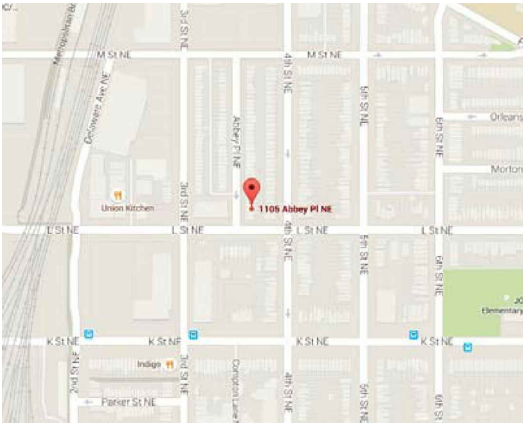
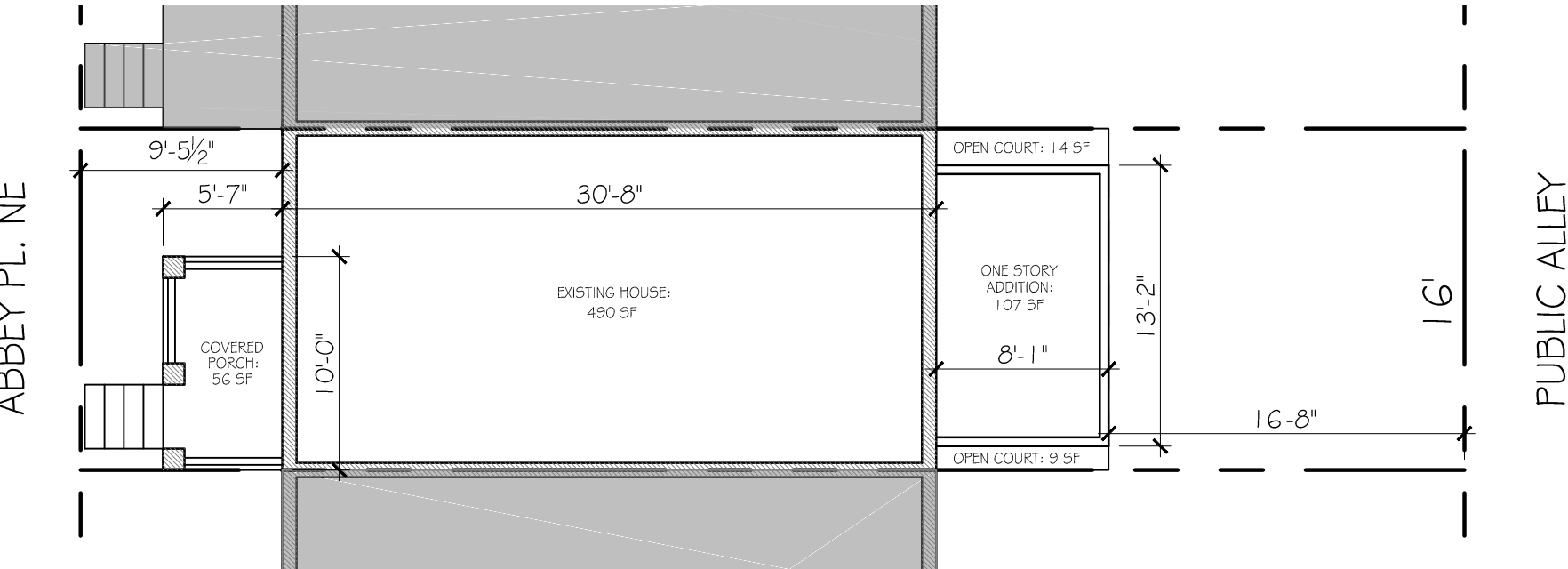


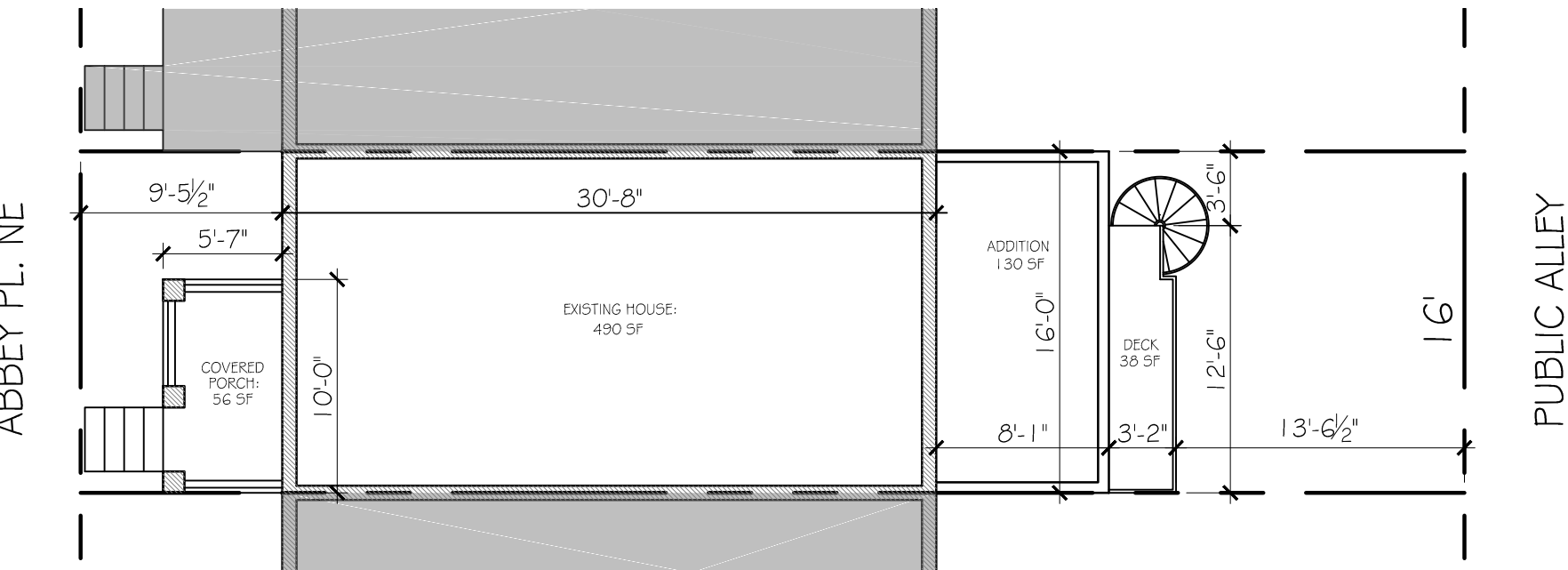
PROJECT LOCATION



EXISTING SITE PLAN



PROPOSED SITE PLAN



DRAWING INDEX

- A000 COVER SHEET
- A001 PHOTOGRAPHS
- A002 SITE PLANS
- A003 ENLARGED SITE PLANS
- A004 BASEMENT PLANS
- A005 FIRST FLOOR PLANS
- A006 SECOND FLOOR PLANS
- A007 ROOF PLANS
- A008 REAR ELEVATIONS
- A009 SIDE ELEVATIONS (EXISTING)
- A010 SIDE ELEVATIONS (PROPOSED)
- A011 BUILDING SECTIONS



PROJECT DIRECTORY

OWNER:
ROBERT BAILEY
ROCK CREEK HOMES LLC
P.O. BOX 21572
WASHINGTON, D.C. 20009

DESIGNER:
EMILY HIRST
1516 MONTANA AVE. NE
WASHINGTON, D.C. 20018

CONTACT: ROBERT BAILEY
T: 202.255.5954

CONTACT: EMILY HIRST
T: 703.774.6472

PROJECT INFORMATION

ADDRESS: 1105 ABBEY PL. NE
WASHINGTON, D.C.

LOT: 0176

BUILDING: 2 STORIES + CELLAR

SQUARE: 0773

LOT SIZE: 1,037.68 SF (PER DCRA)

HISTORIC: NO

DESCRIPTION: STRUCTURE IS AN EXISTING 2 + B SFD. IMPROVEMENTS TO INCLUDE NEW 3 STORY ADDITION AT LOCATION OF EXISTING ONE STORY ADDITION. NO CHANGE TO EXISTING BUILDING FOOTPRINT. PROPOSED INTERIOR WORK TO INCLUDE ADDING A BEDROOM, FULL BATHROOM, UTILITY CLOSET AND WET BAR @ BASEMENT LEVEL. RELOCATE KITCHEN ON FIRST FLOOR AND ADD NEW POWDER ROOM. RECONFIGURE BEDROOM LAYOUT ON SECOND FLOOR AND ADD NEW MASTER BATHROOM.

ZONING - Title 11 DCMR

ZONING:	R-4
USES:	RESIDENTIAL
	<u>ALLOWED</u>
FRONT YARD:	9'-6"
SIDE YARD:	0'-0"
SIDE YARD:	0'-0"
REAR YARD:	16'-8"
HEIGHT:	24'-8"
LOT OCC.:	676 SF (65%)
FAR:	NONE PRESCRIBED
	<u>EXISTING</u>
	9'-6"
	0'-0"
	0'-0"
	16'-8"
	24'-8"
	676 SF (65%)
	-
	<u>PROPOSED</u>
	NO CHANGE
	NO CHANGE
	NO CHANGE
	13'-6 1/2"
	NO CHANGE
	714 SF (69%)
	-

CODE ANALYSIS

2012 International Building Code
Title 12 DCMR, DC Construction Codes Supplement (2013)
2013 District of Columbia Building Code
2013 District of Columbia Fire Code
2012 Life Safety Code NFPA 101
2012 Fire Prevention Code NFPA 1
2013 District of Columbia Mechanical Code
2013 District of Columbia Plumbing Code
2011 National Electric Code
2012 ICC Existing Building Code
2013 ICC Fuel Gas Code
2012 ICC Residential Code for One and Two-Family Dwellings
DCMR Title 11 - Zoning Regulations
DC Law 8-36 District of Columbia Environmental Policy Act of 1989

OWNER:
Robert Bailey
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

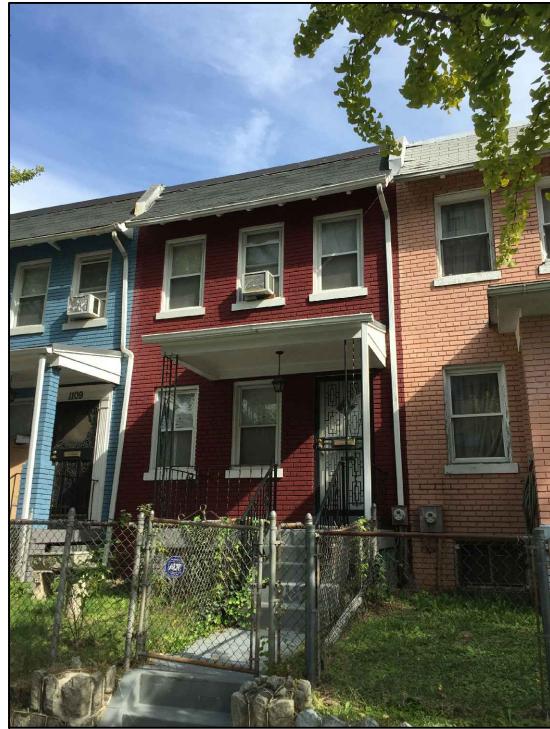
1105 Abbey Pl. NE
Washington, D.C. 20002

BZA SET: 10.DEC.2015

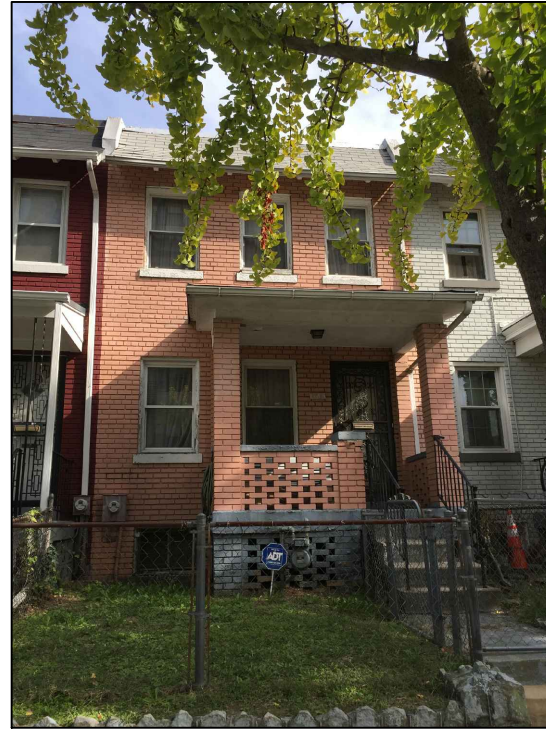
COVER SHEET

Board of Zoning Adjustment
District of Columbia
CASE NO. 19222
EXHIBIT NO.3

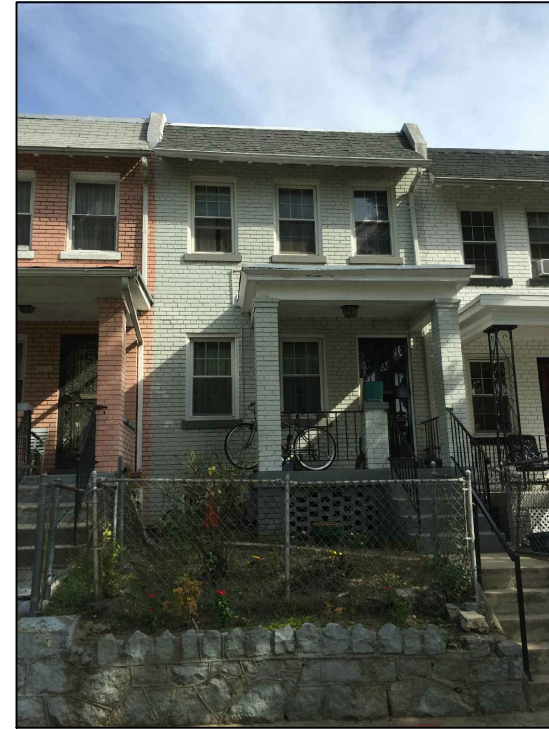
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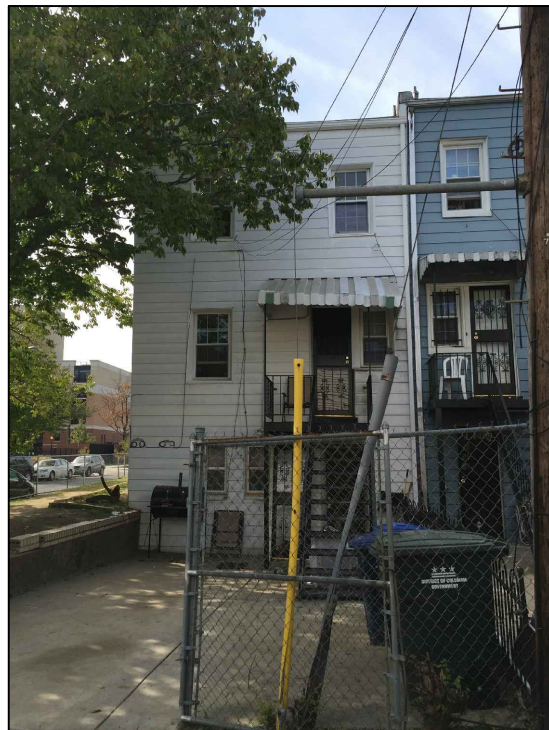
1107 (FRONT)



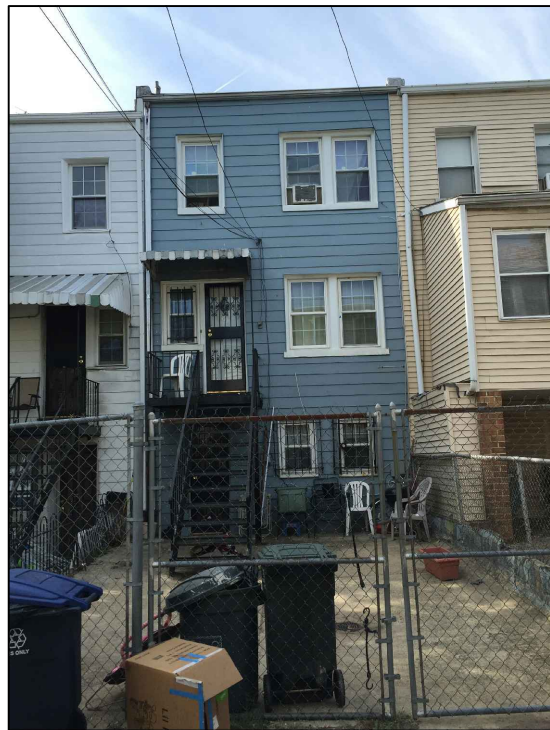
1105 (FRONT)



1103 (FRONT)



1101 (REAR)



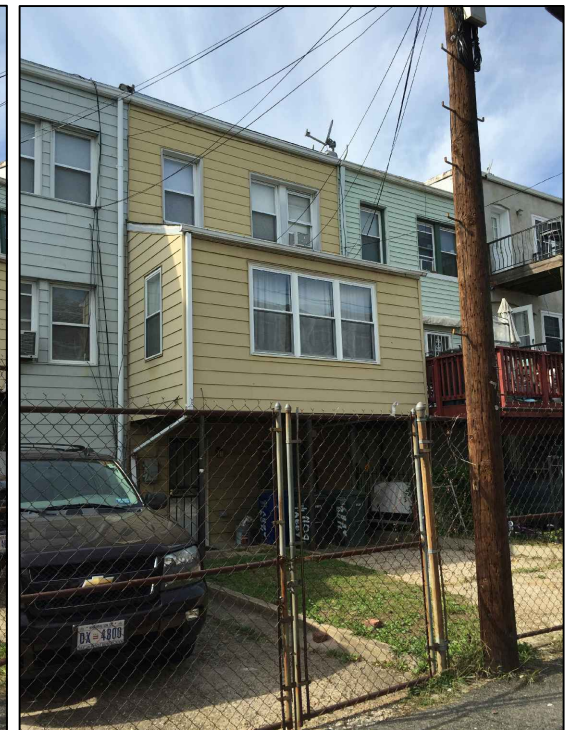
1103 (REAR)



1105 (REAR)



1107 (REAR)



1109 (REAR)

OWNER:
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

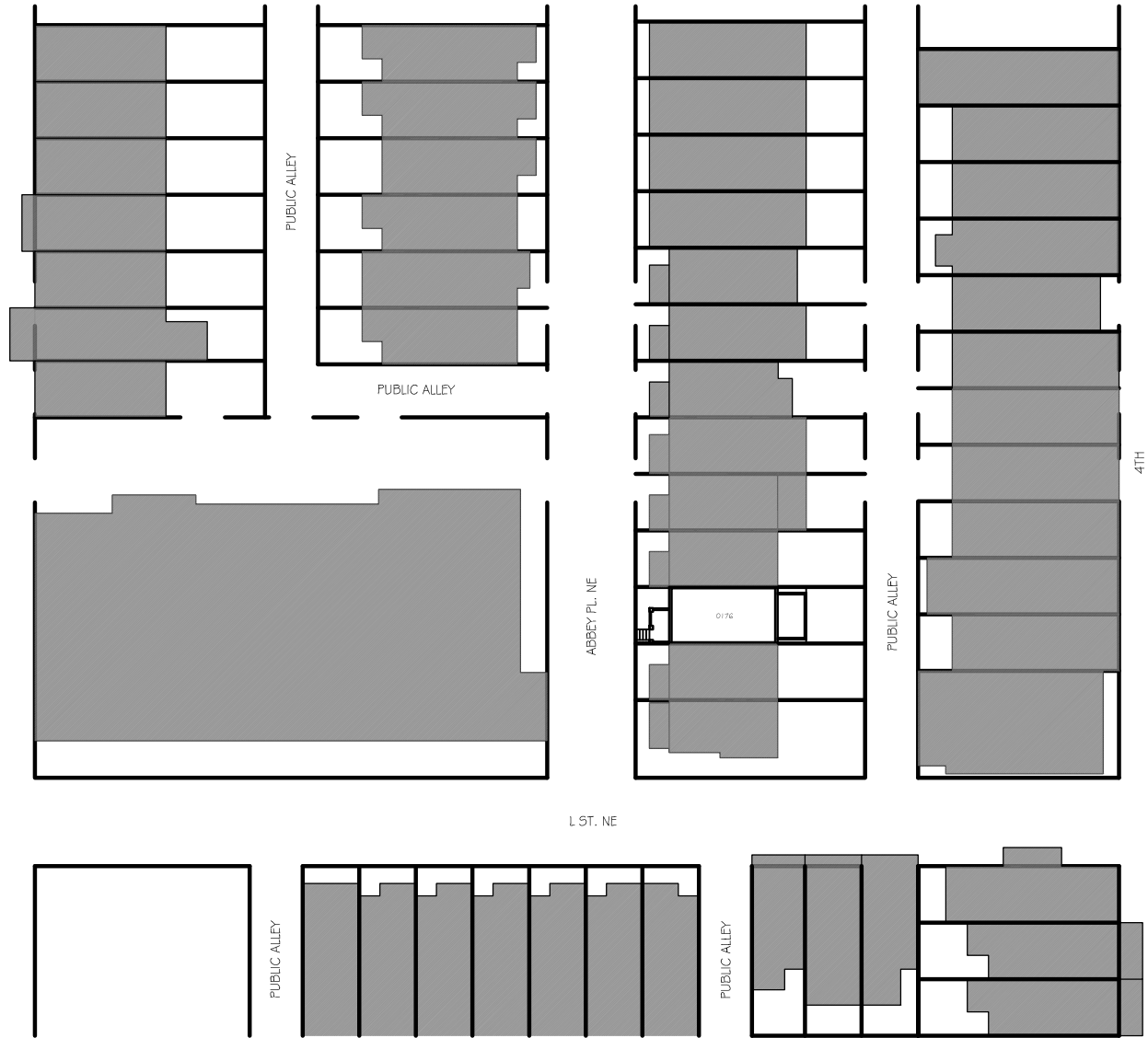
DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

1105 Abbey Pl. NE
Washington, D.C. 20002

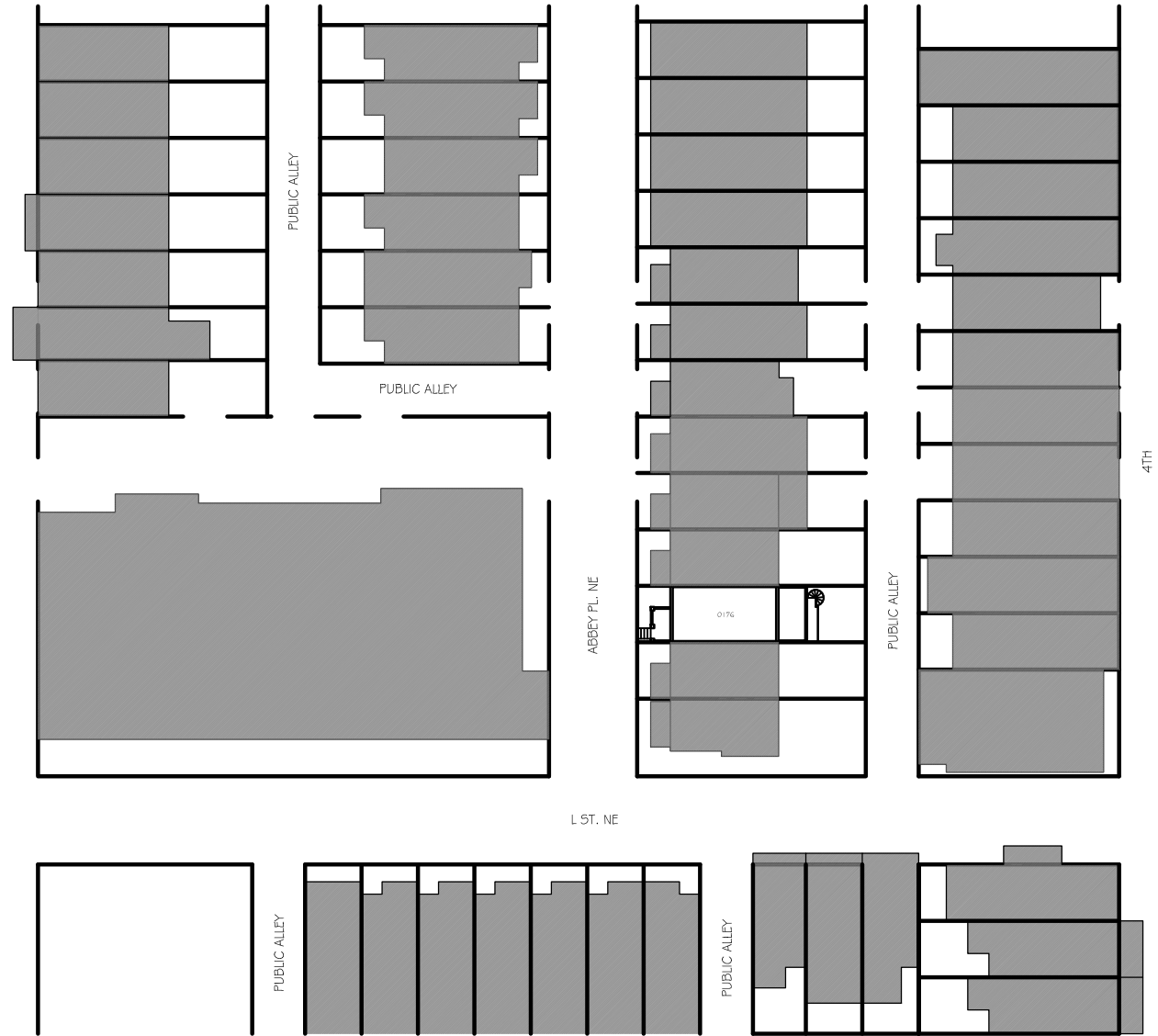
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PHOTOGRAPHS

A001



1
A002
EXISTING SITE PLAN
1:600



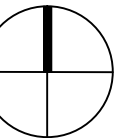
2
A002
PROPOSED SITE PLAN
1:600

OWNER:
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

1105 Abbey Pl. NE
Washington, D.C. 20002

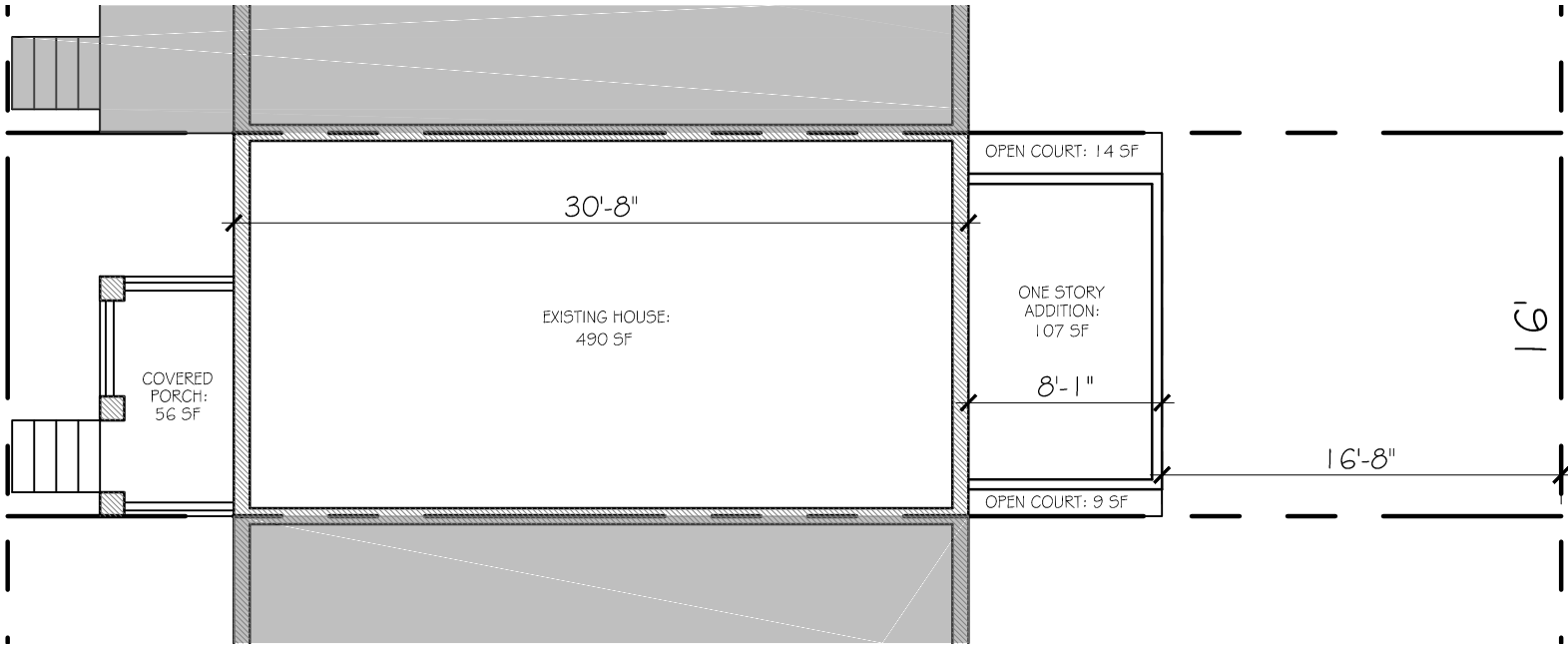


BZA SET: 10.DEC.2015

NEIGHBORHOOD
SITE PLANS

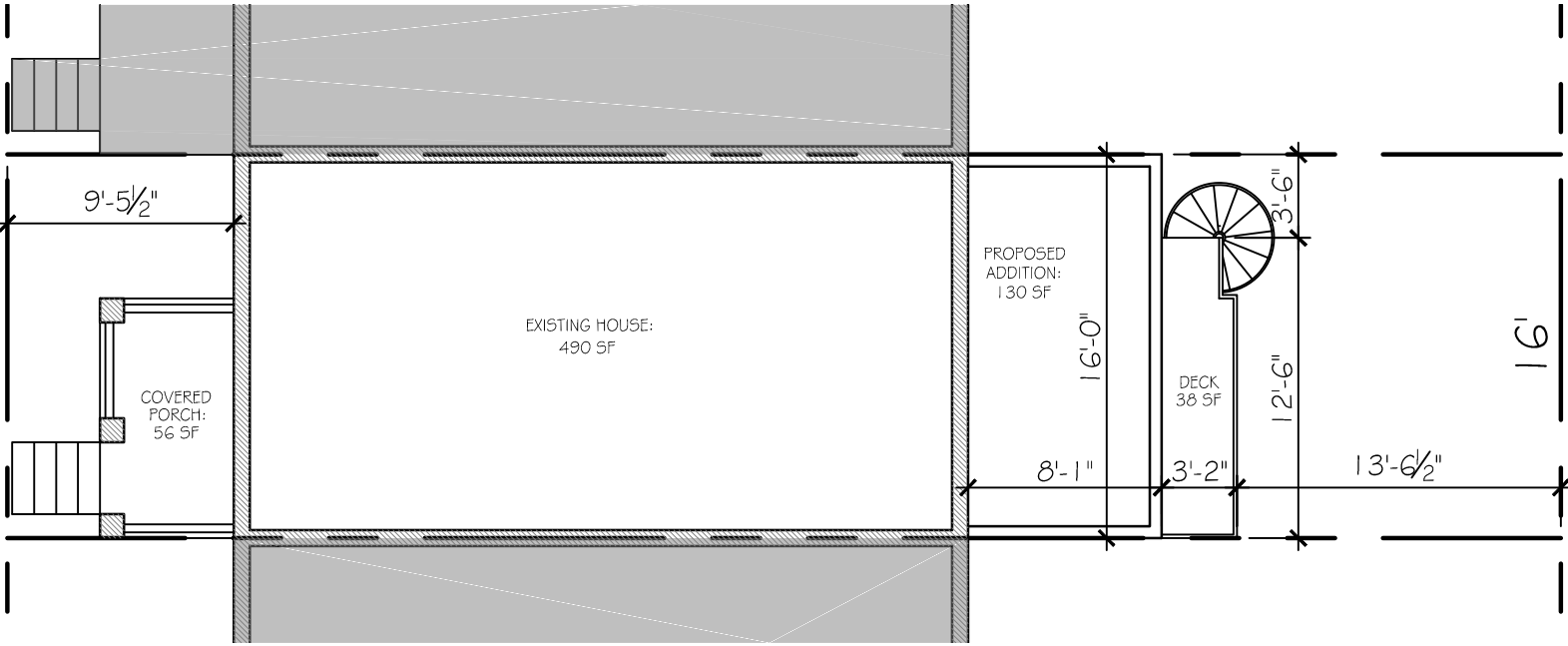
A002

ABBEY PL. NE



1 ENLARGED SITE PLAN - EXISTING
A003 SCALE: 1/8" = 1'-0"

ABBEY PL. NE



1 ENLARGED SITE PLAN - PROPOSED
A003 SCALE: 1/8" = 1'-0"

PUBLIC ALLEY

PUBLIC ALLEY

EXISTING SITE INFORMATION

LOT AREA:	1037.68 SF
EXISTING PORCH:	56 SF
EXISTING HOUSE:	490 SF
EXISTING ADDITION:	107 SF
EXISTING OPEN COURTS:	23 SF
EXISTING TOTAL FOOTPRINT:	676 SF (65.1%)

PROPOSED SITE INFORMATION

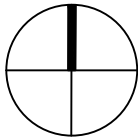
LOT AREA:	1037.68 SF
PROPOSED PORCH:	56 SF
PROPOSED HOUSE:	490 SF
PROPOSED ADDITION:	130 SF
PROPOSED DECK:	38 SF
PROPOSED TOTAL FOOTPRINT:	714 SF (69%)

OWNER:
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

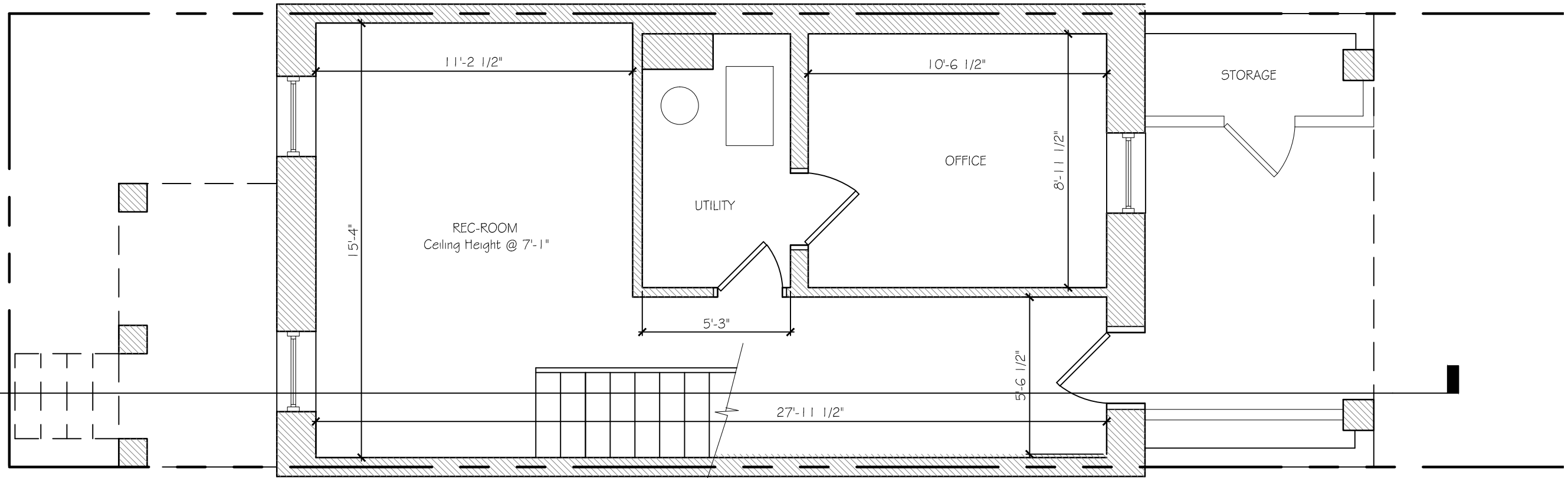
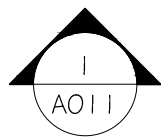
1105 Abbey Pl. NE
Washington, D.C. 20002



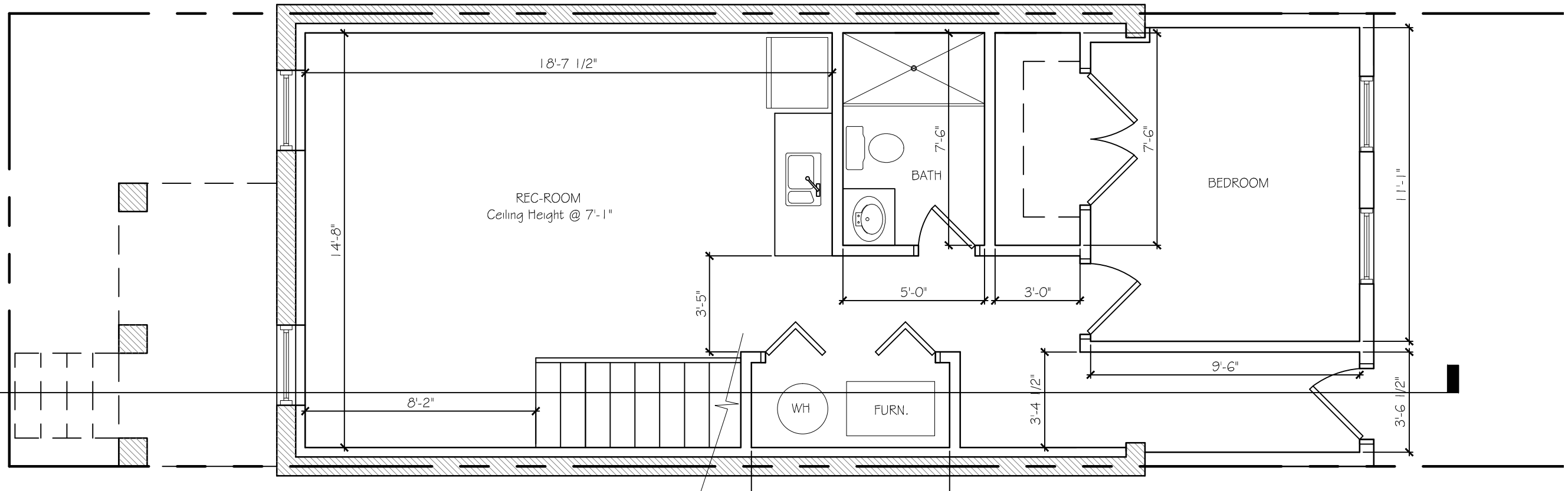
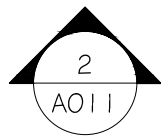
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ENLARGED
SITE PLAN

A003



1
A004
EXISTING PLAN @ BASEMENT
SCALE: 1/4" = 1'-0"



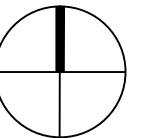
2
A004
PROPOSED PLAN @ BASEMENT
SCALE: 1/4" = 1'-0"

OWNER:
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

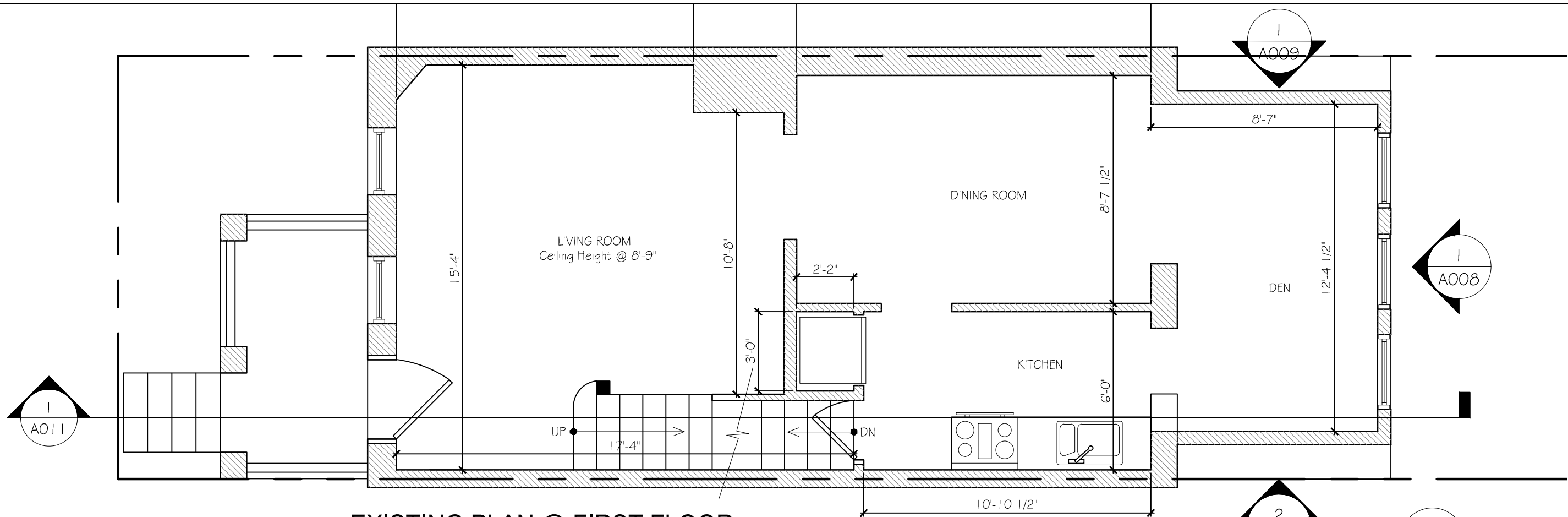
1105 Abbey Pl. NE
Washington, D.C. 20002



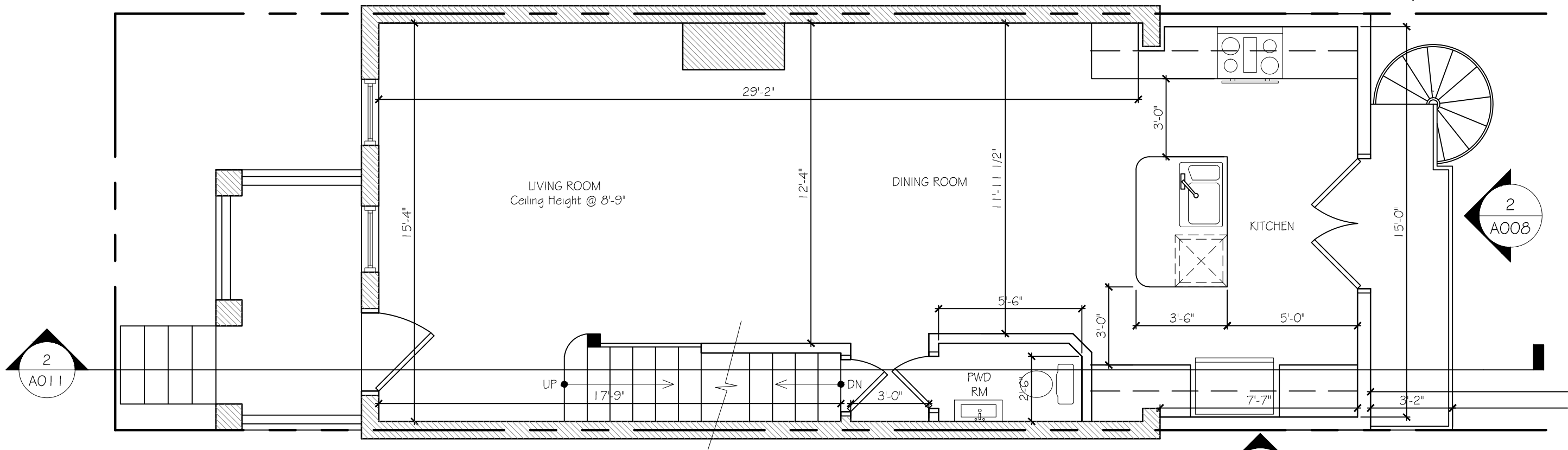
BZA SET: 10.DEC.2015

BASEMENT
FLOOR PLANS

A004



1 EXISTING PLAN @ FIRST FLOOR



2 PROPOSED PLAN @ FIRST FLOOR

OWNER:
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

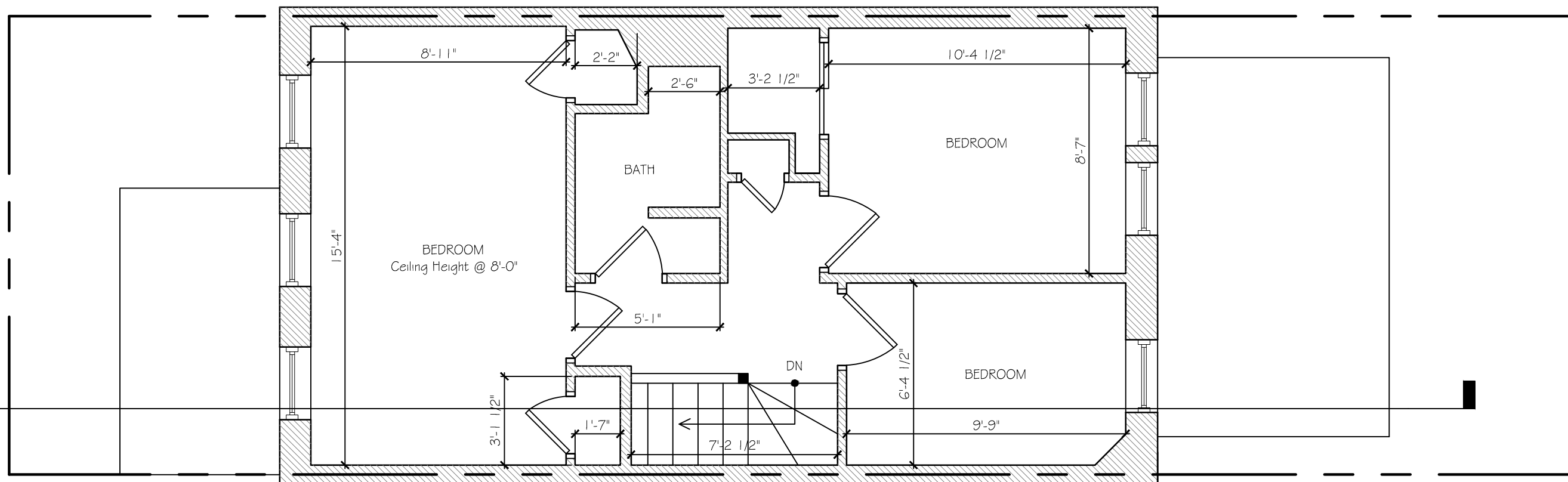
DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

1105 Abbey Pl. NE
Washington, D.C. 20002

BZA SET: 10.DEC.2015

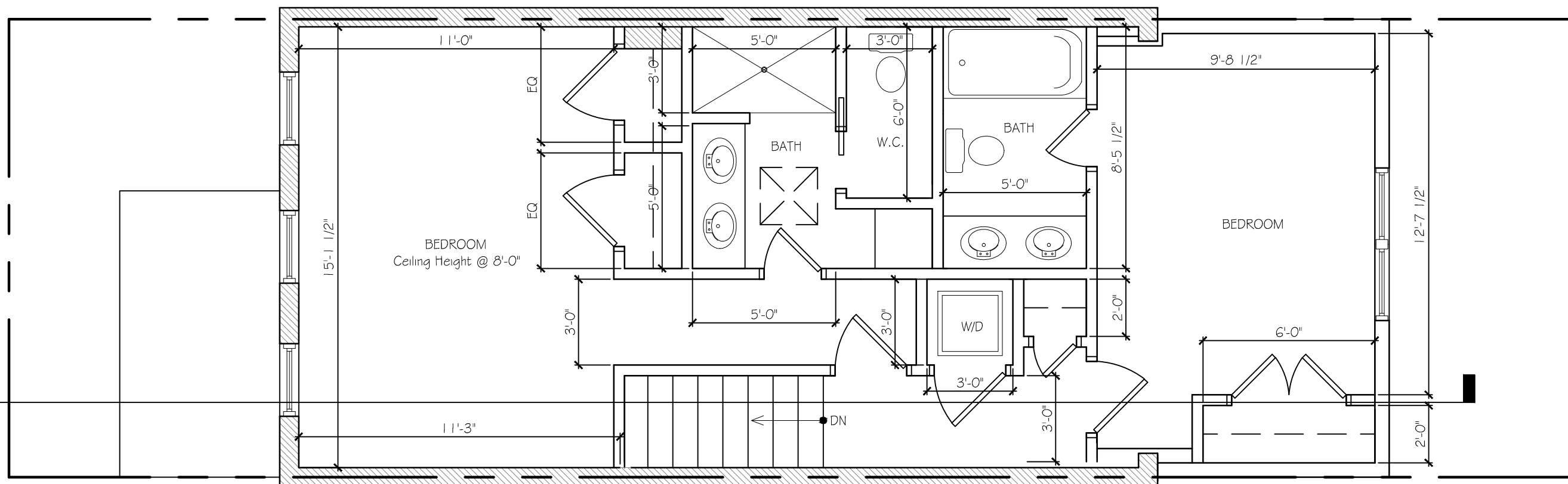
FIRST
FLOOR PLANS

A005



EXISTING PLAN @ SECOND FLOOR

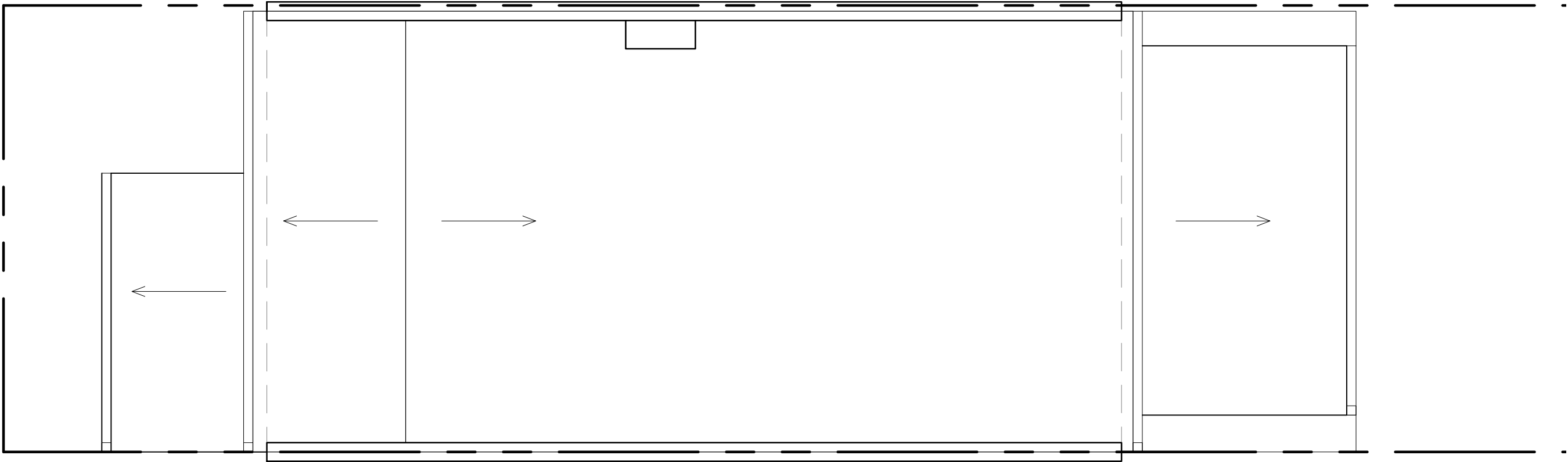
SCALE: 1/4" = 1'-0"



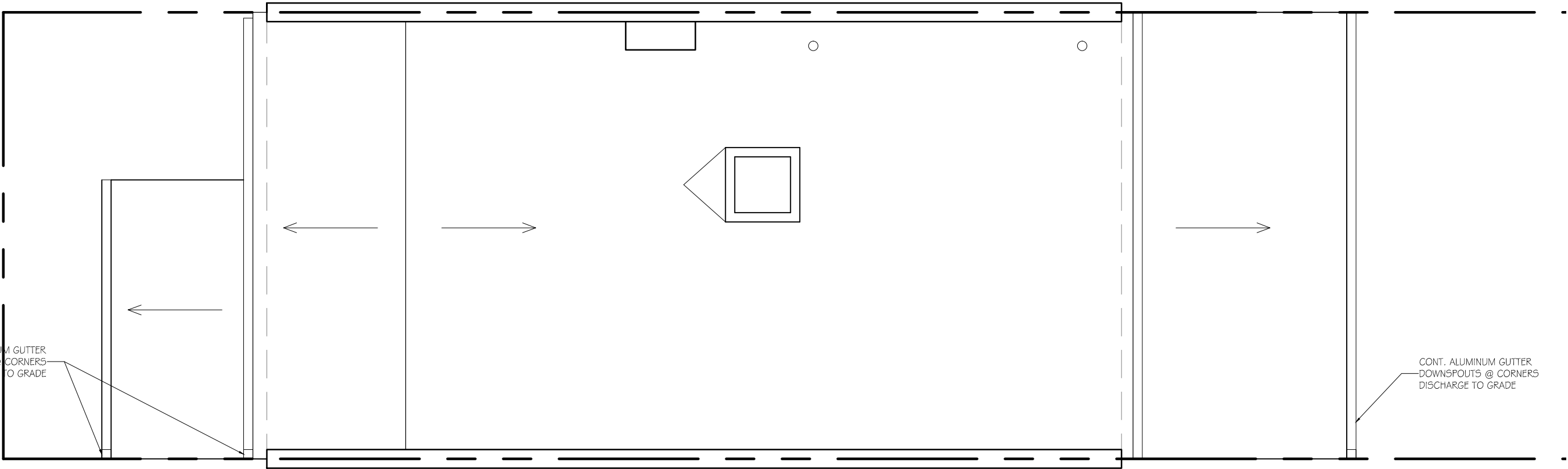
PROPOSED PLAN @ SECOND FLOOR

SCALE: 1/4" = 1'-0"

A006



1 EXISTING ROOF PLAN
A007 SCALE: 1/4" = 1'-0"



2 PROPOSED ROOF PLAN
A007 SCALE: 1/4" = 1'-0"

OWNER:
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

1105 Abbey Pl. NE
Washington, D.C. 20002

BZA SET: 10.DEC.2015

ROOF PLANS

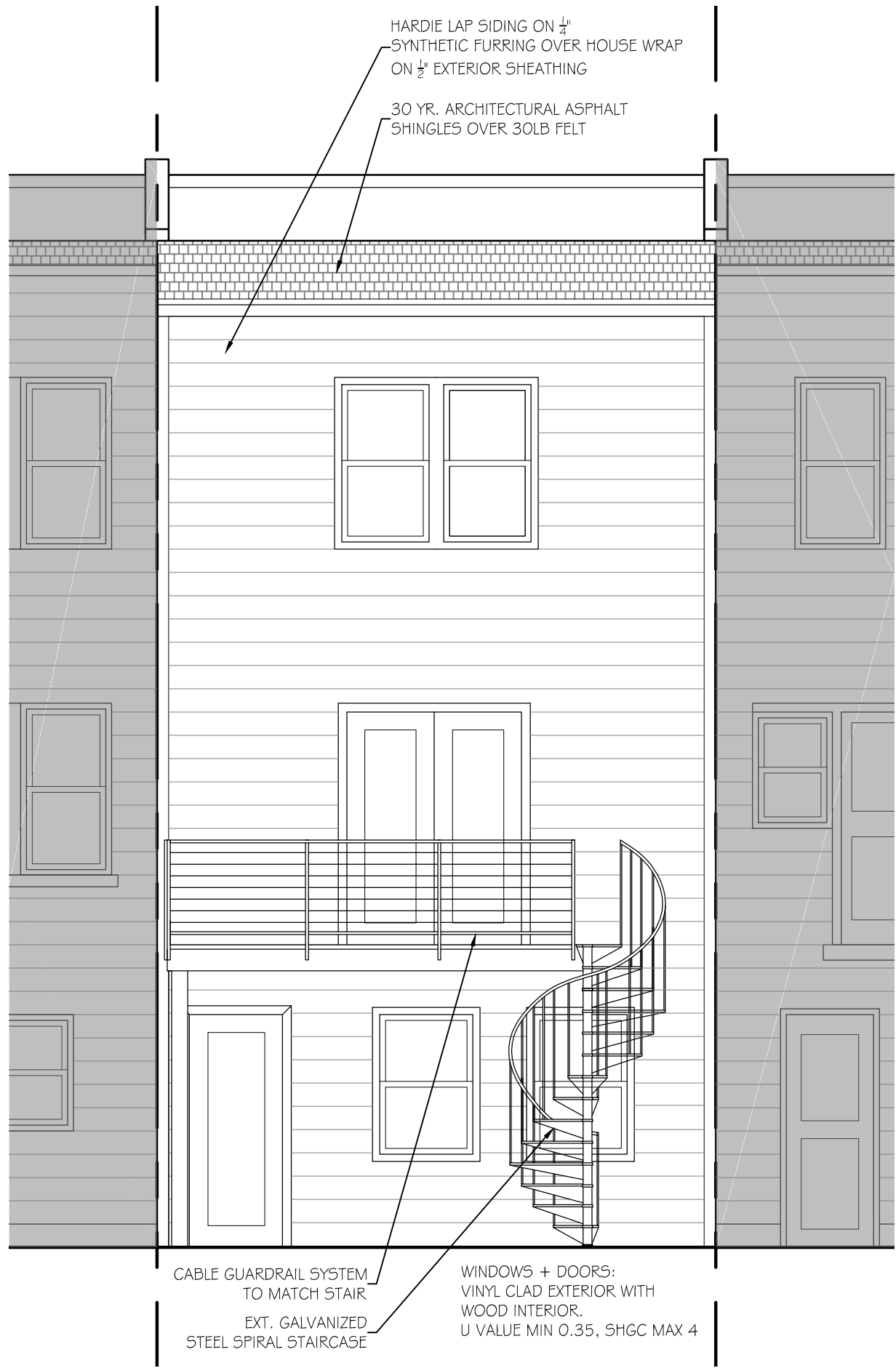
A007



1
A008

EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



2
A008

PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

OWNER:
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

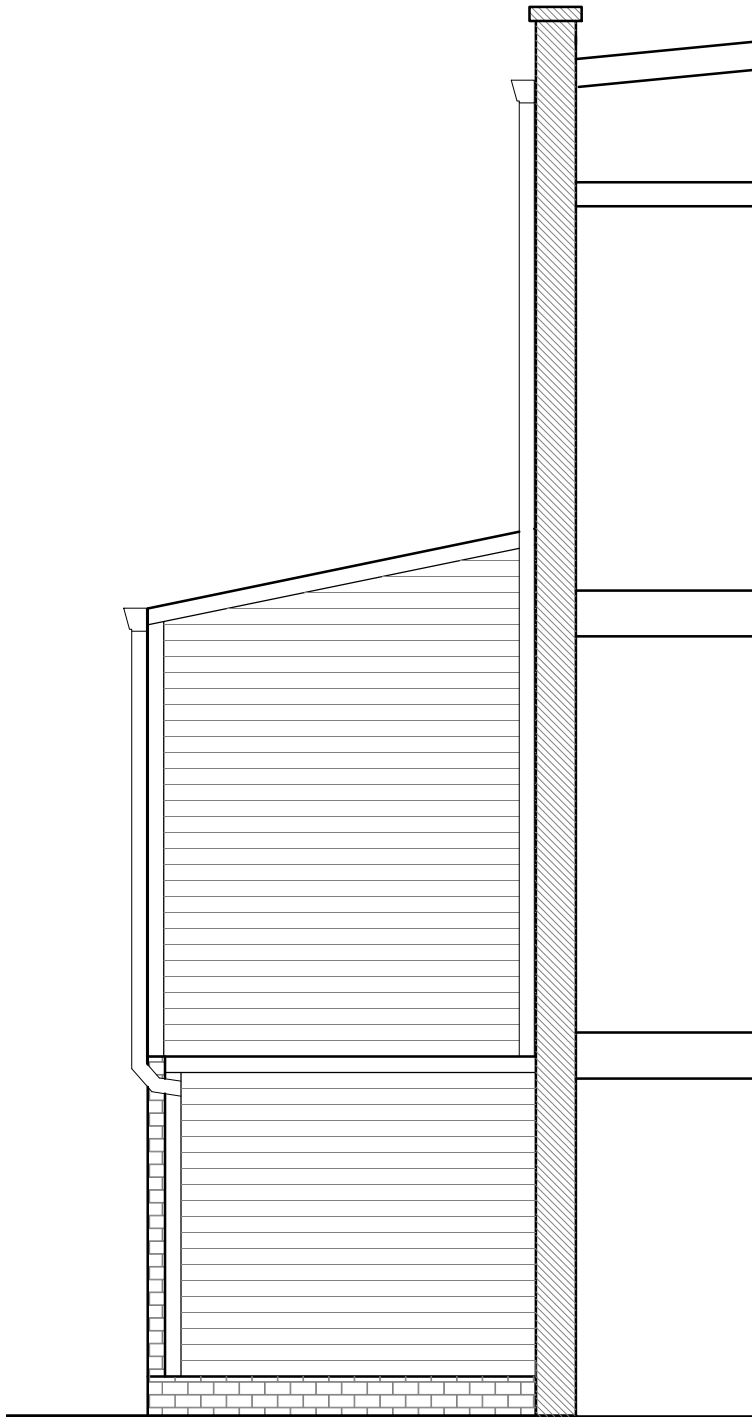
DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

1105 Abbey Pl. NE
Washington, D.C. 20002

BZA SET: 10.DEC.2015

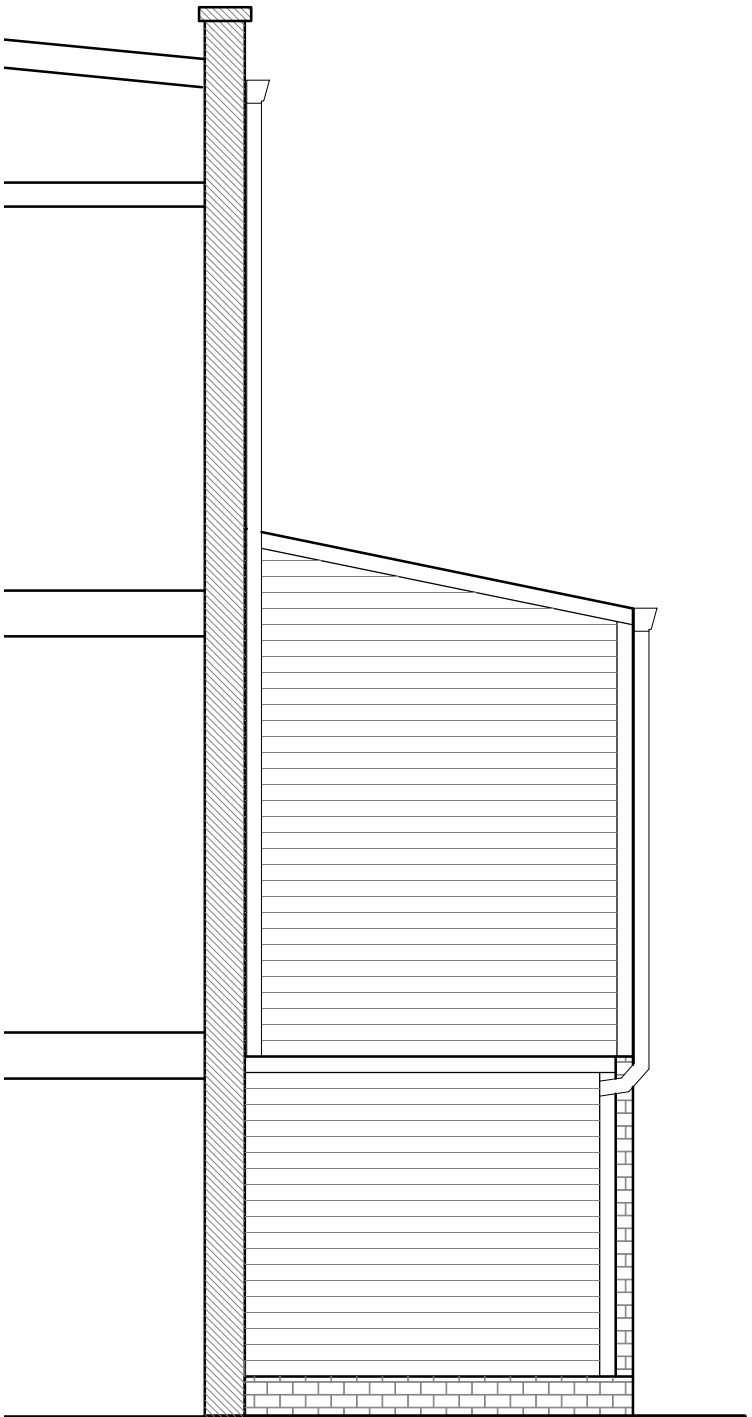
REAR
ELEVATIONS

A008



1
A009

EXISTING SIDE ELEVATION (FACING S)
SCALE: 1/4" = 1'-0"



2
A009

EXISTING SIDE ELEVATION (FACING N)
SCALE: 1/4" = 1'-0"

OWNER:
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

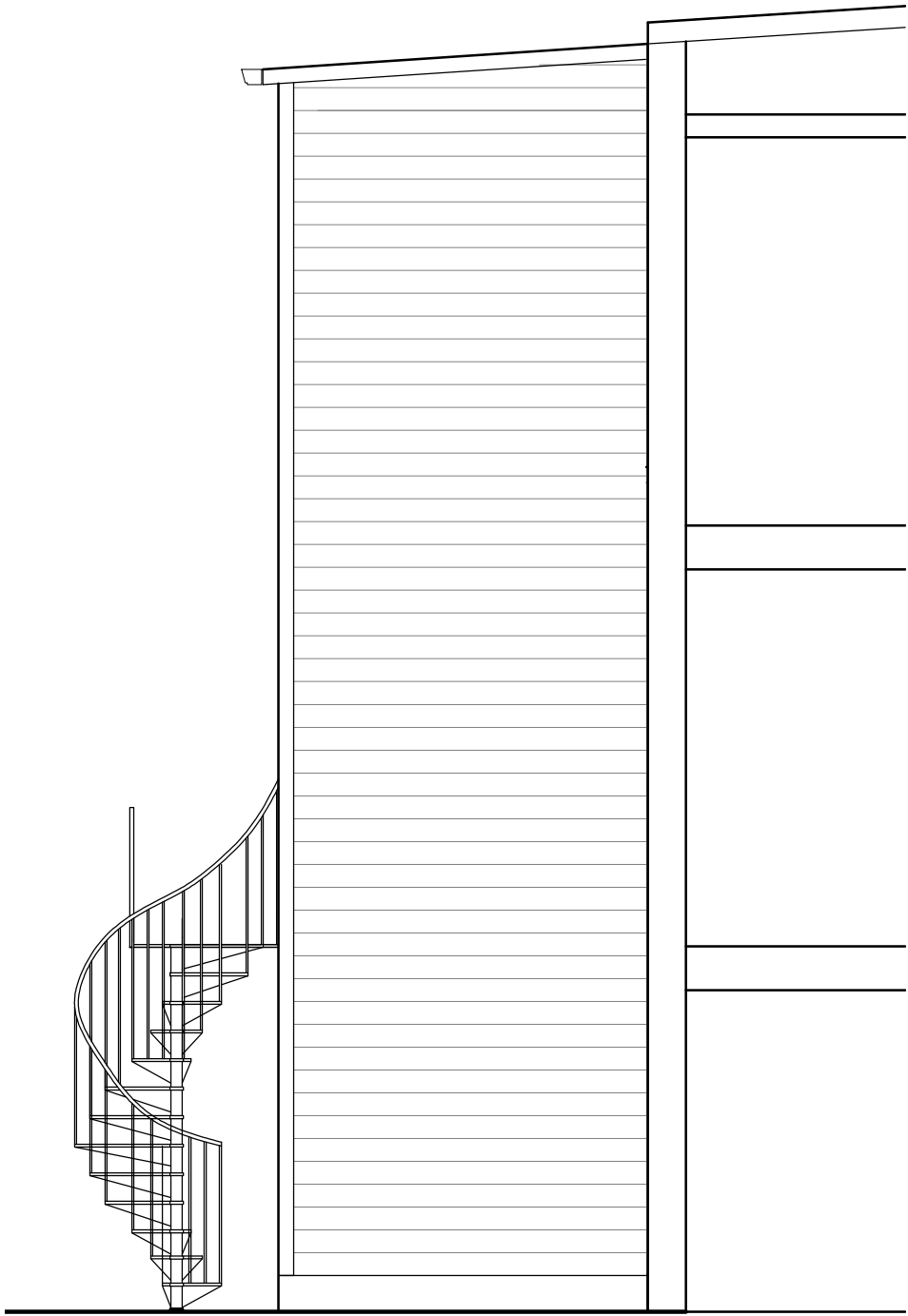
DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

1105 Abbey Pl. NE
Washington, D.C. 20002

BZA SET: 10.DEC.2015

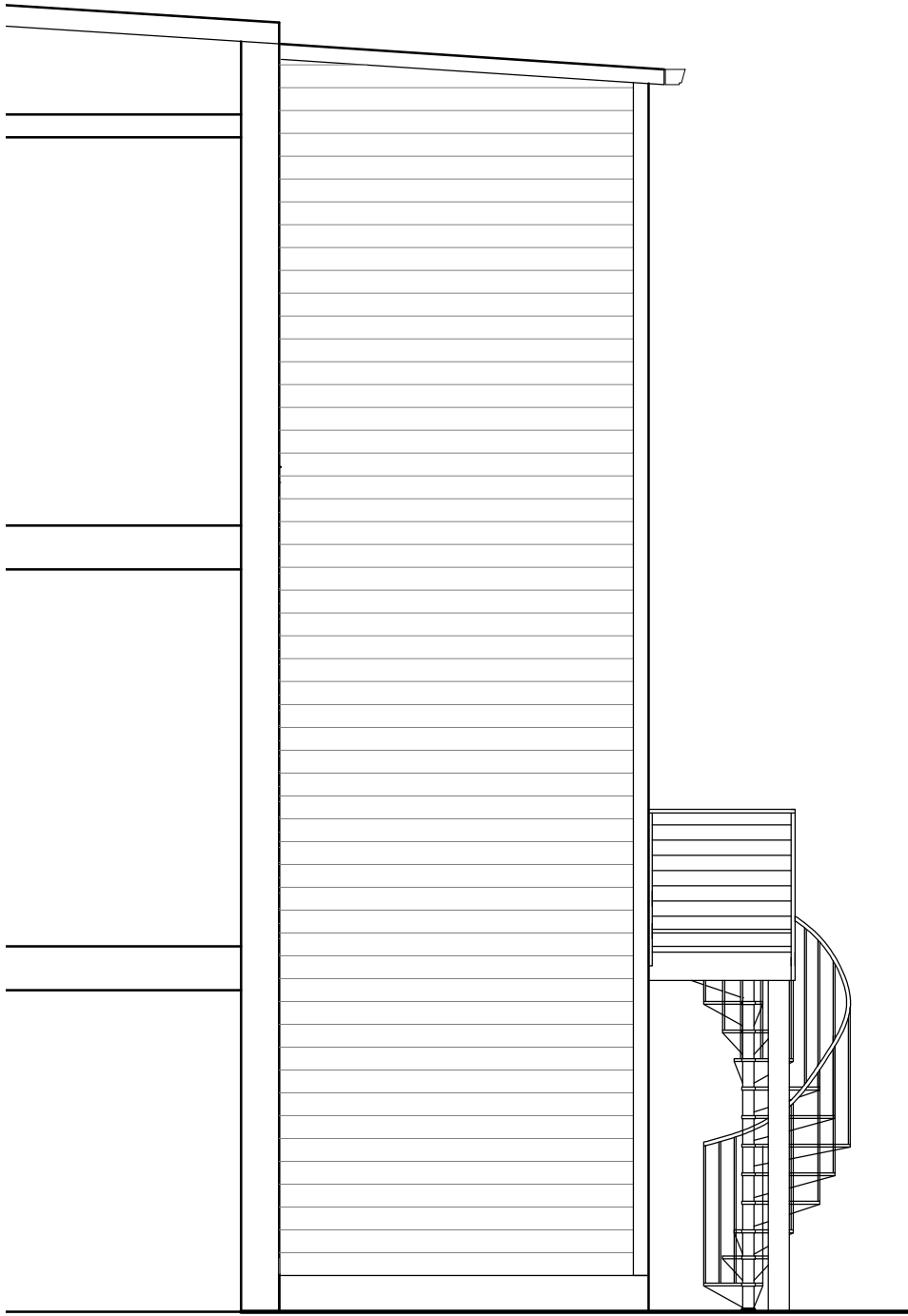
SIDE
ELEVATIONS
(EXISTING)

A009



1
A009

PROPOSED SIDE ELEVATION (FACING S)
SCALE: 1/4" = 1'-0"



2
A009

PROPOSED SIDE ELEVATION (FACING N)
SCALE: 1/4" = 1'-0"

OWNER:
Rock Creek Homes LLC
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

1105 Abbey Pl. NE
Washington, D.C. 20002

BZA SET: 10.DEC.2015

SIDE
ELEVATIONS
(PROPOSED)

A010

OWNER:
Rock Creek Homes LLC
ROBERT BAILEY
P.O. Box 21572
Washington, D.C. 20009
202.255.5954

CONTRACTOR:
TBD

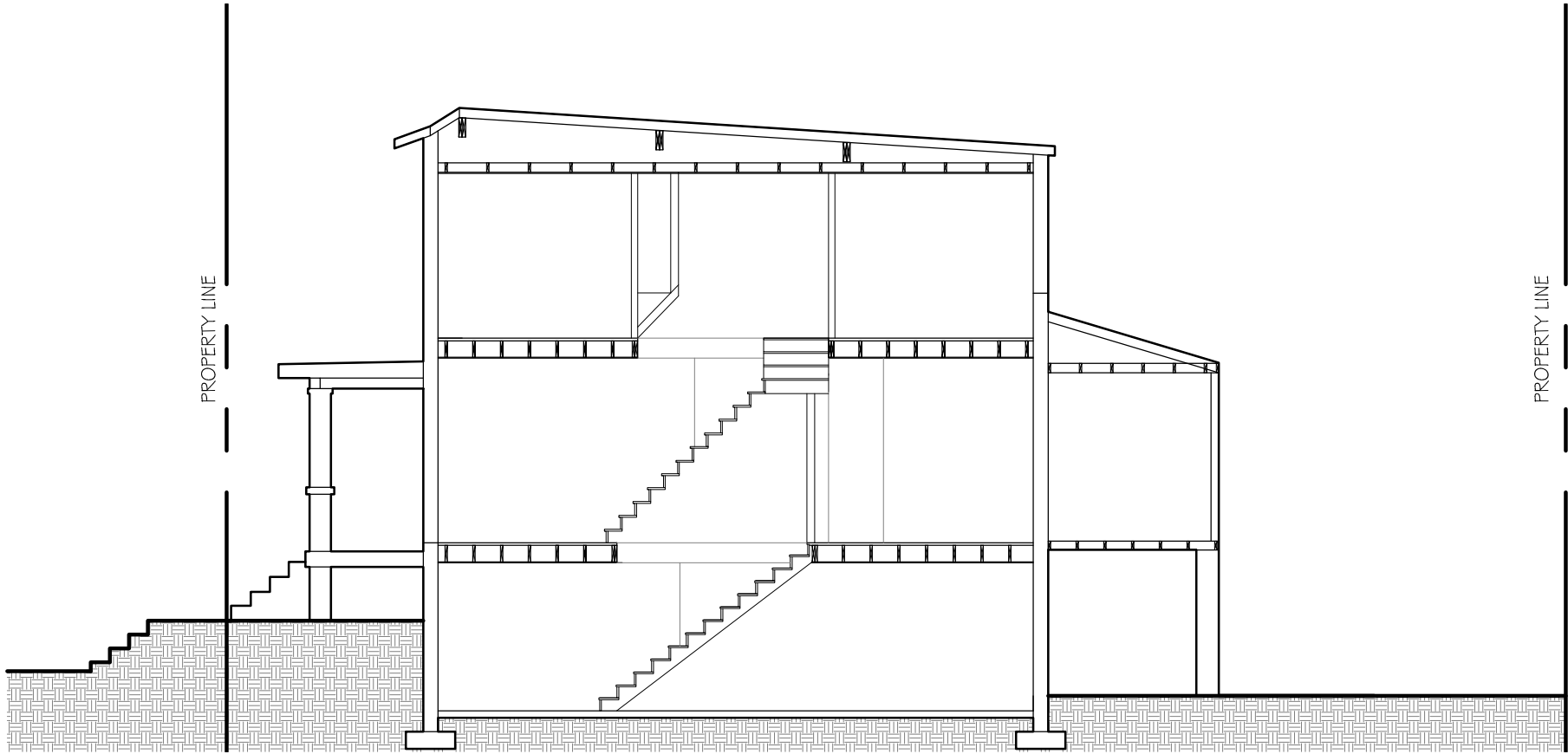
DESIGNER:
Emily Hirst
703.774.6472
emchirst@gmail.com

1105 Abbey Pl. NE
Washington, D.C. 20002

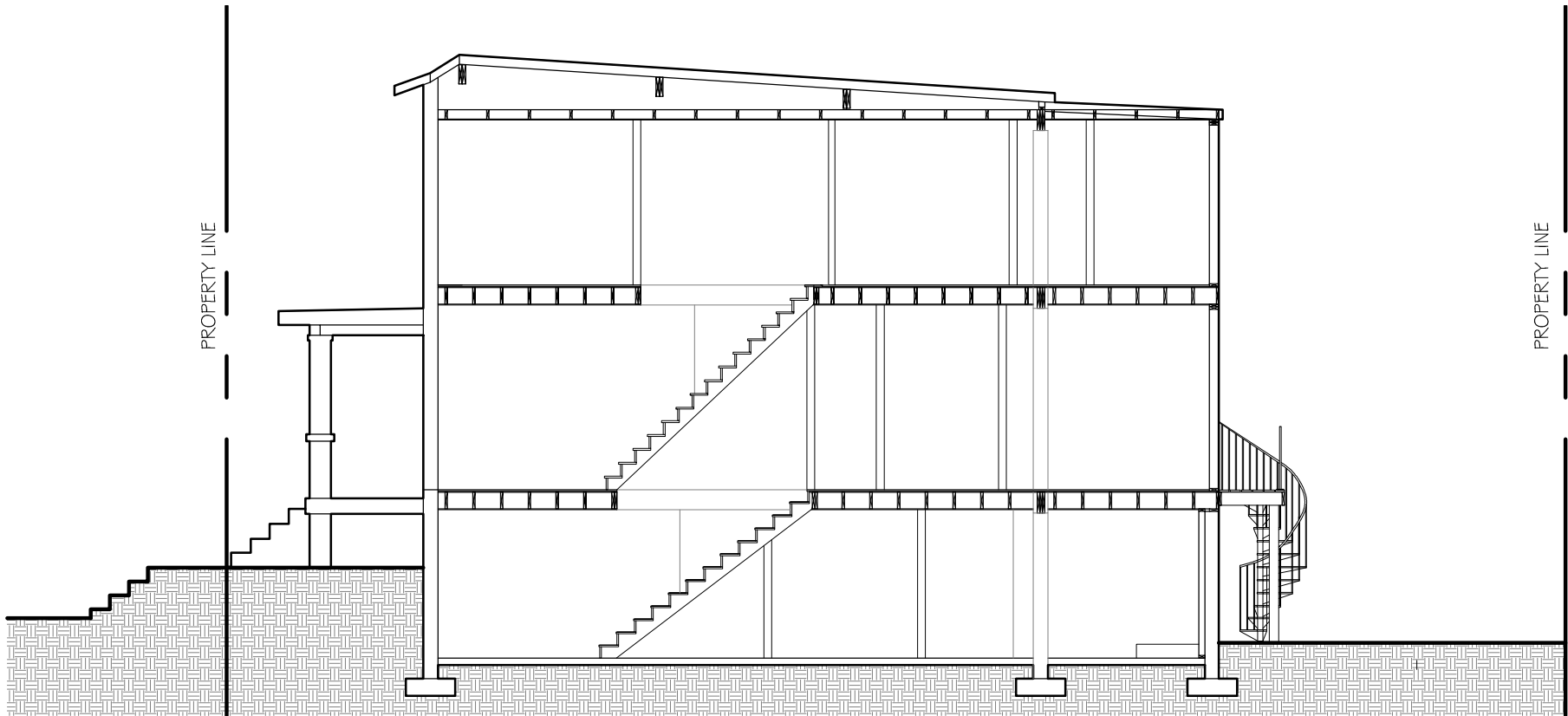
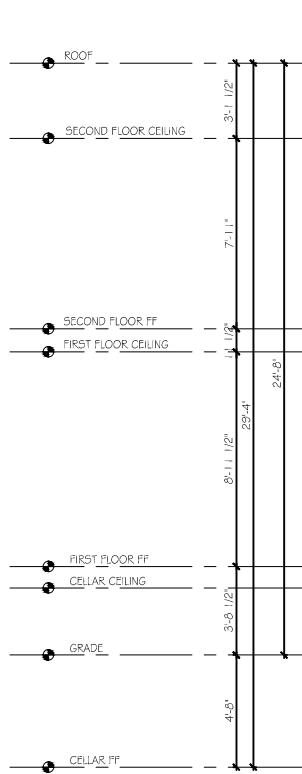
BZA SET: 10.DEC.2015

BUILDING
SECTIONS

A011



1 EXISTING BUILDING SECTION
SCALE: 1/8" = 1'-0"



2 PROPOSED BUILDING SECTION
SCALE: 1/8" = 1'-0"

