

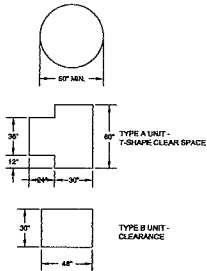
TAB E

4924 NASH STREET, NE

LEGEND:

	A	GRID LINE
	X	SECTION TAG
	X	INTERIOR ELEVATION
	X	EXTERIOR ELEVATION
	X	DETAIL TAG
	EL. 9'-0"	ELEVATION TAG
		ELEVATION TAG
		WINDOW TAG
		DOOR TAG
	XX	WALL TYPE
		DRAWING TITLE

ADA TURNING SPACE



304.3.1 CIRCULAR SPACE. THE TURNING SPACE SHALL BE A CIRCULAR SPACE WITH A 5'-0" (1524 MM) MINIMUM DIAMETER. THE TURNING SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 306.

304.3.2 T-SHAPED SPACE. THE TURNING SPACE SHALL BE A T-SHAPED SPACE WITH A 5'-0" (1524 MM) MINIMUM SQUARE, WITH ARMS AND BASE 36 INCHES (914 MM) MINIMUM WIDE. EACH ARM OF THE T SHALL BE CLEAR OF OBSTRUCTIONS 12 INCHES (305 MM) MINIMUM IN EACH DIRECTION, AND THE BASE SHALL BE CLEAR OF OBSTRUCTIONS 24 INCHES (610 MM) MINIMUM. THE TURNING SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 306 ONLY AT THE END OF EITHER THE BASE OR ONE ARM.

ABBREVIATIONS:

AB ANCHOR BOLT	GR GRADE	R RISER
A/C AIR CONDITIONING	GTR GUTTER	RAD RADIUS
ACT ACOUSTICAL CEILING TILE	GWB GYPSUM WALL BOARD	RD ROOF DRAIN
ADJ ADJUSTABLE	HB HOSE BIB	REBAR STEEL REINFORCING BAR
AFF ABOVE FINISHED FLOOR	HC HANDICAP	REC RECESSED
BD BOARD	HD HEAD	REFG REFRIGERATOR
BIT BITUMINOUS	HDR HEADER	REINF REINFORCED
BKG BLOCKING	HDW HARDWARE	REQ REQUIRED
BLDG BUILDING	HGR HANGER	REV REVERSE
BM BEAM	HOR HORIZONTAL	RFG ROOFING
BOF BOTTOM OF FOOTING	HT HEIGHT	RH RIGHT HAND
BR BRICK	HTG HEATING	RM ROOM
BRG BEARING	HVAC HEATING VENTILATING	RO ROUGH OPENING
C COURSE	AND AIR CONDITIONING	RTG RATING
CAB CABINET	HW HOT WATER	SCHDSCHEDULE
CFM CUBIC FEET PER MINUTE	HWD HARDWOOD	SECT SECTION
CI CAST IRON	ID INSIDE DIAMETER	SF SQUARE FOOT
CLG CEILING	INS INSULATION	SHT SHEET
CMU CONC MASONRY UNIT	INT INTERIOR	SIM SIMILAR
COL COLUMN	JB JAMB	SM# SMOOT LUMBER
CONC CONCRETE	JST JOIST	COMPANY DESIGNATION
CONTCONTINUOUS	KIT KITCHEN	SPEC SPECIFICATION
CPT CARPET	LAM LAMINATED	SPKR SPRINKLER
CT CERAMIC TILE	LAV LAVATORY	SQ SQUARE
CTR CENTER	LBS POUNDS	S&R SHELF AND ROD
DBL DOUBLE	LH LEFT HAND	STD STANDARD
DEM DEMOLISH/DEMOLITION	LT LIGHT	STL STEEL
DN DOWN	MAS MASONRY	STR STRUCTURE
DR DOOR	MAX MAXIMUM	SUSP SUSPENDED
DS DOWNSPOUT	MECH MECHANICAL	SYS SYSTEM
DWG DRAWING	MEMB MEMBRANE	T TREAD
EA EACH	MFR MANUFACTURER	T&G TONGUE AND GROOVE
EL ELEVATION	MIN MINIMUM	TEL TELEPHONE
ENCL ENCLOSURE	MISC MISCELLANEOUS	TEMPTEMPERED
EQ EQUAL	MLDGMOLDING	THK THICK
EQPT EQUIPMENT	MO MASONRY OPENING	TOF TOP OF FOOTING
EX EXISTING	MTD MOUNTED	TOW TOP OF WALL
EXP EXPANSION	MTL METAL	TV TELEVISION
EXT EXTERIOR	NO# NUMBER	TYP TYPICAL
FBRGL FIBERGLASS	NTS NOT TO SCALE	UON UNLESS OTHERWISE NOTED
FD FLOOR DRAIN	OC ON CENTER	VB VAPOR BARRIER
FDN FOUNDATION	OD OUTSIDE DIAMETER	VCT VINYL COMPOSITION TILE
FF FOIL FACE	OPG OPENING	VERT VERTICAL
FIN FINISH	OPP OPPOSITE	VT VINYL TILE
FL FLOOR	PC PRECAST CONCRETE	W/ WITH
FLG FLASHING	PL PLATE	WD WOOD
FOM FACE OF MASONRY	PLAM PLASTIC LAMINATE	WIN WINDOW
FS FULL SIZE	PLAS PLASTER	W/O WITHOUT
FT FOOT OR FEET	PNL PANEL	WP WATERPROOFING
FTG FOOTING	PNT PAINT	WR WATER RESISTANT
FUR FURRING	PR PAIR	WSCT WAINSCOT
GA GAUGE	PSF POUNDS PER SQ FOOT	WT WEIGHT
GAL GALVANIZED	PSI POUNDS PER SQ INCH	WWF WELDED WIRE FABRIC
GC GENERAL CONTRACTOR	PVC POLYVINYL CHLORIDE	
GL GLASS	PLY PLYWOOD	

APPLICABLE BUILDING CODES

This project conforms to all applicable building codes and zoning regulations for the District of Columbia. All codes subject to the District of Columbia Construction Codes 2009 Supplement Amendments and all revisions	
BUILDING IBC 2012:	INTERNATIONAL BUILDING CODE - 2012, DCMR 12A
MECHANICAL IMC 2012:	INTERNATIONAL MECHANICAL CODE - 2012, DCMR 12E
PLUMBING IPC 2012:	INTERNATIONAL PLUMBING CODE - 2012 DCMR 12F
ELECTRICAL:	2005 NEC/NFPA 70 - NATIONAL ELECTRICAL CODE, DCMR12C
FIRE IFC 2012:	INTERNATIONAL FIRE CODE - 2012, DCMR 12H
ENERGY IECC 2012:	INTERNATIONAL ENERGY CONSERVATION CODE - 2012, DCMR12I
FUEL IFGC 2012:	INTERNATIONAL FUEL GAS CODE - 2012, DCMR 12D
EXISTING BLDG IEBC 2012:	INTERNATIONAL EXISTING BLDG CODE - 2012, DCMR 12J
PROPERTY IPMC 2012:	INTERNATIONAL PROPERTY MAINTANCE CODE - 2012, DCMR 12G
AMENDMENTS:	DCMR12 BUILDING CODE REGULATIONS, 2009
ZONING:	DCMR TITLE 11 - ZONING REGULATIONS
ADA:	ICC/ANSI A117.1-2003:
	ACCESSIBLE AND USABLE BUILDINGS A FACILITIES

BUILDING CLASSIFICATIONS

USE GROUP (IBC 2012 - 310)	R-2
TYPE OF CONSTRUCTION (IBC 2012 - 602)	TYPE VA
FULLY SUPPRESSED / SPRINKLERS (IBC 2012 - 903.3.1.2)	YES
	NFPA 13 R

PROJECT NARRATIVE:

ADDITION OF A 16 UNIT APARTMENT BUILDING WITH PENTHOUSE CONNECTION TO EXSTING APARTMENT BUILDING INCLUDING FULL MEP'S.

DRAWING LIST:

CS	COVER PAGE
CS-1	BUILDING CALCULATIONS
CS-2	VICINITY MAP
CS-3	AERIAL PHOTOS OF SITE
A0100	SITE PLAN
A0101	CELLAR FLOOR PLANS
A0102	1ST FLOOR PLANS
A0103	2ND FLOOR PLANS
A0104	3RD FLOOR PLANS
A0105	PENTHOUSE PLANS
A0106	ROOF PLAN
A0201	WEST ELEVATIONS
A0202	EAST ELEVATIONS
A0203	NORTH/SOUTH ELEVATIONS

GENERAL NOTES:

CONTRACTOR SHALL VERIFY AND FAMILIARIZE HIMSELF WITH ALL FIELD CONDITIONS PRIOR TO SUBMITTING PROPOSALS AND COMMENCING CONSTRUCTION. FIELD CONDITIONS NOT AGREEING WITH CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & DESIGNER PRIOR TO BEGINNING WORK. ALL ADDITIONAL WORK NEEDED TO COMPLETE THE PROPOSED PROJECT WHICH IS NOT INDICATED ON DRAWINGS SHALL RECEIVE PRIOR AUTHORIZATION FROM THE HOMEOWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS INDICATED ON DRAWINGS OR SPECIFICATIONS.

ALL MANUFACTURED / PREFABRICATED ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE WRITTEN MANUFACTURES SPECIFICATIONS.

JOB SITE SHALL BE KEPT IN A CLEAN AND ORDERLY FASHION AT THE END OF EACH DAYS WORK. ALL WARRANTIES, GUARANTIES AND MANUFACTURERS INSTRUCTIONS SHALL BE PRESENTED TO THE HOMEOWNER IN A COMPLETE AND ORDERLY MANNER AT THE CONCLUSION OF CONSTRUCTION. ALL WORK PERFORMED SHALL BE EXECUTED TO GREATER THAN STANDARD BUILDING QUALITY AND SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS OR ANYONE PERFORMING WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPLICABLE RESIDENTIAL CODES, REGULATIONS, AND CONTRACT DOCUMENTS.

BY A LICENSED GENERAL CONTRACTOR ENTERING INTO AGREEMENT WITH THE HOMEOWNER/PROPERTY OWNER, HE AGREES TO KEEP CURRENT ALL INSURANCES, WORKER'S COMPENSATION AS REQUIRED, AND AGREES TO INDEMNIFY/HOLD HARMLESS THE HOMEOWNER/ PROPERTY OWNER FROM ANY ACCIDENTS OCCURRING FROM THE SCOPE OF WORK REQUIRED TO COMPLETE THE PROPOSED PROJECT.

CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING & DISPOSING OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM WORK AT THE JOB SITE. CONTRACTOR SHALL PROVIDE PROTECTION BETWEEN THE NEW CONSTRUCTION AND THE EXISTING BUILDING AND TAKE ADEQUATE MEASURES TO KEEP DUST TO A MINIMUM. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAN THE ENTIRE PREMISES AND TURN OVER ALL KEYS USED DURING CONSTRUCTION, OLD AND NEW. SEE NOTE ABOVE.

ALL EXISTING CONDITIONS SHOULD BE FIELD VERIFIED INCLUDING DIMENSIONS AND STRUCTURE. SOME VARIATIONS COULD EXIST AND IT IS THE RESPONSIBILITY OF OTHERS TO CONFIRM THE INFORMATION HEREIN.

KC/DC STUDIOS

ARCHITECTURE - DESIGN - CONSTRUCTION MANAGEMENT

1400 VERMONT AVE
N.W. WASHINGTON, DC 20005
P: 202.462.4247
F: 202.462.4247

NASH STREET APARTMENTS

4924 NASH STREET, NE
WASHINGTON, DC 20019

SCALE: AS NOTED

DATE: 11/13/15

PROJECT NUMBER: 4924 NASH

CS

4924 NASH STREET, NE

ZONE: R-5-A
HEIGHT: 40 FT, 3 STORIES
MIN. LOT: AS PRESCRIBED BY THE BOARD
3104:
SEE 353
FAR: ALL STRUCTURES = 0.9
LOT % 40%
REAR YARD: 20FT
SIDE YARD: 3" PER FOOT OF HEIGHT
NOT LESS THAN 8'-0"

INCLUSIONARY
ZONING:
SET- ASIDE: 10% OF GROSS FLOOR AREA
OR 75% OF BONUS DENSITY
BONUS: 20% MORE GROSS FLOOR AREA

LOT AREA: 11,205 SQ. FT.
LOT %: 40% = 4,482 SQ. FT.
FAR: 0.9 x 11,205 = 10,084.5 SQ. FT.

EXISTING: 2,176 X 3 = 6,258 SQ. FT.
REMAINING: 3,826.5 SQ. FT.

PROPOSED: 1,945 X 3 = 5,835 SQ. FT.

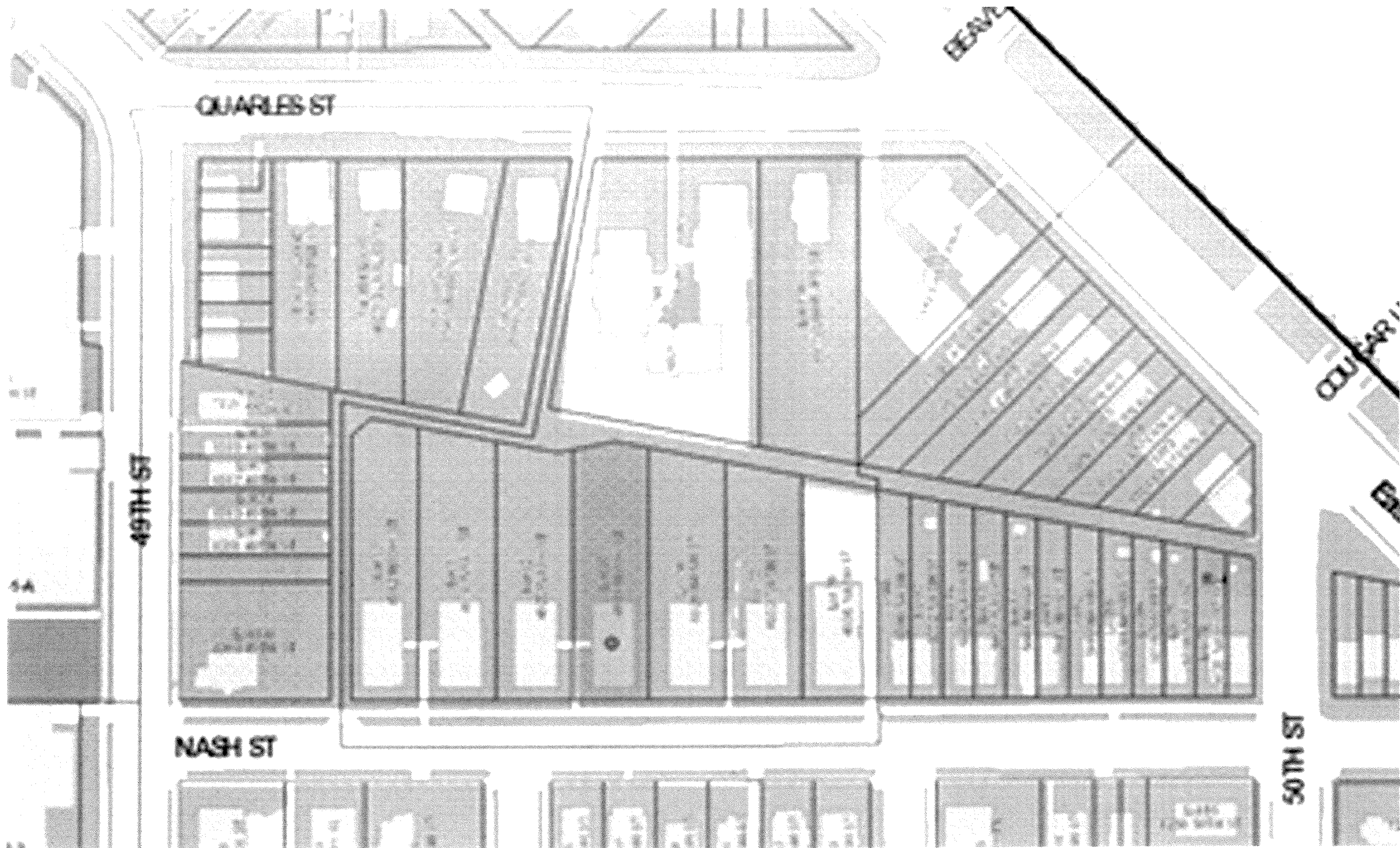
IZ BUMP: 20% X 10,084.5 = 2,016.9
= 3,826.5 + 2,016.9 = 5,843.4 SQ. FT.

KC/DC STUDIOS
Architecture - design - construction management
P: 202.224.2127
1120 15th Street, NE
Washington, DC 20003

NASH STREET
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WASHINGTON, DC 20019

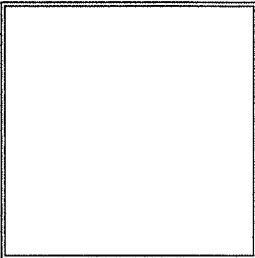
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PROJECT NUMBER: NASH CONDOS

CS-1



KC/DC STUDIOS
ARCHITECTURE - DESIGN - CONSTRUCTION MANAGEMENT
P: 202.327.2427
kdcstudios.com
1745 Florida Avenue NW, Suite 2000

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4924 NASH STREET, NE
WASHINGTON, DC 20019



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CS-2



KC/DC STUDIOS

ARCHITECTURE - DESIGN - CONSTRUCTION MANAGEMENT

P: 800.225.1487
kcdsstudios.com
1700 PULASKI AVENUE NW W/F 2000

NASH STREET

4924 NASH STREET, NE
WASHINGTON, DC 20019

SCALE: AS NOTED

DATE: 01/23/2015

PROJECT NUMBER: NASH CONDOS

CS-3

BUILDING 1
LOT AREA: 11,205 SQ. FT.
LOT OCCUPANCY: 40% = 4,482 SQ. FT.
BUILDING AREA: 2,112 SQ. FT. = 18.8 %
REMAINING: 4,482 - 2,112 = 2,370 SQ. FT. (21.2%)
GROSS SQ. FT. 2,112 X 3 = 6,336 SQ. FT.
FAR: .9 X 11,205 = 10,084.5 SQ. FT.
EXISTING 2,112 X 3 = 6,336 SQ. FT.
REMAINING: 10,084.5 - 6,336 = 3,748.5 SQ. FT.

BUILDING 2
LOT AREA: 11,205 SQ. FT.
LOT OCCUPANCY: 40% = 4,482 SQ. FT.
BUILDING AREA: 1,920 SQ. FT. = 17.13%
REMAINING: 414 SQ. FT. = 4.07 %
GROSS SQ. FT. 1,920 X 3 = 5,760 SQ. FT.
FAR: 9 X 11,205 = 10,084.5 SQ. FT.
IZ BUMP: 20% X 10,084.5 = 2,016.9 SQ. FT.
10,084.5 + 2,016.9 = 12,101.4
TOTAL FAR: 6,336 + 5,760 = 12,096
REMAINING: 12,101.4 - 12,096 = 5.4

15'
BUILDING
RESTRICTION
58.0
13'-0"
32'-6"
12'-6"
15'-0"
15'

RESTRICTION

LINE

EXISTING BUILDING
2,112 SQ. FT.
18.8% LOT OCCUPANCY

189.74

14'-5"

14'-1³/₄"

5'-7"

12'-6¹/₄"

12'-3¹/₄"

(1,920 x 3 = 5,760 sq. ft. above grade)
(1,920 below grade)
Total sq. ft = 7,680 sq. ft.

191.19

1920 SQ. FT.
17.40%

REAR YARD SET BACK

32.61

26.439

31'-2¹/₄"

4'-9³/₄"

16'

ALLEY

PUBLIC
ALLEY

16'

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P: 202.223.2121
www.kcstudios.com
1700 Florida Avenue NW Suite 2000

16'
NASH STREET

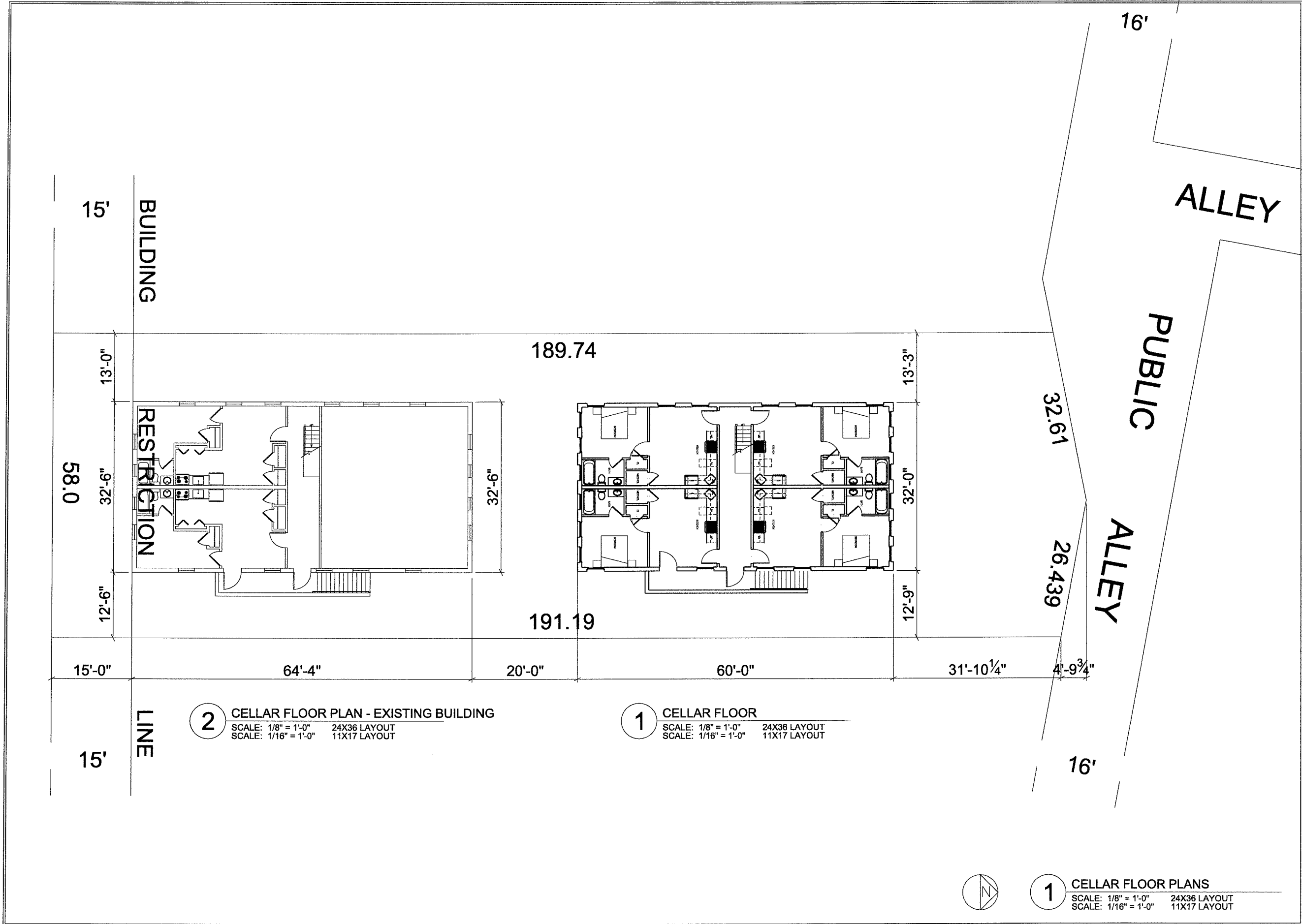
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SCALE: AS NOTED
DATE: 01/23/2015
PROJECT NUMBER: NASH CONDOS

A0100

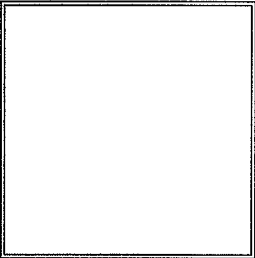


1 SITE PLAN: PROPOSED
SCALE: 1/8" = 1'-0" 24X36 LAYOUT
SCALE: 1/16" = 1'-0" 11X17 LAYOUT



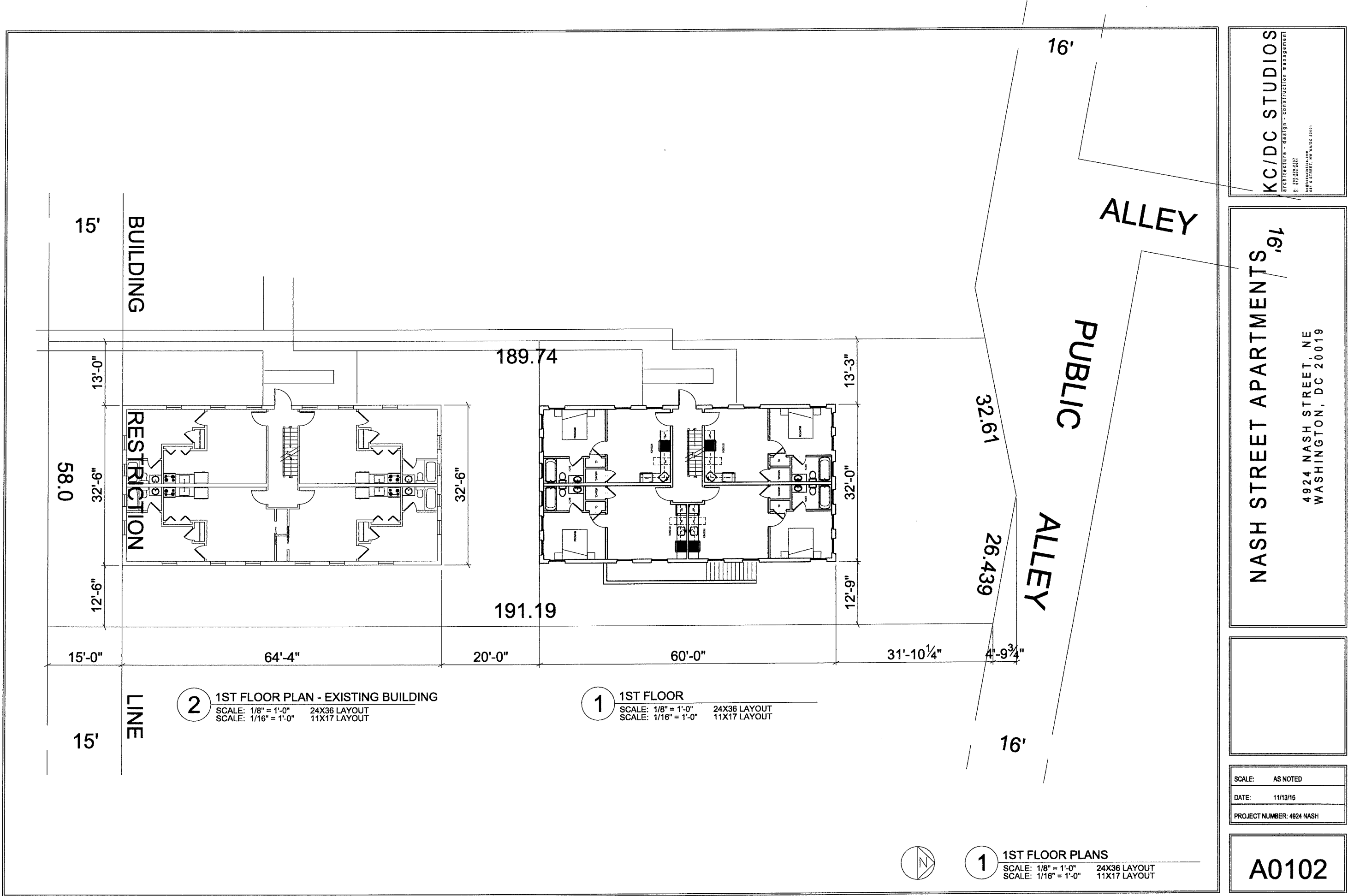
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P: 202.237.2237
KCDestudios.com
1415 STREET, NW WASH DC 20001

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4924 NASH STREET, NE
WASHINGTON, DC 20019



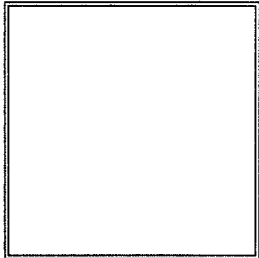
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A0101



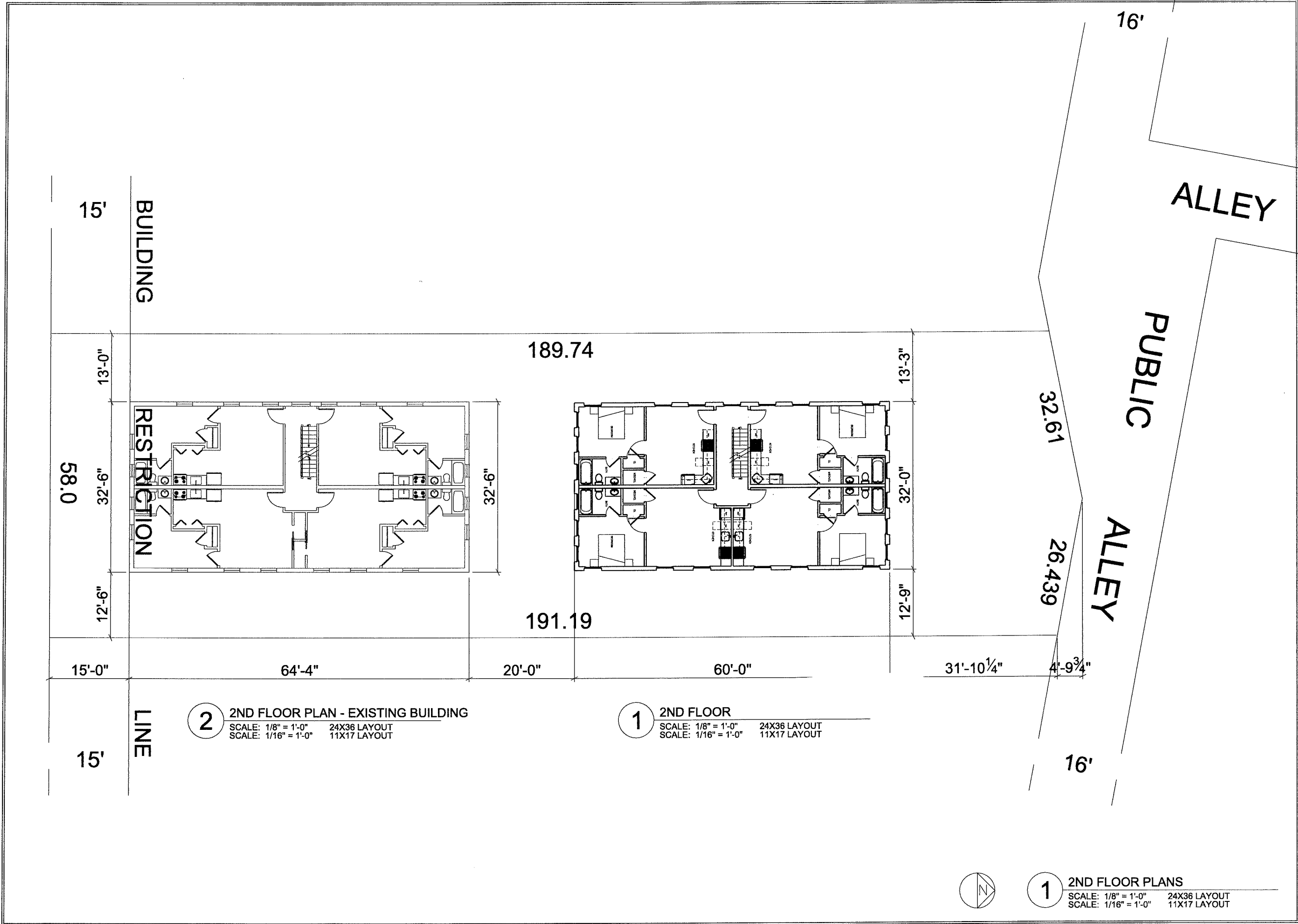
KC/DC STUDIOS
 architecture - design - construction management
 2: 202-222-2437
 1400 MASSACHUSETTS AVE
 440 S STREET, NW WASHINGTON, DC 20001

NASH STREET APARTMENTS
 4924 NASH STREET, NE
 WASHINGTON, DC 20019



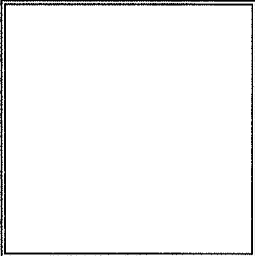
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A0102



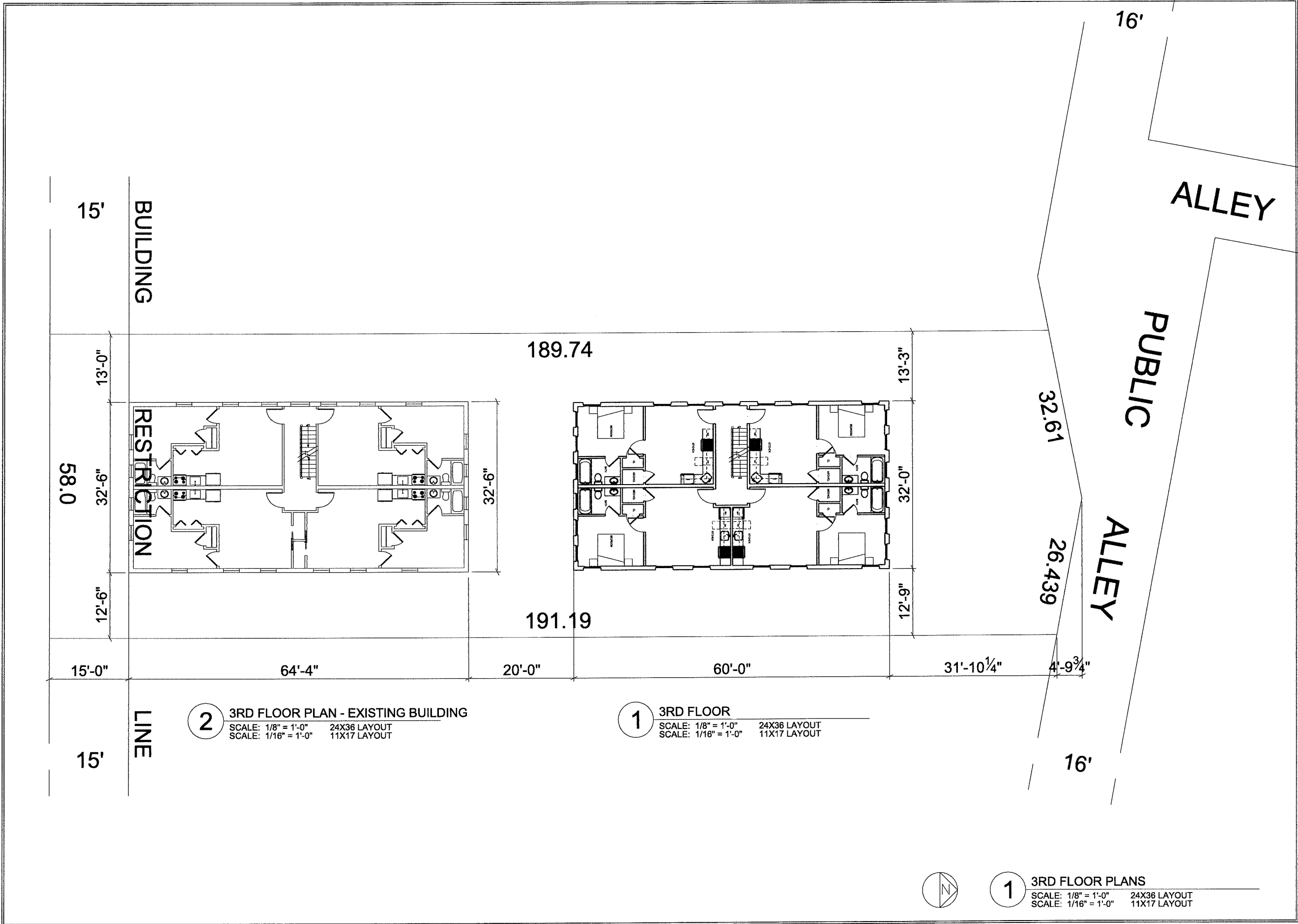
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ARCHITECTURE - DESIGN - CONSTRUCTION MANAGEMENT
E: 202.227.4431
KDCSTUDIOS.COM
445 S STREET, NW WARD 2001

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4924 NASH STREET, NE
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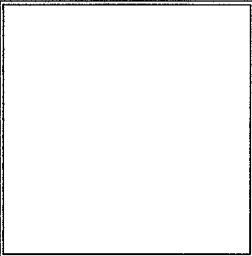
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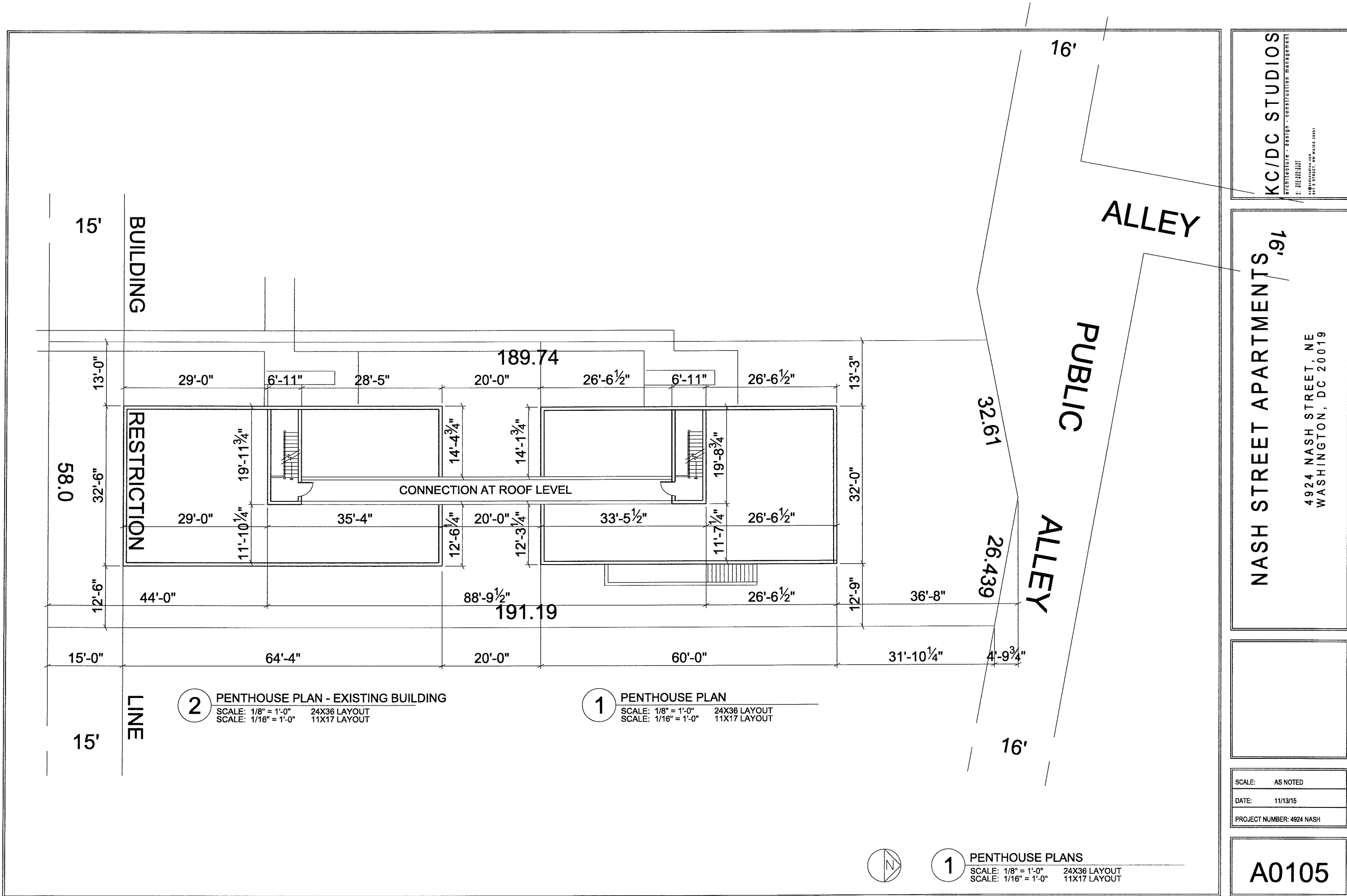
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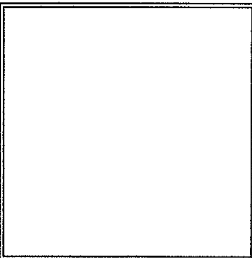
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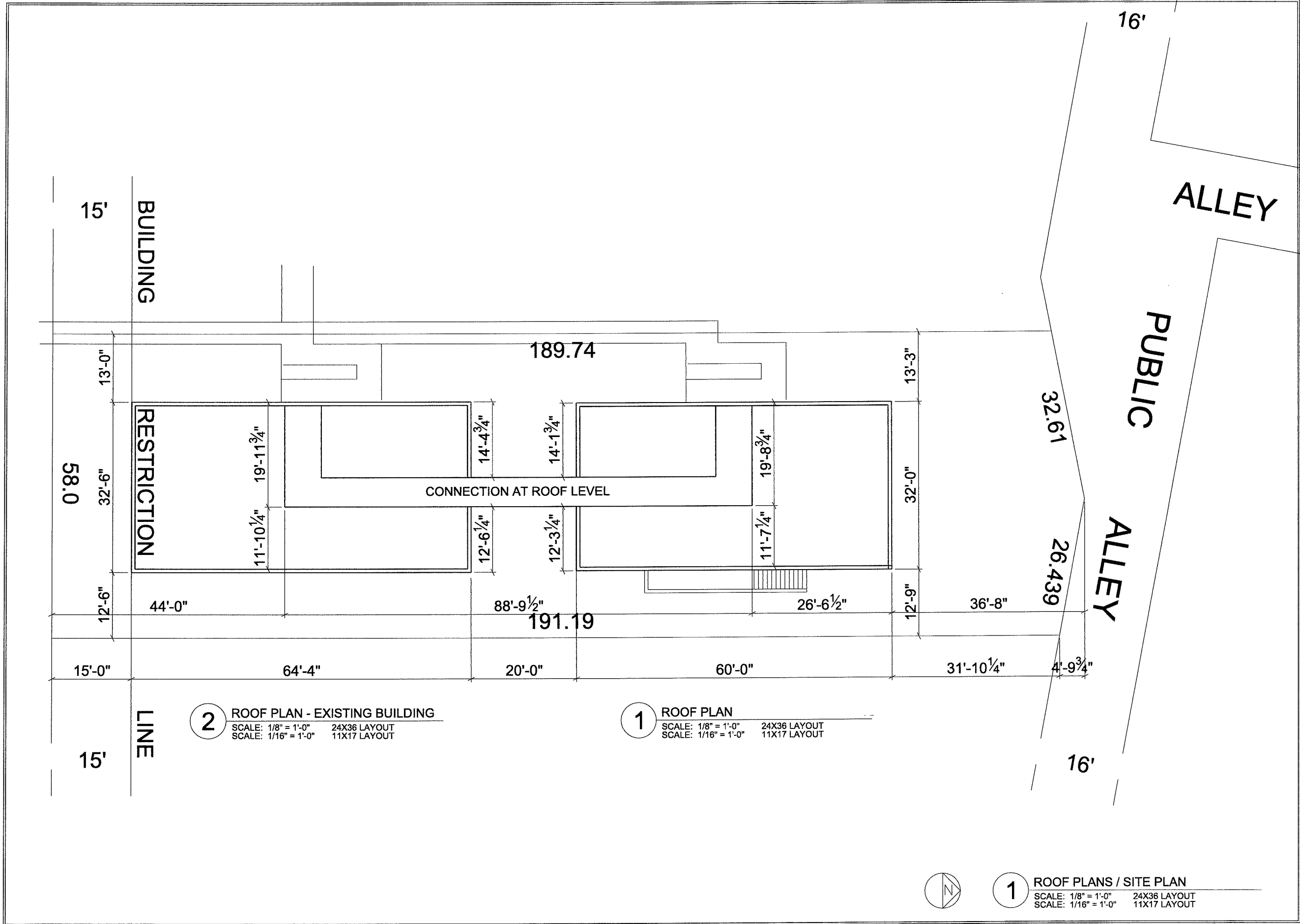
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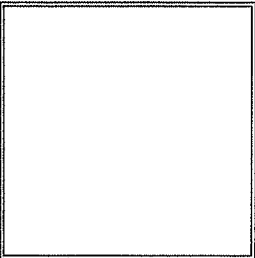
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A0105



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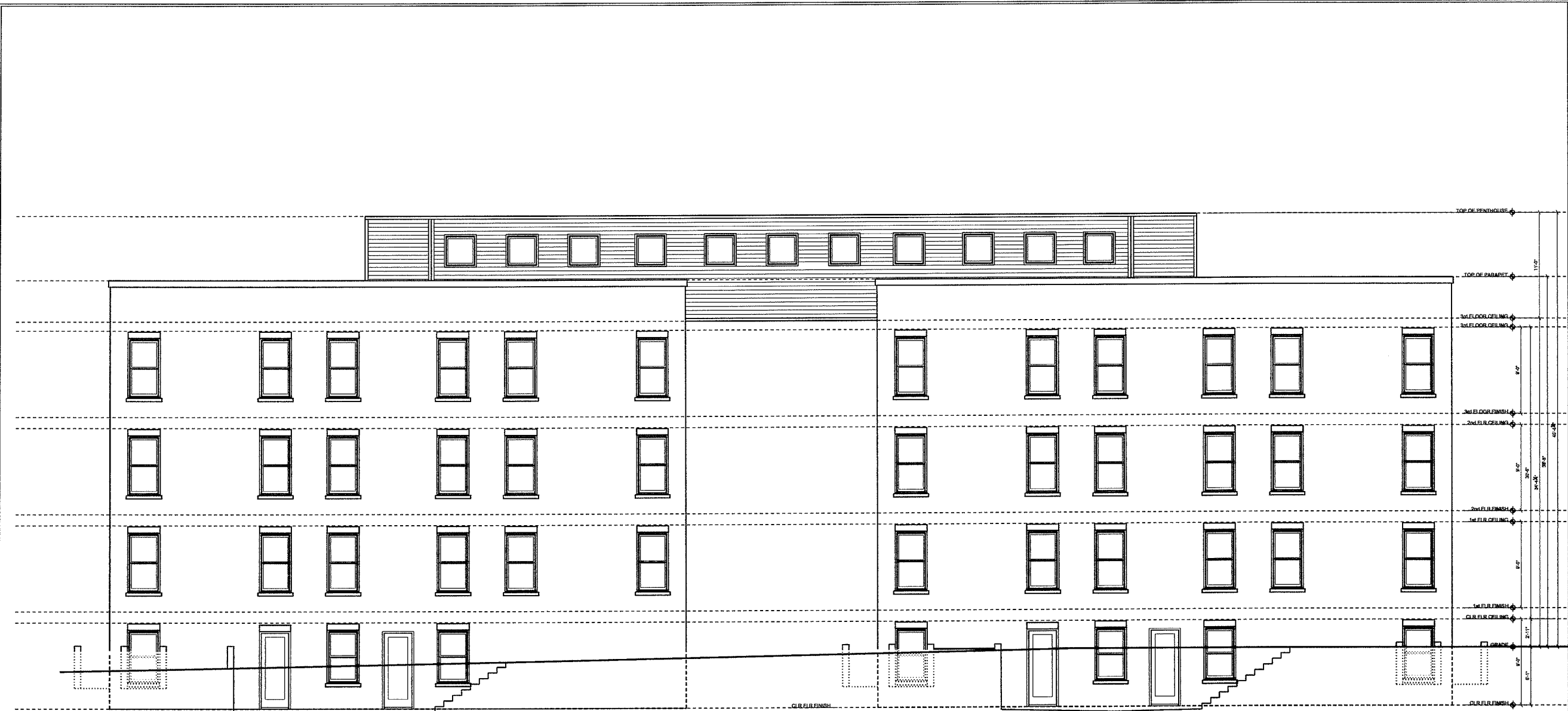


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A0106



2 EXISTING EAST ELEVATION
SCALE: 3/16" = 1'-0" 24X36 LAYOUT
SCALE: 3/32" = 1'-0" 11X17 LAYOUT

3 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0" 24X36 LAYOUT
SCALE: 3/32" = 1'-0" 11X17 LAYOUT

1 EAST ELEVATIONS
SCALE: 3/16" = 1'-0" 24X36 LAYOUT
SCALE: 3/32" = 1'-0" 11X17 LAYOUT

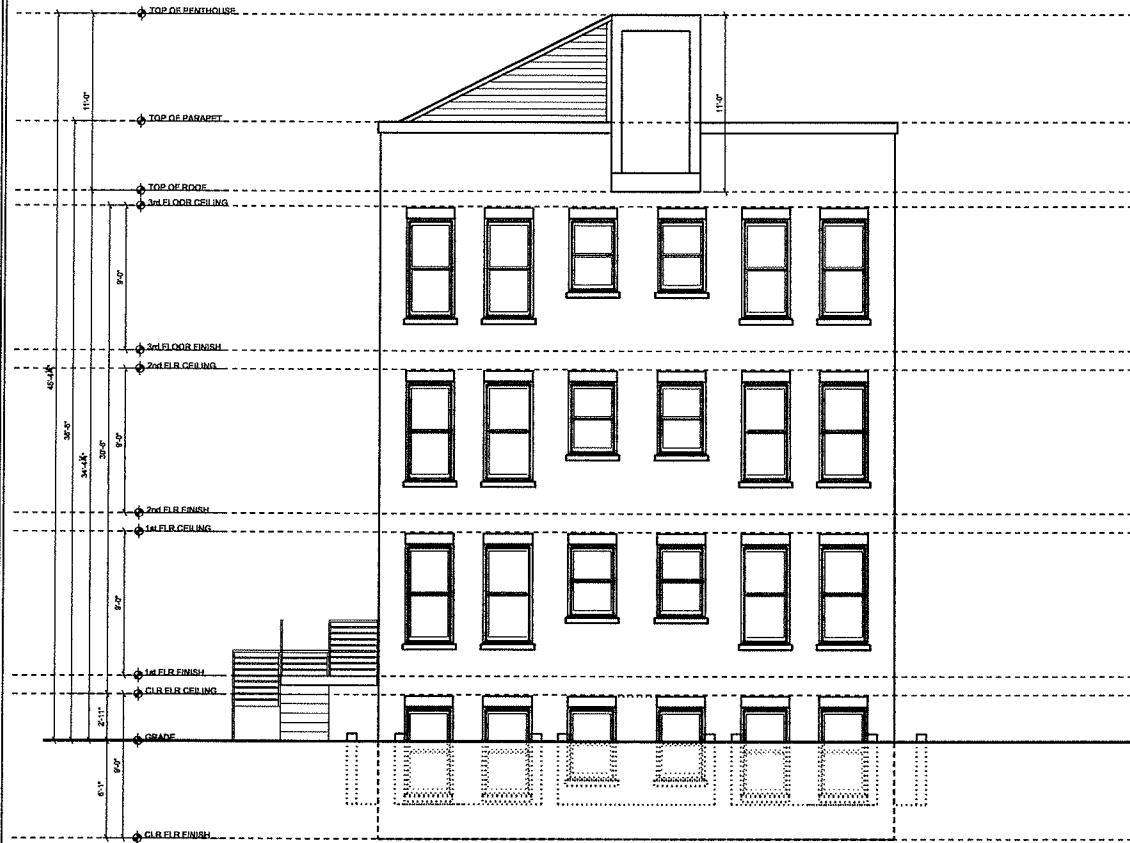
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1400 K STREET, NW SUITE 2000
WASHINGTON, DC 20004

NASH STREET APARTMENTS

4924 NASH STREET, NE
WASHINGTON, DC 20019

SCALE: AS NOTED
DATE: 11/13/15
PROJECT NUMBER: 4924 NASH

A0202



1

PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0" 24X36 LAYOUT
SCALE: 3/32" = 1'-0" 11X17 LAYOUT



2

PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0" 24X36 LAYOUT
SCALE: 3/32" = 1'-0" 11X17 LAYOUT

KC/DC STUDIOS

ARCHITECTURE - DESIGN - CONSTRUCTION MANAGEMENT

440 S STREET, NW WAVE 2001
WASHINGTON, DC 20001
440 S STREET, NW WAVE 2001

NASH STREET APARTMENTS

4924 NASH STREET, NE
WASHINGTON, DC 20019

SCALE: AS NOTED

DATE: 11/13/15

PROJECT NUMBER: 4924 NASH

A0203