



DCRA APPROVAL STAMPS

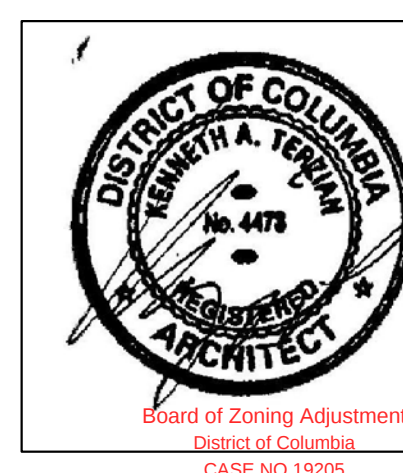
REAR DECK
ADDITION
TO THE
PRIVATE RESIDENCE
AT
1541 44TH ST., N.W. WASHINGTON, D.C. 20007

KENNETH A. TERZIAN ARCHITECT

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AUGUST 10, 2015

ISSUED FOR PERMIT



Board of Zoning Adjustment
District of Columbia
CASE NO. 1500-00000
EXHIBIT NO. 9

GENERAL NOTES

DIVISION 1 - GENERAL REQUIREMENTS

1.1 THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2012 ICC IRC AND DC AMMENDMENTS.

1.2 ALL WORK SHALL COMPLY WITH ALL CURRENT CODES AND IN ACCORDANCE WITH LOCAL REGULATIONS AND THOSE HAVING JURISDICTION. CURRENT CODES INCLUDE THE FOLLOWING:

2012 ICC RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
2012 ICC EXISTING BUILDING CODE
TITLE 12 DCMR, DC CONSTRUCTION CODES SUPPLEMENT (2013)

1.3 WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OWNERS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. CUT SHEETS AND PRODUCT LITERATURE MUST BE SUBMITTED TO THE OWNERS FOR APPROVAL BEFORE PROCEEDING WITH PURCHASING.

1.4 ALL DIMENSIONS INDICATED ARE AS FINISHED DIMENSIONS UNLESS OTHERWISE NOTED.

1.5 THE OWNER WILL PROVIDE THE BUILDING PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER NECESSARY PERMITS AND INSPECTIONS TO PERFORM CONSTRUCTION DESCRIBED BY THE CONTRACT DOCUMENTS.

1.6 THESE DRAWINGS NEITHER APPROVE NOR IMPLY THE STRUCTURAL INTEGRITY OF THE EXISTING CONDITION, VERIFICATION OF SUCH BEING SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.

1.7 NEW FIXTURES, FITTINGS, APPLIANCES, ELECTRICAL AND MECHANICAL EQUIPMENT, CABINETRY, ARCHITECTURAL FEATURES AND FINISHES, ETC. SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS IN SUCH A MANNER THAT ALL GUARANTEES AND WARRANTIES, EXPRESSED OR IMPLIED, ARE VALID AND WITH ADEQUATE CLEARANCE FOR SERVING.

1.8 CONTRACTOR SHALL CARRY ALL NECESSARY LIABILITY AND WORKERS COMPENSATION INSURANCE TO PROTECT HIMSELF AND THE OWNER FROM CLAIMS WHICH MAY ARISE OUT OF OR RESULT FROM THE CONTRACTOR OPERATING UNDER THE CONTRACT.

1.9 IF ASBESTOS CONTAINING MATERIALS ARE PRESENT IN THE BUILDING THE OWNER SHALL RETAIN A CONSULTANT TO EVALUATE AND RECOMMEND PROPER ACTION. ASBESTOS REMOVAL OR TREATMENT SHALL BE CARRIED OUT BY A SPECIALTY CONTRACTOR CERTIFIED BY THE LOCAL JURISDICTION. ASBESTOS REMOVAL SHALL BE COMPLETED PRIOR TO THE WORK COVERED BY THESE DOCUMENTS.

1.10 CONTRACTORS TO PERFORM WORK AS SPECIFIED WITH MINIMAL DISTURBANCE TO ADJACENT AREAS. CONTRACTOR TO STABILIZE EXISTING ADJACENT CONDITIONS AND PROTECT EXISTING CONDITIONS WHERE REQUIRED, WHETHER OR NOT INDICATED ON THE DRAWINGS.

1.11 ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER IN ACCORDANCE WITH GENERALLY ACCEPTED TRADE PRACTICES.

1.12 ALL MATERIALS TO BE NEW AND OF TOP QUALITY, UNLESS OTHERWISE NOTED.

1.13 ALL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER IN WRITING PRIOR TO PERFORMANCE OF WORK. CONTRACTOR SHALL MAKE SUBMITTALS NECESSARY FOR OWNER TO DETERMINE IF SUBSTITUTIONS ARE OF 'EQUAL' QUALITY AND INTEGRITY.

1.14 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING UTILITY SERVICE AND COORDINATING ALL NEW INSTALLATIONS. ALL ADDITIONAL SERVICES OR HEAVY-UPS OF EXISTING SERVICES REQUIRED BY THE WORK DESCRIBED HEREIN ARE TO BE INCLUDED IN THE SCOPE OF WORK AND ARE TO BE APPLIED FOR AND COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES BY THE CONTRACTOR.

1.15 THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

1.16 CONTRACTOR SHALL INSPECT THE SITE PRIOR TO CONSTRUCTION AND SHALL BASE ALL DESCRIPTION OF WORK, BIDS, AND PROPOSALS ON THE BASIS OF THE CONDITIONS OF THE SITE. CONTRACTOR'S SUBMITTAL OF BID TO PERFORM WORK SHALL ASSUME CONTRACTOR'S FAMILIARITY WITH ALL CONDITIONS PRESENT WHERE ACCESSIBLE TO VIEW. THE INCLUSION OF ALL WORK IN ACCORDANCE WITHIN THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE INCLUDED IN THE SCOPE OF WORK UNLESS SPECIFICALLY NOTED OTHERWISE IN THE BID.

1.17 CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

DIVISION 2 - DEMOLITION

2.1 REMOVE ALL ITEMS INDICATED IN DEMOLITION DRAWINGS AND AS REQUIRED TO PERFORM WORK DESCRIBED IN THE CONTRACT DOCUMENTS.

2.2 CONTRACTOR TO COORDINATE ALL DEMOLITION SEQUENCES AND INTERFACING WITH WORK FROM OTHER TRADES.

2.3 ALL DEBRIS TO BE REMOVED PROMPTLY FROM THE SITE.

2.4 CONTRACTOR TO IMMEDIATELY NOTIFY THE OWNER IF CONDITIONS AT SITE VARY FROM THOSE INDICATED ON DRAWINGS, INCLUDING COMPLICATIONS DISCOVERED DURING AND/OR AFTER DEMOLITION.

2.5 THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING REQUIRED FOR THE INSTALLATION OF NEW MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AND SHALL BE RESPONSIBLE FOR DETERMINING ALL LOCATIONS FOR THIS DEMOLITION AND COORDINATE ALL SUCH DEMOLITION WITH THE RESPECTIVE TRADES. CUTTING OF STRUCTURE WHALL BE ONLY AS APPROVED BY ARCHITECT OR STRUCTURAL ENGINEER.

DIVISION 3 - CONCRETE

3.1 ALL NEW CONCRETE TO BE LEVEL AND EVEN UNLESS OTHERWISE INDICATED. WHERE EXTERIOR SURFACES ARE EXPOSED TO WEATHER, SLOPE TO DRAIN MINIMUM 1/4" PER FOOT AWAY FROM BUILDING.

3.2 EXTERIOR CONCRETE SLAB TO HAVE 1/2" EXPANSION JOINTS AT ALL JOINTS WHERE SLAB MEETS COLUMNS AND WALLS.

3.3 STRENGTH OF CONCRETE SHALL BE 3000 PSI @ 28 DAYS MINIMUM.

3.4 WATER TO BE FREE AND CLEAN OF DELETERIOUS AMOUNTS OF ACID, ALKALI, SALT, AND ORGANIC MATERIALS.

3.5 NO ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECT.

DIVISION 4 - MASONRY - NOT USED

DIVISION 5 - METALS - NOT USED

DIVISION 6 - WOOD AND PLASTICS

6.1 WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED LUMBER UNLESS NOTED OTHERWISE.

6.2 FRAMING LUMBER TO BE HEM FIR #2 OR BETTER, SIZE AND SPACING AS NOTED

DIVISION 7 - THERMAL AND MOISTURE PROTECTION - NOT USED

DIVISION 8 - DOORS & HARDWARE - NOT USED

DIVISION 9 - FINISHES - NOT USED

DIVISION 10 - SPECIALITIES

10.1 SPIRAL STAIR TO BE PAINTED ALUMINUM, EXTERIOR GRADE, 5-2" TO MEET CODE REQUIREMENTS.

DIVISION 11 - EQUIPMENT - NOT USED

DIVISION 12 - FURNISHINGS - NOT USED

DIVISION 13 - SPECIAL CONSTRUCTION - NOT USED

DIVISION 14 - CONVEYING SYSTEMS - NOT USED

DIVISION 15 - MECHANICAL - NOT USED

DIVISION 16 - ELECTRICAL - NOT USED

ZONING – CODE INFORMATION

APPLICABLE CODES			
2013 DCMR12			
2012 INTERNATIONAL RESIDENTIAL CODE (IRC)			
USE: R 3 ROW DWELLING – RESIDENTIAL, WOOD FRAME			
SQUARE 1327, LOT 0040			
	REQUIRED	EXISTING	PROPOSED
BUILDING FOOTPRINT		755 S.F.	856 S.F.
DECK		99 S.F.	105 S.F.
GROSS BUILDING AREA		2187 S.F.	2478 SF
LOT AREA		1825 S.F.	
BUILDING AREA(FOOTPRINT) 60% MAX		41%	47%
		755 SF	856 SF
SIDE YARD	NONE		
REAR YARD*	20’ MIN	15.17’	13.5’
HEIGHT	40’ MAX	BELOW 40’	UNCHANGED
STORIES	3 MAX	2	UNCHANGED
LIMITS OF DISTURBANCE			112 S.F.
EXCAVATION VOLUME			135 CU FT

* REFERENCE BZA SPECIAL EXCEPTION APPLICATION FOR SPECIAL EXCEPTION ON REAR YARD SET BACK

STRUCTURAL LOADING

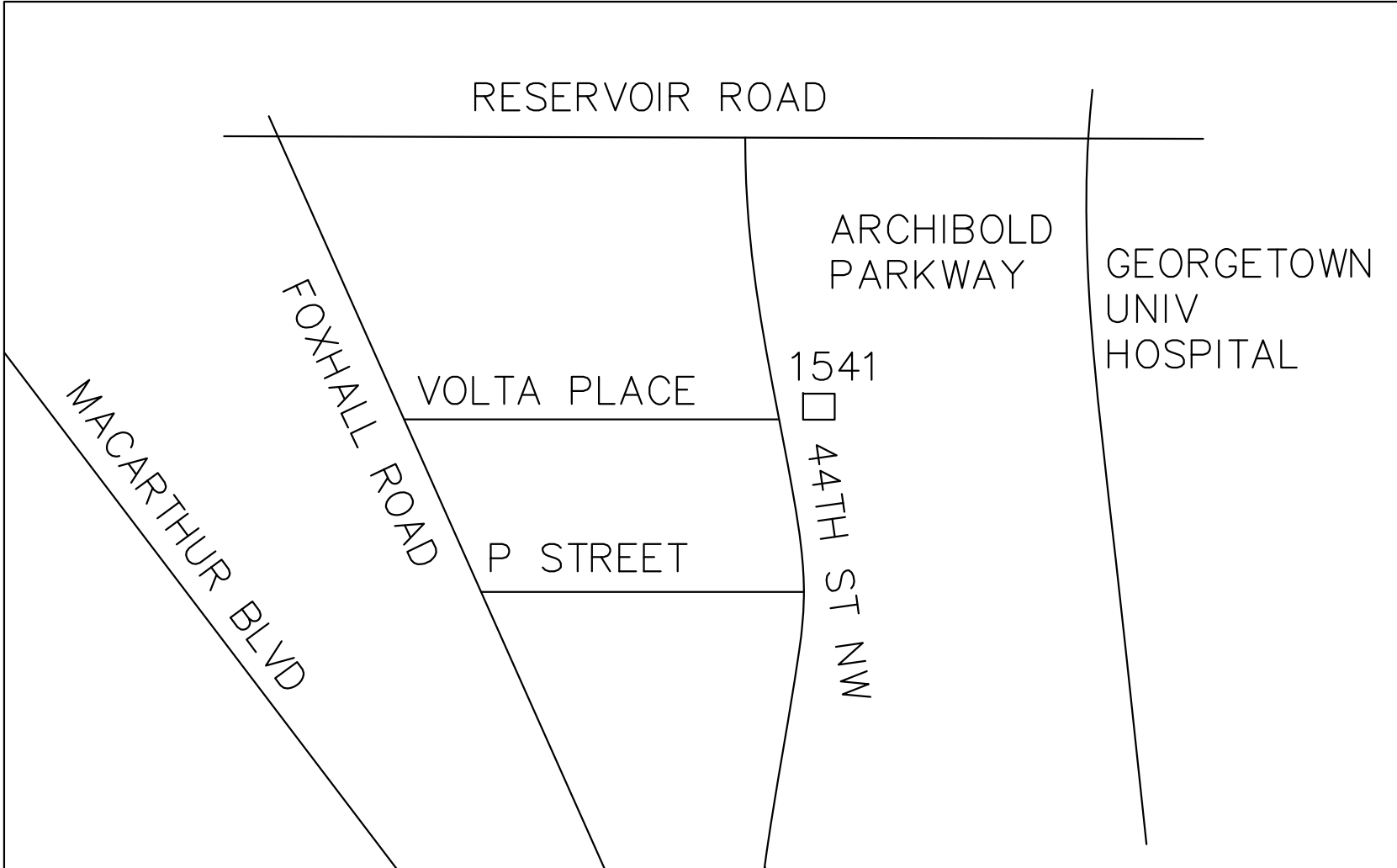
FLOOR LOADS – 40 LB LIVE LOAD/20 LB DEAD LOAD

ROOF LOADS – 30 LB LIVE LOAD/20 LB DEAD LOAD

ASSUMED SOIL BEARING CAPACITY – 2000 PSF

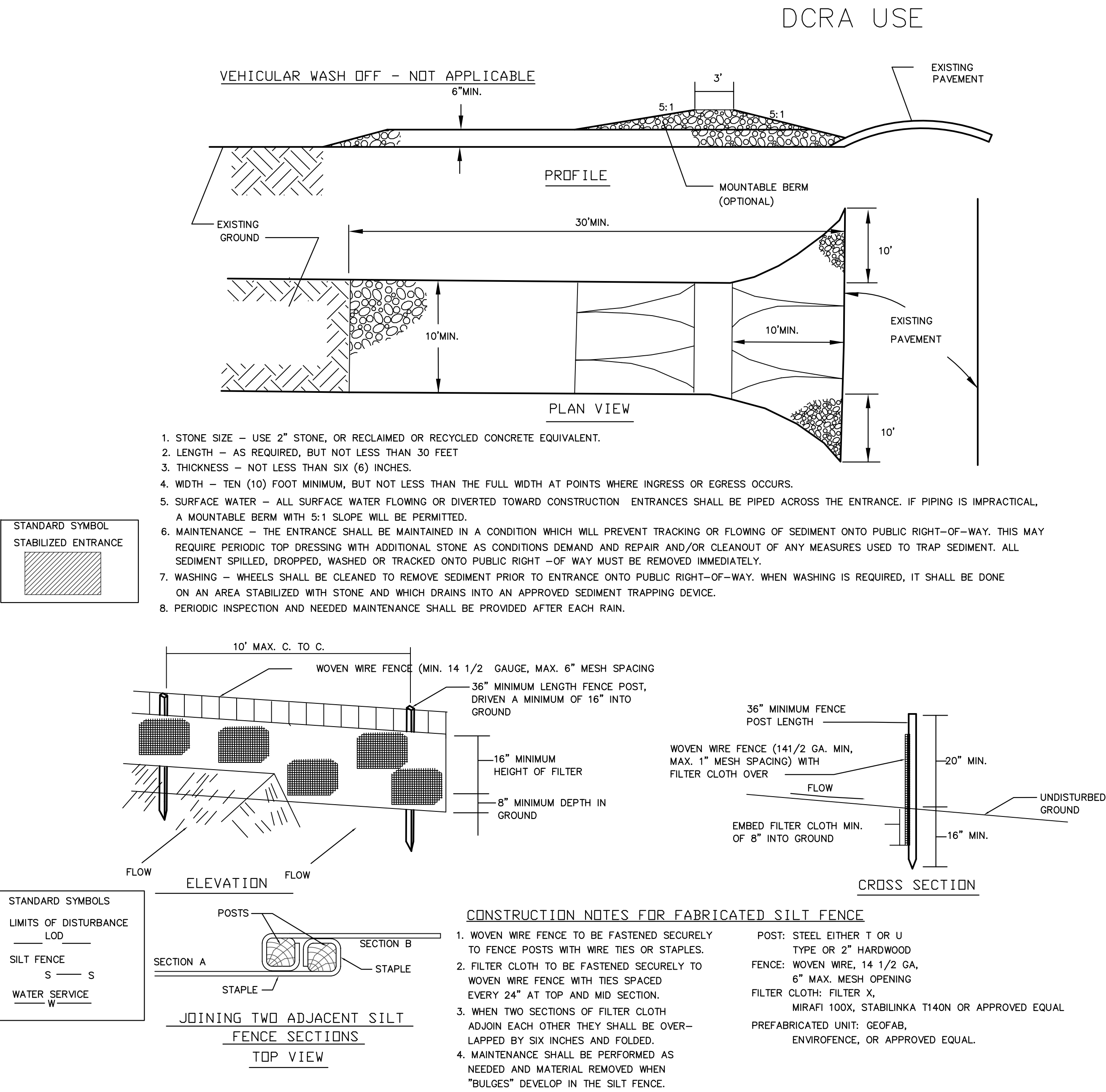
SITE / LOCATION PLAN

NOT TO SCALE



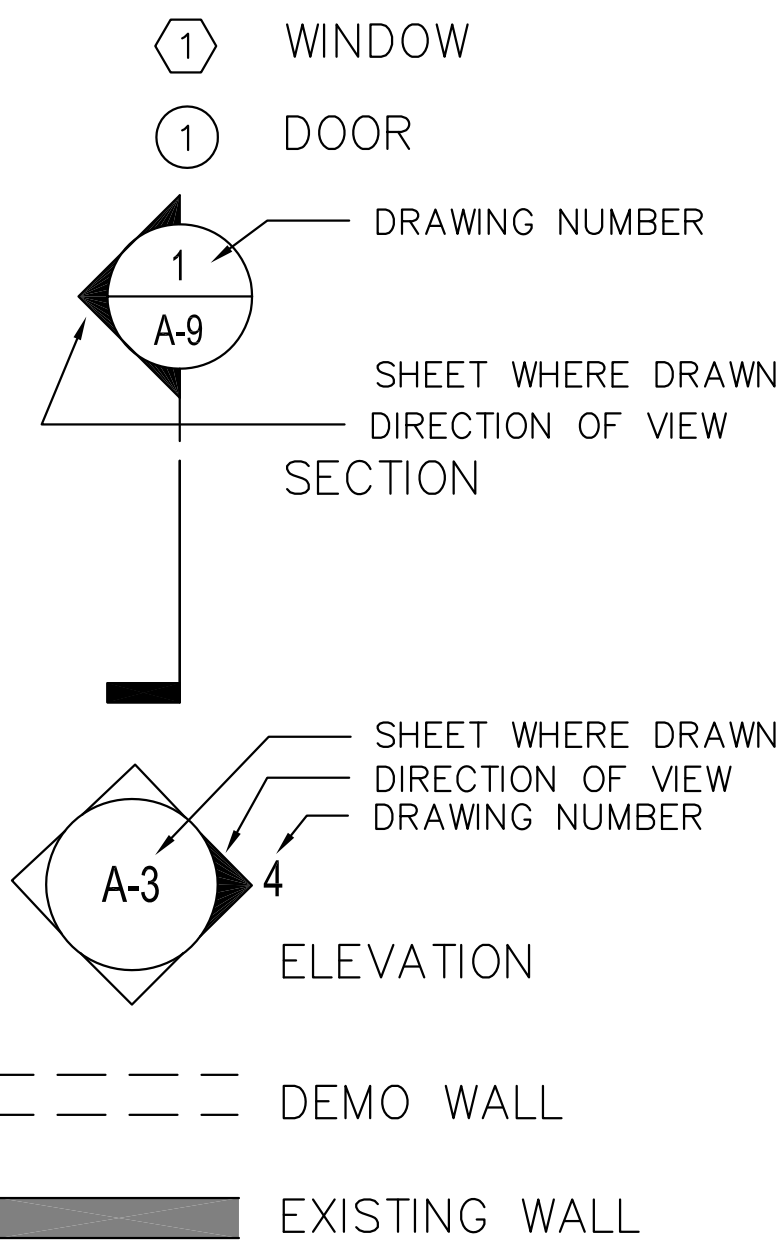
SUMMARY SCOPE OF WORK

THE SCOPE OF WORK INVOLVES ONE STORY DECK ADDITION TO A TWO-STORY WOOD FRAMED SINGLE-FAMILY ATTACHED HOUSE.



SOIL EROSION CONTROL DETAILS – (NOT ALL MAY BE APPLICABLE)

SYMBOLS / LEGEND



ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
BDRM	BEDROOM
BR	BASE REGISTER
BSMT	BASEMENT
CONC	CONCRETE
CL	CLOSET
CR	CEILING REGISTER
DBL	DOUBLE
DIA	DIAMETER
DN	DOWN
EX	EXISTING
FCU	FAN COIL UNIT
FT	FEET
GRND	GROUND
GYP BD	GYPSPUM WALLBOARD
HP	HEAT PUMP
IN	INCHES
LAUND	LAUNDRY
LAV	LAVATORY
MO	MASONRY OPENING
NIC	NOT IN CONTRACT
OPCI	OPPOSITE HAND
OP HAND	OWNER PROVIDED CONTRACTOR INSTALLED
PDR	POWDER
RAG	RETURN AIR GRILL
RM	ROOM
RO	ROUGH OPENING
SF	SQUARE FOOT
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
WH	WATER HEATER

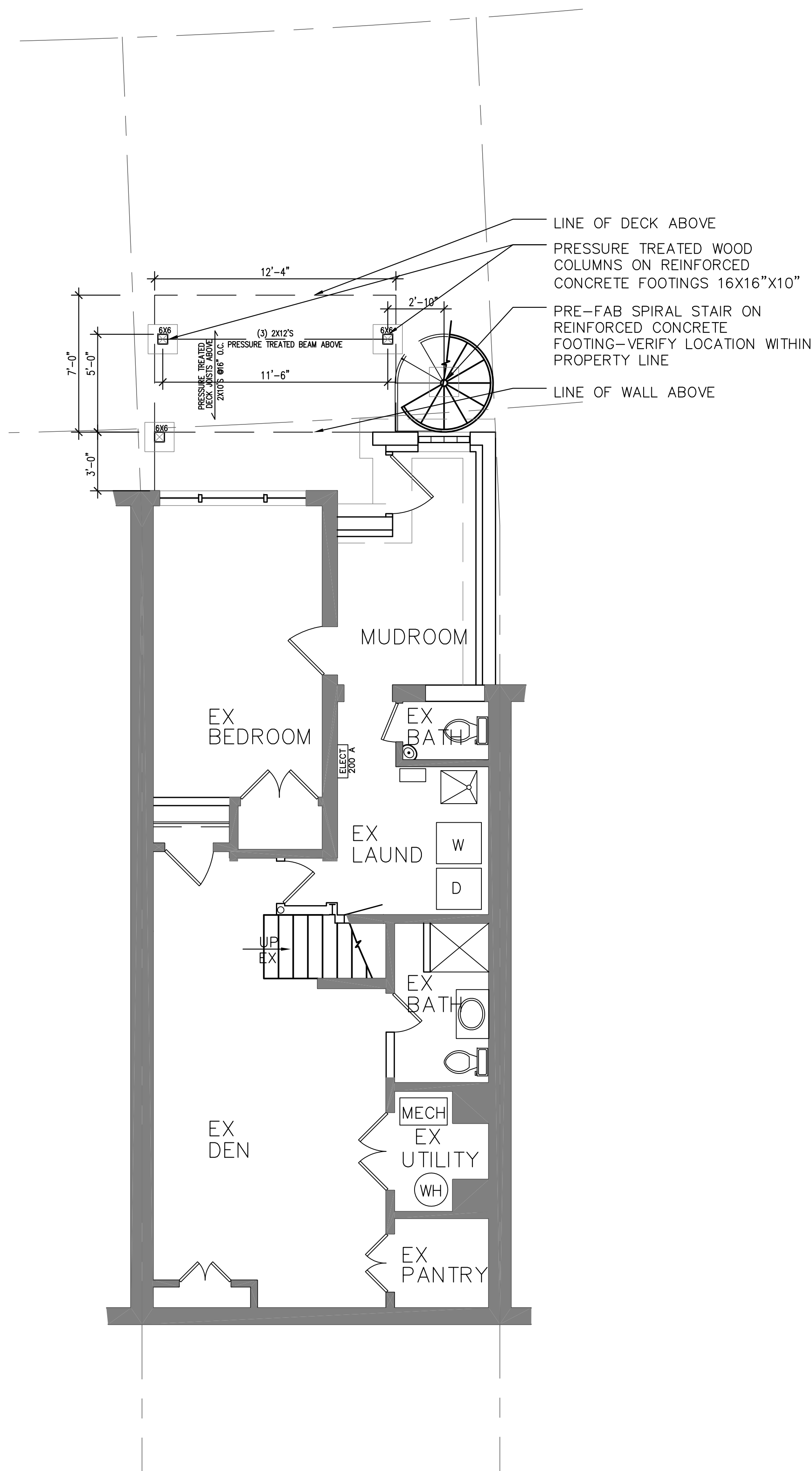
LIST OF DRAWINGS

A0000	COVER
A0001	GENERAL INFORMATION – NOTES
A0002	NOT USED
A0003	FLOOR PLANS DECK
A0004	ELEVATIONS, SECTIONS
A0005	DETAILS

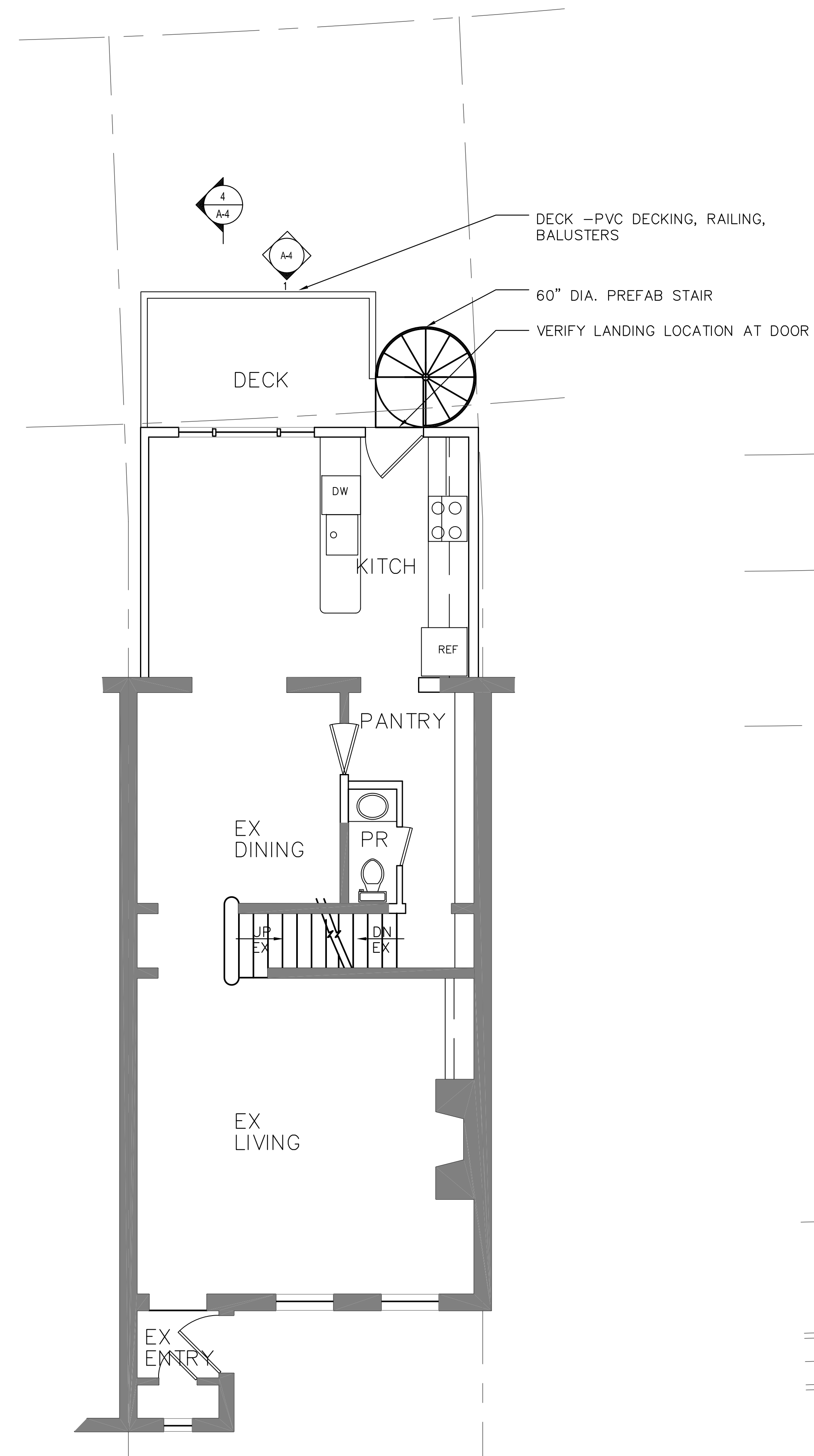


PRIVATE RESIDENCE 1541 44TH ST., N.W. WASHINGTON, D.C. 20007–20004	Consultants		KENNETH A. TERZIAN ARCHITECT 4451 29TH STREET, N.W. WASHINGTON, D.C. 20008 PHONE (202) 487–5161 / EMAIL ken.terzian@verizon.net	Sheet Title GENERAL INFORMATION		
				ISSUED FOR PERMIT	Date 08/10/15	Scale AS NOTED
					Job No. 1541	Drawing No. A0001

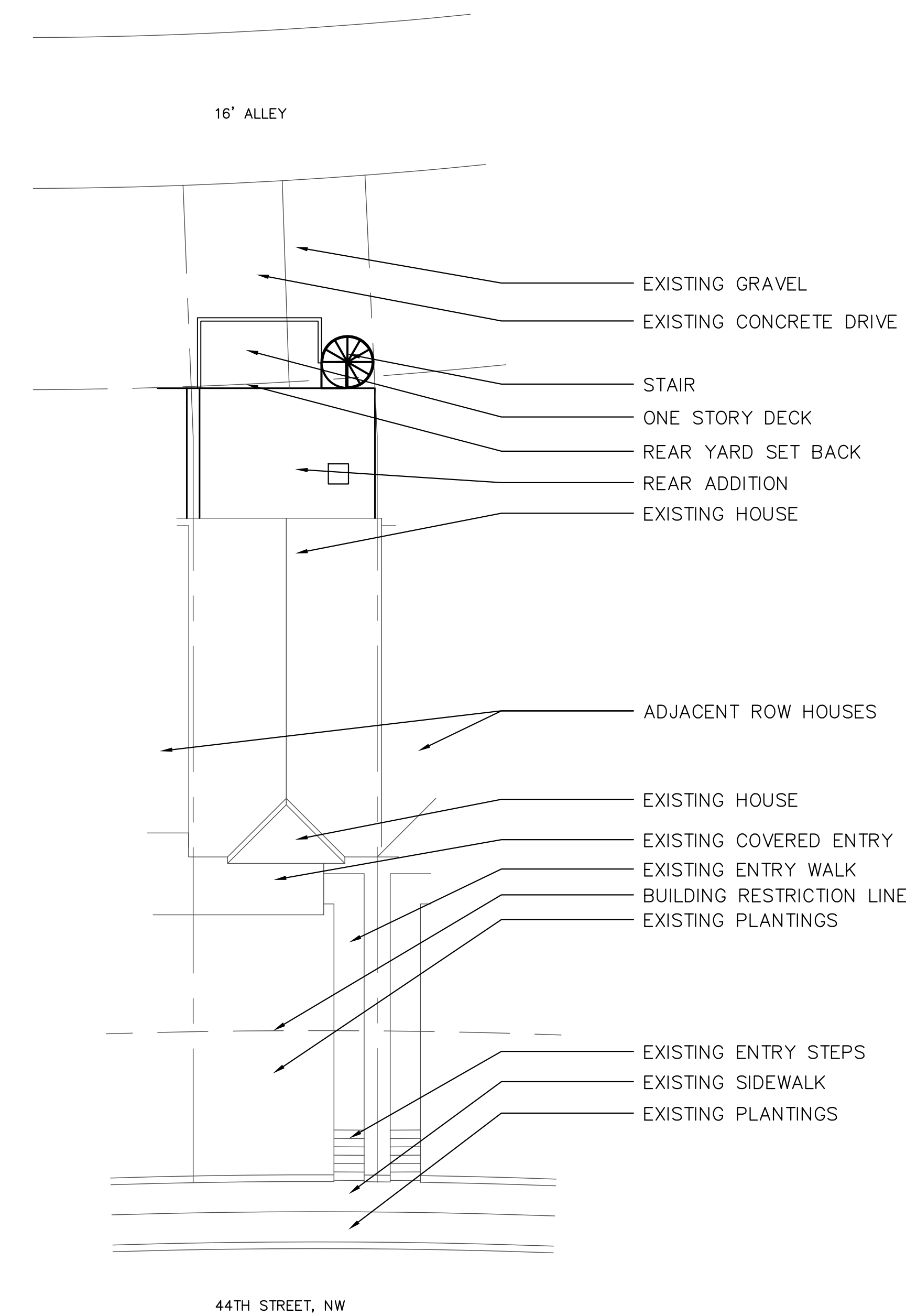
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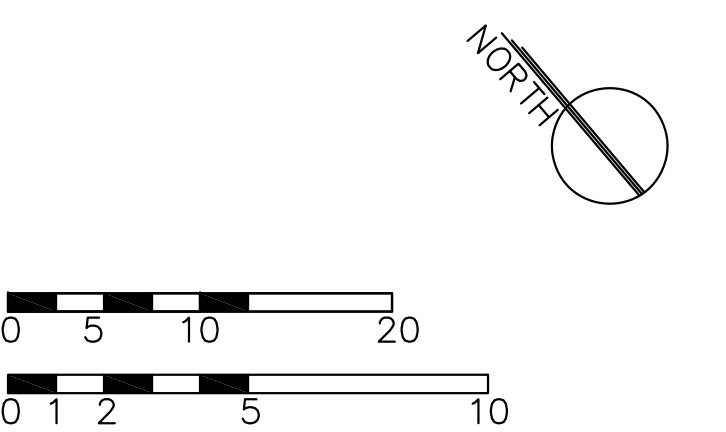
1 BASEMENT FLOOR PLAN
A-3 1/4" = 1'-0"



2 FIRST FLOOR PLAN
A-3 1/4" = 1'-0"



3 SITE PLAN
A-3 1"=10'-0"



PRIVATE RESIDENCE

1541 44TH ST., N.W. WASHINGTON, D.C. 20007-2004

Consultants

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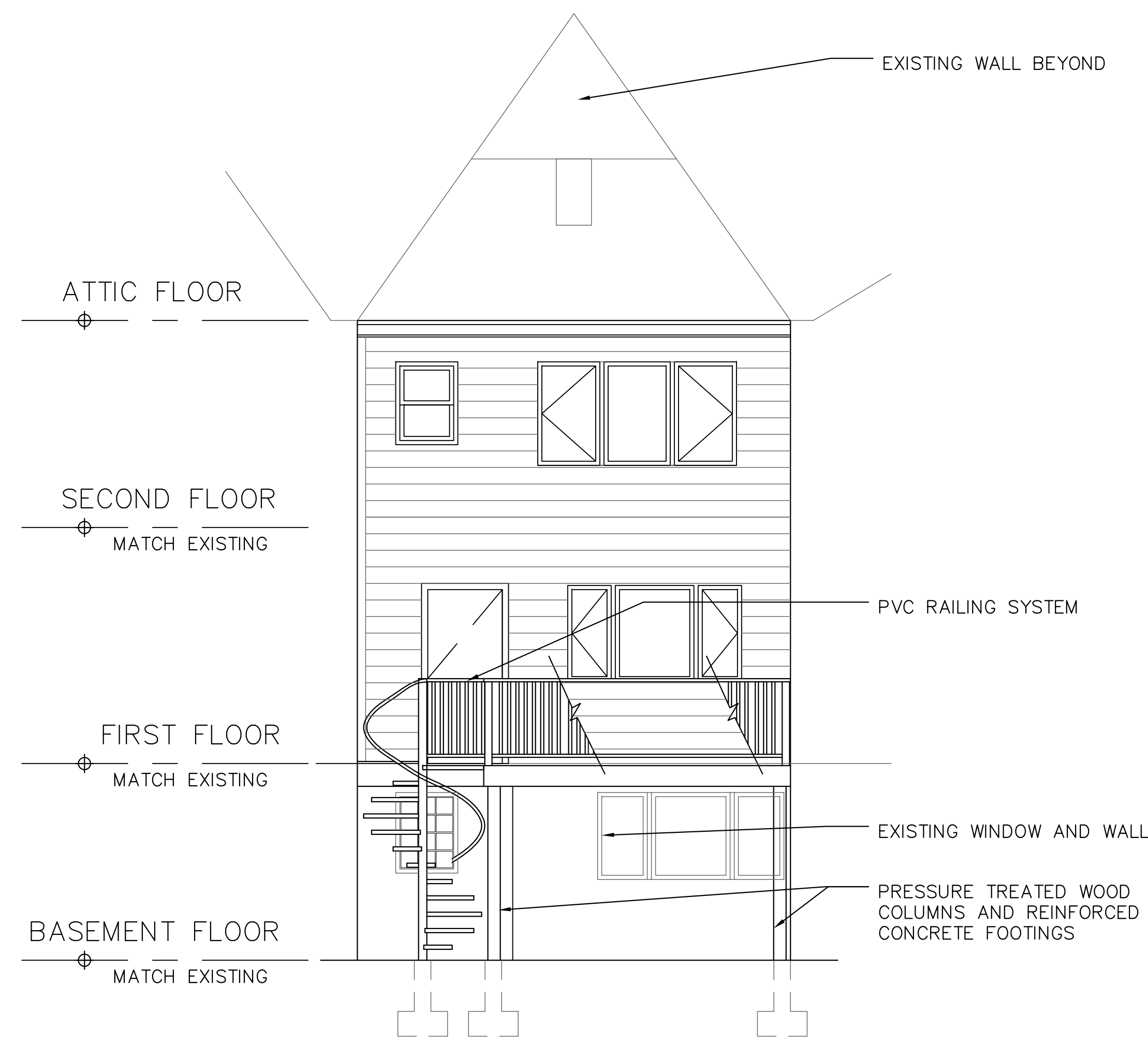
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Sheet Title
FLOOR_PLANS
DECK

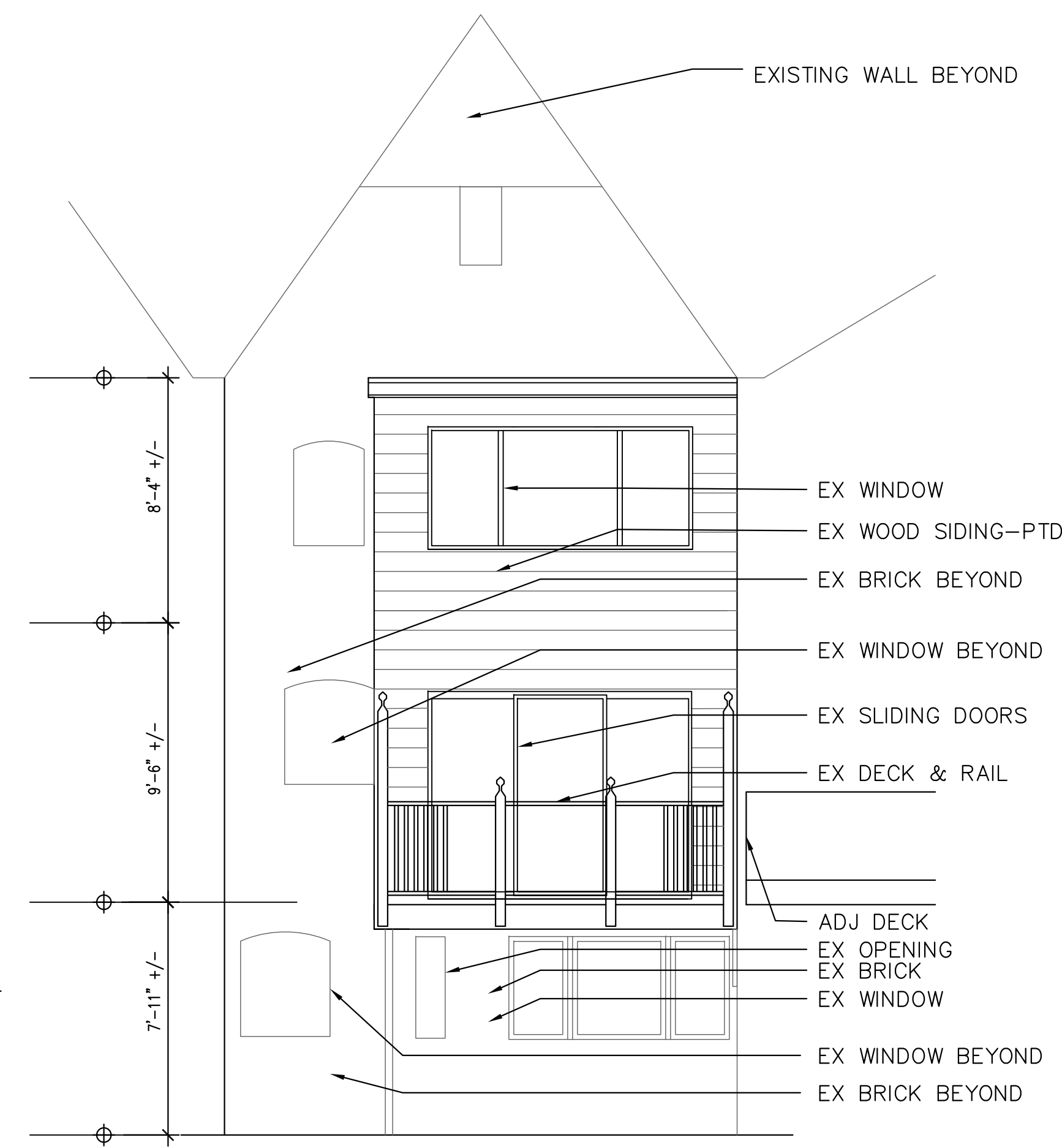
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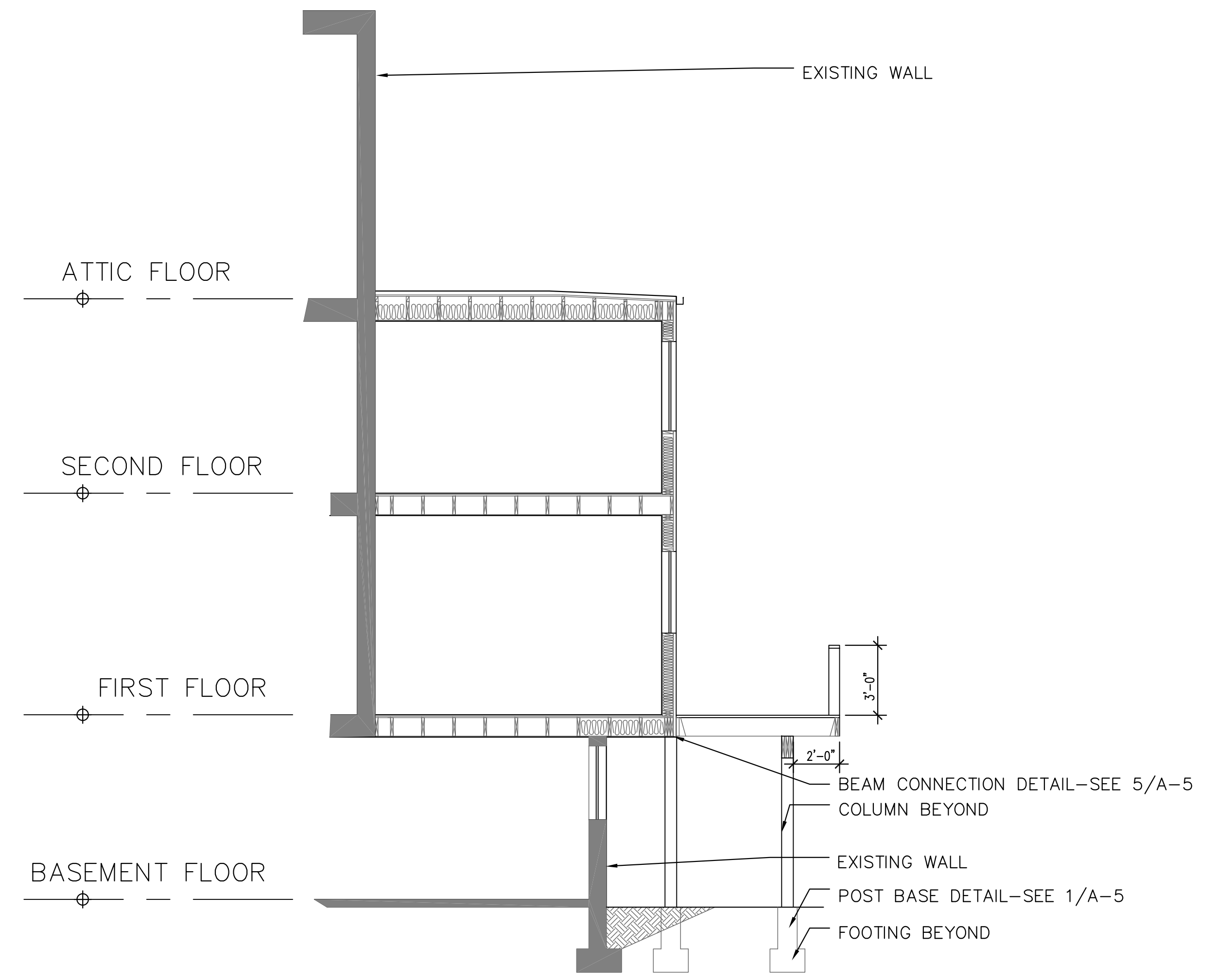
0003



1
A-4 REAR ELEVATION - EXTERIOR NORTH
1/4" = 1'-0"



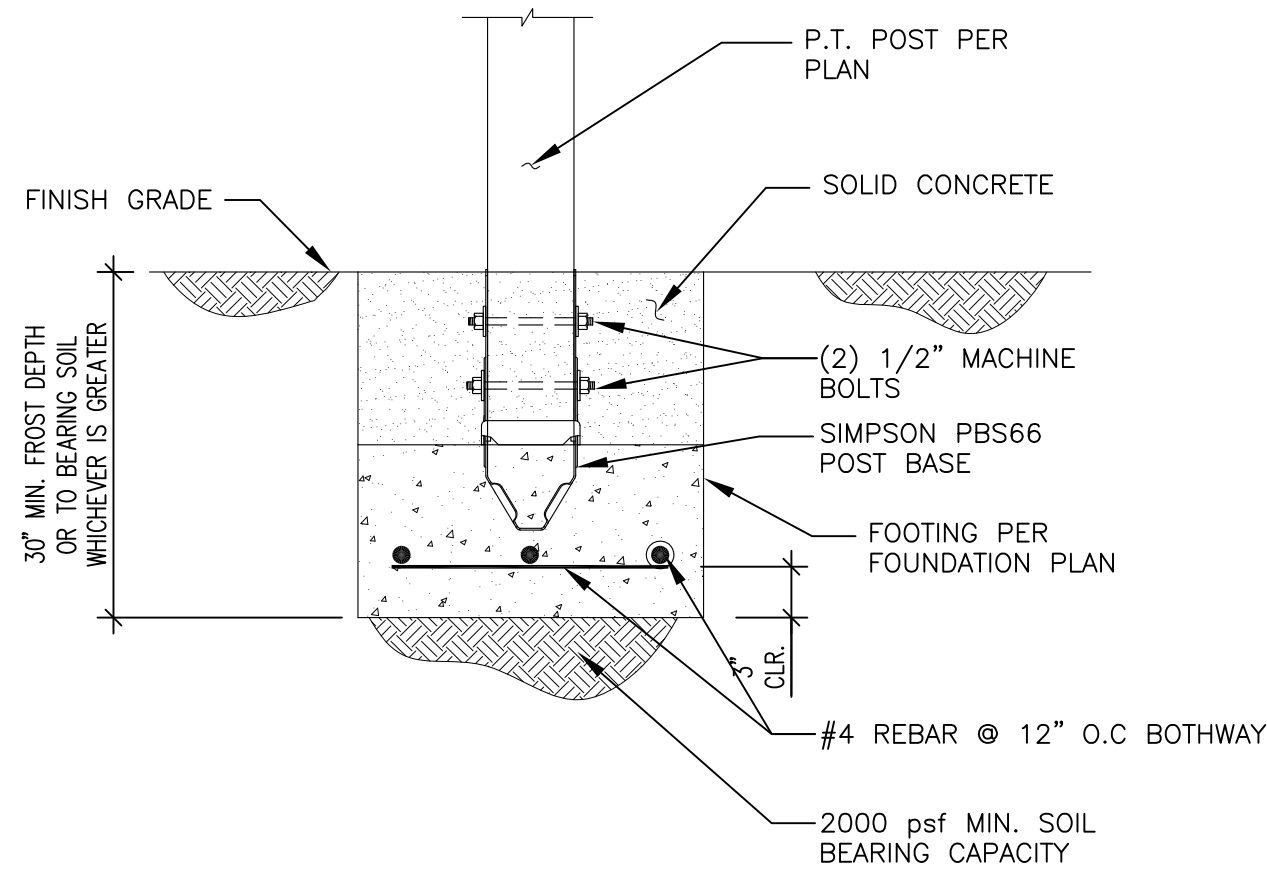
REAR ELEVATION - EXISTING
1/4" = 1'-0"



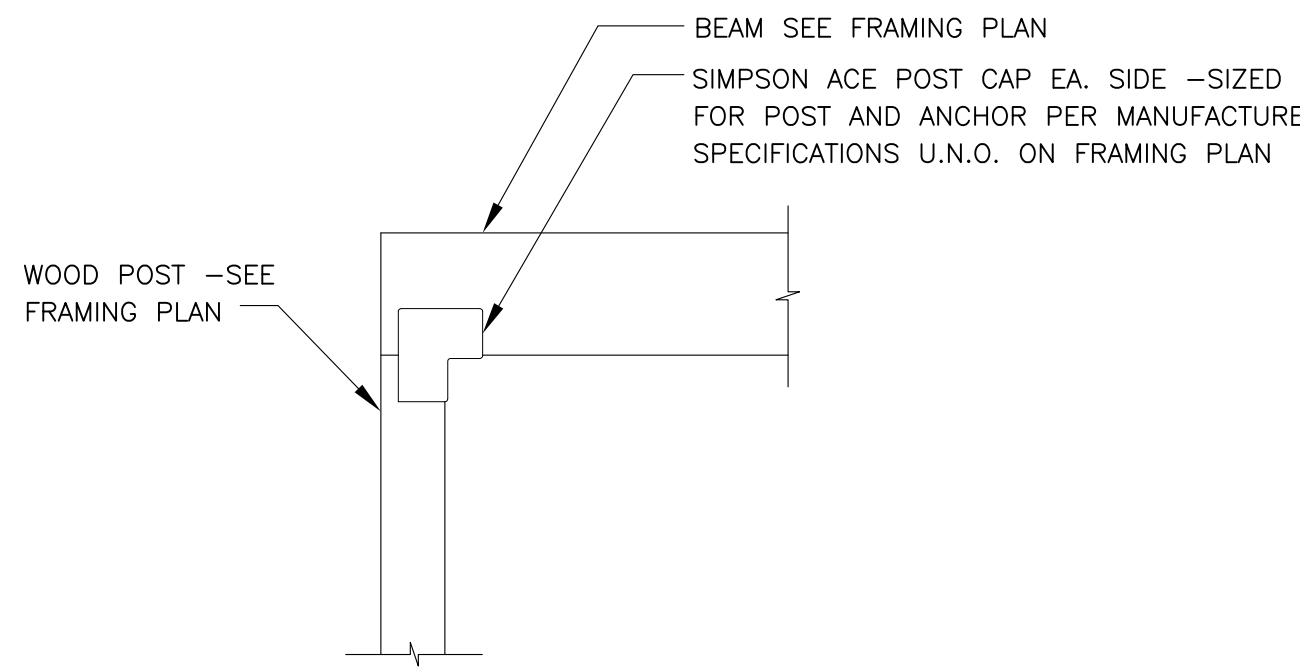
4
A-4 SECTION NORTH-SOUTH
1/4" = 1'-0"

DCRA APPROVAL STAMPS

0 1 2 5 10
1/4" GRAPHIC SCALE



1 POST BASE DETAIL @ DECK
A-5 NTS



5 BEAM-POST CONNECTION DETAIL
A-5 NTS

DCRA APPROVAL STAMPS

FOUNDATION NOTES :

1. FOOTING SIZE HAS BEEN CALCULATED FOR MINIMUM 2000 PSF SOIL BEARING CAPACITY.
2. PROVIDE MINIMUM 1/2" ANCHOR BOLT @ 48" O.C. WITH A MINIMUM EMBEDMENT OF 7" INTO CONCRETE AND SHALL BE PLACED WITHIN 12" FROM END OF EACH SILL PLATE SECTION
3. PROVIDE #4 REBAR @ 12" O.C. EACH WAY IN ISOLATED FOOTING UNLESS OTHERWISE NOTED
4. PROVIDE 30" MIN. FROST DEPTH WHERE REQUIRED.
5. 16" MIN. SPLICING LENGTH TO BE PROVIDED FOR REBAR UNLESS OTHERWISE NOTED