

Exhibit D

EXISTING BLDG FOOTPRINT
YEAR BUILT: 1908 (Before 1958)

EXISTING SFD conversion TO THREE (3) UNITS RENOVATION

824 VARNUM STREET, NW WASHINGTON, D.C. 20017.

SPRINKLE IN ACCORDANCE
TO NFPA 13R

SCOPE OF WORK

DEMOLITION

- EXCAVATE SPECIFIED PORTIONS OF EARTH FROM SITE.
- EXECUTE REQUIRED PRECAUTIONS ALONG PUBLIC SPACES.
- REMOVE EXISTING INTERIOR WALLS, FLOORINGS, CABINETS AS PER PLANS.
- REMOVE DAMAGED MECHANICAL, PLUMBING and ELECTRICAL FIXTURES.

NEW FLOOR PLANS

- PROVIDE NEW DRYWALL ON ALL FLOORS.
- PROVIDE NEW FIXTURES AND APPLIANCES WHERE NECESSARY.
- PROVIDE NEW FRAMING MEMBERS THROUGHOUT STRUCTURE.
- PROVIDE NEW WINDOWS AND DOORS WHERE NECESSARY.
- SEE ALL OTHER PROVISIONS AS PER PLANS.

MECHANICAL

- PROVIDE NEW DUCTWORK ON ALL FLOORS
- PROVIDE EXHAUST FANS IN ALL BATHROOMS
- PROVIDE NEW FURNACE UNIT AND WATER HEATER AS PER PLANS.

PLUMBING

- PROVIDE NEW PLUMBING FIXTURES, PIPES AND ACCESSORIES AS PER PLANS.

ELECTRICAL

- PROVIDE NEW OUTLETS WHERE NECESSARY.
- PROVIDE NEW LIGHTING FIXTURES WHERE NECESSARY.
- PROVIDE NEW WIRING LINES AS PER NEC 2011 CODE.

GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS ARE TO SHOW THE ARCHITECTURAL FLOOR PLANS AND MISC. DETAILS ONLY. MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT TO BE AS DESIGNED AND SPECIFIED BY OTHERS.
2. THESE DRAWINGS ARE NOT INTENDED TO SHOW EVERY SPECIFIC DETAIL REQUIRED FOR PROPER CONSTRUCTION. SPECIFIC IMPLEMENTATION OF THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO REPRESENTS. HE HAS THE SKILL AND EXPERT KNOWLEDGE TO EXECUTE THE WORK REQUIRED.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL BUILDING CODE AND ALL LOCAL ORDINANCES, ETC., INCLUDING BUT NOT LIMITED TO THE IBC BUILDING CODE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS SHOWN ACCORDING TO ACTUAL EXISTING CONSTRUCTION.
5. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ANY EQUIPMENT OR MATERIALS, ETC., REQUIRED BY THE OWNER, BUT NOT NECESSARILY SHOWN ON THE DRAWINGS.

ZONING ANALYSIS

ZONE: R-4
YEAR BUILT: 1908 (Before 1958)
LOT AREA: 3,295.31 SF
LOT COVERAGE: 60% = 1,977.18 SF
PROPOSED AMT OF UNITS: 3
EXISTING BLDG SF: 1,287.3 SF
PROPOSED ADDITION: 680 SF
TOTAL: 1,967.3 SF
(less than 1,977.18 SF)
FLOOR AREA RATIO (F.A.R.): 0
MAX. BLDG HGT: 40 FEET (3 STORIES)
proposed bldg height: 34 FEET
MIN. LOT AREA: NONE PRESCRIBED
MIN. SIDE YARD SETBACK: 6 FEET
proposed side setback: 6 Ft
MIN. REAR YARD SETBACK: 20 FEET
proposed rear setback: 49 Ft 3inches

BUILDING DATA

USE/GROUP	
OCCUPANCY TYPE	R-2
OCCUPANCY LOAD CAPACITY	3 UNITS
CONSTRUCTION TYPE	V-B
BUILDING HEIGHT	34 FEET
NUMBER OF STORIES	3
FIRE SUPPRESSION	NO
SPRINKLER SYSTEM	YES
FIRE ALARM SYSTEM	NO

BUILDING LEVELLOAD:

structural unit loads, concentrated and concentrated live loads

FLOOR	uniform (lb/sq ft)	concentrated (lb/sq ft)
ROOFS		
flat, shored	30 psf	18 psf
FLOOR SPACES		
uniminished area (no storage)	10 psf	10 psf
uniminished area (storage)	20 psf	10 psf
all other areas except stairs and balconies	40 psf	15 psf
FIRE ESCAPE		
single family dwelling	40 psf	18 psf

NOTES:

GOVERNING CODES:
(IRC2009, DCMA 128-2008, DCMA 12-2008, IRC2009)
Uniformity (No. 1) (UNITS)
Construction Type: V-B (combustible structure)
Exterior finish and siding: 20%
Exterior non-combustible, 10% for exterior and non-bearing walls only.
Roof and floor construction: 20%
Number of stories above grade: 3 (including roof)
1,500 psf maximum in absence of a geotechnical report.
2,500 psf maximum in absence of a geotechnical report.
3,000 psf maximum in absence of a geotechnical report.
Equivalent hydrostatic pressure (fully retained, maximum) 75 psf of depth.
Caribbean retaining wall (active pressure) 52 psf of depth.
Coefficient of friction 1/4 concrete and wall 1/4 ft 1/4 ft
Positive hydrostatic pressure 50 psf of depth.
Soil coefficient and classification: sandy clay, type II, moderate to very
unconsolidated compressive strength between 0.5 and 1.5 ksi
Soil density: very light, wet medium clay

Soil: medium to heavy
Fire alarm system: NO
Accessibility: NO
Verify the load requirements with local applicable building codes.

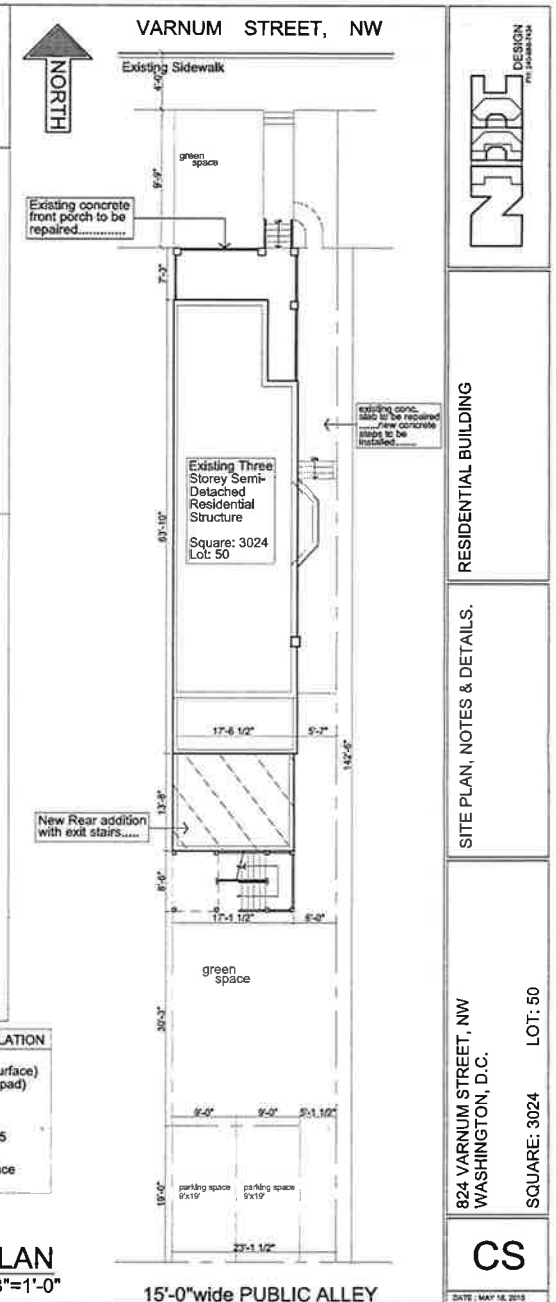
CONSTRUCTION MATERIAL SPECIFICATIONS

CONCRETE: All concrete to be 3,000 PSI, normal weight.
W/C: 0.45 for slabs
W/C: 0.45 for walls
CONCRETE REINFORCEMENT:
Deformed bars ASTM A615, Grade 60
Welded wire mesh (WWS) ASTM A185
WATERPROOF: Saturated Vapor Rate (SVP)
SVP: 0.05 lb/100 sq ft @ 72°F and method of test required result.
Green & moisture: max. 4.5% @ 72°F (2.2%)
Tensile strength: 2,500 PSI
Tear strength: 215 PLI @ 77°F
DRYTHICK: Non-soluble green @ 0.55 PSI (max) in 2 min maximum space.
STEEL: AISC 360-10, grade 50, min 50 ksi
STEEL PLATE: ASTM A36
ANCHOR BOLTS: ASTM A307
ANCHOR RODS: ASTM A307
ANCHOR BOLTS: ASTM A307
ANCHOR RODS: ASTM A307

GREEN AREA RATIO CALCULATION

Lot Area: 3,295.31 sf
Grass Area: 929 sf (pervious surface)
Parking Area: 342 sf (pervious pad)
G.A.R. = Grass + Parking
Lot Area
= 929 + 342 = 0.385
3,295
Property is 38% Pervious Surface
(more than 0.30...30%)

SITE PLAN
SCALE: 1/8"=1'-0"



GENERAL NOTES

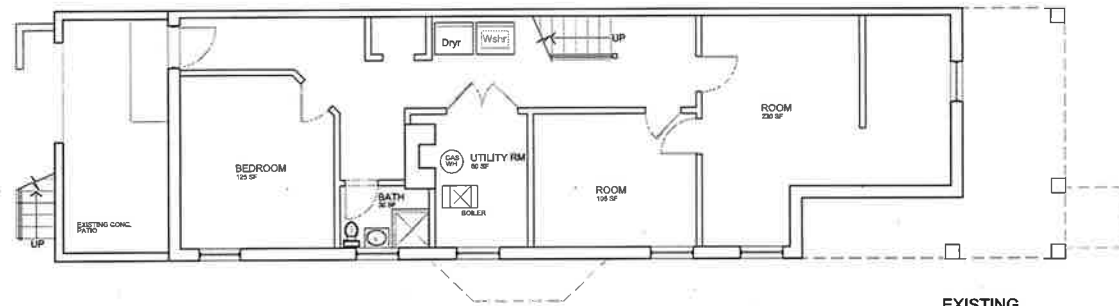
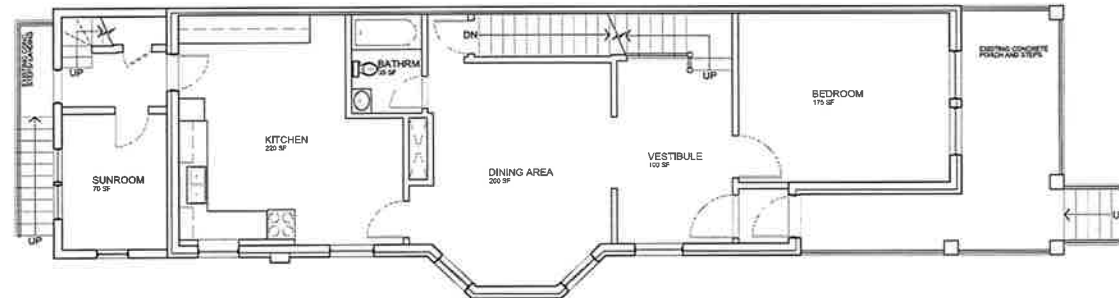
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GENERAL DEMOLITION NOTES

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2. THE ARCHITECT AND HIS AGENTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES OR POLLUTION, ETC., WHICH MAY BE CAUSED BY DISTURBANCE OF ANY UNKNOWN EXISTING MANMADE OR NATURAL CONDITIONS, MATERIAL, STRUCTURE, ETC., INCLUDING BUT NOT LIMITED TO UTILITIES.



EXISTING EXTERIOR/ INTERIOR WALLS,
DOORS, WINDOWS, UTILITY FIXTURES,
APPLIANCES TO BE REMOVED

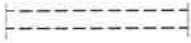


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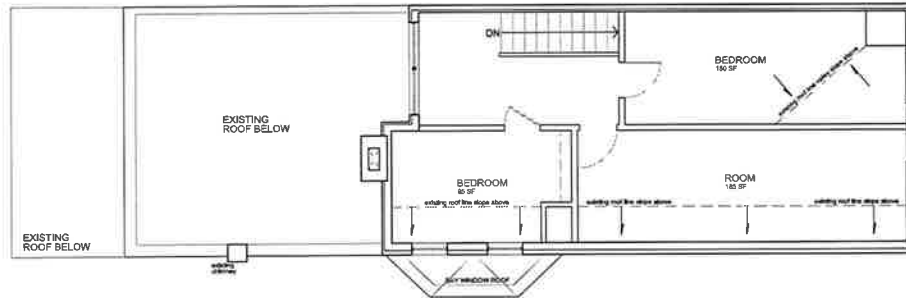
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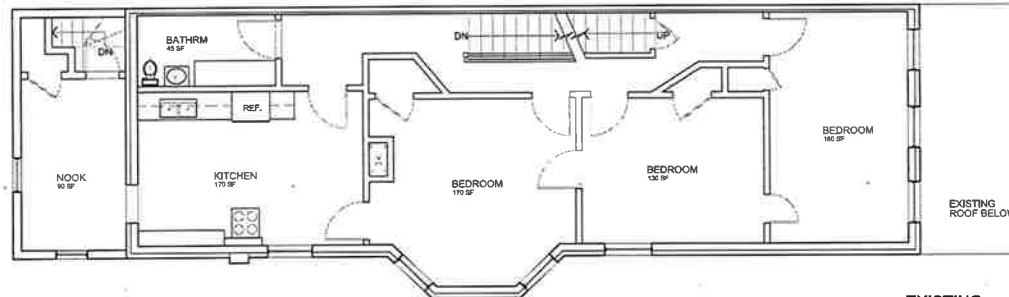
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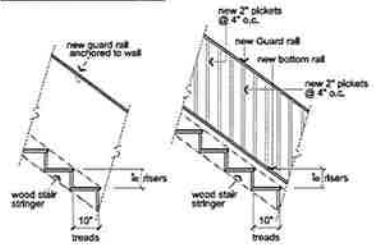


EXISTING
THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



EXISTING
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

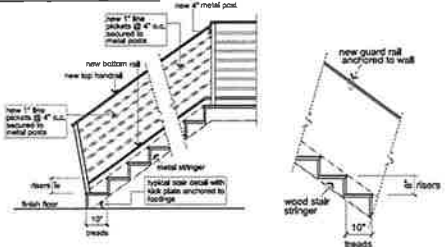
TYPICAL Interior Stair detail



HAND RAIL detail
SCALE: 1/4"=1'-0"

STAIR DETAILS w/ risers and treads
SCALE: 1/4"=1'-0"

EXT. STAIRS @ REAR



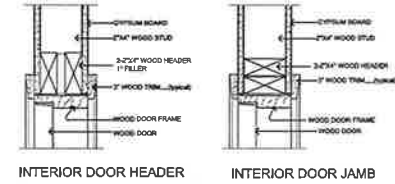
STAIR DETAILS w/ risers and treads
NTS

HAND RAIL detail (interior)
SCALE: 1/4"=1'-0"

EMERGENCY ESCAPE WINDOW NOTE:
All bedrooms (existing rooms)
shall have an emergency escape window
IRC 2003, int. 1003.2(2) 2003, int. 1003.2(2)
Minimum clear height: 20 inches
Minimum clear width: 20 inches
Minimum clear opening height: 20 inches
Minimum clear opening width: 20 inches

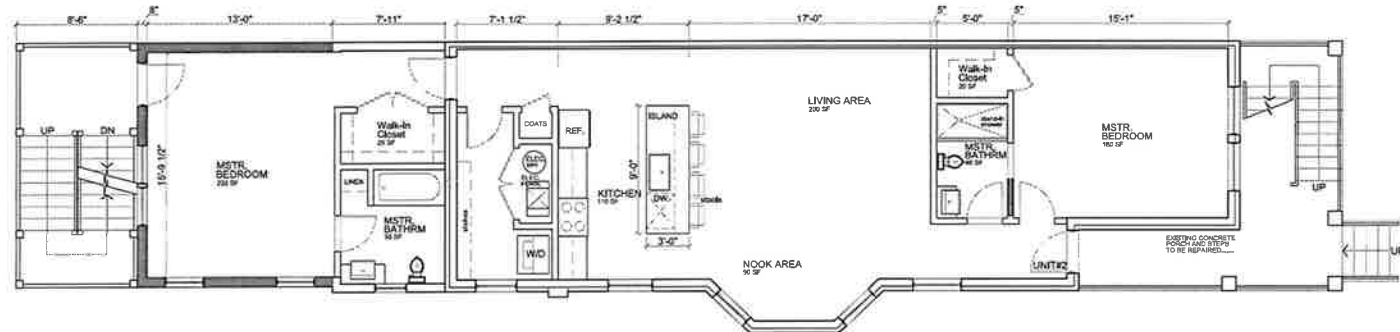


EMERGENCY ESCAPE WINDOW DETAIL
SCALE: 1/4"=1'-0"

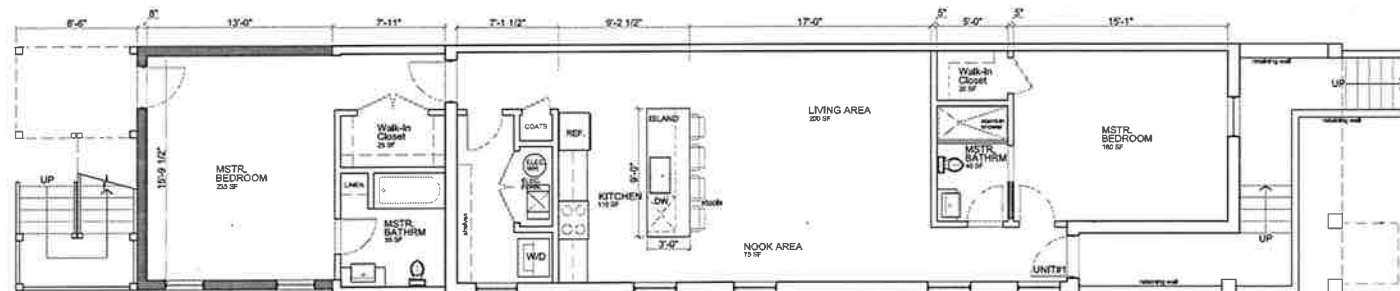


INTERIOR DOOR HEADER INTERIOR DOOR JAMB

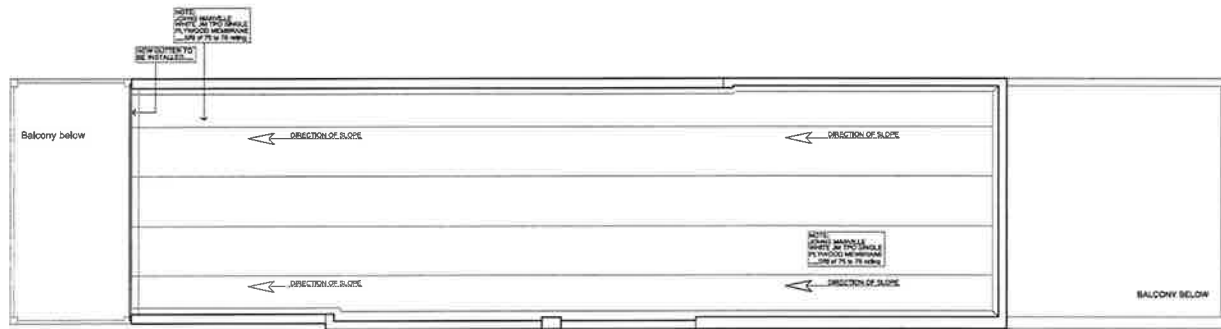
TYPICAL INTERIOR DOOR
JAMB AND HEAD



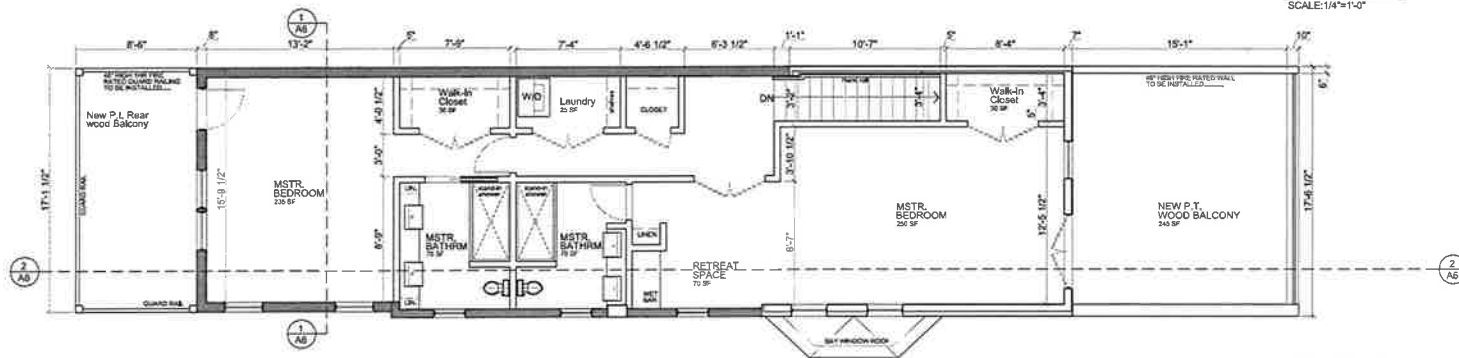
PROPOSED
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



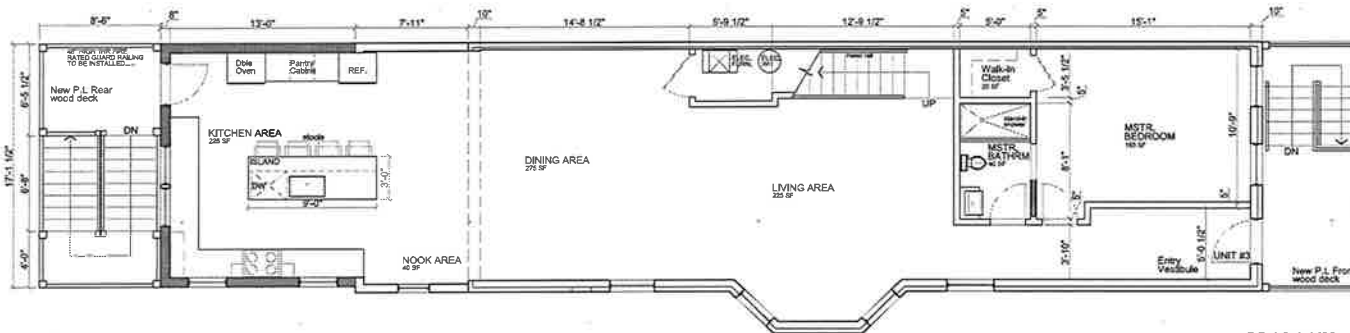
PROPOSED
CELLAR FLOOR PLAN
SCALE: 1/8"=1'-0"



**PROPOSED
ROOF PLAN**
SCALE: 1/4"=1'-0"



**PROPOSED
THIRD FLOOR PLAN**
SCALE: 1/4"=1'-0"



**PROPOSED
SECOND FLOOR PLAN**
SCALE: 1/4"=1'-0"

