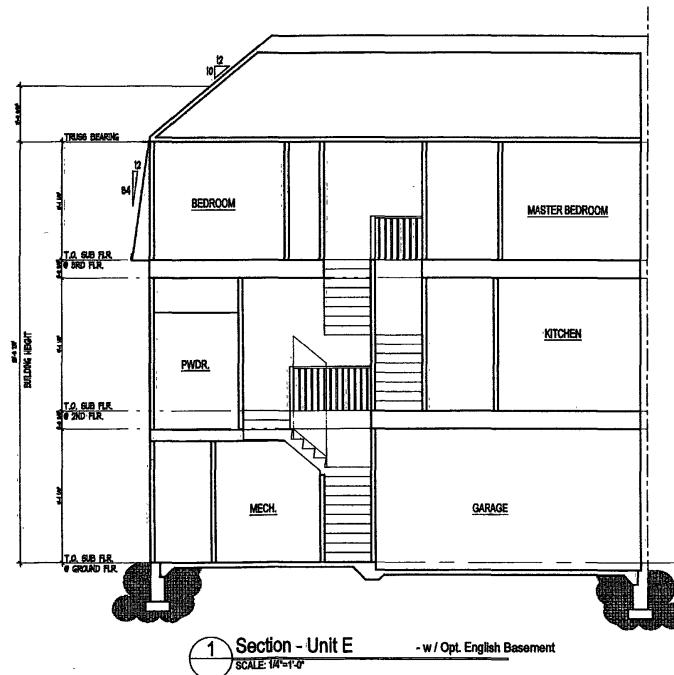
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A.330



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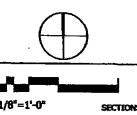
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SECTIONS
UNIT "E" 20' T.H.

JANUARY 30, 2007

TOWN HOMES AT
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A.340



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RENDERED SITE PLAN

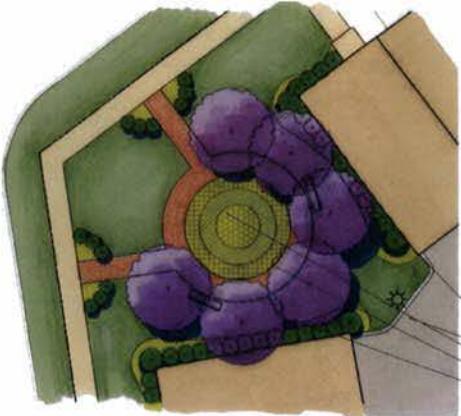
SUBMISSION DATE: 1/30/01

TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



L1.00



1 CORNER PARK ENLARGEMENT
L1.01 Scale: 1"=10'-0"



TYPICAL TOT LOT



MODULAR BLOCK WALL



TYPICAL CORNER PARK



MODULAR BLOCK WALL



2 OPEN SPACE ENLARGEMENT
L1.01 Scale: 1"=20'-0"

PLAN
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
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L1.01



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ENLARGEMENTS & IMAGES

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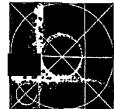
TYPICAL TREE SPECIES
SHADE TREES
SCARLET OAK
PIN OAK
CHINESE ELM
VALLEY FORGE ELM
JAPANESE ZEIKOWA
GREEN AND WHITE ASH
ORNAMENTAL TREES
SILVERBERRY
KOJU DOGWOOD
RIVER BIRCH
EASTERN REDBUD
POTOMAC CRAPMYRTLE
YOSHINO CHERRY
EVERGREEN TREES
JAPANESE CRYPTOMERA
AMERICAN HOLLY
NORWAY SPRUCE
FOSTER'S HOLLY
LEGEND
 STREET LIGHT (SINGLE ARM PENDANT POLE W/ LAMP)

STUDIO39

Lessard Group, P.C.
Architectural, Interior, and Landscape Architects

 SITE PLAN
L1.02 Scale: 1"=40'-0"

PLAN



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SITE PLAN

SUBMISSION DATE: 1/30/07

TOWN HOMES AT
STANTON SQUARE

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L1.02

SEE 1/L1.01
CORNER PARK
STREET LIGHT
TYPICAL BENCH

ORNAMENTAL TREE
SHADE TREE
EVERGREEN TREE
4' - APPROX.
8' HIGH MODULAR
RETAINING WALLS

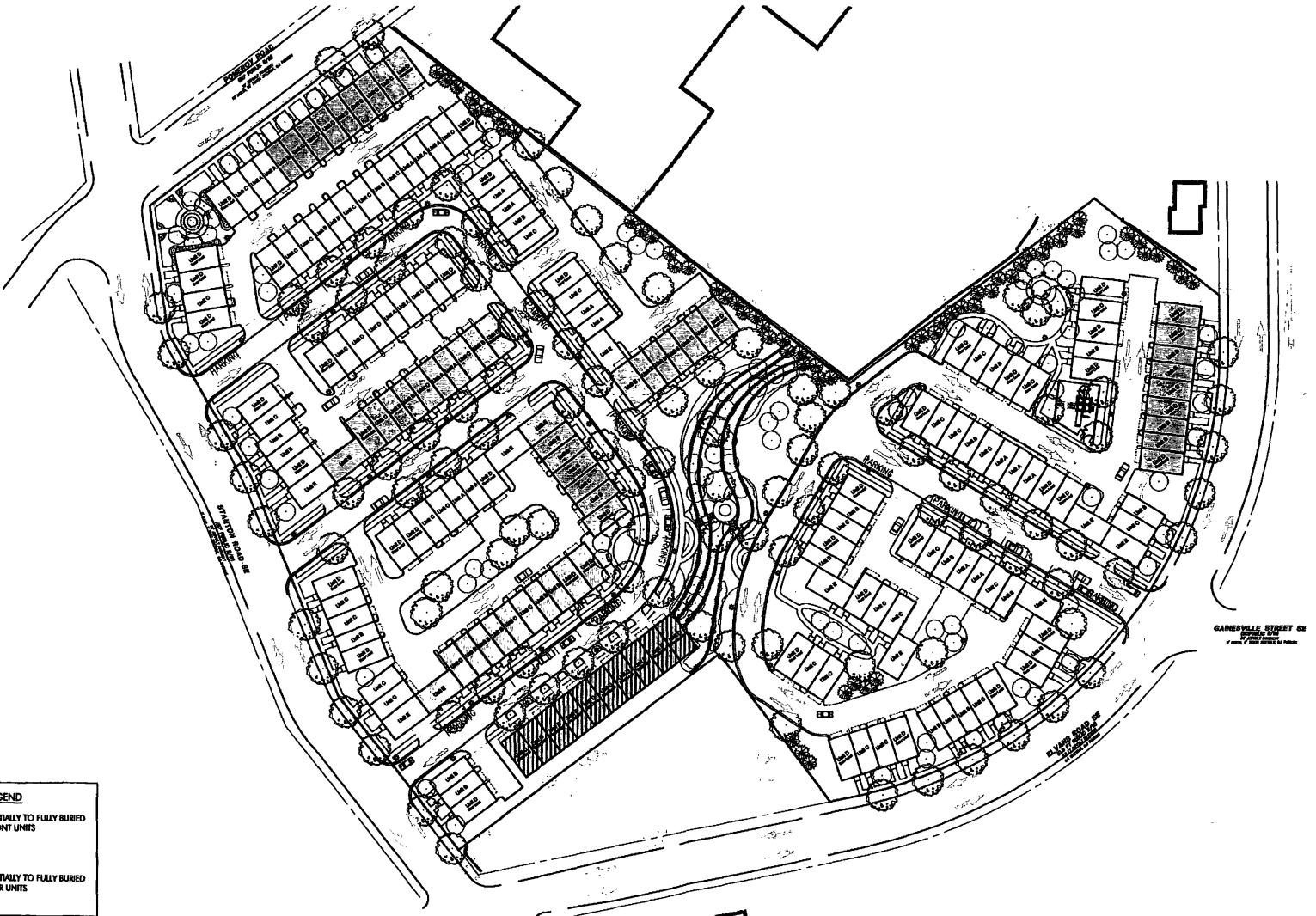
TOT LOT
OVERLOOK
STAIRS

SEE 2/L1.01
CORNER PARK
TYPICAL STOOP

Lessard Group, P.C.
Architectural, Interior, and Landscape Architects

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STUDIO39

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1103 Scale: 1"=40'-0"

PLAN

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BURIED BASEMENT LOCATION
PLAN

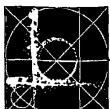
SUBMISSION DATE: 1/30/07

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



L1.03





EXISTING

PROPOSED

LEGEND

ELECTRIC LINE & MH

TELEPHONE LINE & MH

LIGHT POST & TRAFFIC LIGHT

SANITARY LINE & MH

STORM INLET

STORM LINE & MH

GAS LINE & VALVE

GAS METER

WATER LINE & MH

WATER METER & FIRE HYDRANT

SIAMESE HYDRANT & WATER VALVE

IRON FENCE

SPOT ELEVATION

CONCRETE SIDEWALK

CURB & GUTTER

TREES

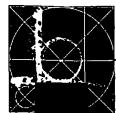
SIGN POLE

PARKING METER

7126

B PM

**Edwards
AND Kelcey**
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Suite 200 F: 703.264-0595
Reston, VA 20191
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Existing Conditions Plan

January 30, 2007

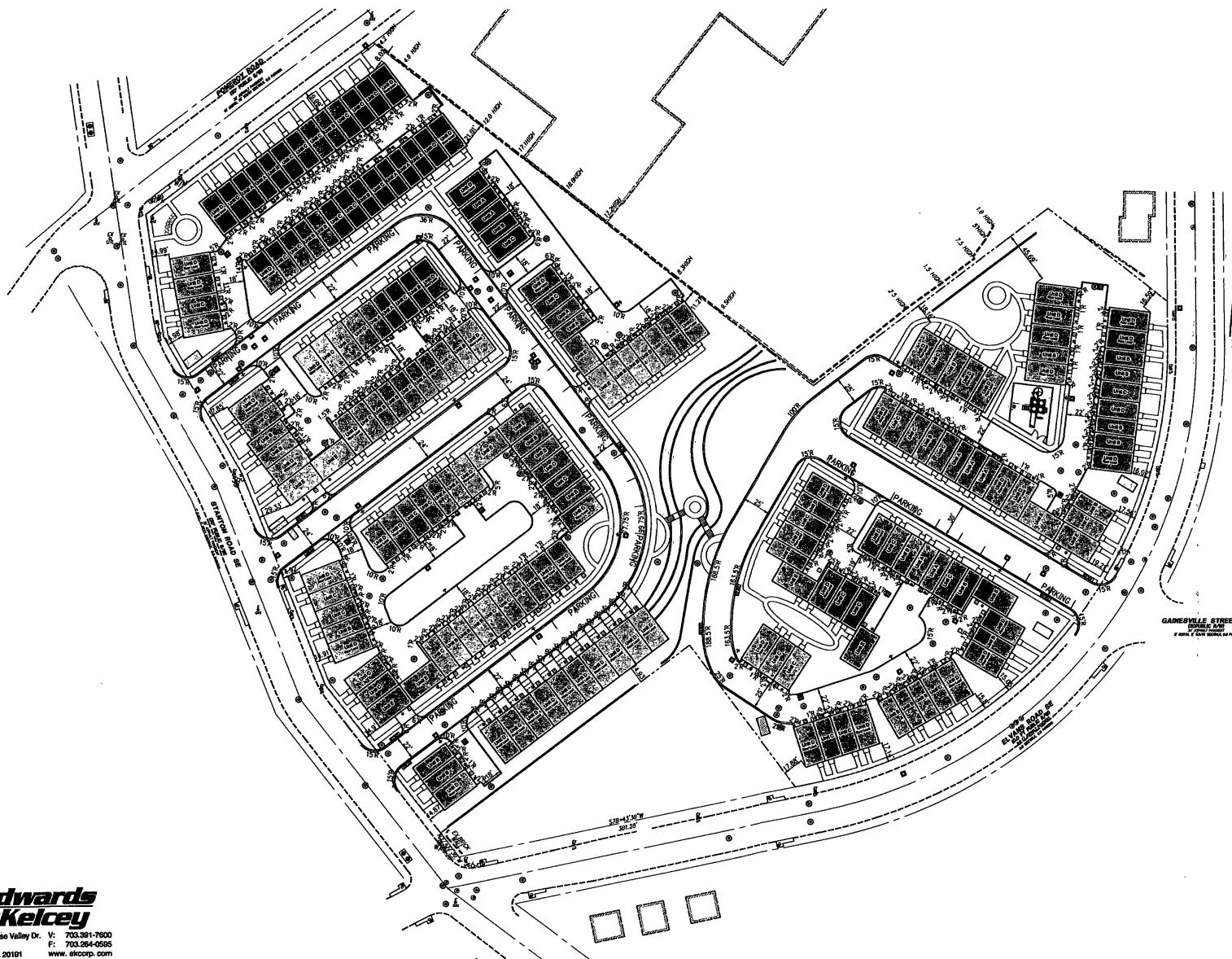
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



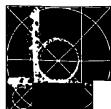
Not To Scale

C.01



LEGEND:
 UNIT A 14 FOOT WIDE TOWNHOME
 UNIT B 14 FOOT WIDE TOWNHOME
 UNIT C 16 FOOT WIDE TOWNHOME
 UNIT D 18 FOOT WIDE TOWNHOME
 UNIT E 20 FOOT WIDE TOWNHOME

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Site Plan

January 30, 2007

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



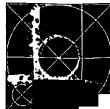
Not To Scale

C.02



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Grading Plan

January 30, 2007

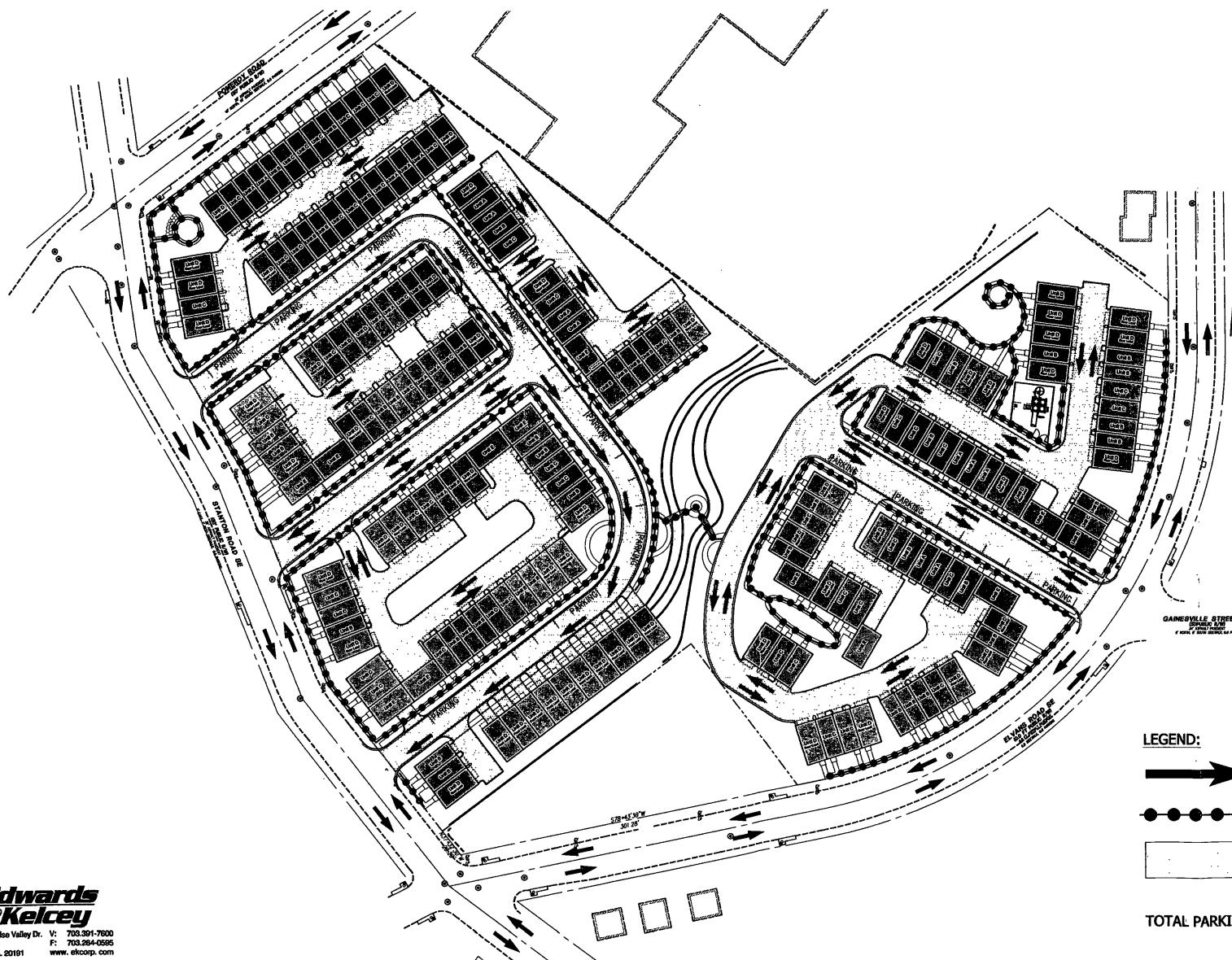
**TOWN HOMES AT
STANTON SQUARE**

HORNING BROTHERS
HOR:026A.DG.



Not To Scale

C.03



LEGEND:



DIRECTION OF EXISTING AND/OR
PROPOSED TRAFFIC FLOW



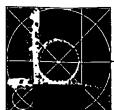
PRIMARY PEDESTRIAN CIRCULATION



PRIMARY VEHICULAR CIRCULATION

TOTAL PARKING SPACES = 37

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Circulation Plan

January 30, 2007

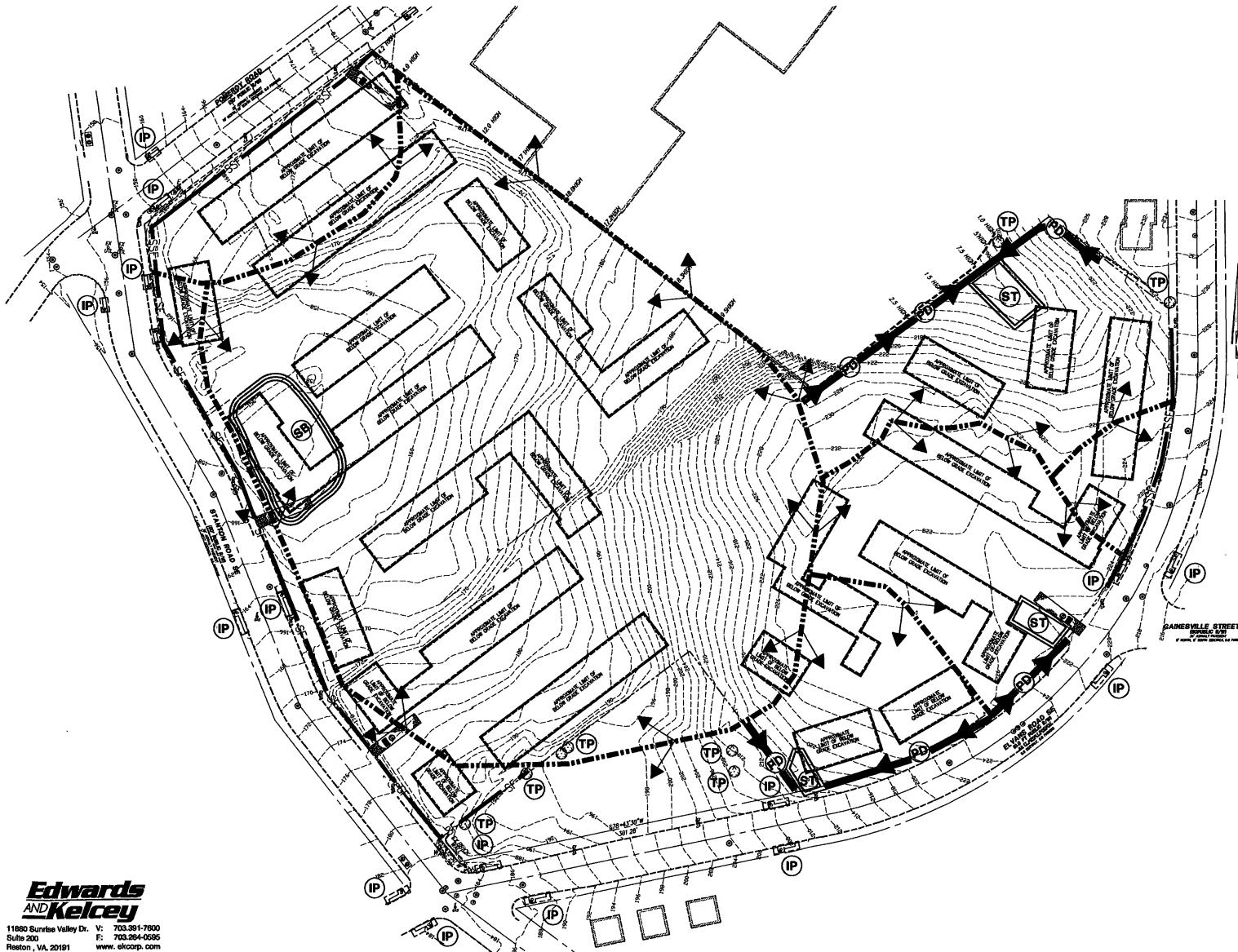
**TOWN HOMES AT
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HORNING BROTHERS
HOR.026A.00G.



Not To Scale

C.05



CONSTRUCTION AND STABILIZATION SEQUENCE:

1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, TREE PROTECTION, SILT FENCE, AS INDICATED ON THE SHEET. SEE SHEET C07 FOR SEDIMENT AND EROSION CONTROL DETAILS.
2. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
4. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

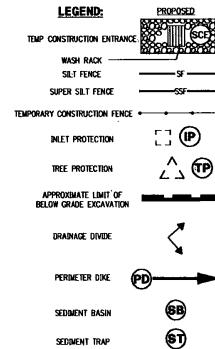
NOTE:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES, SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UTILITIES IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
2. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNTIL BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.

3. PROVIDE CONSTRUCTION FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
4. CONTRACTOR TO PROVIDE ON-SITE ADJACENT STABILIZED SEDIMENTATION AND EROSION CONTROL MEASURES AS APPROVED BY THE DEPARTMENT OF HEALTH, WATERSHED PROTECTION DIVISION.
5. REFER TO THE CORRECTIVE ACTION PLAN AND THE DISTRICT OF COLUMBIA'S VOLUNTARY REMEDIATION ACTION PROGRAM AUTHORIZATION FOR TREATMENT OF CONTAMINATED GROUND WATER.

DUST CONTROL NOTES:

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL ENSURE STRICT DUST CONTROL MEASURES FOR ACTIVE CONSTRUCTION PERIODS. DUST CONTROL EQUIPMENT SHALL GENERATE CONCENTRATES OF WATER SPRAYING THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. EQUIP WATER WITH EQUIPMENT CONSISTING OF TANK, PUMP BAR, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES.
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF THE GROUND WITH WATER.
 - C. DROPS OF WATER MUST NOT EXCEED ONE INCH ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. EQUIP WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES.
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.



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Sedimentation and Erosion Control Plan

January 30, 2007

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



Not To Scale

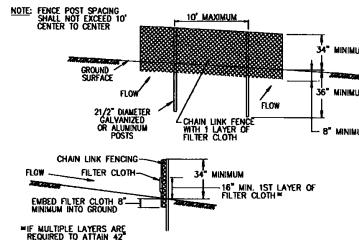
C.06

EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
- PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE AND WASH RACK WHERE SHOWN. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
- INSTALL STRAW BALE Dikes AS SHOWN ON SEDIMENT AND EROSION CONTROL PLAN.
- NO UNSTABILIZED AREA IS TO EXIST LONGER THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
- ALL CONSTRUCTION IS TO BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SEDIMENTATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAVED AT THE CLOSE OF THE DAY.
- ALL STRAW BALE Dikes TO BE MAINTAINED IN WORKING CONDITION.
- STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
- CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.

SILTATION EROSION CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE CONSTRUCTION COLUMNS. IF AN ON-SITE INSPECTOR REVEALS THAT EROSION CONTROL METHODS ARE NOT IN PLACE, THE SAME SHALL BE PROVIDED.
2. EROSION CONTROL METHODS SHALL BE REMOVED FROM THE SITE.
3. ALLEY AND / OR STREET SHALL BE SWEEP CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY BY THE CONTRACTOR. IF DAMAGED, DENSE GRASS OR SOD SHALL BE REPAVED OR REPAVED BY THE CONTRACTOR. IF REPAVED BY THE CONTRACTOR, THE SAME SHALL BE PROVIDED.
5. ALL VEHICLES LEAVING THE SITE SHALL EXIT THROUGH THE CONSTRUCTION ENTRANCE ONLY AND SHALL BE WASHED DOWN TO REMOVE MUD FROM TIRES BEFORE ENTERING THE STREET. CONSTRUCTION ENTRANCE TO BE MAINTAINED IN WORKING CONDITION.
6. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
7. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING AND REOPENING.
8. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE BOUNDARY NOT SHOWN TO BE PAVED SHALL BE SEDED OR SOODED AS PER DC SPECIFICATIONS WITHIN SEVEN DAYS OF DISTURBANCE.
9. WHEN SEDIMENT TRAP/SEDIMENT TANK HAS REACHED 67% CAPACITY, DRAIN AND REOPEN.
10. ANY STOCKPLUNG, REGARDLESS OF LOCATION ON SITE SHALL BE STABILIZED WITHIN 14 DAYS AND COVERED WITH PLASTIC OR CANVAS. AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
11. AFTER RAZE OR DEMOS, THERE IS NEED FOR GROUNDCOVER TO PREVENT EROSION AND SEDIMENTATION. GROUNDCOVER SUCH AS SEED, SOIL, PAVING, BRICK/BRICK OR MULCH, ETC.
12. AT THE COMPLETION OF CONSTRUCTION PROJECT AND AFTER THE D.C. EROSION AND SEDIMENT CONTROL INSPECTOR APPROVES ALL TEMPORARY SEDIMENTATION, SEDIMENTATION CONTROL AND EROSION CONTROL MEASURES, THEY ARE TO BE REMOVED AND ALL DENUDED AREAS SHALL BE PERMANENTLY STABILIZED.

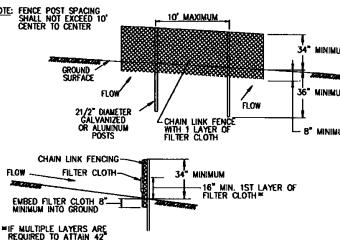
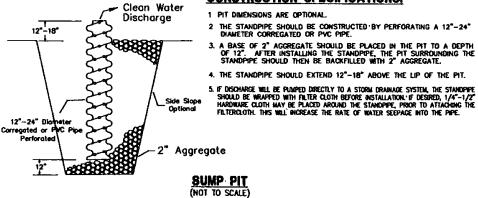


CONSTRUCTION SPECIFICATIONS:

CONSTRUCTION SPECIFICATIONS:

- 1 PT DIMENSIONS ARE OPTIONAL.
- 2 THE STANPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12"-24" DIAMETER CORRUGATED OR PVC PIPE.
3. A BASE OF 2" AGGREGATE SHOULD BE PLACED IN THE PT TO A DEPTH OF 12"-18". THE STANPIPE SHOULD BE PLACED ON THE AGGREGATE. THE STANPIPE SHOULD THEN BE BACKFILLED WITH 2" AGGREGATE.
4. THE STANPIPE SHOULD EXTEND 12"-18" ABOVE THE LIP OF THE PT.
5. IF SODDING WILL BE PUMPED DIRECTLY TO A STORM DRAINAGE SYSTEM, THE STANPIPE SHOULD BE PLACED IN THE DRAINAGE SYSTEM. IF SODDING WILL NOT HIT THE HARBORGE CLOTH MAY BE PLACED AROUND THE STANPIPE, PRIOR TO ATTACHING THE FILTERCLOTH. THIS WILL INCREASE THE RATE OF WATER SEEPAGE INTO THE PIPE.

SUMP PIT (NOT TO SCALE)

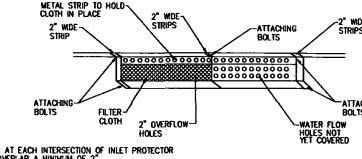


Construction Specifications

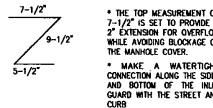
1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The heavy tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 8" into the ground.
5. When two sections of filter cloth overlap each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildup removed when "bulges" develop in the silt fence, or when silt reaches 30% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples of 10d and min section and shaft meet the following requirements for Geotextile Cloth:

Tensile Strength	50 lbs/in (m/s)	Test: ASTM D-4595
Tensile Modulus	20 lbs/in (m/s)	Test: ASTM D-4595
Flow Rate	0.0001 ft ³ /minute (max)	Test: ASTM D-5141
Pattering Efficiency	75% (min)	Test: ASTM D-5141

SUPER SILT FENCE (NOT TO SCALE)



STANDARD INLET GUARD ATTACHMENT METHOD



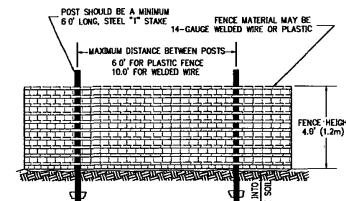
STANDARD INLET GUARD DIMENSIONS



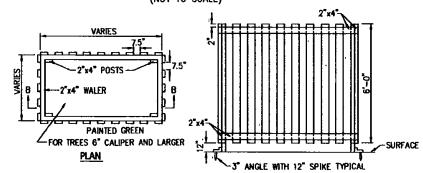
STANDARD INLET GUARD CROSS SECTION



GRADE INLET GUARD (NOT TO SCALE)



TREE PROTECTION FENCE INSTALLATION DETAIL (NOT TO SCALE)



TREE PROTECTION NOTES:

1. TREES AS SHOWN ON THE PLAN TO REMAIN SHALL BE PROTECTED AS SHOWN TO PREVENT MECHANICAL INJURY. TREE PROTECTION MEASURES SHOULD BE AS CLOSE TO THE DRIP LINE OF THE TREE AS POSSIBLE. PROTECTIVE FENCING SHALL BE ERECTED AROUND STREET TREES AT THE CURB, PROTECTION FENCING SHALL BE ERECTED AT EDGE OF PAVING.
2. BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
3. NO STORAGE OF EQUIPMENT OR CONSTRUCTION MATERIALS SHALL BE ALLOWED WITHIN THE PROTECTION FENCING.
4. HEAVY EQUIPMENT OPERATORS WILL BE CAUTIONED TO AVOID DAMAGE TO EXISTING TREE TRUNKS AND EXPOSED ROOTS AND LIMBS DURING EQUIPMENT OPERATIONS. TUNNEL UNDER ROOT SYSTEM WHEN INSTALLING UTILITY LINES, IF POSSIBLE.
5. TREE TRUNKS AND EXPOSED ROOTS AND LIMBS DAMAGED DURING EQUIPMENT OPERATIONS WILL BE CARED FOR AS PRESCRIBED BY A FORESTER OR LICENSED TREE EXPERT.
6. THE USE OF HEAVY EQUIPMENT ON ROOT SYSTEMS OF DESIRABLE TREES MUST BE AVOIDED TO THE EXTENT POSSIBLE. IF EQUIPMENT MUST BE USED ON THE ROOT SYSTEM, USE A DROPPING LINE OF PROTECTED TREES. PROTECTIVE FENCING SHALL BE UTILIZED FOR TREES BEING RETAINED AND SHALL BE LOCATED AT THE DRIP LINE AND AS SHOWN ON THE PLAN.
7. DURING THE FIRST TWO SUMMERS FOLLOWING CONSTRUCTION, IT IS DESIRABLE THAT THE TREES RECEIVE ADEQUATE AMOUNTS OF WATER.

TYPICAL TREE PROTECTION FENCING (NOT TO SCALE)

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Sedimentation and Erosion Control Details

January 30, 2007

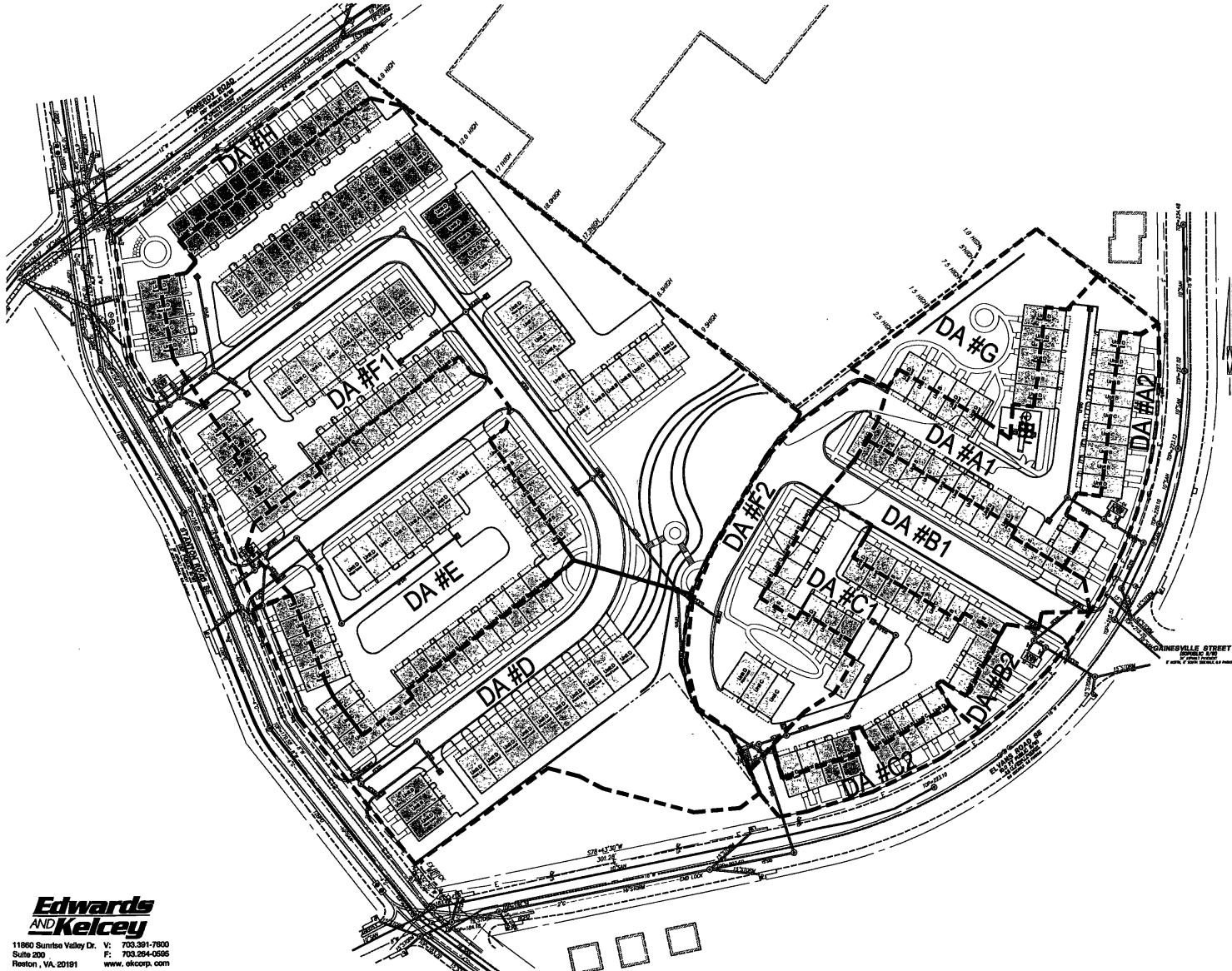
**TOWN HOMES AT
STANTON SQUARE**

**HORNING BROTHERS
HOR.026A.00G.**



Not To Scale

C.08



STORMFILTER DESIGN		IMPERVIOUS AREA				
FILTER #	NAME OF DRAINAGE AREA	TOTAL AREA (AC)	ROAD SIDEWALK (AC)	GRASS & TREE (AC)	TOTAL C VALUE (AC)	REMARKS
#1	DA #F1	2.48	0.77	0.88	0.83	0.75
	DA #F2	0.58	0.25	0.17	0.16	0.76
	TOTAL	3.06	1.02	1.05	0.99	0.76
#2	DA #E	1.07	0.40	0.39	0.28	0.76
	DA #D	1.44	0.22	0.28	0.25	0.76
	TOTAL	2.51	0.62	0.78	1.11	0.98
#3	DA #G	0.40	0.15	0.18	0.07	0.65
#4	DA #A1	0.58	0.21	0.22	0.12	0.62
#5	DA #A2	1.06	0.20	0.78	0.19	0.68
UNCONTROLLED AREA						
	DA #H	0.23	0.02	0.16	0.01	0.87
	DA #C2	0.16	0.00	0.09	0.07	0.68
	DA #B2	0.10	0.00	0.04	0.05	0.68
	DA #B1	0.21	0.00	0.14	0.06	0.68
	DA #G2	0.36	0.00	0.11	0.28	0.53
	TOTAL					

STORMFILTER DESIGN		IMPERVIOUS AREA				
ROAD	ROAD SIDEWALK	GRASS & TREE	TOTAL C VALUE	REMARKS		
ROAD = 0.03						
ROAD SIDEWALK = 0.20						
FLOW BASE DESIGN PER THE MANUFACTURER WITH A STORM DURATION OF 1.0 HOUR						
THEW						
ROAD = 1.000 (R/C X 0.03) 0.518 (0.95 X 1.118) = 0.53 INHS						
ROAD & SIDEWALK road & sw (R/C X 0.20) 0.318 (0.95 X 1.118) = 0.32 INHS						

STORMFILTER DESIGN		IMPERVIOUS AREA				
FILTER #	NAME OF DRAINAGE AREA	TOTAL AREA (AC)	ROAD SIDEWALK (AC)	GRASS & TREE (AC)	TOTAL C VALUE (AC)	REMARKS
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	DA #H	0.23	0.02	0.16	0.01	0.87
	DA #C2	0.16	0.00	0.09	0.07	0.68
	DA #B2	0.10	0.00	0.04	0.05	0.68
	DA #B1	0.21	0.00	0.14	0.06	0.68
	DA #G2	0.36	0.00	0.11	0.28	0.53
	TOTAL					

STORMFILTER DESIGN		IMPERVIOUS AREA				
FLOW TO BE TREATED	FILTER CFS	CARTRIDGE GPM	NO OF CARTRIDGE	RECOMMENDED STORMFILTER	REMARKS	
#1	0.83	373.75	15 GPM	25	PRECAST 8X16	ALL
#2	0.55	249.52	15 GPM	16	PRECAST 8X16	STORMFILTERS WILL BE
		174.68	15 GPM	10	PRECAST 8X16	REMOVED WITH
#4	0.22	97.17	15 GPM	6	PRECAST 8X12	A STORMFILTER
#5	0.46	215.63	15 GPM	14	PRECAST 8X16	FLOW SPLITTER

NOTE:
 1. STORM FILTERS SHALL HAVE A MINIMUM CAPACITY OF 80% REMOVAL RATE OF TSS SUSPENDED SOLID.
 2. 100% REMOVAL OF PHOSPHORUS AND 50% OF TN (NITROGEN) FROM THE RUNOFF OF 0.57 FROM PAVED AREA AND 0.07 FROM UNPAVED AREA.

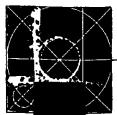
2. THE UNCONTROLLED AREA SHALL BE OVERCOMPENSATED BY THE CONTROLLED AREA AND THE OVERALL SITE POLLUTION REMOVAL RATE SHALL BE

TSS = 40%
 TDN = 40%
 THN = 40%

STORMWATER MANAGEMENT FACILITIES AND SEDIMENTATION AND EROSION CONTROLS TO MEET THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA, DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION AND WILL BE PROVIDED BY MEANS OF STORMFILTERS OR EQUAL TO BE APPROVED BY DEPARTMENT OF ENVIRONMENT.

**Edwards
AND Kelcey**

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Storm Water Management Plan

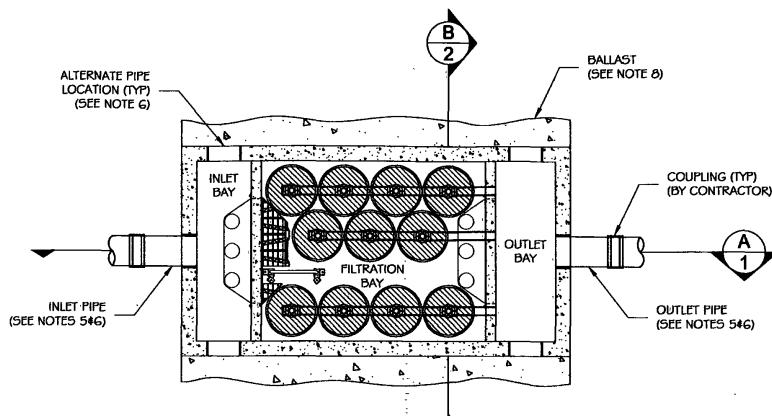
January 30, 2007

TOWN HOMES AT
STANTON SQUARE

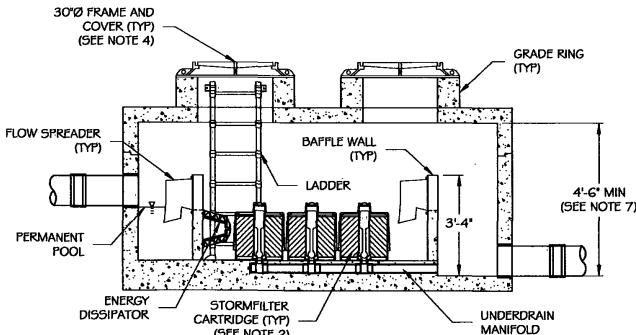
HORNING BROTHERS
HOR.026A.00G.



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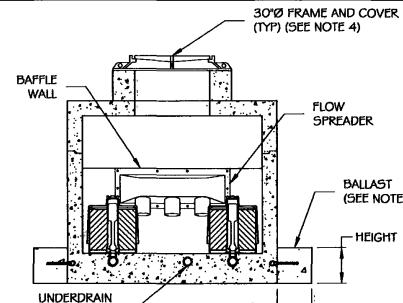
6' x 12' STORMFILTER - PLAN VIEW (1)



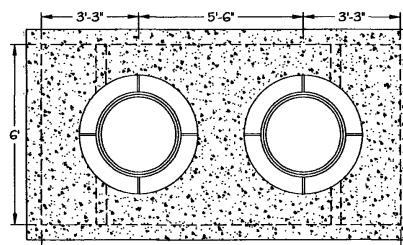
6' x 12' PRECAST STORMFILTER
PLAN AND SECTION VIEWS
STANDARD DETAIL

THE STORMWATER MANAGEMENT
StormFilter®
U.S. PATENT 6,022,629,
No. 5,707,527, No. 5,624,576
No. 6,649,046, No. 5,624,576,
AND OTHER U.S. AND FOREIGN
PATENTS PENDING

GENERAL NOTES	
1) STORMFILTER BY CONTECH STORMWATER SOLUTIONS, PORTLAND, OR (800) 548-4667; SCARBOROUGH, ME (877) 907-8676; ELKRIDGE, MD (866) 740-3318.	
2) FILTER CARTRIDGE(S) TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL DRAWING SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.	
3) PRECAST VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C857 AND C858. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.	
4) STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.	
5) STORMFILTER REQUIRES 2.3 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT CONTECH STORMWATER SOLUTIONS.	
6) INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. PRECAST STORMFILTER VAULT EQUIPPED WITH EITHER CORED OPENINGS OR KNOCKOUTS AT INLET AND OUTLET LOCATIONS.	
7) PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS. IF A SHALLOWER SYSTEM IS REQUIRED, CONTACT CONTECH STORMWATER SOLUTIONS FOR OTHER OPTIONS.	
8) ANTI-FLOTATION BALLAST TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR, IF REQUIRED. BALLAST TO BE SET ALONG ENTIRE LENGTH OF BOTH SIDES OF THE STRUCTURE.	
9) ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR MORE INFORMATION.	



6' x 12' STORMFILTER - SECTION VIEW (B 2)



6' x 12' PRECAST STORMFILTER
TOP VIEW, SECTION VIEW AND NOTES
STANDARD DETAIL

THE STORMWATER MANAGEMENT
StormFilter®
U.S. PATENT 6,022,629,
No. 5,707,527, No. 6,027,539
No. 6,649,046, No. 5,624,576,
AND OTHER U.S. AND FOREIGN
PATENTS PENDING

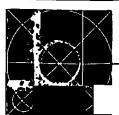
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



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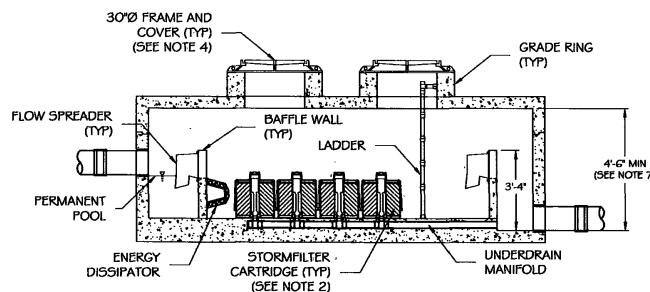
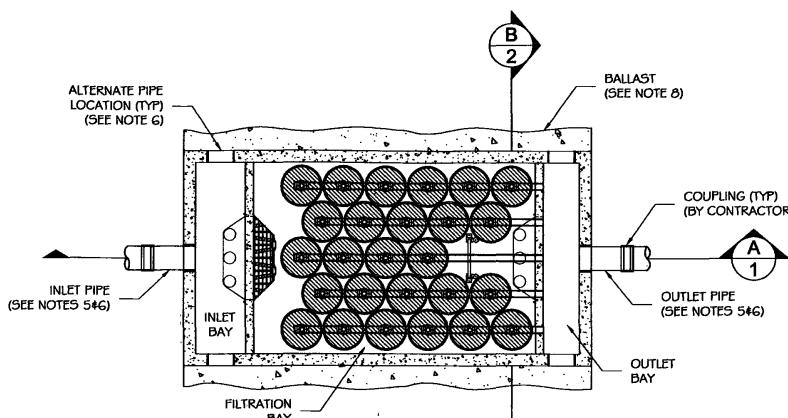


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Storm Water Management Details StormFilter 6'x12'

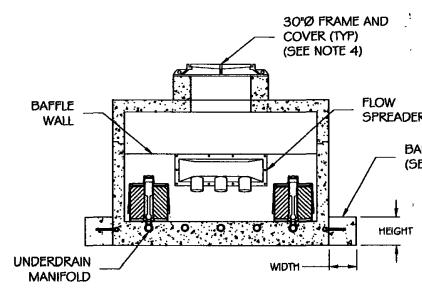
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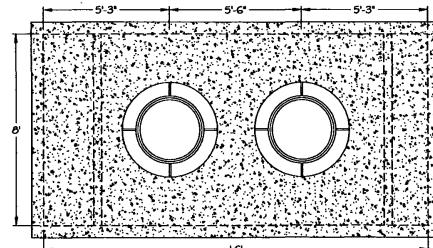
THE STORMWATER MANAGEMENT
StormFilter®
U.S. PATENT No. 5,322,629
No. 5,707,446, No. 6,027,639
No. 6,248,118, No. 6,321,176,
AND OTHER U.S. AND FOREIGN
PATENTS PENDING

8' x 16' PRECAST STORMFILTER
PLAN AND SECTION VIEWS
STANDARD DETAIL

GENERAL NOTES	
1) STORMFILTER BY CONTECH STORMWATER SOLUTIONS; PORTLAND, OR (800) 548-4667; SCARBOROUGH, ME (877) 907-8676; ELKRIDGE, MD (866) 740-3316.	
2) FILTER CARTRIDGE(S) TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL DRAWING SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.	
3) PRECAST VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C2657 AND C2658. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.	
4) STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.	
5) STORMFILTER REQUIRES 2.3 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT CONTECH STORMWATER SOLUTIONS.	
6) INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. PRECAST STORMFILTER VAULT EQUIPPED WITH EITHER CORED OPENINGS OR KNOCKOUTS AT INLET AND OUTLET LOCATIONS.	
7) PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS. IF A SHALLOWER SYSTEM IS REQUIRED, CONTACT CONTECH STORMWATER SOLUTIONS FOR OTHER OPTIONS.	
8) ANTI-FLOTATION BALLAST TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR, IF REQUIRED. BALLAST TO BE SET ALONG ENTIRE LENGTH OF BOTH SIDES OF THE STRUCTURE.	
9) ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR MORE INFORMATION.	



8' x 16' PRECAST STORMFILTER DATA	
STRUCTURE ID	XXX
WATER QUALITY FLOW RATE (cfs)	X.XX
PEAK FLOW RATE (cfs)	X.XX
RETURN PERIOD OF PEAK FLOW (yrs)	XXX
# OF CARTRIDGES REQUIRED	XX
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	XX
MEDIA TYPE (CSF, PERLITE, ZPG)	XXXXXX
PIPE DATA: I.E. MATERIAL DIAMETER	
INLET PIPE #1	XXX.XX
INLET PIPE #2	XXX.XX
OUTLET PIPE	XXX.XX
RIM	
LADDER	YES/NO
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
	XX" XX"
NOTES/SPECIAL REQUIREMENTS:	



THE STORMWATER MANAGEMENT
StormFilter®
U.S. PATENT No. 5,322,629
No. 5,707,446, No. 6,027,639
No. 6,248,118, No. 6,321,176,
AND OTHER U.S. AND FOREIGN
PATENTS PENDING

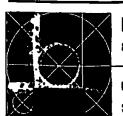
8' x 16' PRECAST STORMFILTER
TOP AND SECTION VIEWS, NOTES AND DATA
STANDARD DETAIL

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



Not To Scale



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Storm Water Management Details
StormFilter 8'x16'

January 30, 2007

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