

ABBREVIATIONS

A.D.	AREA DRAIN
AFF	ABOVE FINISH FLOOR
A.P.	ACCESS P ANEL
CJ	CONTROL JOINT
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
CT	CERAMIC TILE
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
COORD	COORDINATE
DIA	DIAMETER
DN	DOWN
DWG	RAWING
EA.	EACH
EL	ELEVATION
ELEC.	ELECTRICAL
EQ	QUAL
EQUIP.	EQUIPMENT
EXT	EXTERIOR
F.D.	FLOOR DRAIN
FFE	FINISHED FLOOR ELEV A TION
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.R.	FIRE RA TED (RESISTIVE)
FIN.	FINISH
FLR.	FLOOR
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLAZED
GYP.	GYPSUM BOARD
H.M.	HOLLOW MET AL
HDW.	HARDWARE
IBC	INTERNATIONAL BUILDING CODE
I/O	INDOOR /OUTDOOR
IRC	INTERNATIONAL RESIDENTIAL CODE
LAV	LAVATORY
M.O.	MASONRY OPENING
MATL.	MATERIAL
MAX	MAXIMUM
MECH.	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN.	MINIMUM
MTL	METAL
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
NOM.	NOMINAL
O.C.	ON CENTER
O.D.	OUTER DIAMETER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
OPP.	OPPOSITE
PLYWD	PLYWOOD
P.T.	PRESSURE TREA TED
PNL	PANEL
QTY	QUANTITY
R.D.	ROOF DRAIN
R.O.	ROUGH OPENING
REF	REFRIGERATOR
REINF	REINFORCEMENT
RESIL	RESILIENT
REQ'D	REQUIRED
REV.	REVERSE
RM.	ROOM
SS	STAINLESS STEEL
SCHED	SCHEDULE
SHT.	SHEET
SIM	SIMILAR
SPECS	SPECIFIC A TIONS
STL	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
T.O.S.	TOP OF SLAB
TYP.	TYPICAL
U-CUT	UNDERCUT
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
VTR	VENT THROUGH ROOF
W.C.	W A TER CLOSET
W.P.	WORKING POINT
W/	WITH

160 N CAROLINA AVE SE
WASHINGTON DC 20003

GENERAL NOTES

FOUNDATION AND SLAB ON GRADE
FOOTINGS ARE DESIGNED FOR A BEARING CAPACITY OF 1500 PSF. FOOTING SHALL BEAR ON NATURAL UNDISTURBED SOIL 1'-0" BELOW ORIGINAL GRADE OR ON STRUCTURAL COMPACTED FILL. BOTTOM OF EXTERIOR FOOTINGS SHALL BE 2'-6" BELOW FINISHED GRADE
MASONRY
ALL MORTAR SHALL CONFORM TO ASTM C720. MORTAR TO BE USED SHALL BE SAMPLED AND TESTED BY THE BRICK AND MASONRY SUPPLIERS ACCORDING TO ASTM C780 AND RESULTS SUBMITTED TO THE ENGINEER FOR APPROVAL. MORTAR SHALL BE PORTLAND CEMENT MORTAR TYPE 2 AS A MINIMUM. LOOSE LINTEL FOR OPENINGS IN MASONRY WALLS SHALL BE AS FOLLOWS FOR EACH 4" WIDTH:
UP TO 3'-0" 3 1/2" X 3 1/2" 5/16"
3'-1" TO 5'-0" 4" X 3 1/2" X 5/16"
5'-1" TO 6'-0" 5" X 3 1/2" X 3/8"
6'-1" TO 8'-0" 6" X 3 1/2" X 3/8"

SHORT LEG OUTSTANDING W/ 6" MIN. BEARING INTERIOR NON-LOAD LINTEL TO BE PRE-CAST
WOOD
STRUCTURAL WOOD MEMBERS TO BE SOUTHERN YELLOW PINE NUMBER TWO. ALL CONSTRUCTION TO CONFORM TO LATEST "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
PROVIDE DOUBLE JOIST AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3" JOIST SPAN.
PROVIDE 1X3 CROSS BRIDGING AT 8'-0" O.C. AT ALL FLOOR AND ROOF JOISTS. MICROLAM MEMBERS SHALL CONFORM TO THE FOLLOWING MINIMUM ALLOWABLE STRESSED:
MOD. OF ELAS. 1,900,000 PSI
FLEXURAL STRESS 2,600 PSI
PARALLEL TENSION 1,555 PSI
PERPENDICULAR COMPRESSION 750 PSI
PARALLEL COMPRESSION 2,310 PSI
HORIZ. PERP. SHEAR 285 PSI
TJI'S AND LAMS SHALL BE BY JOIST MACMILLAN OR APPROVED EQUAL AND INSTALLED PER MNFR REQS

DESIGN CODES

REFERENCE	
1.) INTERNATIONAL BUILDING CODE	2006
2.) BUILDING CODES FOR SRTUCT. CONC.	ACI-318-05
3.) BUILDING CODES FOR MAS. STRUCT.	ACI-530-05/ASCE 5-05
4.) SPECS FOR STRUC. STEEL	AISC 13TH ED.
DESIGN LOADS	
FLOOR LL	
FLOOR -	40 PSF
SLEEPING ROOM -	30 PSF
STAIRS -	40 PSF
ROOF LOAD	
MIN. LL -	30 PSF
GROUND SNOW LOAD (Pg) -	30 PSF
FLAT ROOF SNOW LOAD (Pf) -	24 PSF
SNOW EXPOSURE FACTOR (Ce)	1.0
SNOW LOAD IMPORTANCE FACTOR (Is)	1.0
THERMAL FACTOR (Ct)	1.0
WIND LOAD	
BASIC 3sec. GUST -	90MPH
WIND LOAD IMPORTANCE FACTOR	1.0
WIND EXPOSURE	C
INTERNAL PRESSURE COEFFICIENT	.018

BUILDING DATA

ELEMENT	R-VALUE (U-VALUE AT GLAZING)	SUNROOM
WINDOW/DOOR	0.40 (U-VALUE)	0.50 (U-VALUE)
SKYLIGHT	0.60 (U-VALUE)	0.75- (U-VALUE) 19
CEILING	49	19
WD. WALL	13+5	13
CONC. WALL	5	5
FLOOR	19	21
BASEMENT WALLS	10/13	10/13
SLAB ON GRADE	10	10
CRAWL SPACE	10/13	10/13
1.) USE R-10 WHEN APPLIED CONTINUOUSLY AGAINST THE WALL; USE R-13 WHEN BETWEEN STUDS		
2.) INSULATION MUST EXTEND FROM THE SLAB EDGE TO A LENGTH OF 24" VERT. AND/OR HORIZ.		
3.) USE INSULATION ON CRAWLSPACE WALL IN NON-VENTED CONDITION		

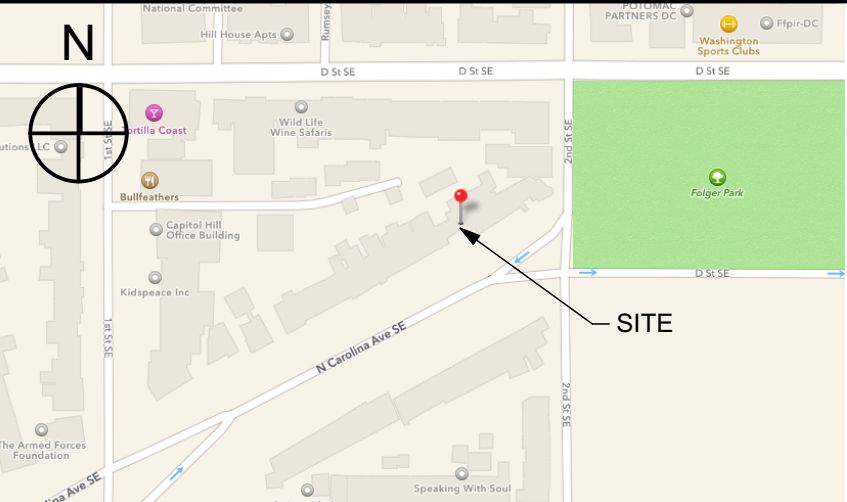
SCOPE OF WORK

EXPANDING 3 STORY ATTIC SPACE FOR NEW MASTER BEDROOM AND MASTER BATHROOM

BUILDING INFO SUMMARY

INTERIOR AREA		
GROSS	EXISTING 2430 SF	PROPOSED 2430 SF
BASEMENT	800 SF	
FIRST FLR	815 SF	
SECOND FLR	815 SF	
THIRD FLR		
EXTERIOR AREA		
TOTAL LOT	2425 SF	
LOT OCCUPANCY	ALLOWED 60% 1455.3 SF	EXISTING 40% 963 SF
ROOM INFO		
BEDROOMS	3	
BATHS	(1) FULL AND (2) 1/2	
BASEMENT	N/A	
ZONING		
SQUARE / LOT	0739 / 0800	
ZONE DISTRICT	R-4	

VICINITY MAP



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AVENUE DESIGN

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HOME RENOVATION

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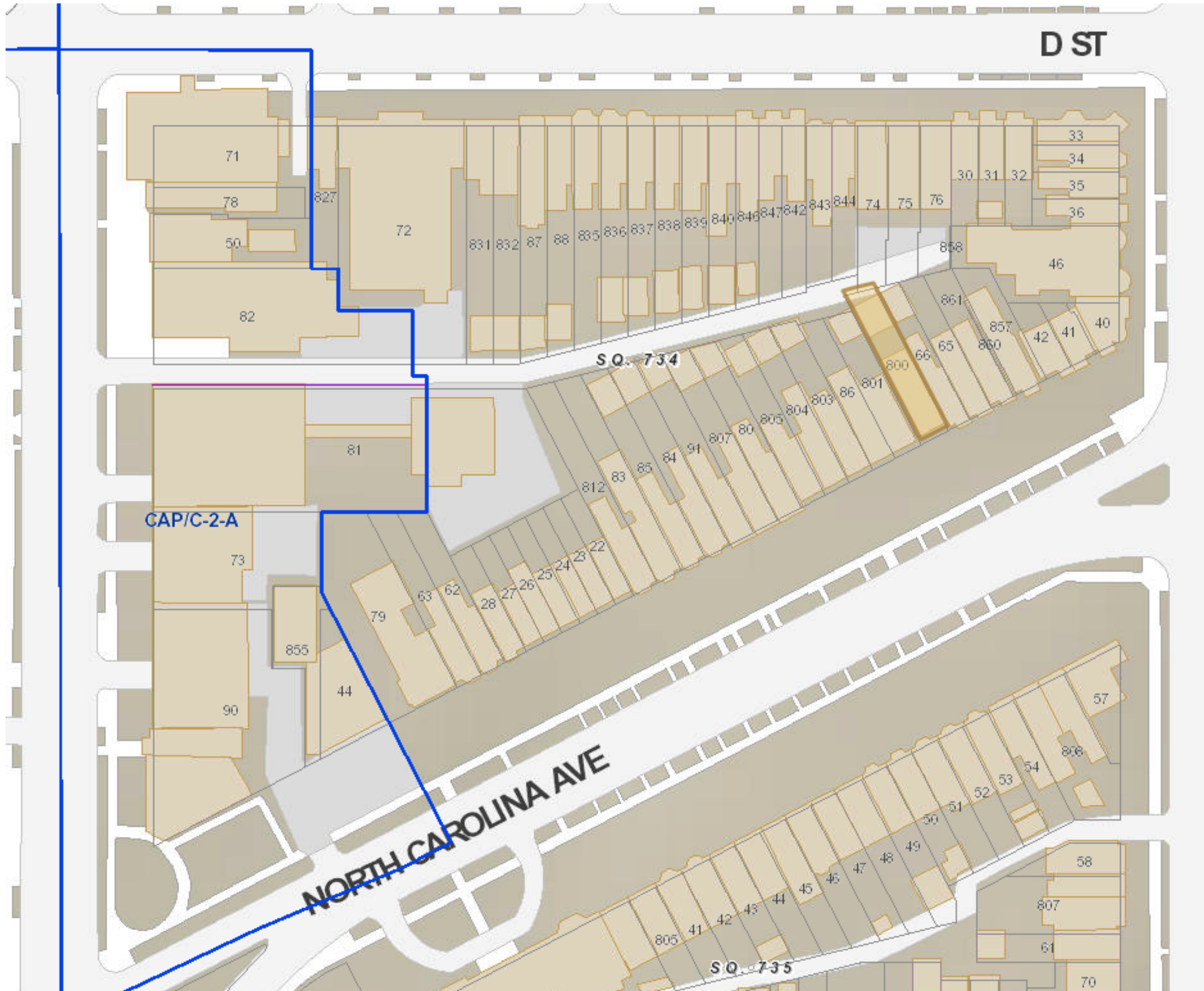
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SHEET TITLE

TITLE SHEET /
GENERAL
INFO

Board of Zoning Adjustment
District of Columbia
CASE NO. 19021
EXHIBIT NO.5

CS.01



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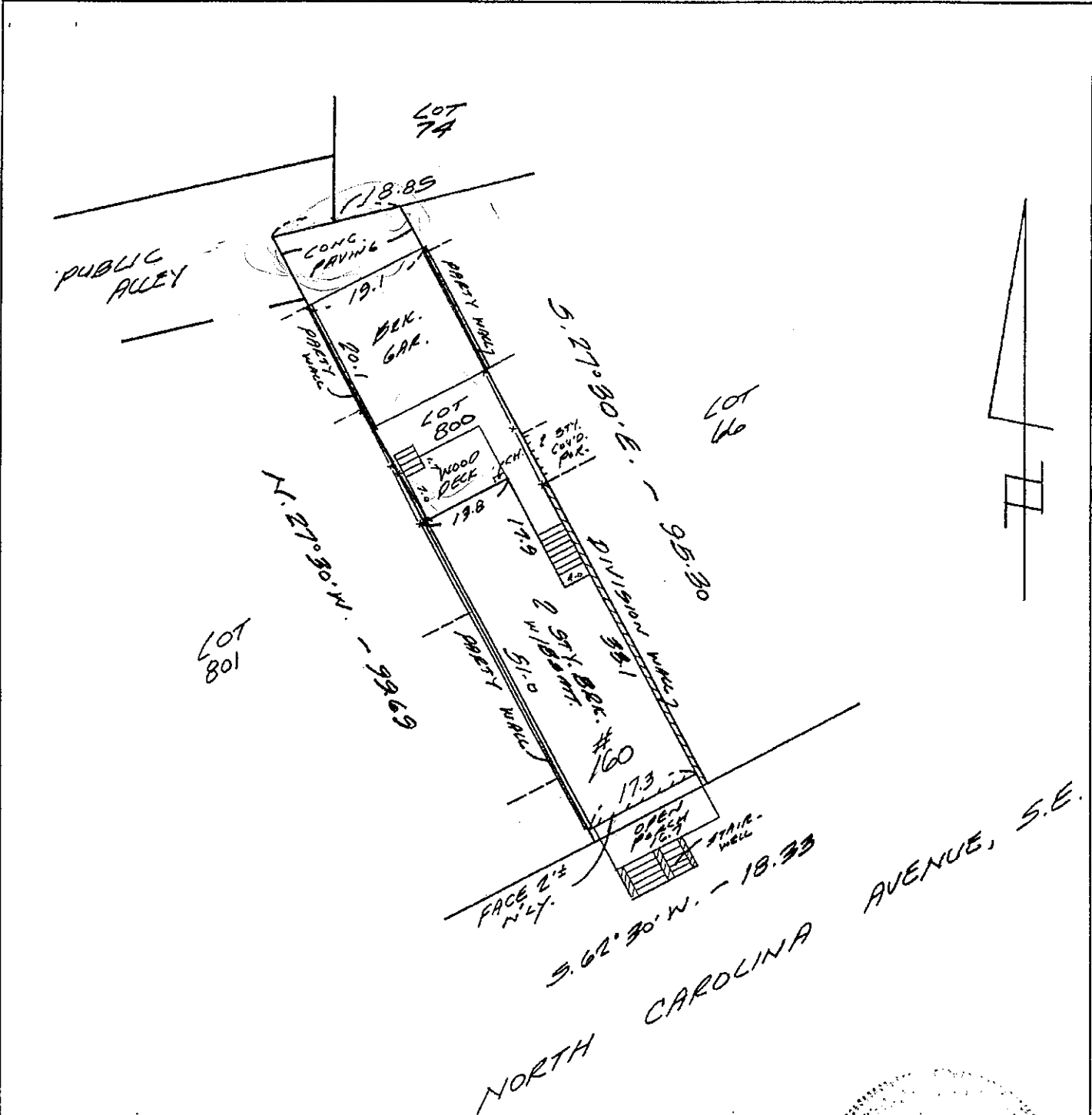
BLOCK MAP

CS.02

1

160 N CAROLINA AVE SE ZONING MAP

NOT TO SCALE



10762 Rhode Island Avenue Beltsville, MD 20705		Capitol Surveys, Inc.		Phone 301-931-1330 Fax 301-931-1332	
NOTE: This drawing is not intended to establish property lines. It cannot be used for construction or design purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed. This survey prepared for title purposes only. © As of current date.		HOUSE LOCATION LOT - 800 SQUARE - 734 SHOWN A.T. TRACINGS DISTRICT OF COLUMBIA		I hereby certify that the position of all the existing visible improvements on the above described property have been established by accepted field practices, and that unless otherwise shown there are no visible encroachments. EDWARD L. LOPEZ, JR. D.C. Licensed Land Surveyor No. LS900279	
DATE: July 18, 2011		Recorded in Liber _____ Folio _____ Scale 1" = 20'		CASE: EM-11-5114 FILE: 94057	



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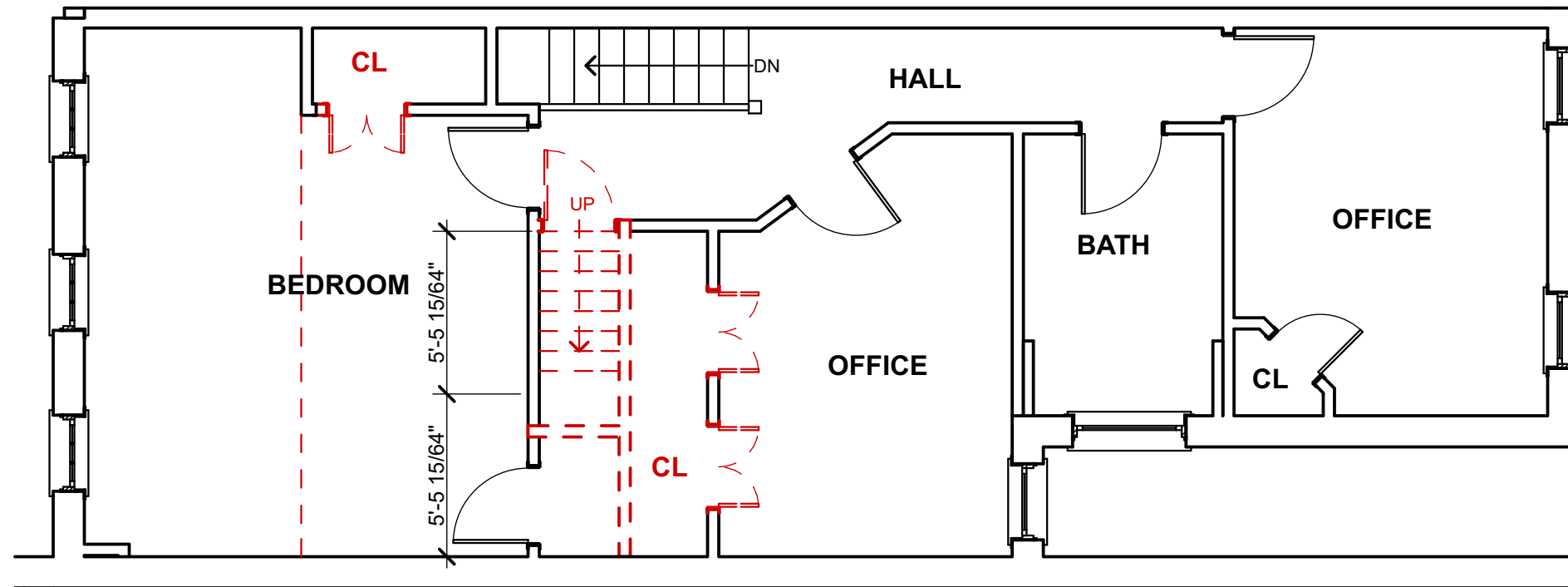
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SHEET TITLE

PLAT

CS.03



2

SECOND FLOOR DEMO PLAN

SCALE: 3/16" = 1'-0"

- EXISTING PARTITION TO BE DEMO'D
- EXISTING PARTITION TO REMAIN
- NEW GWB PARTITION - 2X WOOD STUDS @ 16" OC AND GWB EA SIDE (BATT INSULATION AT BUILDING PERIMETER)



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2ND FLOOR DEMO PLANS

D.01



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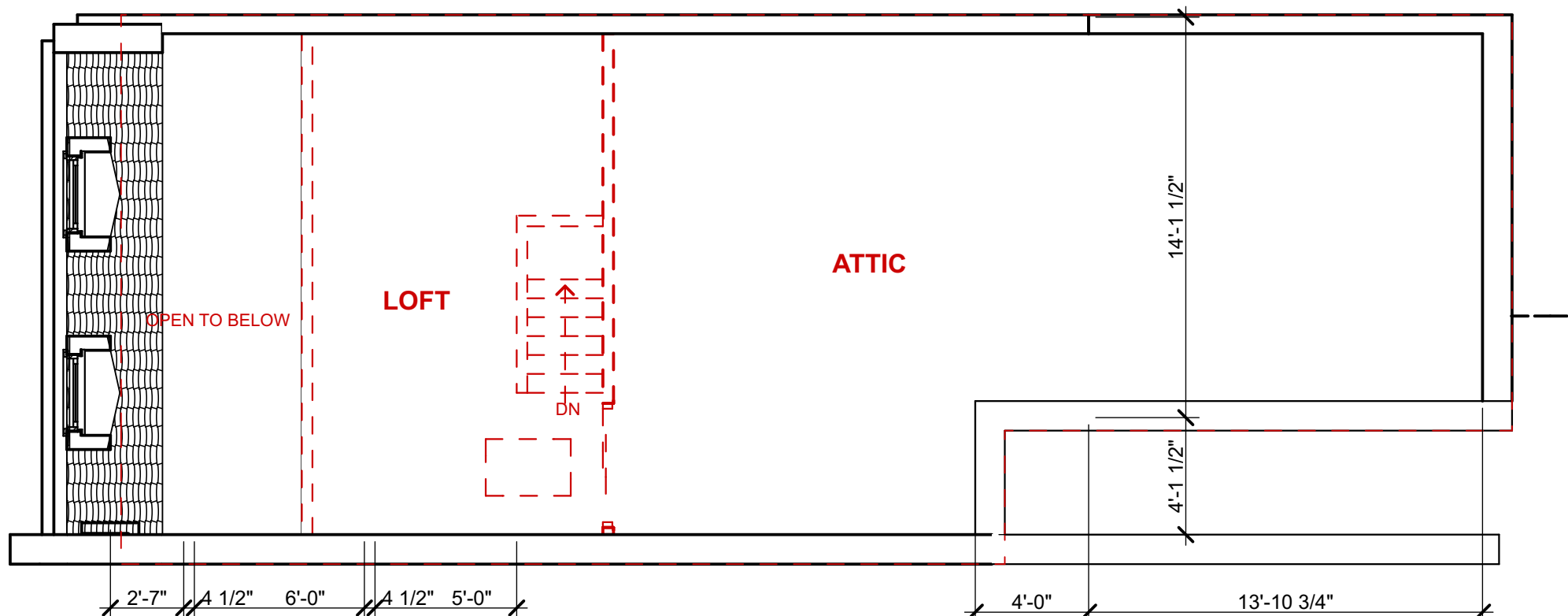
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ATTIC DEMO
PLAN

D.02



1

ATTIC FLOOR DEMO PLAN

SCALE: 3/16" = 1'-0"

--- EXISTING PARTITION TO BE DEMO'D

— EXISTING PARTITION TO REMAIN

— NEW GWB PARTITION - 2X WOOD STUDS
@ 16" OC AND GWB EA SIDE (BATT
INSULATION AT BUILDING PERIMETER)



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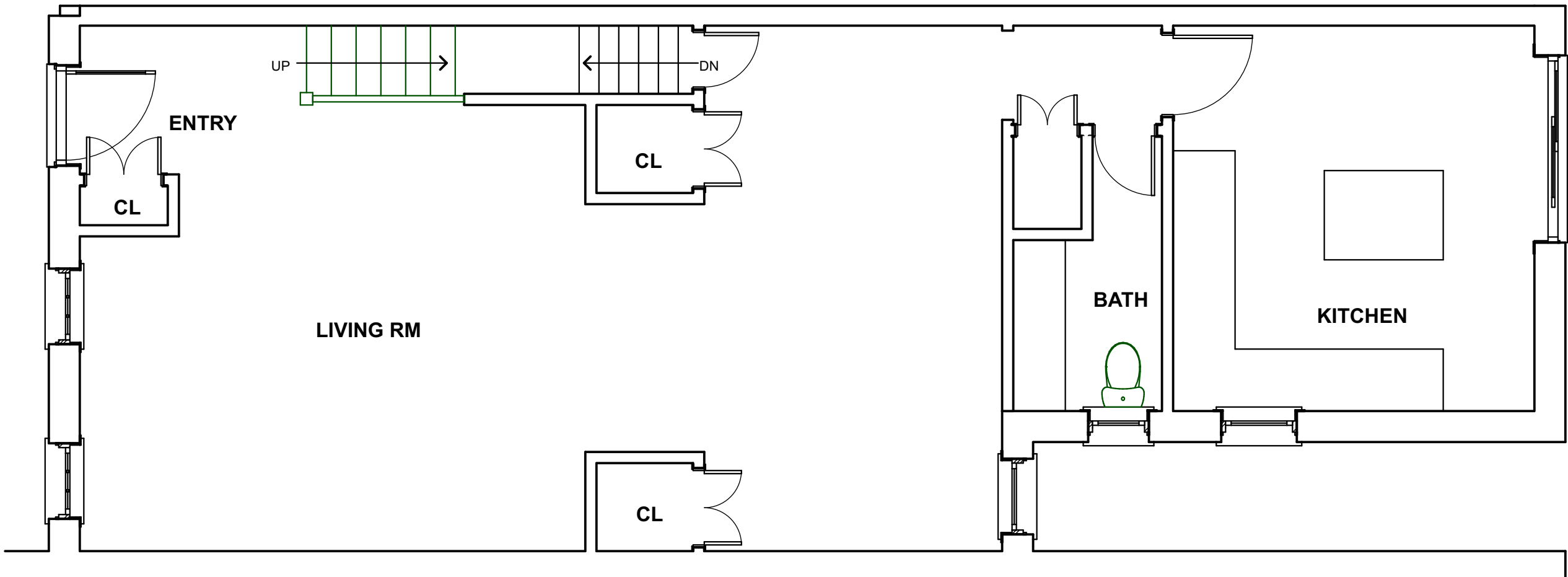
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SHEET TITLE

1ST FLOOR
PLANS

A.01



2 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

- EXISTING PARTITION TO REMAIN
- NEW GWB PARTITION - 2X WOOD STUDS @ 16" OC AND GWB EA SIDE (BATT INSULATION AT BUILDING PERIMETER)



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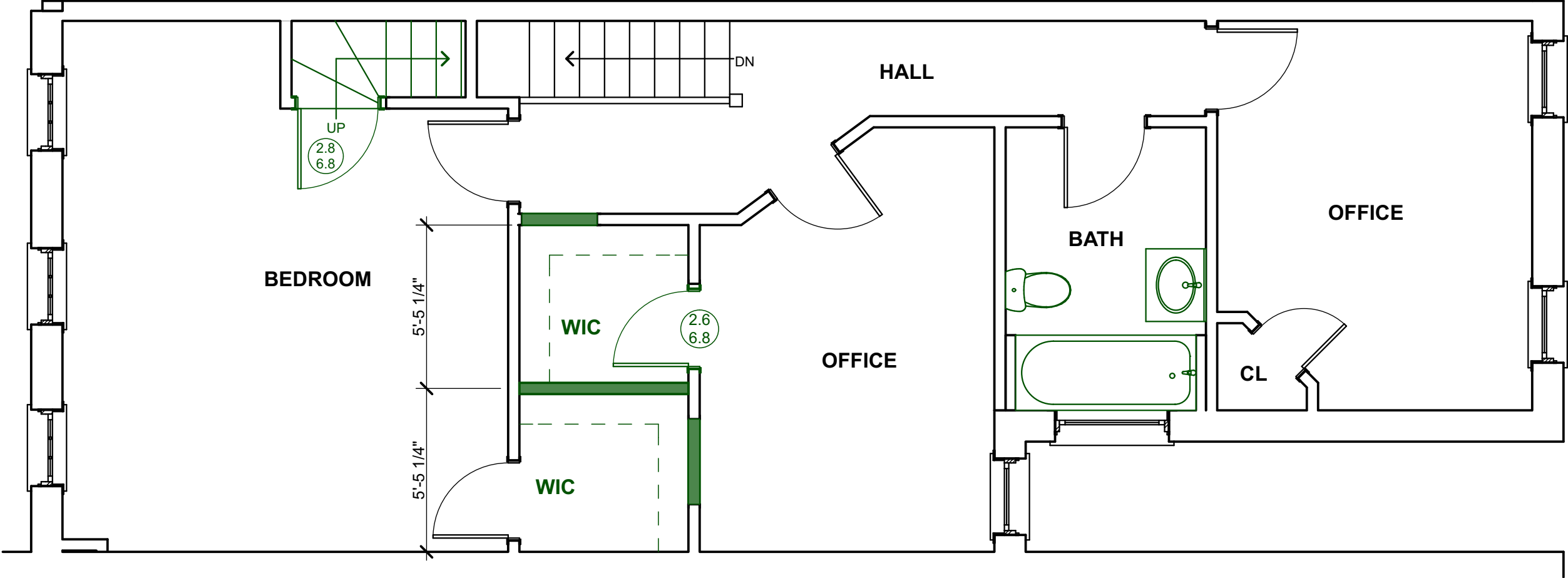
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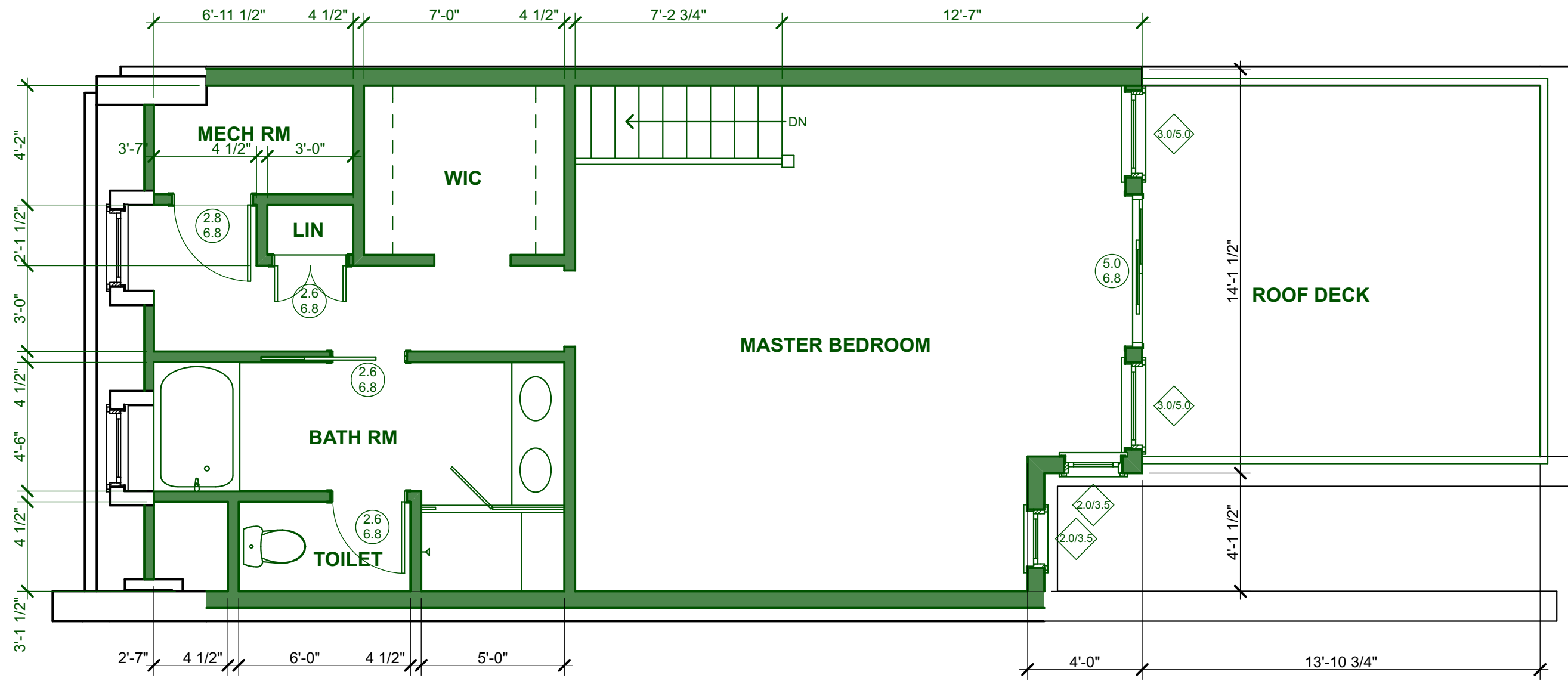
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**2ND FLOOR
PLAN**

A.02



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 ATTIC PLAN
SCALE: 1/4" = 1'-0"



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ATTIC PLAN

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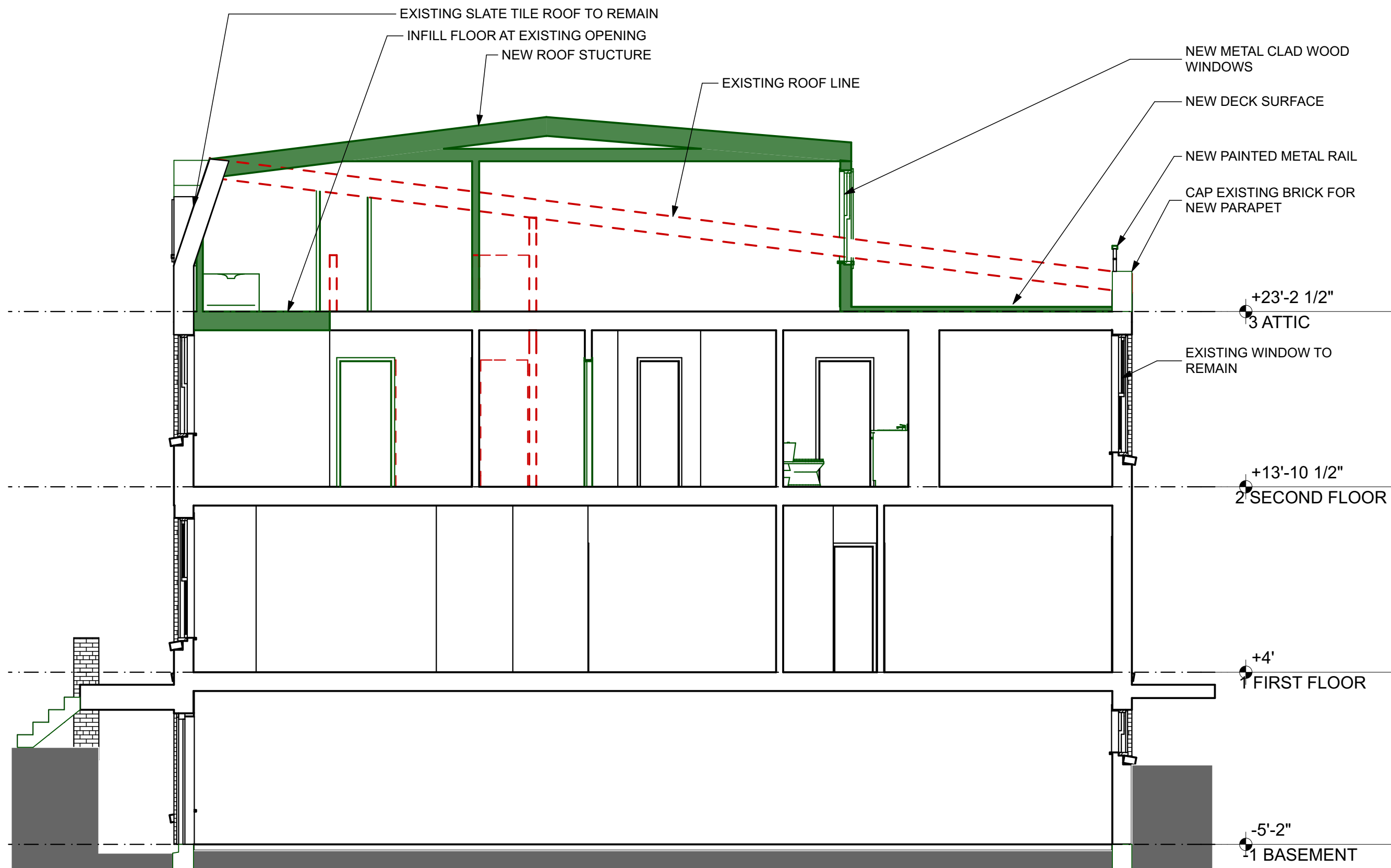
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BUILDING SECTION

A.04



1

BUILDING SECTION A

SCALE: 3/16" = 1'-0"



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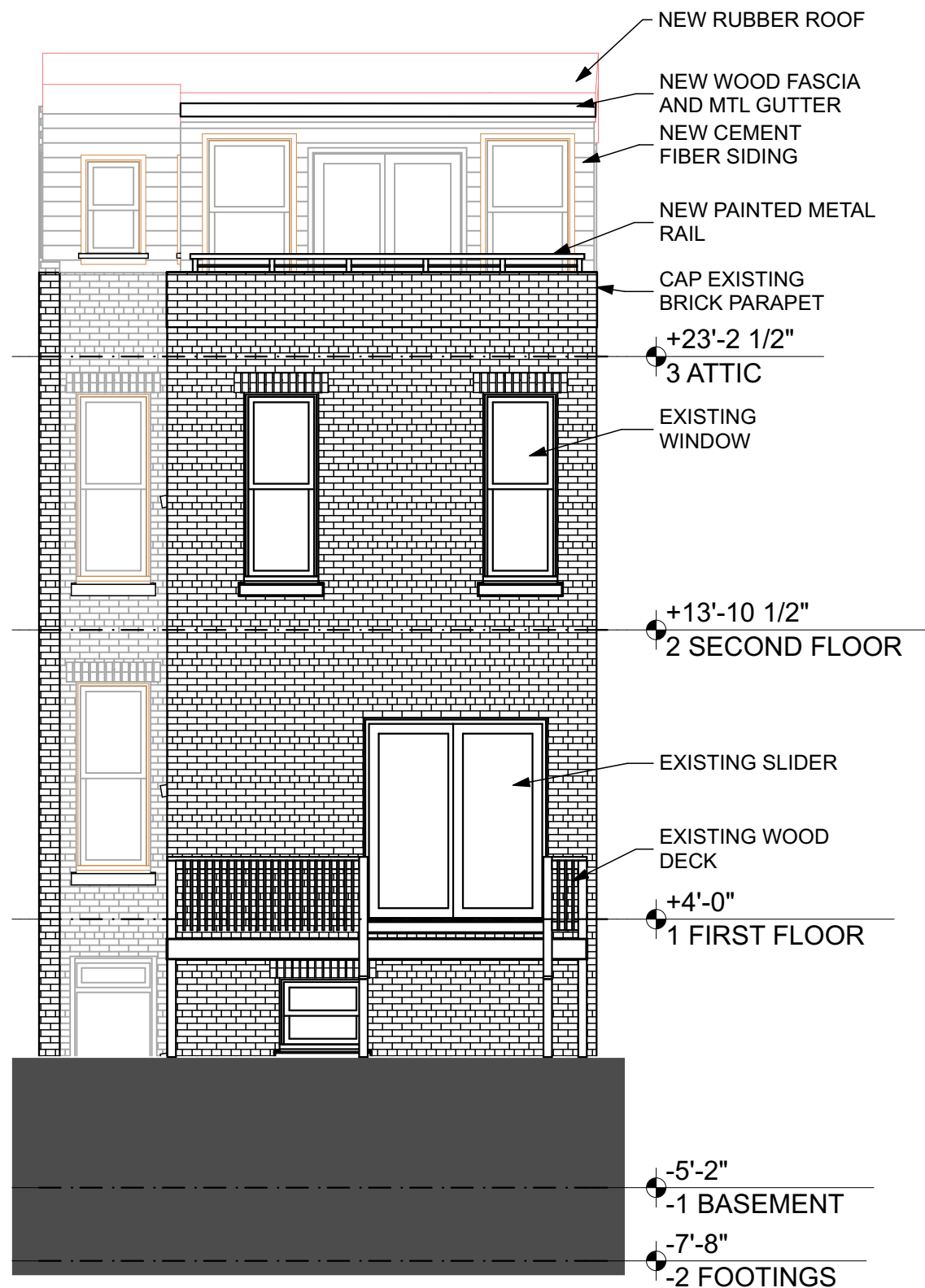
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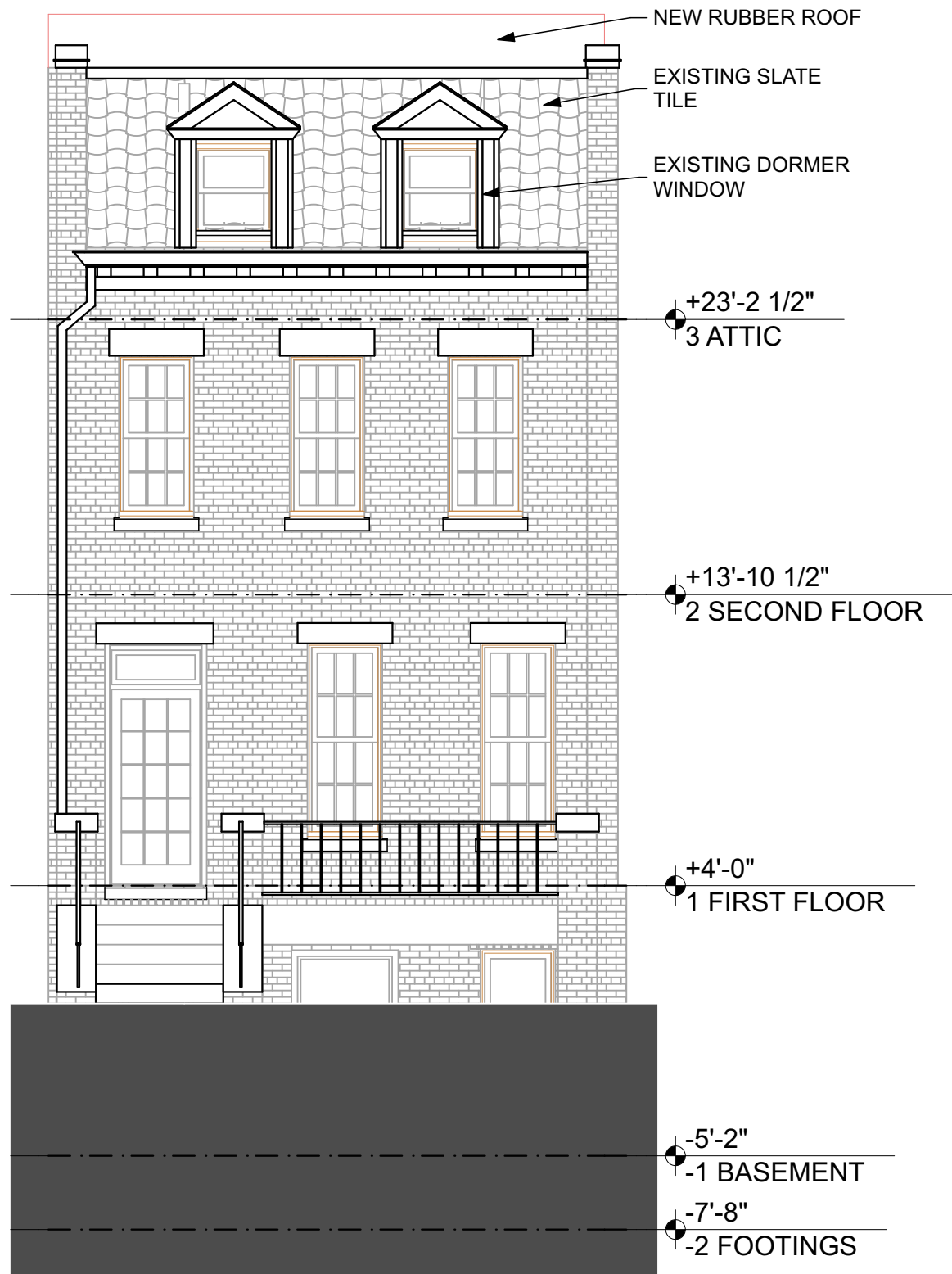
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**PROPOSED
BUILDING
ELEVATIONS**

A.06



2 REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



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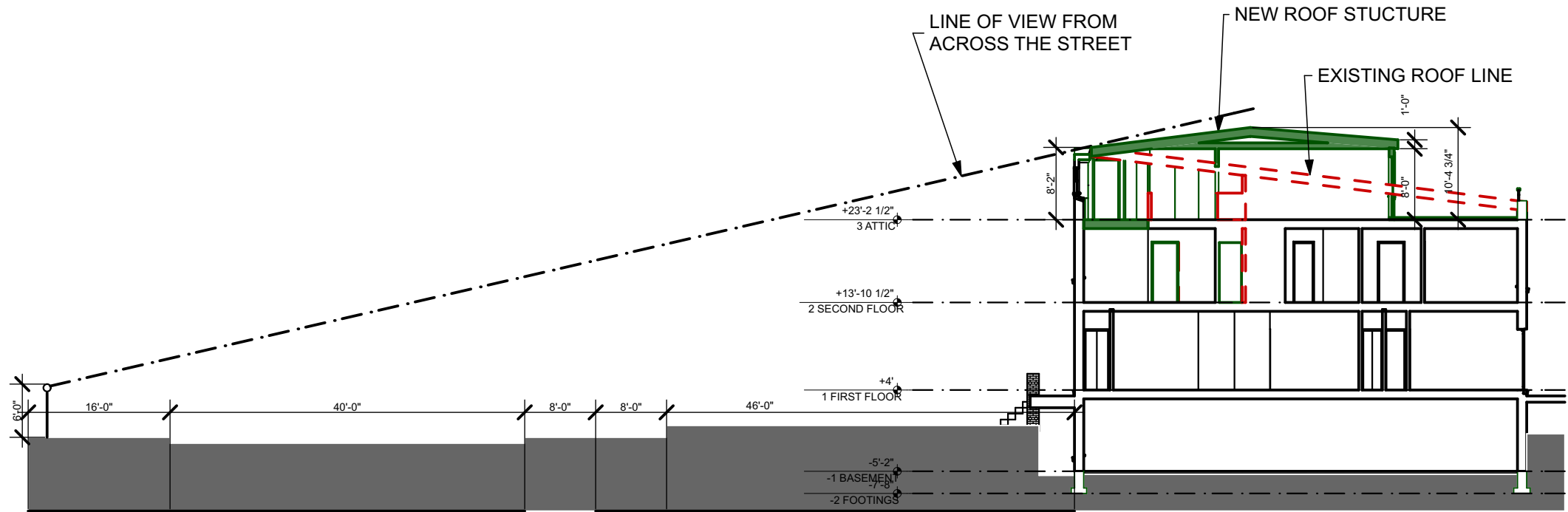
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SITE SECTION

A.07



1 SITE SECTION B
SCALE: 1/16" = 1'-0"