

DESIGN PACKAGE - BZA APPLICATION

SINGLE FAMILY DWELLING CONVERSION TO
3 UNIT APARTMENT BUILDING

755 COLUMBIA ROAD NW

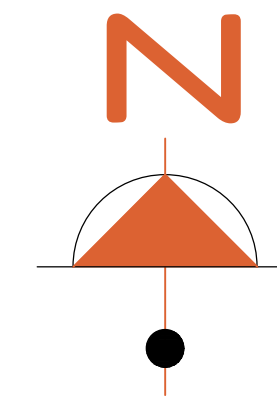
R4 ZONING DISTRICT



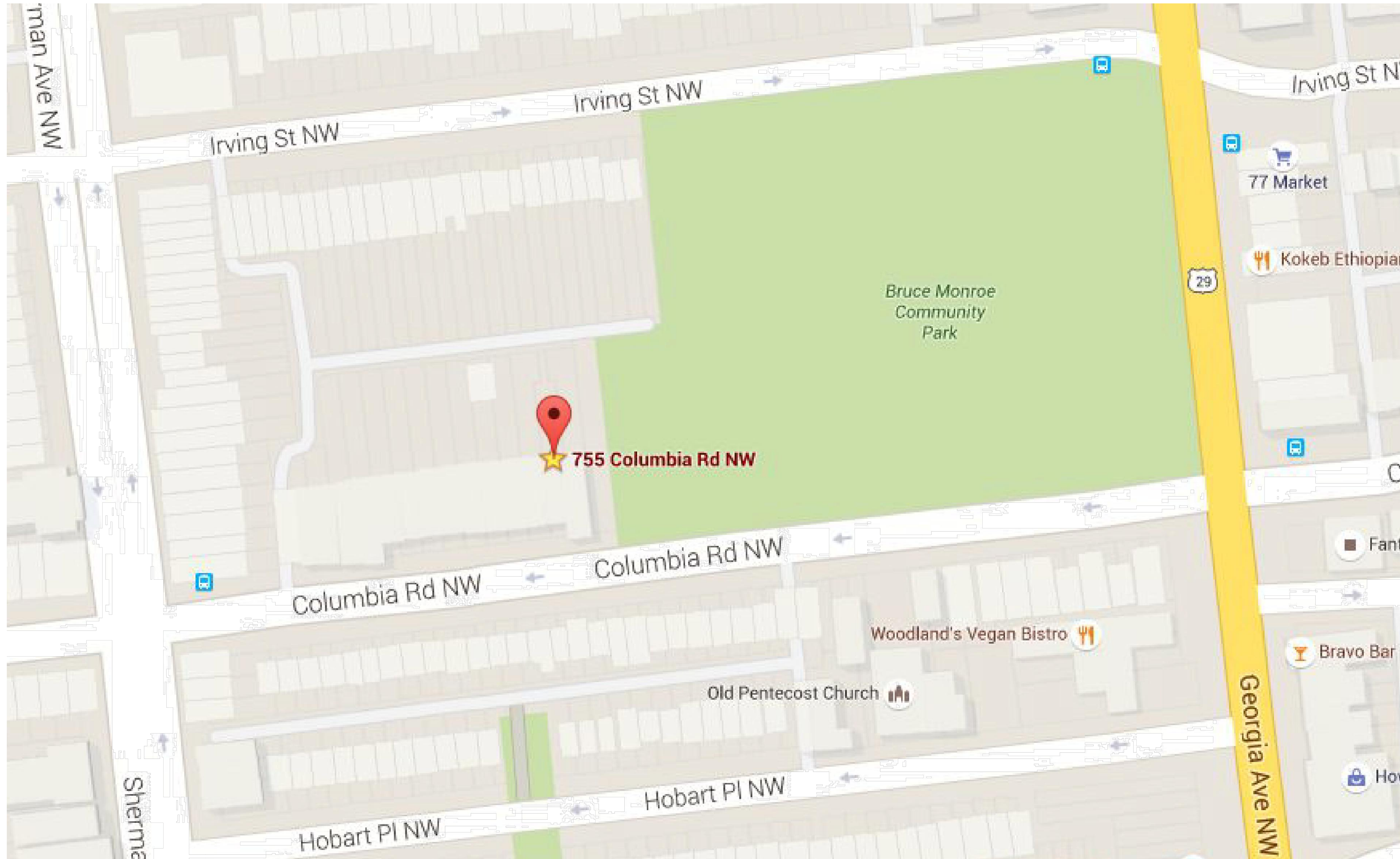
755 COLUMBIA ROAD NW

RAMDESIGN
ARCHITECTS + ENGINEERS

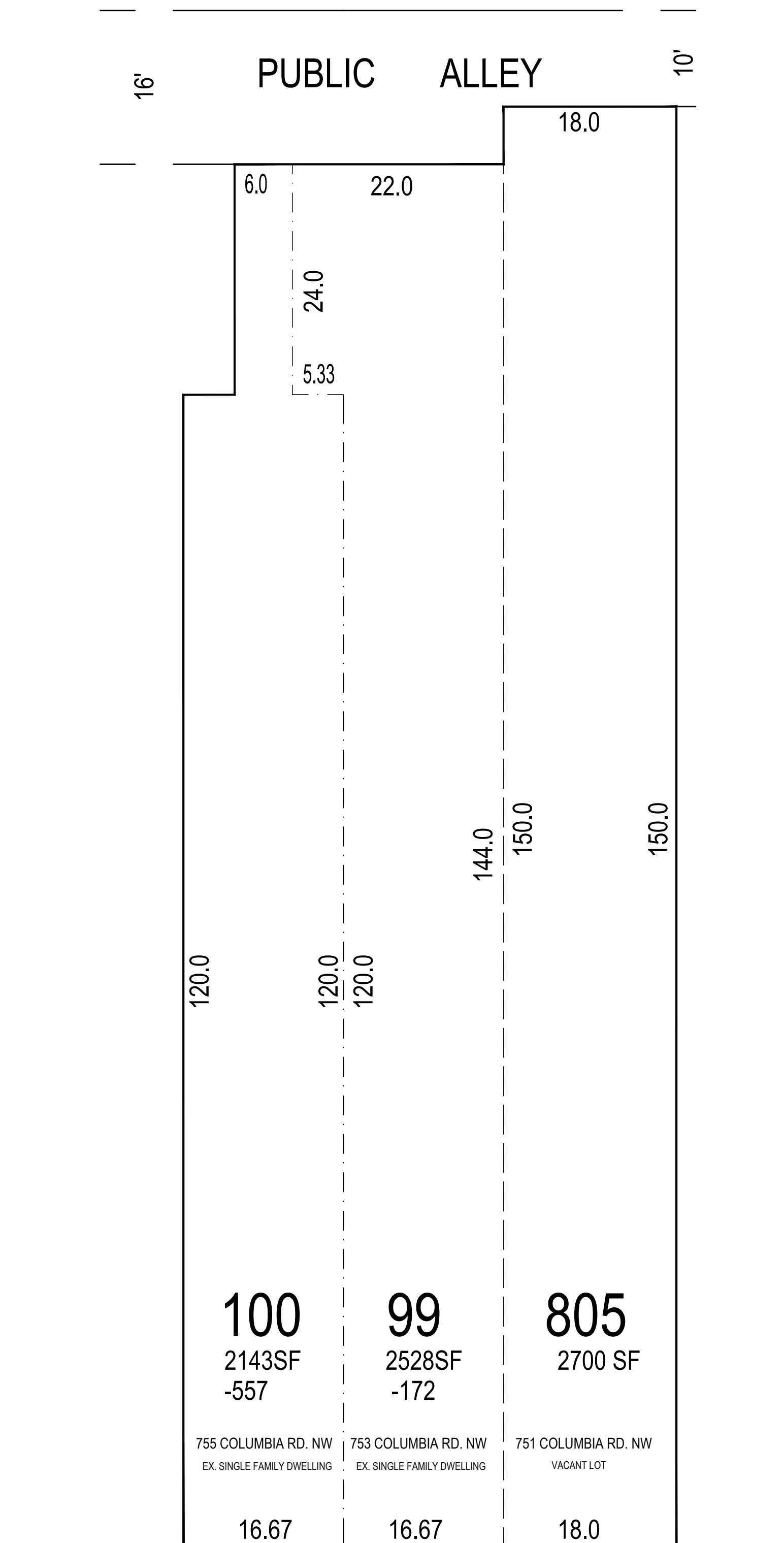
Board of Zoning Adjustment
District of Columbia
CASE NO. 19236
EXHIBIT NO. 5



VICINITY MAP

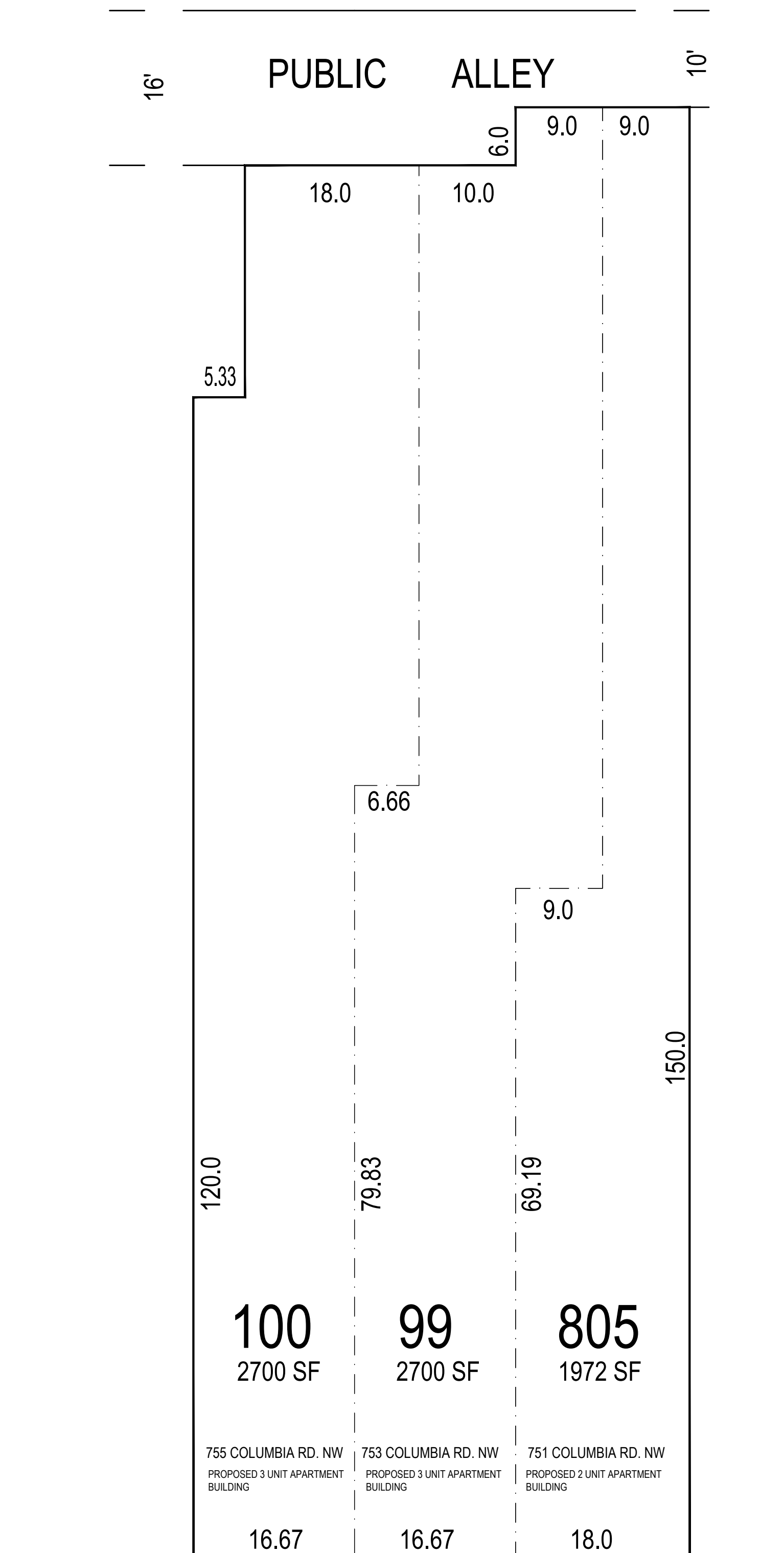


755 COLUMBIA ROAD NW



COLUMBIA ROAD, N.W.

SQUARE : 2890
EXISTING LOTS SUBDIVISION



COLUMBIA ROAD, N.W.

SQUARE : 2890
PROPOSED LOTS SUBDIVISION

DCRA

DEPARTMENT OF CONSUMER & REGULATORY AFFAIRS

Zoning Data Summary

General Instructions: Pursuant to 12 DCMR, § 106.1.11.6, submit this completed form with Building Permit and Certificate of Occupancy applications for:

- proposed new construction of buildings
- additions to existing buildings
- changes in use or occupant load.

Print clearly in ink. Do not write in gray areas. Write N/A (non-applicable) for items that do not apply. If you erase, cross out, white out, or otherwise change any information on this application, the application will be void.

For more information, call the Office of Zoning Administrator at 202-442-4576. If you need more forms, you can download them at [dcra.dc.gov](#) (go to Zoning Requirements) or pick them up at the Permit Center, 1100 4th St SW, 2nd Floor.

A. Site Address

Give complete and legal District address. If you need to apply for a new address, complete a New Address Application, before you complete this form. Do not abbreviate street names. Write the correct quadrant (NW, NE, SW, SE), suite or office number. Enter the correct Square, Suffix, and Lot number (SSL) or parcel ID.

Street Number	Street Name	Quadrant	Unit / Suite	Application Date
755	COLUMBIA ROAD	NW		
Square	Suffix	Lot	Proposed use	File Job #
2890		100	RESIDENTIAL	

B. Owner & Contact Information

Agent must be an individual -- not a company.

Owner of Building or Property	Complete mailing address (include zip)	Phone Number(s)	Email
755 COLUMBIA LLC			
Agent for owner, if applicable	Complete mailing address (include zip)	Phone Number(s)	Email
RAM DESIGN			

C. Zoning District & Special Development Restrictions

Give the correct zoning and overlay zoning district(s). Check with Zoning staff if you are unsure. If your proposed construction was subject to Board of Zoning Adjustments (BZA) or Zoning Commission review, write the order number. Attach copies of BZA order and Office of Zoning stamped plan exhibits (site plan, elevations, floor plans).

District	Overlay(s), if any
R4	NONE

Number of Board of Zoning Adjustment (BZA) or Zoning Commission (ZC) Order, if applicable.

D. Zoning Data

For items with asterisks (*) refer to the Definitions Section of the Zoning Regulations, 11 DCMR, § 199.1, available online at [dcoz.dc.gov/info/req.shtm](#).

Data	Existing	Proposed	Official Use Only (code requirement)
Units & Parking Spaces			
Fill in both columns: numbers must match those on attached applications, plats, and plans.			
Number of dwelling units	1 Units	3 Units	
Number of parking spaces (9' x 19')	0 Units	2 Units	
Setbacks & Building Heights			
Side Yard* Setback (left when you face property)	0 Linear feet	0 Linear feet	
Side Yard* Setback (right when you face property)	0 Linear feet	0 Linear feet	
Rear Yard* Setback	94.0' Linear feet	52.0' Linear feet	
Building Height*	2 Stories 28.0' Feet	3 Stories 35.0' Feet	
Areas			
Lot Area	2143 Square feet	2700 Square feet	
Gross Floor Area* (GFA) of entire building (sum of all floors)	1680 Square feet	4611 Square feet	
Floor Area Ratio*	0.78 GFA / Lot Area	1.70 GFA / Lot Area	
Building Area* (sum of footprints of all buildings)	840 Square feet	1614 Square feet	
Lot Occupancy* (Bldg Area / Lot Area)	39 %	59.77 %	
Residential Recreation Space (For multi-family buildings in C-prefixed zoning districts)	Square feet	Square feet	

Rev 10/01/07

PUBLIC ALLEY

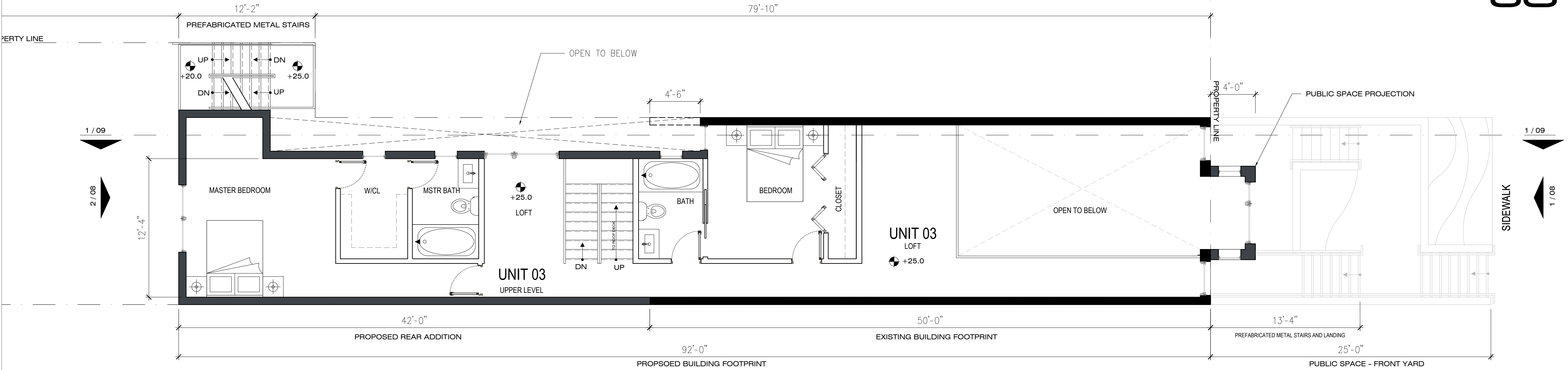
The site plan illustrates the proposed building footprint and its relationship to the surrounding property and public spaces. The building is situated on a lot bounded by Public Alley to the west and Columbia Road NW to the east. The plan shows two 9x19 parking spaces adjacent to the alley, a rear setback of 52'-0", and a side yard setback. The building footprint is 1537 SF, with a total lot occupancy of 1614 SF (59.78%). The building height is 35.0'. The plan also indicates the location of prefabricated metal stairs, a roof deck, and a second means of egress. A side yard is provided to allow for bedrooms, ventilation, natural light, and means of window escape. The plan shows the building footprint, lot occupancy, and building height. The plan also indicates the location of prefabricated metal stairs, a roof deck, and a second means of egress. A side yard is provided to allow for bedrooms, ventilation, natural light, and means of window escape. The plan shows the building footprint, lot occupancy, and building height. The plan also indicates the location of prefabricated metal stairs, a roof deck, and a second means of egress. A side yard is provided to allow for bedrooms, ventilation, natural light, and means of window escape.

LOT OCCUPANCY - SITE PLAN
SCALE : 3/16"

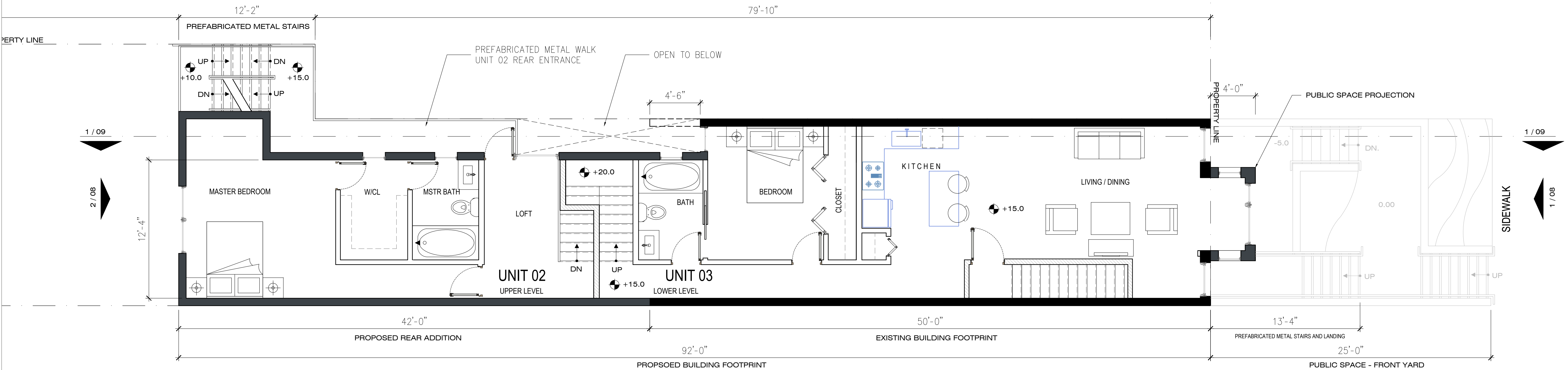
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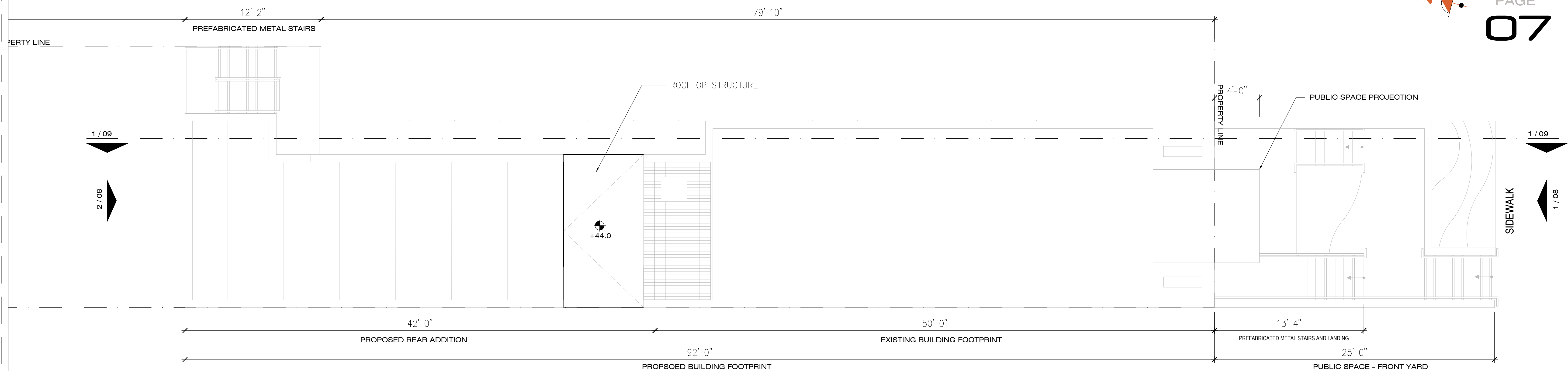




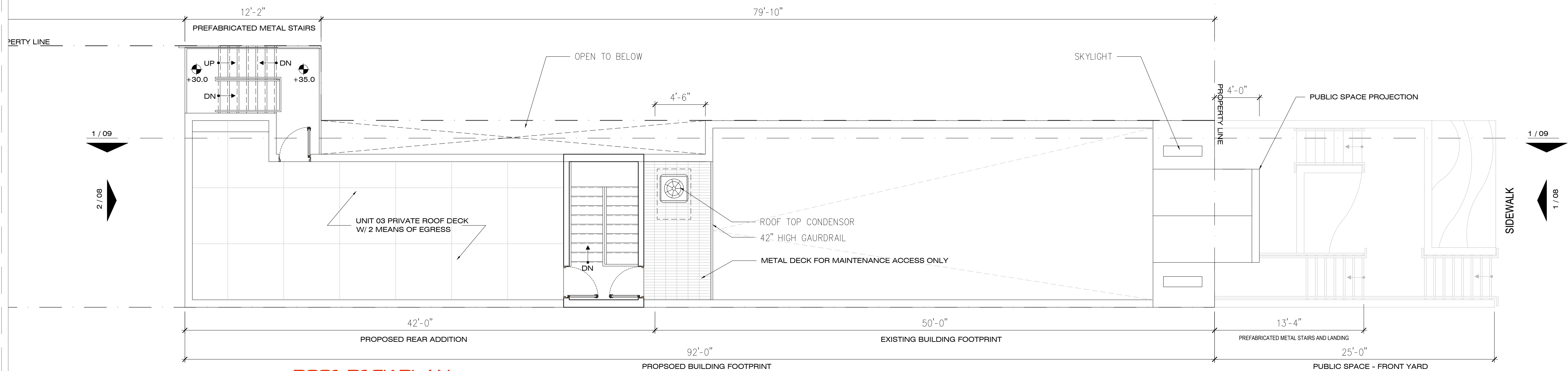
THIRD FLOOR PLAN
SCALE : 1/4"



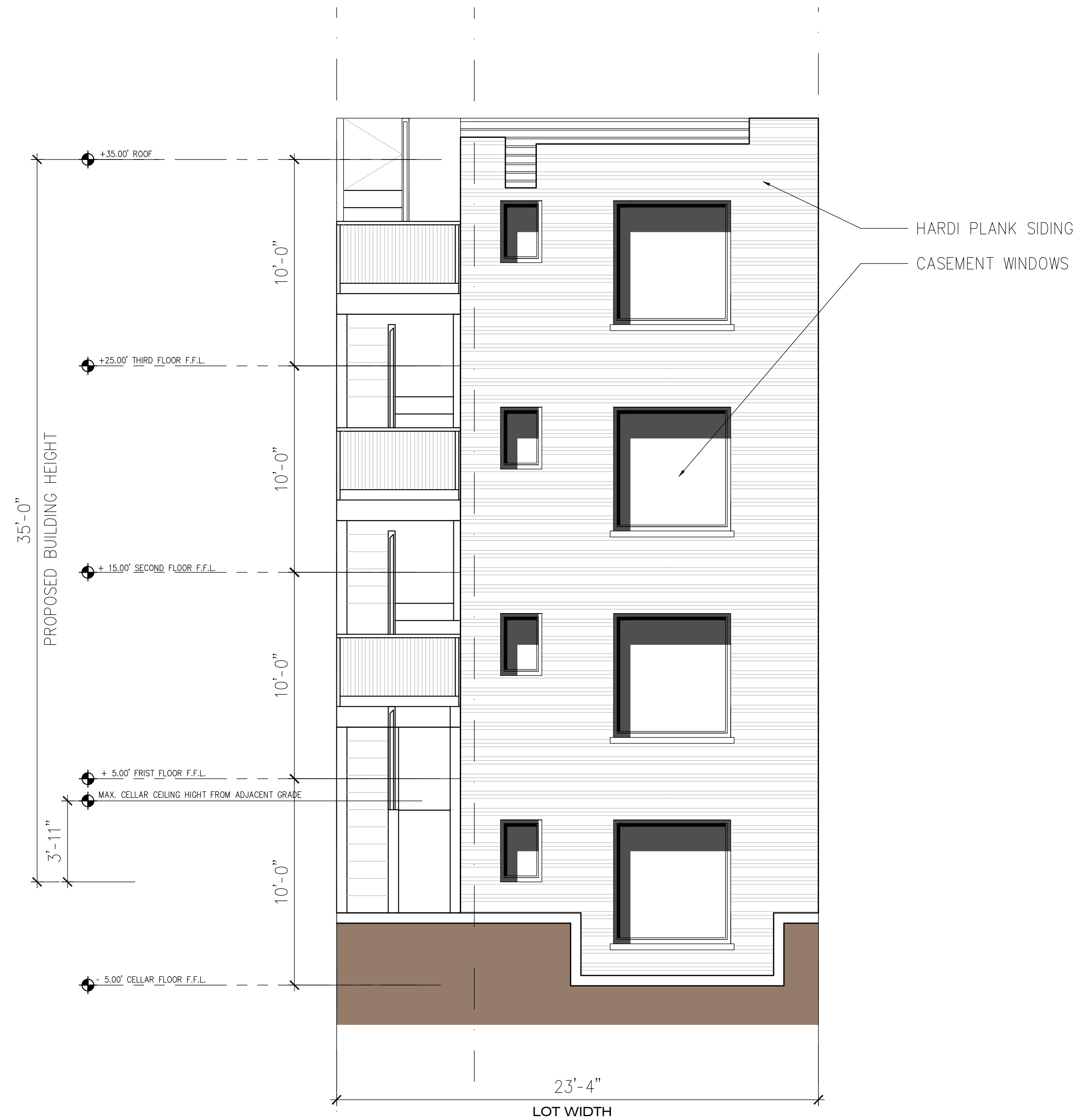
SECOND FLOOR PLAN
SCALE : 1/4"



ROOF PLAN
SCALE : 1/4"



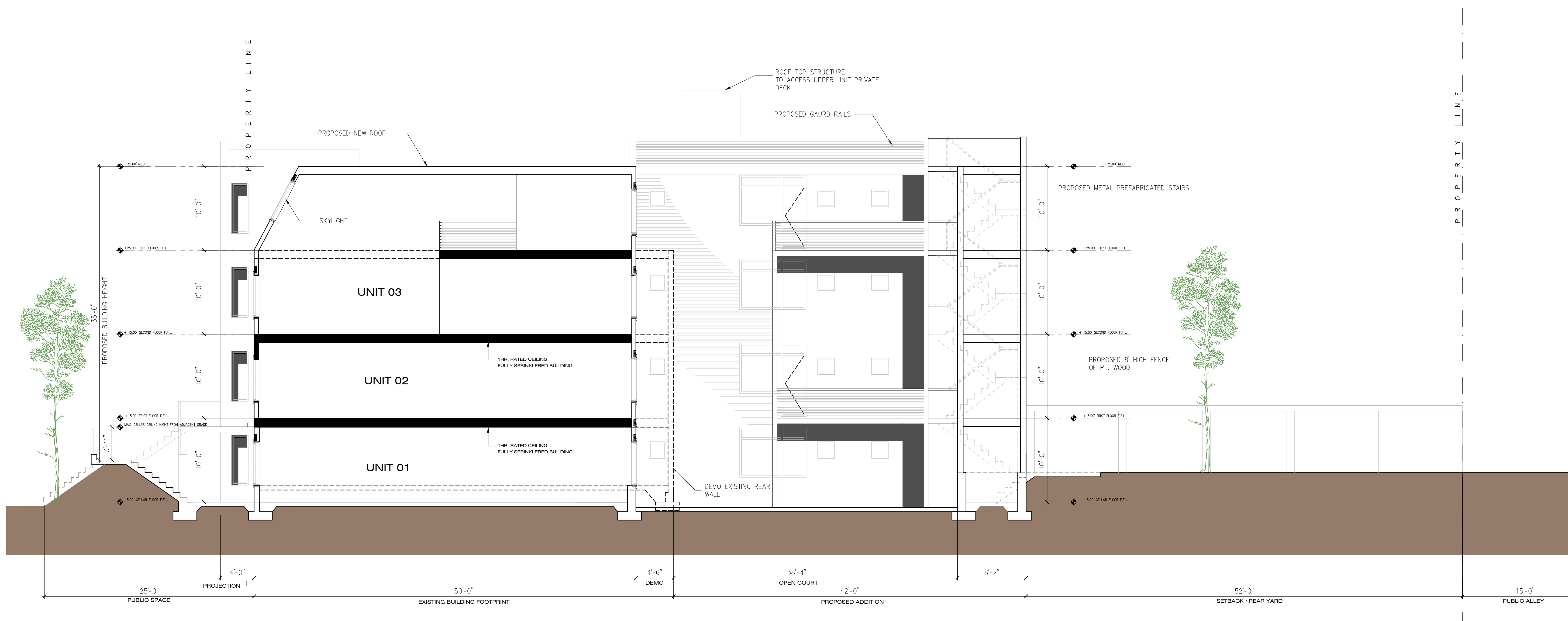
ROOF DECK PLAN
SCALE : 1/4"



REAR ELEVATION
SCALE : 1/4"



FRONT ELEVATION
SCALE : 1/4"

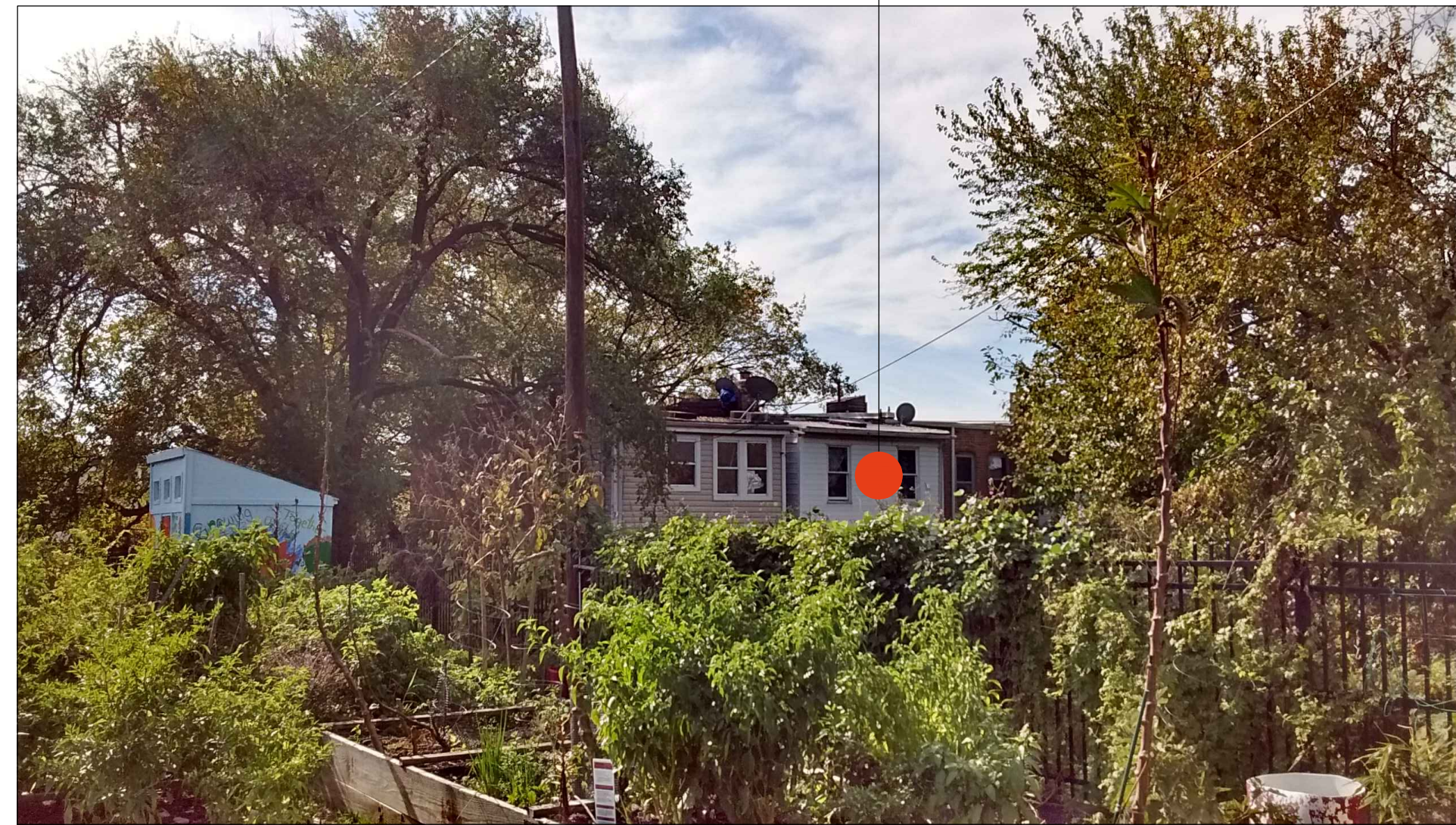


BUILDING SECTION
SCALE : 3/16"

VIEW FROM COLUMBIA RD. NW



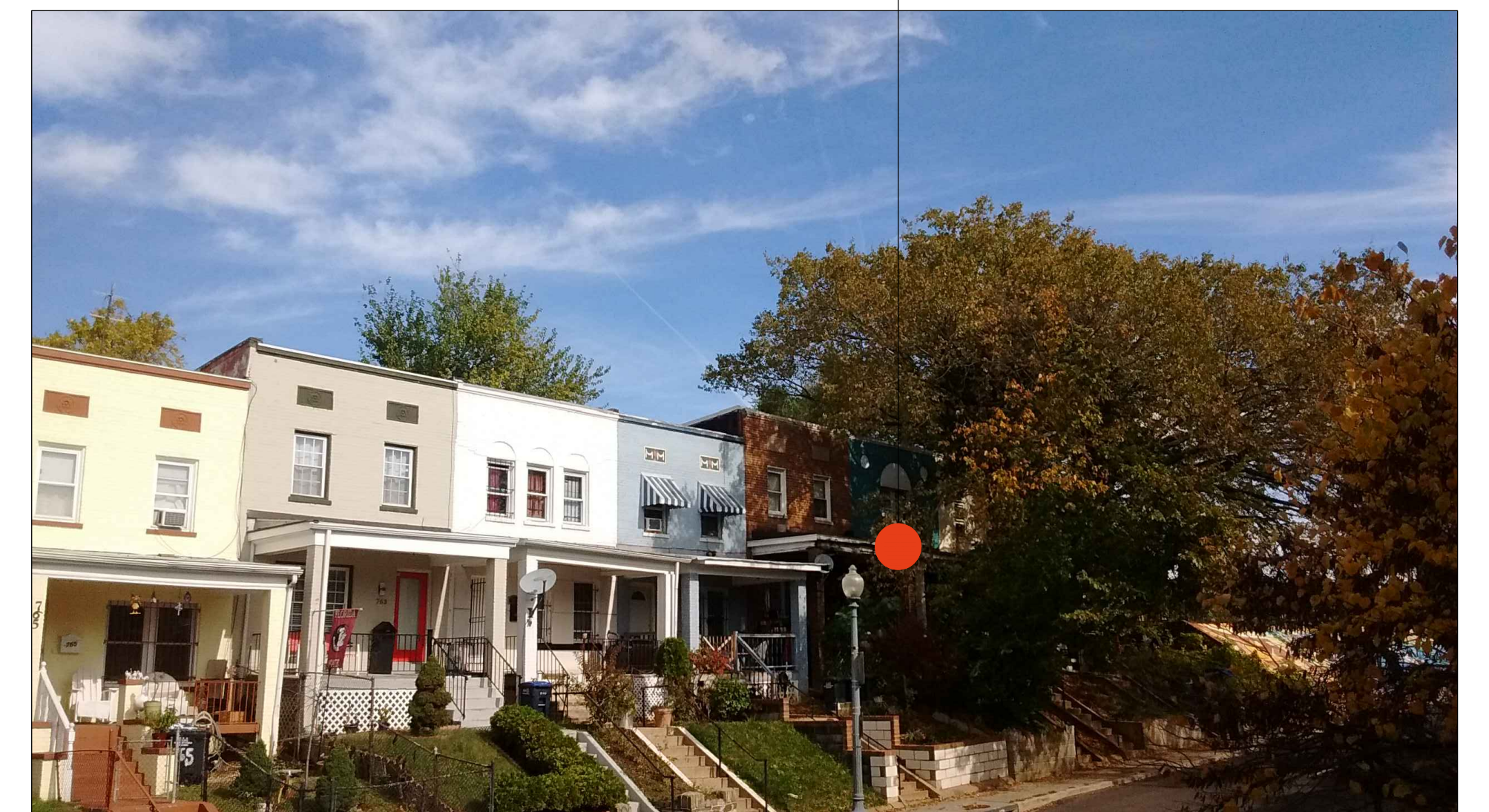
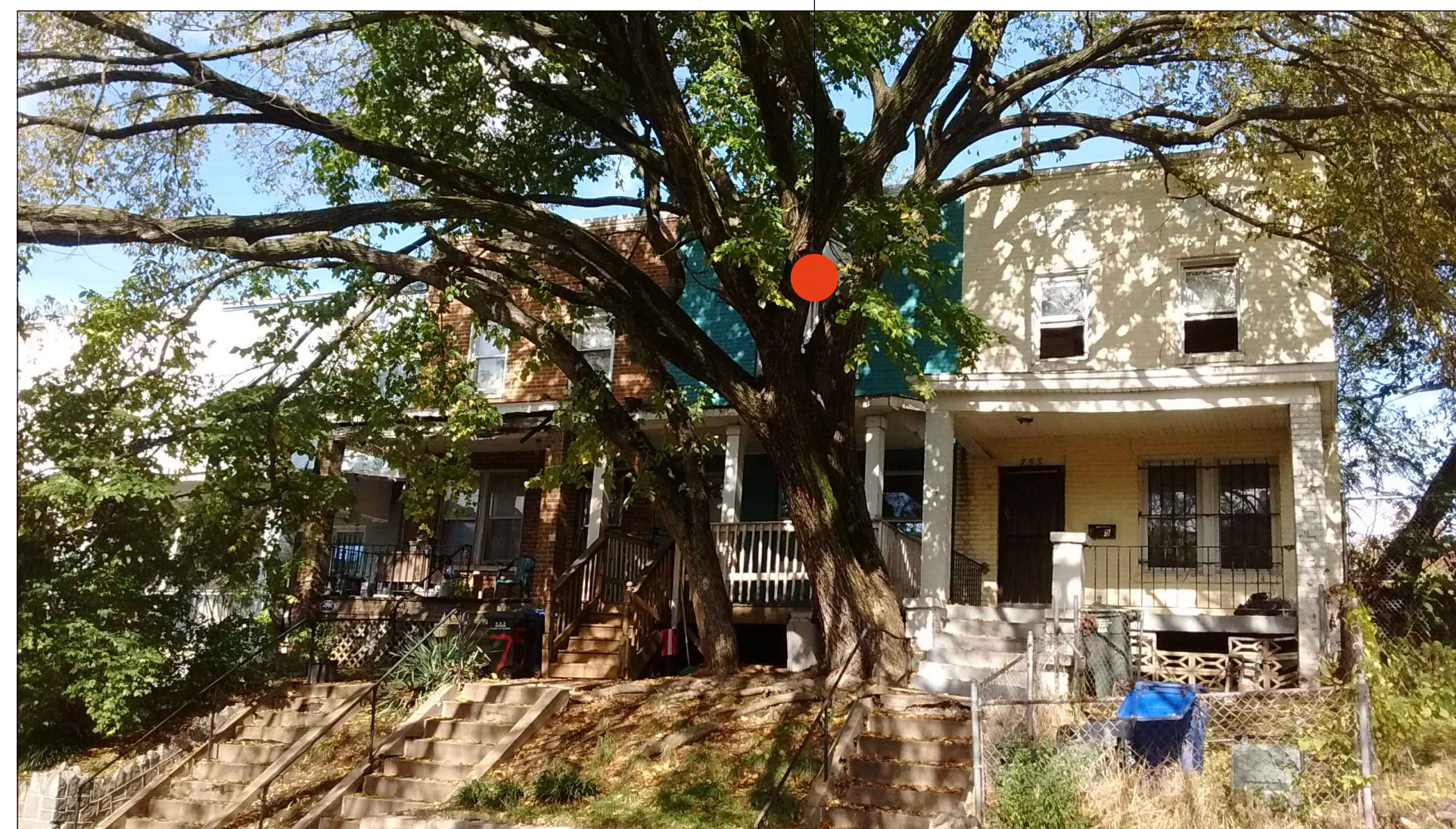
VIEW FROM PUBLIC ALLEY



VIEW FROM PUBLIC ALLEY



VIEW FROM COLUMBIA RD. NW



PHOTOGRAPHS