

All work must be done strictly in accordance herewith an approved plans. Approved plans shall be kept on the site until completion of the construction. No inspection will be made without approved plans on site. The approval does not prevent a field inspection from ordering corrections to meet codes when the dimensions of this plat, I

DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR

Washington, D.C., January 30, 2018

Plat for Building Permit of: SQUARE 886 LOT 35

Scale: 1 inch = 20 feet

Recorded in Book 38 Page 108

Receipt No. 18-02736 Drawn by: A.S.

Furnished to: MARIAH RIPPE

I hereby certify that on this plat on which the Office of the Surveyor has drawn have accurately and completely depicted and labeled the following:

1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;

2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application \_\_\_\_\_; and

3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;

2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;

3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;

4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and

5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the 6 months prior to the date DCRA accepts a Building Permit Application as complete.

I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

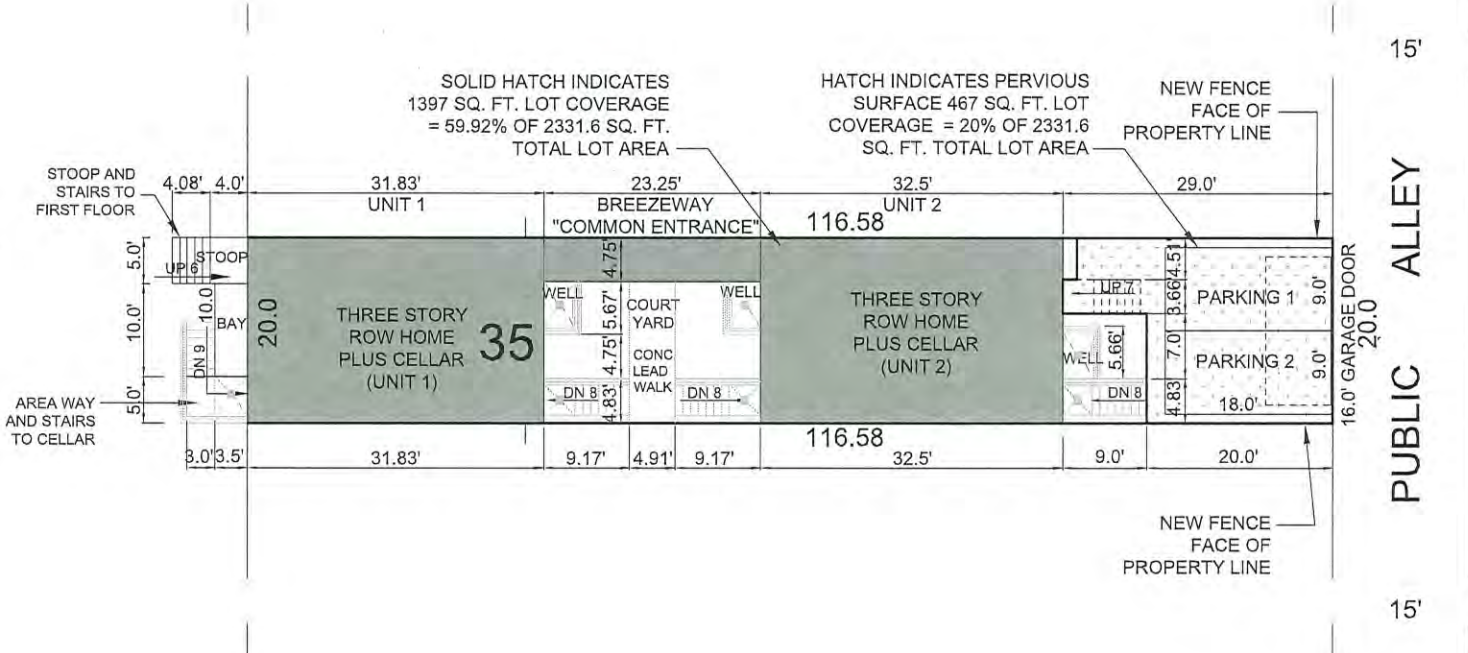
*Stephanie Erwin*  
Surveyor, D.C.

Signature: Stephanie Erwin Date: 03.13.18

Printed Name: Stephanie Erwin Relationship to Lot Owner: Agent

If a registered design professional, provide license number \_\_\_\_\_ and include stamp below.

7th STREET, N.E.



SCALE: 1:20

FOUNDATION NOTES

- 1. ALL CONCRETE SHALL BE 3,000 PSI (AT 28 DAYS) AIR ENTRAINED, U.N.O. (REF. DETAIL B/FND FOR WALL REINFORCEMENT SCHEDULE, TYP.)
2. CMU SHALL BE FILLED WITH 3,000 PSI GROUT WHERE INDICATED ON PLANS, MORTAR SHALL BE TYPE "S" FOR ALL BELOW GRADE APPLICATIONS.
3. BACKFILL WALLS IN EQUAL LIFTS, DO NOT BACKFILL WALLS UNTIL BASEMENT SLAB IS POURED AND 1ST FLOOR DECK IS INSTALLED AND FULLY SHEATHED.
4. WATERPROOFING AND DRAINAGE SYSTEM SHALL BE PROVIDED AS INDICATED AND DRAINAGE SHALL TERMINATE AT A SUITABLE SUMP OR DAYLIGHT CONDITION AS REQUIRED PER CODE.
5. DO NOT CUT DRILL OR NOTCH FOUNDATION WALLS WITHOUT APPROVED DETAILS FROM THE ENGINEER OF RECORD.
6. FOUNDATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLOPE CUTS AND SOIL STABILIZATION IN ACCORDANCE WITH COUNTY REQUIREMENTS

FRAMING NOTES

- 1. FOLLOW MANUFACTURERS INSTRUCTIONS FOR CUTTING HOLES IN ANY 1- JOIST, LVL OR PSL PRODUCTS. DO NOT CUT HOLES OR NOTCH WITHOUT PROPER SIZING AND PLACEMENT.
2. ALL MULTI-PLY MEMBERS SHALL BE ATTACHED WITH 3-ROWS OF 16D NAILS AT 12" O/C (NAILED FROM BOTH SIDES OF BEAM ASSEMBLY FULL LENGTH)(ADD FILLER BETWEEN DOUBLE 1- JOISTS PER MANUF. SPECS.)
3. ALL HEADERS SHALL BE HEM FIR #2 & ALL STUDS SPF #2 U.N.O.
4. ALL LUMBER EXPOSED TO ELEMENTS OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (ACQ) SYP #2 OR EQUIVALENT TREATMENT APPROVED FOR GROUND CONTACT
5. USE ONLY APPROVED NON-CORROSIVE FASTENERS AND HARDWARE FOR ALL ATTACHMENTS IN PRESSURE TREATED LUMBER.
6. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLED HARDWARE (FILL ALL NAIL HOLES IN STRAPS AND HANGERS)
7. PROVIDE CRUSH BLOCKS UNDER ALL POSTS ABOVE (OF EQUAL WIDTH AND MATERIAL AS POST)
8. ALL INTERIOR 2X BEARING WALLS @ 16" O.C. (U.N.O.)
9. ALL EXTERIOR 2X4 WALLS @ 16" O.C. (U.N.O.)
ALL EXTERIOR 2X6 WALLS @ 24" O.C. (U.N.O.)

WINDBRACING SCHEDULE

Table with columns: MARK, TYPE, LENGTH, DESCRIPTION, DETAIL. Includes rows for CS-WSP, WSP, GB, LIB, CS-PF with descriptions of braced wall schedules and portal frames.

- 1. ALL BRACED WALLS AND SHEAR WALLS ASSUME A CONTINUOUSLY SHEATHED STRUCTURE IN ACCORDANCE WITH IRC SECTION 602.10.5
2. ALL VALUES SHOWN HAVE BEEN REDUCED TO REFLECT A S.G. = 0.43 FOR STUD FRAMING
3. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS
4. REFERENCE ATTACHED DETAILS FOR PORTAL WALL FRAMING
5. FIELD NAILING SHALL BE AT 12" O/C, U.N.O.
6. BLOCK ALL EDGES AT BRACED WALL PANELS ONLY

HANGER SCHEDULE

ALL HANGERS SHALL BE AS SPECIFIED BY TRUSS OR JOIST MFG., U.N.O. (ALL HARDWARE SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE)

DESCRIPTION OF WORK/SITE INFORMATION

RENOVATION OF SINGLE TOWNHOME TO A 2-UNIT SEPARATE TOWNHOUSE

FRONT ELEVATION

PAR004 RESPONSE TO ZONING & ELECTRICAL REVIEW 04/16/18



BUILDING CODE SUMMARY

1125 7TH ST NE

Form containing project information, building codes, fire protection requirements, and site data. Includes sections for Name of Project, Address, Proposed Use, Owner, Authorized Agent, Lead Designer, Building Codes, Fire Protection Requirements, and Site Data.

REVISION LOG

Table with columns: Revision Date, Description, Revision Date. Lists revisions including responses to DCRA structural review comments and electrical & zoning comments.

ABBREVIATIONS

Table listing various abbreviations and their meanings, such as A.B. for Anchor Bolt, ELEV. for Elevation, and REF. for Refer to Reference.

COPYRIGHT STATEMENT

"THE OWNER OF THESE PLANS, MOMENT STRUCTURAL ENGINEERING GROUP, L.L.C. (MSEG, LLC), EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS CONTAINED IN THESE PLANS. THE PLANS MAY NOT BE COPIED, REPRODUCED OR CHANGED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF MSEG, LLC" COPYRIGHT © 2017

STRUCTURAL CERTIFICATION

"STRUCTURAL PLANS CERTIFIED AS PROVIDED IN SECTION 106.1.4.1 OF THE DC CONSTRUCTION CODES SUPPLEMENT AS AMENDED TO DATE"

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION PLANS

Permit No. 81805207

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DOEE SE-SW Review - Charles Edwards
Mechanical Review - Wayne Ferguson
Electrical Review - Wayne Ferguson
Structural Review - Alina Mahmood
Energy Review - Ashley Delgado
DDOT Review - Shaun Baskerville

DC ARCHITECT

10530 WARWICK AVENUE, SUITE 1050 FAIRFAX, VA 22030

Phone: 703.988.2350 • Email: info@msellc.com Website: www.msellc.com

DRAWING INDEX

Table listing drawing titles and sheet numbers, such as CS.01 GENERAL NOTES CODE SUMMARY & INDEX, UL.01 FIRE RATED ASSEMBLIES, and P.01 PLUMBING PLAN - CELLAR & FIRST FLOORS.

STRUCTURAL DESIGN DATA

BUILDING LOADS: ALLOWABLE = 2500 PSF (REF. SOIL CERTIFICATION)
SOIL BEARING PRESSURE: TYPICAL LIVE LOAD = 40 PSF (TOP CHORD)
EQUIVALENT FLUID PRESSURE: BASEMENT WALLS = 60 PCF\*
DEFLECTION LIMITS: BEAM SUPPORTING ROOF ONLY: LIVE LOAD=L/360, TOTAL LOAD=L/240

BUILDING SQUARE FOOTAGE

Table showing finished square feet for various units: UNIT #1 - CELLAR = 516 S.F., UNIT #1 - 1ST FLOOR = 677 S.F., UNIT #1 - 2ND FLOOR = 677 S.F., UNIT #1 - 3RD FLOOR = 677 S.F., UNIT #1 - TOTAL = 2,547 S.F.

BUILDING ADDRESS

PROPERTY ADDRESS: STONY CREEK HOMES 1125 7TH ST NE WASHINGTON, DC 20002

22x34 Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"

1125 7th St NE - STONY CREEK HOMES

GENERAL NOTES



DRAWN BY: MCR DATE: 03/10/17 REV No. DATE: 004 04/16/18

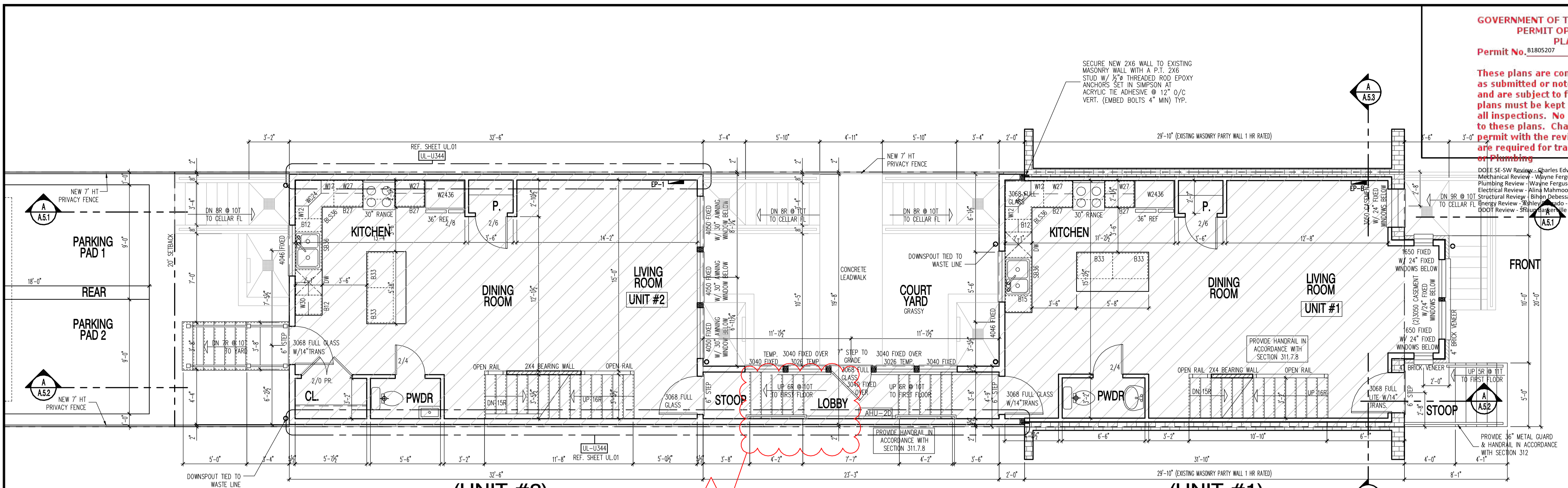
01.01.17

SHEET No. CS.01

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Plumbing Review - Wayne Ferguson  
Electrical Review - Alina Mahmood  
Structural Review - Bibin Debessai  
Energy Review - Ashley Lido  
DDOT Review - Shaun Baskerville

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(UNIT #2)

PROPOSED FIRST FLOOR PLAN

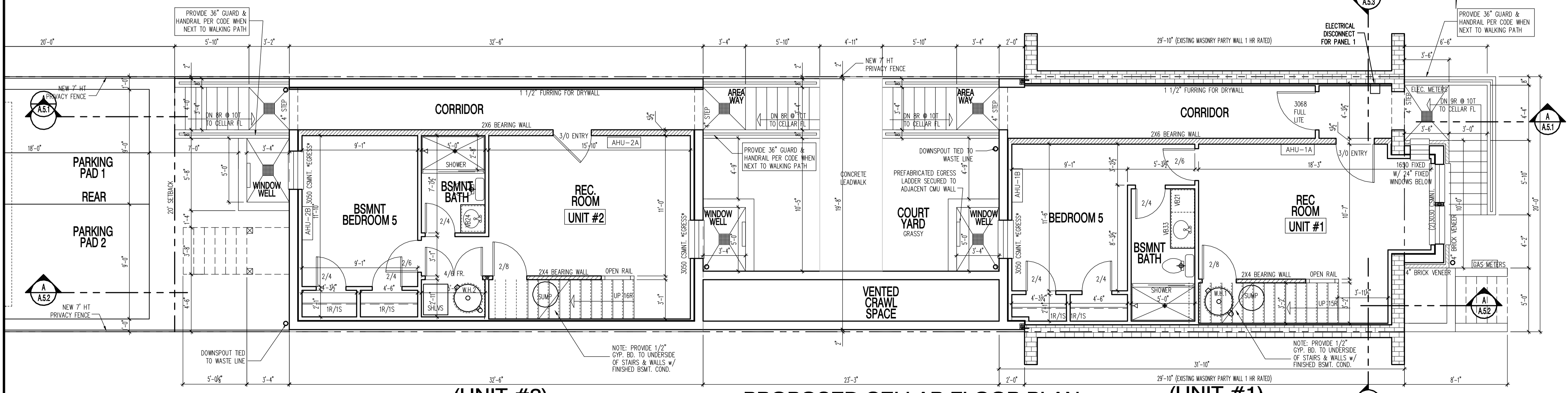
(UNIT #1)

LOT 2331.6 SQ. FT.  
60% COVERAGE = 1398.96  
SHOWN HATCHED = 1397 SF

SCALE: 1/4"=1'-0"

FINISHED UNIT #1: 677 SQ.FT.  
FINISHED UNIT #2: 650 SQ.FT.

650 REAR UNIT FOOTPRINT + 110.43 MIDDLE BREEZEWAY + 636.66 FRONT UNIT FOOTPRINT



(UNIT #2)

PROPOSED CELLAR FLOOR PLAN

(UNIT #1)

SCALE: 1/4"=1'-0"

FINISHED UNIT #1: 516 SQ.FT.  
FINISHED UNIT #2: 515 SQ.FT.

NOTE: PROVIDE 1/2" GYP. BD. TO UNDERSIDE OF STAIRS & WALLS w/ FINISHED BSMT. COND.

NOTE: PROVIDE 1/2" GYP. BD. TO UNDERSIDE OF STAIRS & WALLS w/ FINISHED BSMT. COND.

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES

PROPOSED CELLAR & FIRST FLOOR PLAN



DRAWN BY: MCR  
DATE: 03/10/17  
REV No. DATE  
004 04/16/18

01.01.17

SHEET No. A1.1

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No change or modifications to these plans. Changes require a permit with the revised plans. Permits are required for trade work in Mechanical or Plumbing.

DOFF SE, SW Review - Charles Edwards 04-18-2017  
Mechanical Review - Wayne Ferguson 04-18-2017  
Plumbing Review - Wayne Ferguson 04-18-2017  
Electrical Review - Alina Mahmood 04-18-2017  
Structural Review - Bilal Bejjani 04-18-2017  
Energy Review - Ashley Delgado 04-18-2017  
Downspout Review - Shaun Baskerville 04-18-2017

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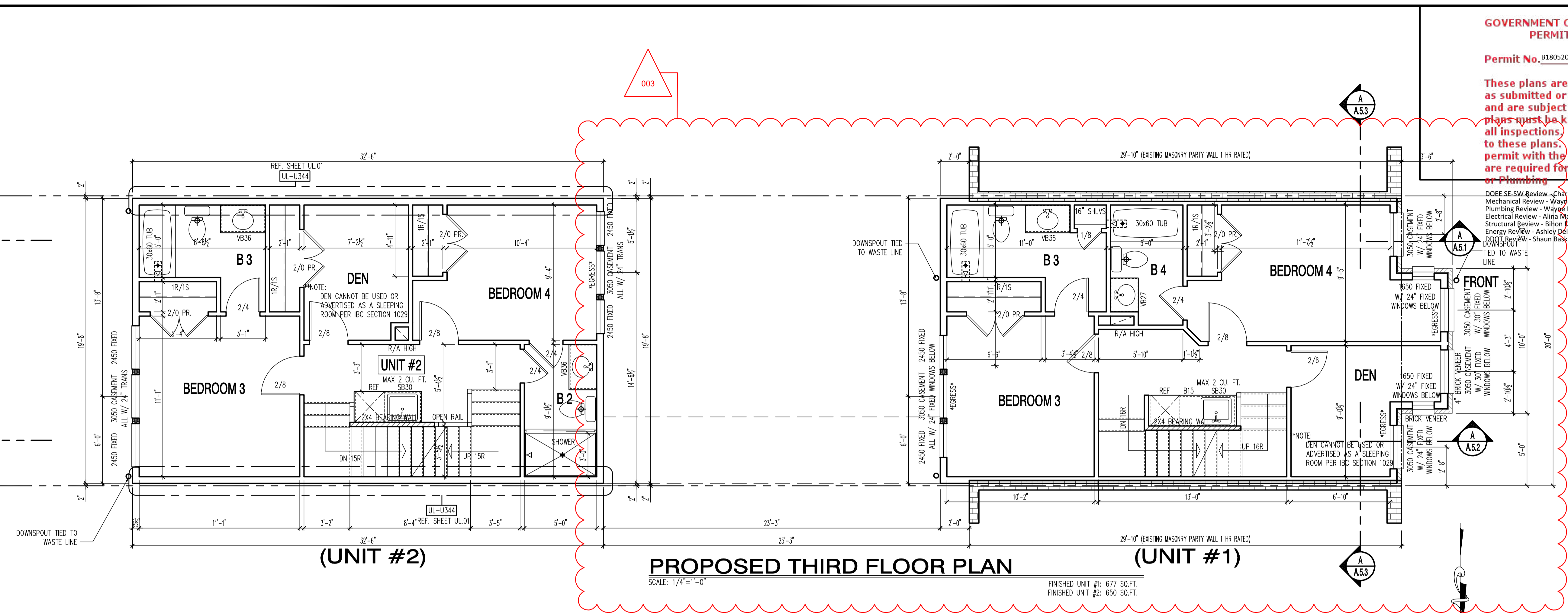
1125 7th St NE - STONY CREEK HOMES  
PROPOSED SECOND & THIRD FLOOR PLAN  
22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



DRAWN BY:  
MCR  
DATE: 03/10/17  
REV No. DATE  
003 04/04/17

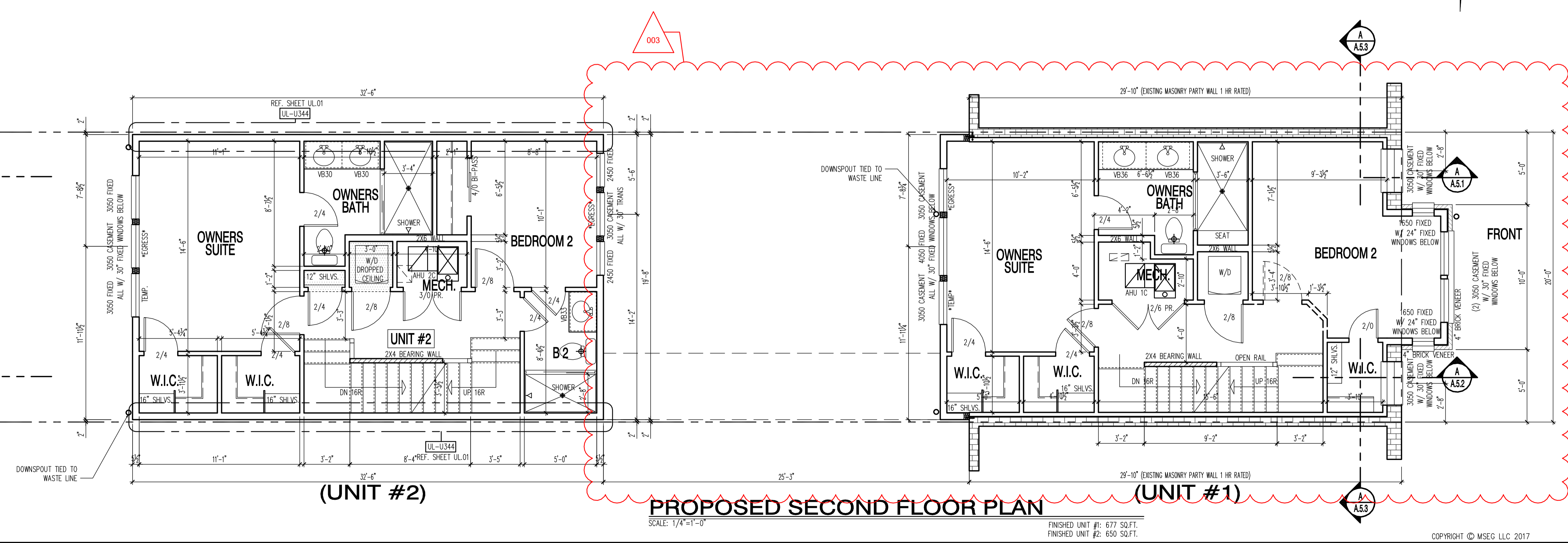
01.01.17

SHEET No.  
A2.1



PROPOSED THIRD FLOOR PLAN

SCALE: 1/4"=1'-0" FINISHED UNIT #1: 677 SQ.FT. FINISHED UNIT #2: 650 SQ.FT.



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" FINISHED UNIT #1: 677 SQ.FT. FINISHED UNIT #2: 650 SQ.FT.

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DOEE SE-SW Review - Charles Edwards - 04-18-2018  
Mechanical Review - Wayne Ferguson - 04-18-2018  
Plumbing Review - Wayne Ferguson - 04-18-2018  
Electrical Review - Alina Mahmood - 04-18-2018  
Structural Review - Bihon DeBessai - 04-18-2018  
Energy Review - Ashley Delgado - 04-18-2018  
DDOT Review - Shaun Baskerville - 04-18-2018

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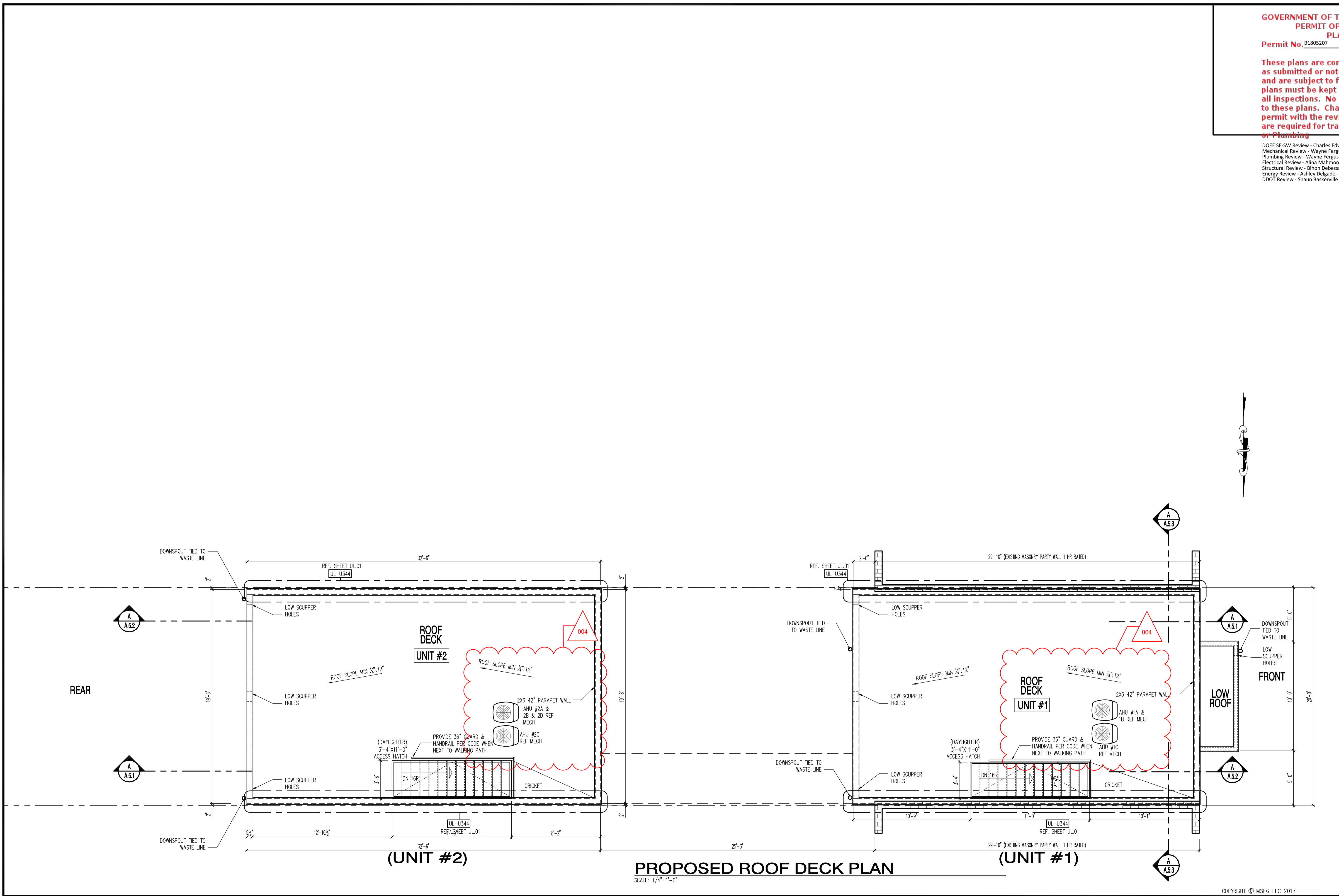
1125 7th St NE - STONY CREEK HOMES  
PROPOSED ROOF PLAN



DRAWN BY:  
MCR  
DATE: 03/10/17  
REV No. DATE  
004 04/16/18

01.01.17

SHEET No.  
A3.1

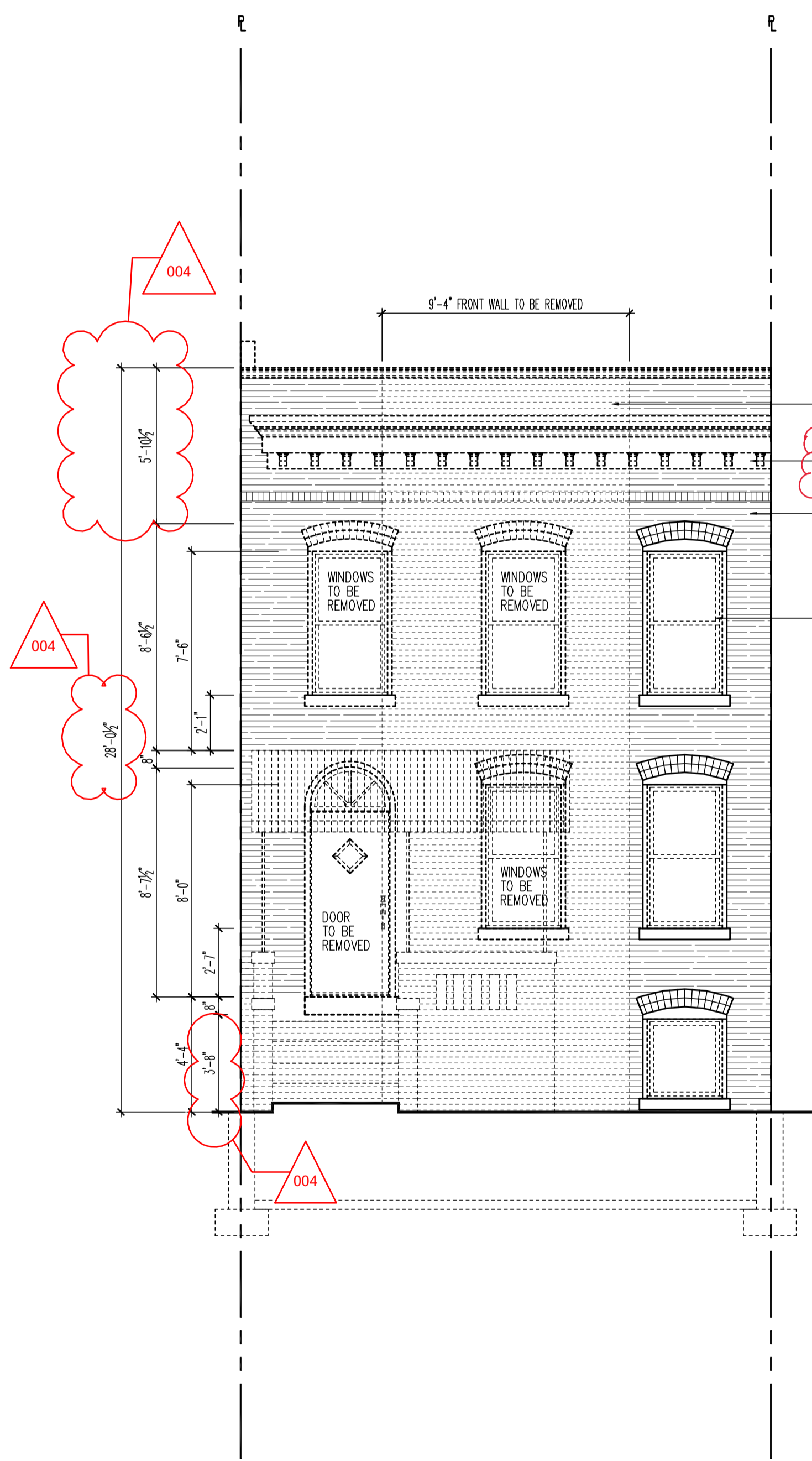


PROPOSED ROOF DECK PLAN  
SCALE: 1/4"=1'-0"

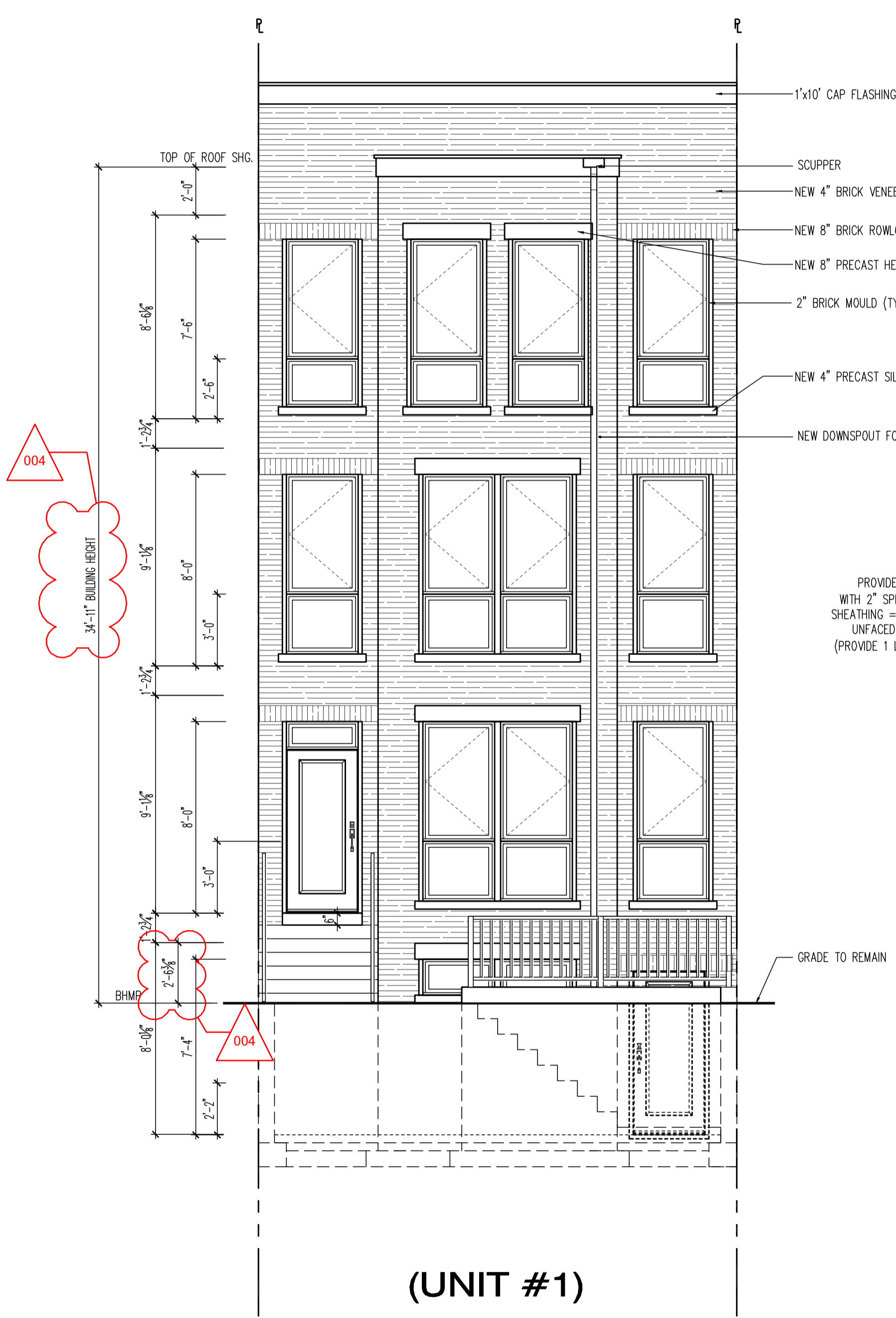
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Structural Review - Bibon DeBessai - 04-18-2018  
Energy Review - Ashley Delgado - 04-18-2018  
DDOT Review - Shaun Baskerville - 04-18-2018

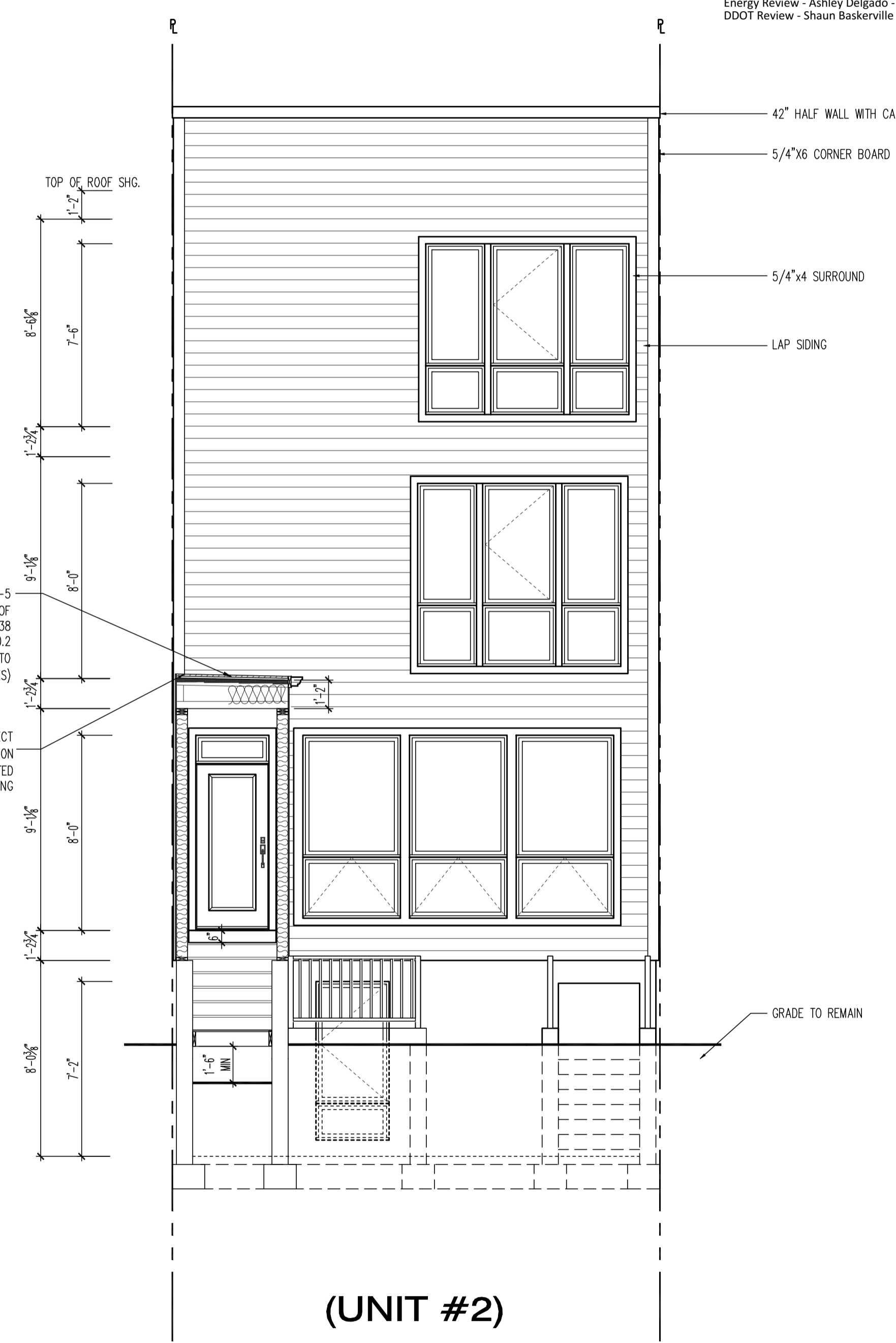
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**EXISTING FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSED FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSED FRONT ELEVATION**  
SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

**1125 7th St NE - STONY CREEK HOMES  
FRONT & REAR ELEVATIONS**



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MCR	
DATE: 03/10/17	
REV No.	DATE
004	04/16/18

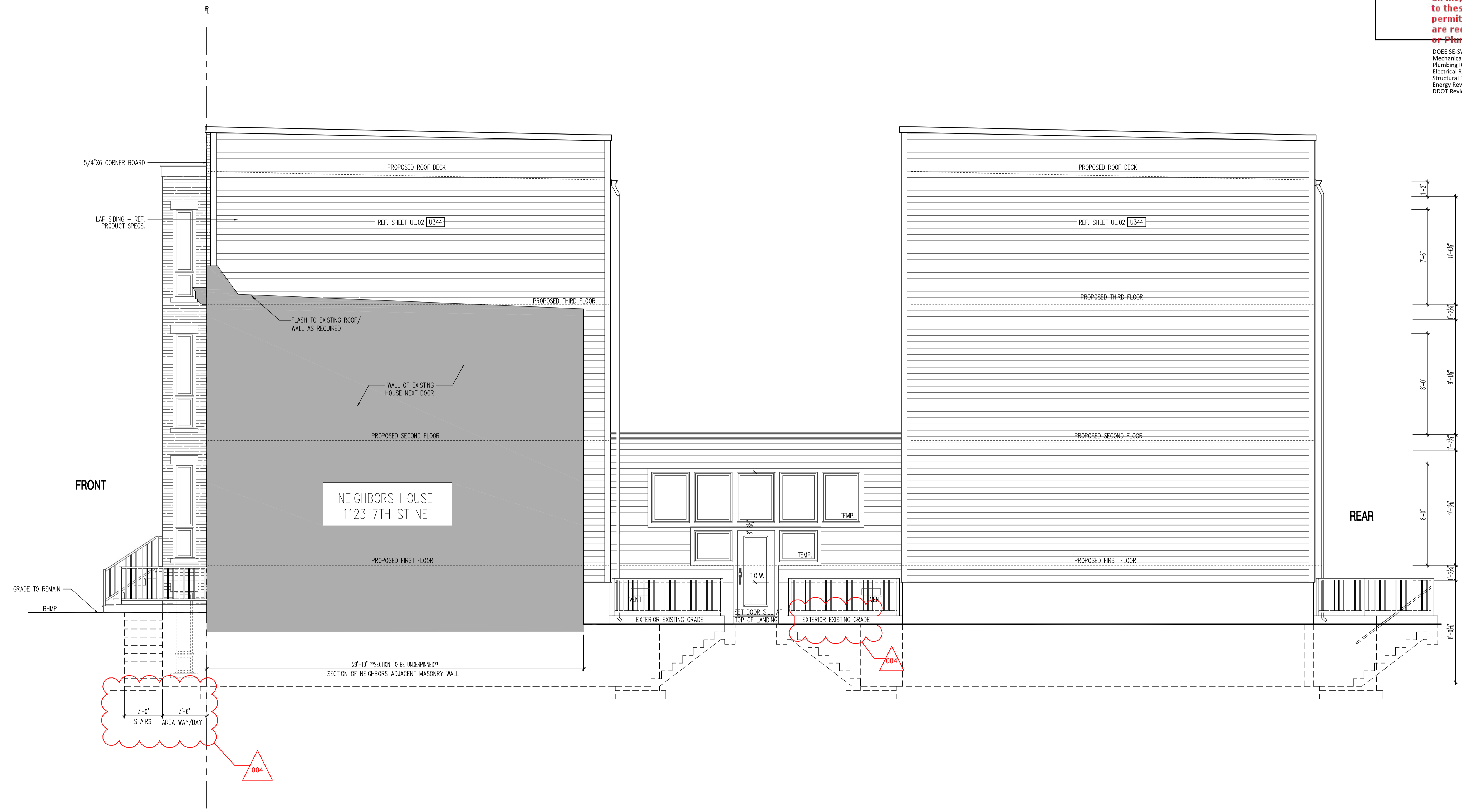
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SHEET No.  
**A4.1**

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Energy Review - Ashley Delgado - 04-18-2018  
DDOT Review - Shaun Baskerville - 04-18-2018

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**RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES  
RIGHT SIDE ELEVATION



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REV No.	DATE
004	04/16/18

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SHEET No.  
A4.2

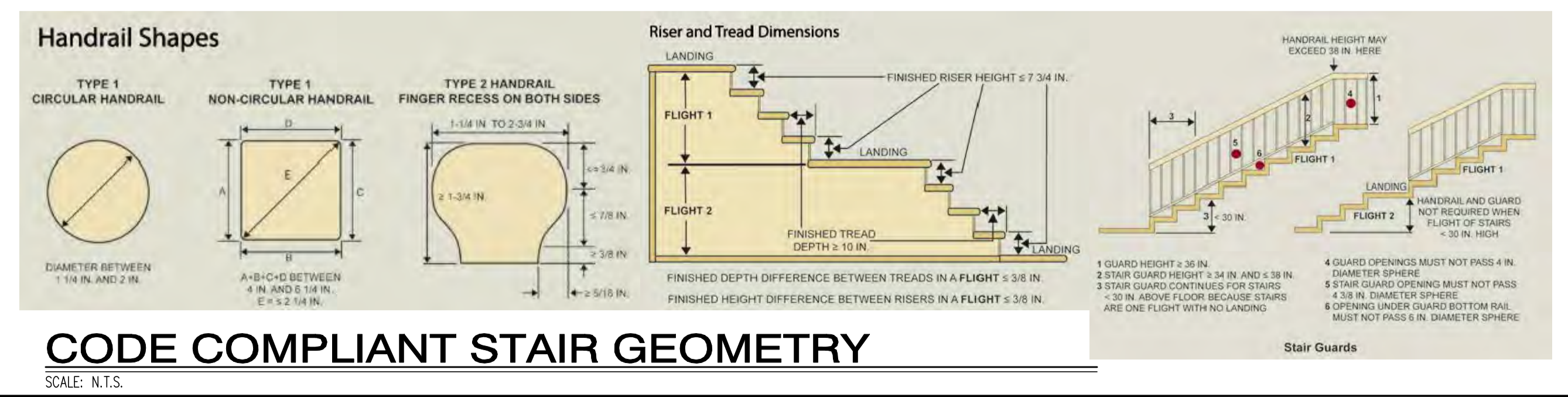
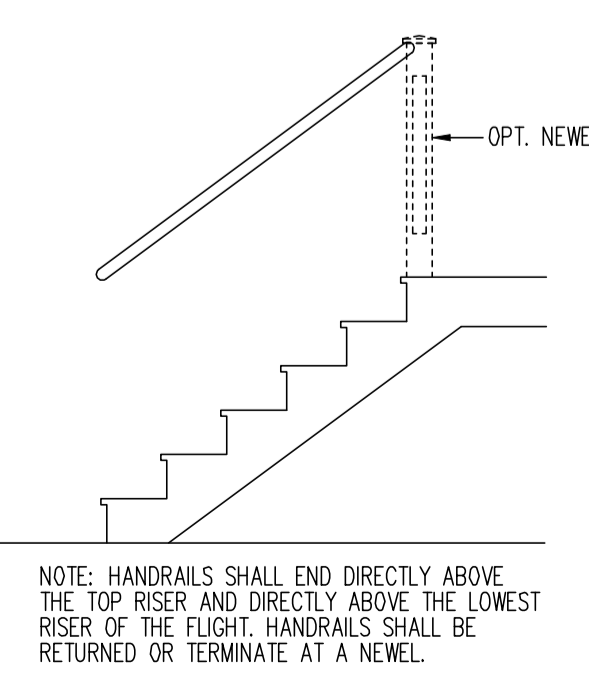
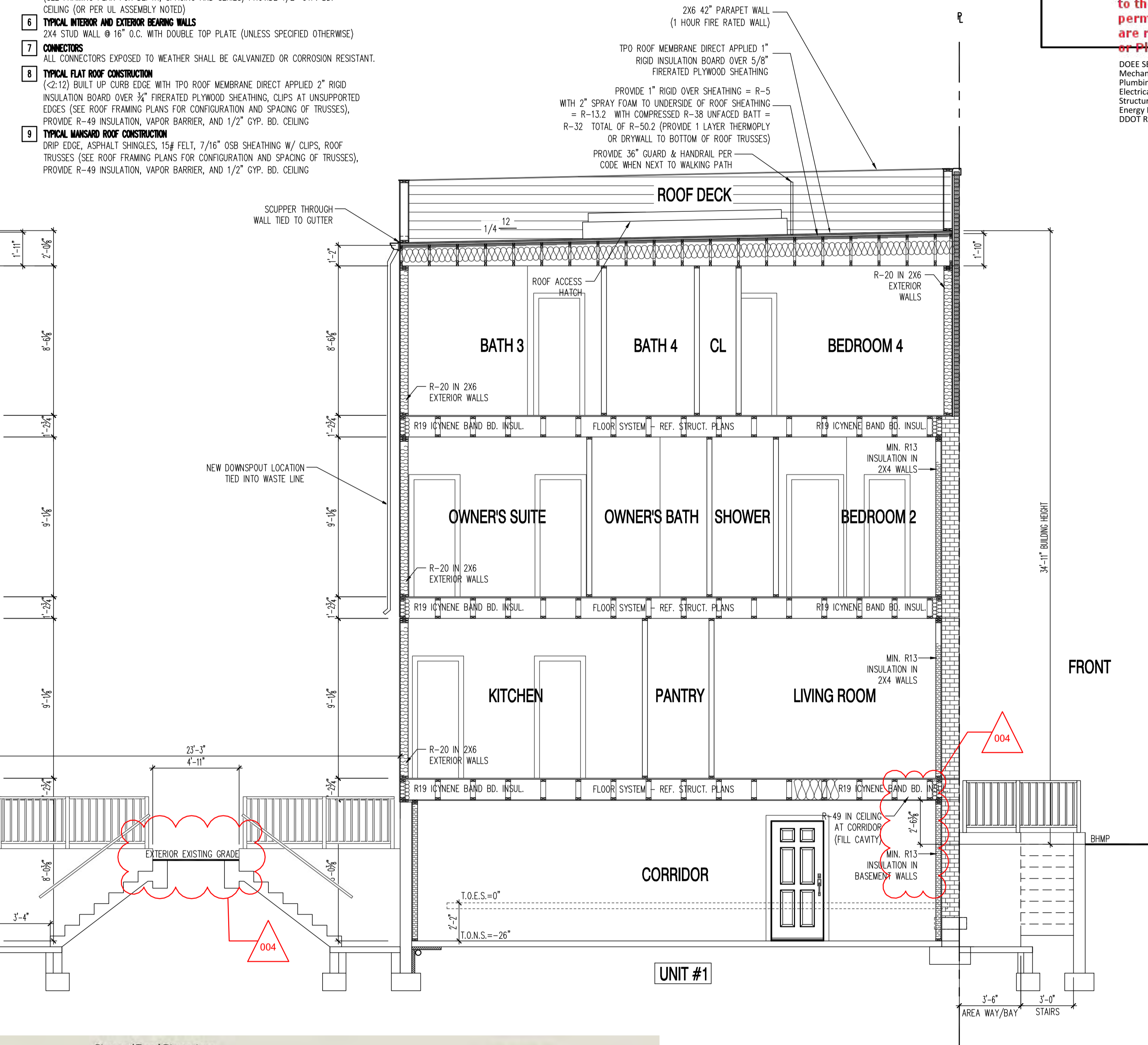
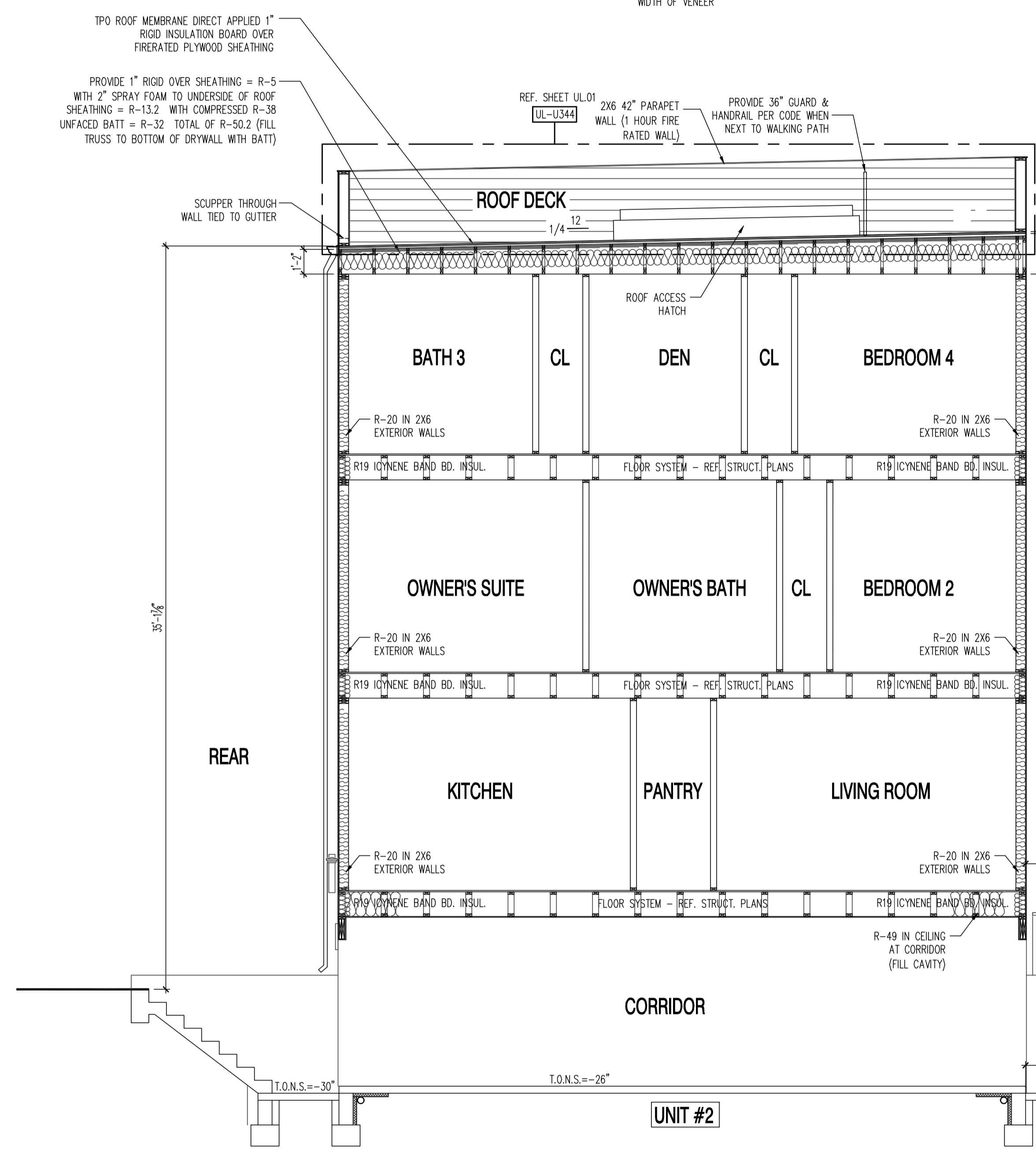
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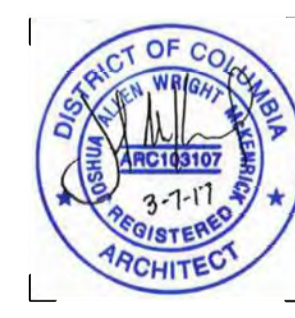
**TYPICAL CONSTRUCTION**

- TYPICAL FOUNDATION WALL CONSTRUCTION**  
POURED IN PLACE CONCRETE FOUNDATION WALL ON SPREAD FOOTINGS. REF. FOUNDATION PLAN FOR SIZE AND REINFORCING.
- TYPICAL FLOOR SLAB CONSTRUCTION**  
4" STRUCTURAL CONCRETE SLAB WITH W/6x6 WIRE MESH OVER ON 6 MIL POLY VAPOR BARRIER ON 4" WASHED GRANULAR FILL. SET REINFORCING AT CENTERLINE OF SLAB
- TYPICAL EXTERIOR BRICK VENEER WALL CONSTRUCTION**  
2 1/2" BRICK VENEER, 1/2" PLYWD. OR OSB SHEATHING OVER 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. PROVIDE WEEP HOLES AT GRADE LINE. PROVIDE 15# FELT OVER EXTERIOR SHEATHING, FULL HEIGHT AND WIDTH OF VENEER
- TYPICAL EXTERIOR FRAME WALL CONSTRUCTION**  
CEMENT BOARD SIDING, BUILDING PAPER, 1/2" PLYWD. OR OSB SHEATHING, 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION (R-20 INSULATION @ 2X6 STUD WALL), VAPOR BARRIER, AND 1/2" GYP. BD. (OR PER UL ASSEMBLY NOTED)
- TYPICAL FLOOR/CEILING CONSTRUCTION**  
3/4" NOM. T&G OSB PLYWD SUBFLOOR, GLUED AND SCREWED ON OPEN WEB FLOOR (SEE FRAMING PLAN FOR DEPTH, SPACING AND SERIES) PROVIDE 1/2" GYP. BD. CEILING (OR PER UL ASSEMBLY NOTED)
- TYPICAL INTERIOR AND EXTERIOR BEARING WALLS**  
2X4 STUD WALL @ 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE)
- CONNECTORS**  
ALL CONNECTORS EXPOSED TO WEATHER SHALL BE GALVANIZED OR CORROSION RESISTANT.
- TYPICAL FLAT ROOF CONSTRUCTION**  
(2:12) BUILT UP CURB EDGE WITH TPO ROOF MEMBRANE DIRECT APPLIED 2" RIGID INSULATION BOARD OVER 3/4" FIRERATED PLYWOOD SHEATHING, CLIPS AT UNSUPPORTED EDGES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING
- TYPICAL MANSARD ROOF CONSTRUCTION**  
DRIP EDGE, ASPHALT SHINGLES, 15# FELT, 7/16" OSB SHEATHING W/ CLIPS, ROOF TRUSSES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING



**BUILDING SECTION**  
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"  
 1125 7th St NE - STONY CREEK HOMES  
 BUILDING SECTION



DRAWN BY:  
 MCR  
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01.01.17

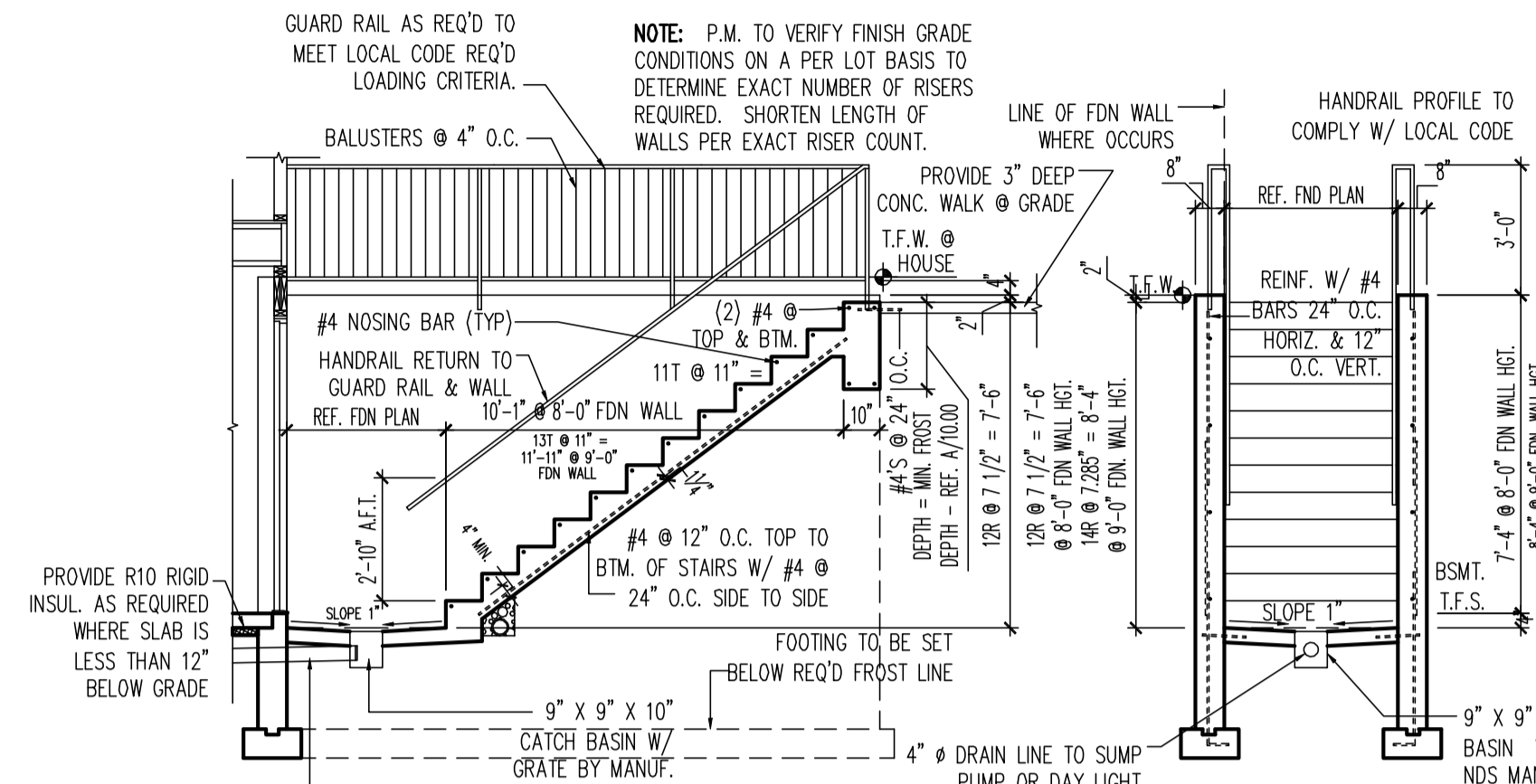
SHEET No.  
 A5.1



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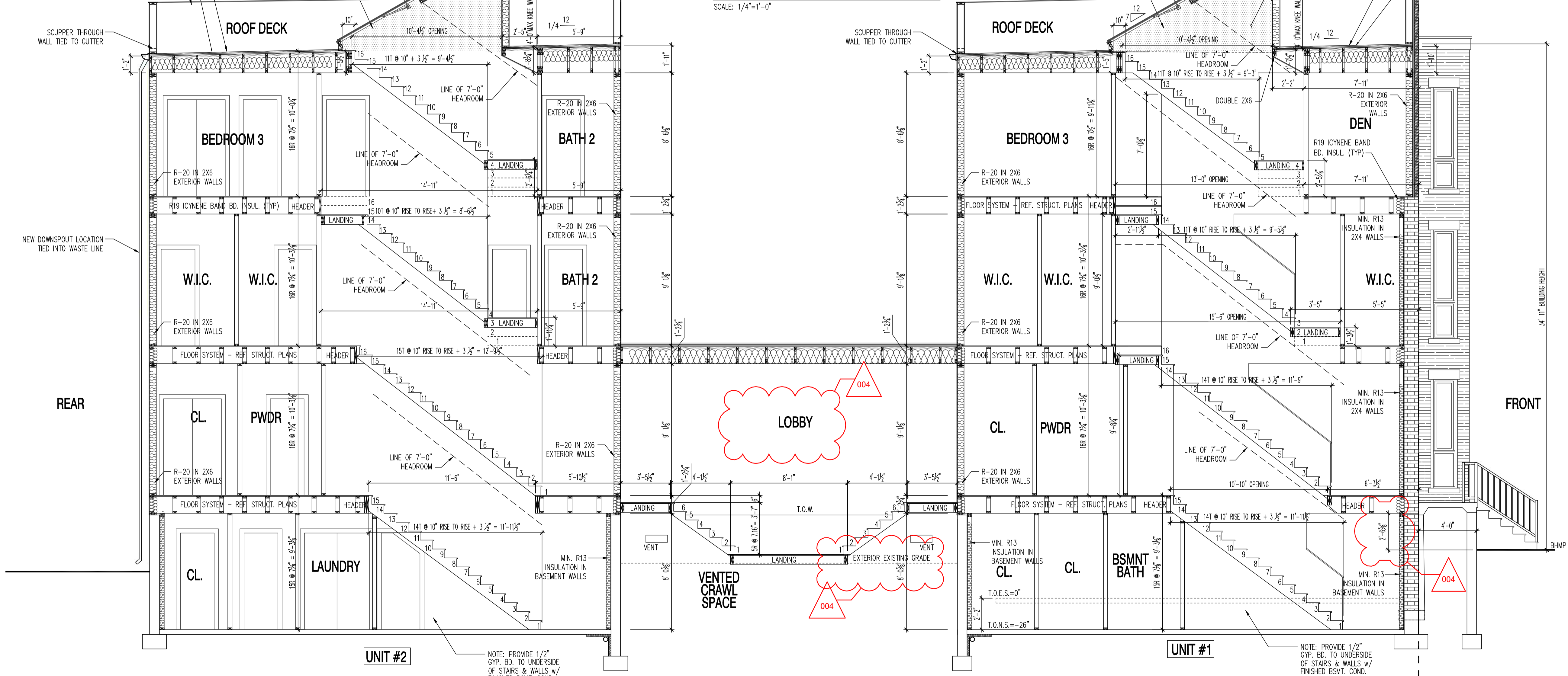
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**AREA WAY DETAIL**  
SCALE: 1/4"=1'-0"

PROVIDE 1" RIGID OVER SHEATHING = R-5 WITH 2" SPRAY FOAM TO UNDERSIDE OF ROOF SHEATHING = R-13.2 WITH COMPRESSED R-38 UNFACED BATT = R-32 TOTAL OF R-50.2 (PROVIDE 1 LAYER THERMOPLY OR DRYWALL TO BOTTOM OF ROOF TRUSSES)

PROVIDE 1" RIGID OVER SHEATHING = R-5 WITH 2" SPRAY FOAM TO UNDERSIDE OF ROOF SHEATHING = R-13.2 WITH COMPRESSED R-38 UNFACED BATT = R-32 TOTAL OF R-50.2 (FILL TRUSS TO BOTTOM OF DRYWALL WITH BATT)



**BUILDING SECTION**  
SCALE: 1/4"=1'-0"

1125 7th St NE - STONY CREEK HOMES  
BUILDING SECTION  
22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



DRAWN BY:  
MCR  
DATE: 03/10/17  
REV No. DATE  
004 04/16/18

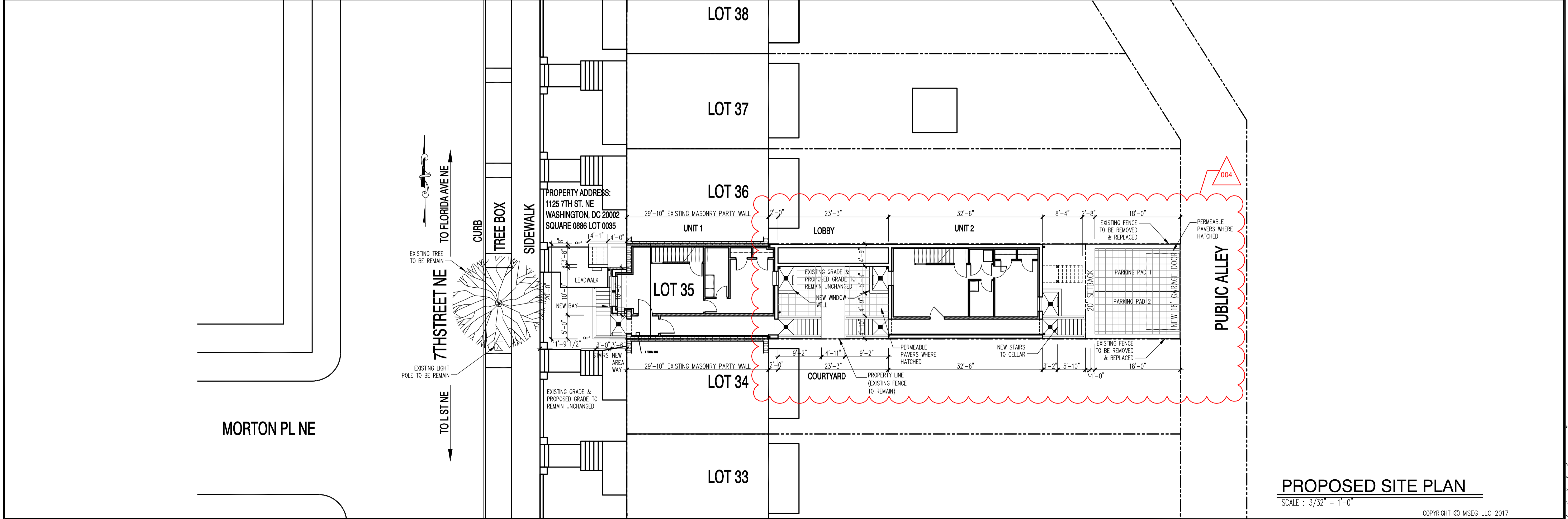
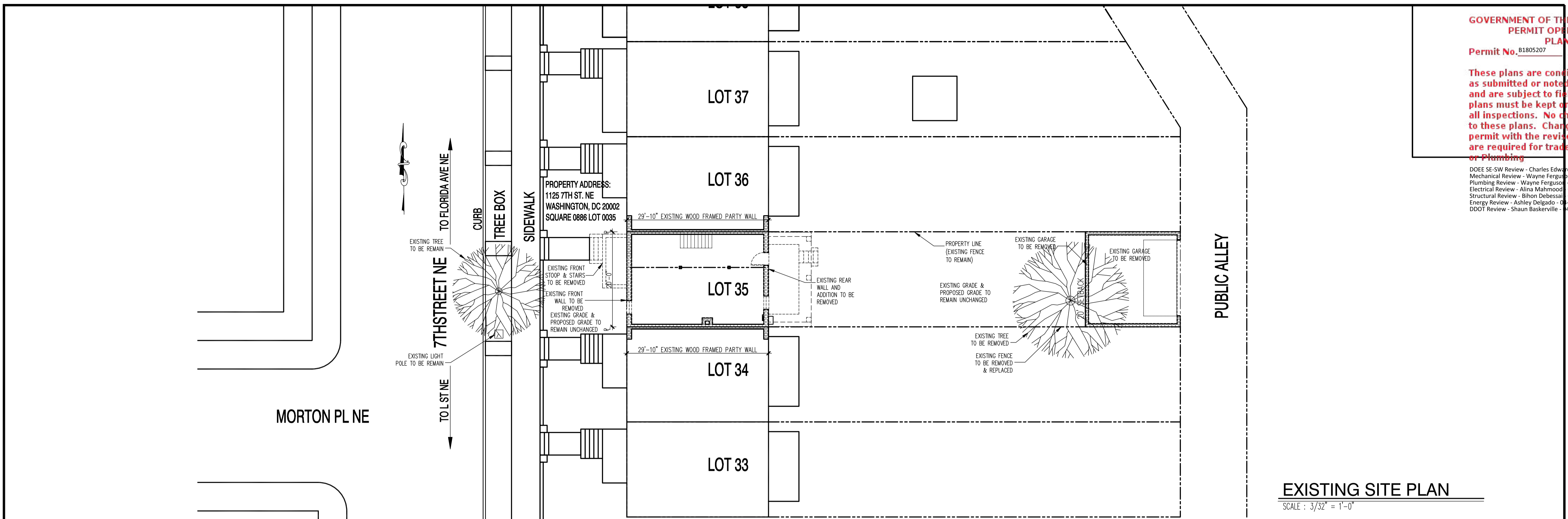
01.01.17

SHEET No.  
A5.2

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No change or modifications to these plans. Changes require a revision permit with the revised plans. Permits are required for trade work electrical or Plumbing

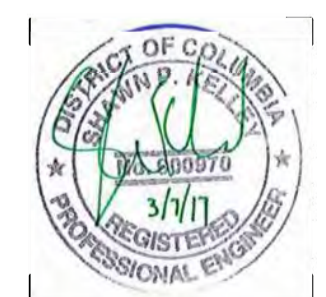
DOEE SE-SW Review - Charles Edwards - 04-18-2018  
Mechanical Review - Wayne Ferguson - 04-18-2018  
Plumbing Review - Wayne Ferguson - 04-18-2018  
Electrical Review - Alina Mahmood - 04-18-2018  
Structural Review - Bibon DeBessai - 04-18-2018  
Energy Review - Ashley Delgado - 04-18-2018  
DDOT Review - Shaun Baskerville - 04-18-2018

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22x34 Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"

1125 7th St NE - STONY CREEK HOMES  
SITE PLAN



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DATE:	03/10/17
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004	04/16/18

01.01.17

SHEET No.  
SP.01