

Special Exception Application for

1541 44th Street, NW, Washington, DC 20007

We desire to expand the existing deck on the rear of our residence.

The DC Zoning Code calls for a 20 foot rear yard in the R-3 Zone. The existing deck results in a 15'-0" rear yard. The proposed deck extends an additional 1'-9" resulting in a 13'-3" rear yard.

The present deck will be demolished in the course of renovations to their residence. The proposed deck will extend less than the existing deck from the main structure (which is fully compliant with the 20 foot set back requirement). The size of the proposed deck will facilitate furniture placement and enable access to and from the main living area of the residence via a staircase within the area of the proposed Special Exception. This will greatly alleviate problems caused by the current condition.

The requested relief will not pose any detriment to the public good in that it will generate no additional traffic or noise. The number of parking spaces will remain the same (2). The single-family status will remain. The intent, purpose and integrity of the zone as embodied in the Zoning Regulations and Map will be maintained. A Special Exception is hereby requested in keeping with the submitted drawings.

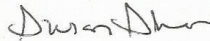
It should be noted that the decks with a ten foot extension currently exist on the rear on nearby townhouses facing the alley, and that the deck on the adjacent property currently extends beyond that proposed here.

We affirm that we will contact the local Advisory Neighborhood Commission (ANC), the Foxhall Community Citizens Association, the Office of Planning, and adjacent property owners as early as possible and at least fourteen (14) days prior to any public hearing.

William B. Magrath



Susan Shen, Homeowners



November 16, 2015