

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS FOR COMPATIBILITY WITH JOB SITE FOR CONSTRUCTION WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BEGINNING AND START OF AND DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT/DESIGNER AND OWNER SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER FOR CLARIFICATION. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
3. ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY ARCHITECT/DESIGNER OF ANY ABBREVIATION IN QUESTION.
4. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEMS, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR (SLO) INDICATED IN THE DRAWINGS. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING).
5. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF STUD, MASONRY, OR CONCRETE UNLESS OTHERWISE NOTED.
6. IN THE CASE OF CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, ARCHITECT/DESIGNER OF ANY CONFLICT BEFORE PROCEEDING WITH THE WORK.
7. THE ARCHITECT/DESIGNER SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF BUILDING IS EITHER EXPEDIENT OR NECESSARY. PRIOR TO PROCEEDING WITH WORK, REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT/DESIGNER OR STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF THE BUILDING.
8. EXITS SHALL NOT BE BLOCKED AT ANY TIME.
9. FINAL CLEANUP AND DISPOSAL/REMOVAL DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. CONFORM TO FEDERAL STATE AND LOCAL LAWS, REGULATIONS AND ORDERS UPON COMPLETION OF WORK. ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN AND FREE AND FREE FROM DEBRIS, CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES.
10. PRIOR TO INSPECTION OF THE EXISTING BUILDING THE CONTRACTOR MUST RECEIVE PERMISSION FOR SITE ACCESS FROM THE OWNER OR THE OR THE DESIGNATED REPRESENTATIVE.
11. WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE TO MAKE CORRECTIONS AND/OR CONNECTION, A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
12. ANY WORK INSTALLED IN CONFLICT WITH CONTRACT DOCUMENTS WITHOUT THE ARCHITECT/DESIGNER'S OR OWNER'S CONSENT, SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.
13. FINISH FLOOR ELEVATIONS ARE ESTABLISHED DATUM LINE UNLESS OTHERWISE NOTED.
14. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION, AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (N.L.C.) OR (O.F.O.I.) ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL CURRENT AND LOCAL APPLICABLE CODES AND GOVERNING REGULATIONS, AND THE CONTRACT DOCUMENTS.
15. THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ALL DAMAGED SURFACES CAUSED BY THE CONTRACTOR OR SUBCONTRACTOR OR PERSONNEL TO THE SATISFACTION OF THE OWNER AND ARCHITECT/DESIGNER.
16. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS.
17. ALL CONTRACTORS PERFORMING WORK ON PREMISES SHALL BE RESPONSIBLE FOR: Limiting, MAINTAINING, AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM INCLUDING BUT NOT LIMITED TO THE ISOLATION OF WORK AREAS, AND THE PROMPT REMOVAL OF ANY DEBRIS OR TOOLS WHICH MIGHT ENDANGER VISITORS, OWNER, AND ARCHITECT/DESIGNER.
18. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH RESPECTIVE UTILITY COMPANIES.
19. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF, ABANDONMENT AND RELOCATION OF EXISTING UTILITIES ABOVE OR BELOW GRADE WITH THE RESPECTIVE UTILITY COMPANIES.
20. THE CONTRACTOR SHALL PERFORM ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY ACCORDING TO THE DISTRICT OF COLUMBIA STANDARDS. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS.
21. CONTRACTOR SHALL VERIFY ALL COLUMN COORDINATES AND CHECK THEM AGAINST DIMENSIONS SHOWN ON PLANS AND DETAILS.
22. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEES REQUIRED NOT NORMALLY COVERED BY BUILDING PERMITS.
23. SUBSTITUTIONS: REFERENCE TO MAKERS, BRAND, MODELS, ETC. IS TO ESTABLISH THE TYPE AND QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED IF APPROVED BY THE ARCHITECT/DESIGNER AND OWNER.

24. ONLY NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE, OF QUALITY SPECIFIED, FREE FROM DEFECTS WILL BE PERMITTED ON THE WORK.

25. SHOP DRAWINGS (1bd)

26. THE CONTRACTOR SHALL PROVIDE A BLANKET ONE (1) YEAR GUARANTEE FOR THE CONTRACT PROJECT WITH SEPARATE GUARANTEE AS SPECIFIED FOR TRADES/EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE. PROVIDE OPERATING MAINTENANCE BROCHURES AND GUARANTEES AS REQUIRED.

27. DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY EITHER EXPRESSED OR IMPLIED FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECORDED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/DESIGNER IN WRITING OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.

GENERAL CONSTRUCTION REQUIREMENTS

28. ALL WOOD SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
29. GLAZING IN EXTERIOR DOORS OR WITHIN 40 INCHES OF LOCKING MECHANISM SHALL BE TEMPERED OR BURGULAR RESISTANT.
30. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE DESIGNED TO LIMIT AIR LEAKAGE INTO OR FROM THE BUILDING ENVELOPE.
31. ALL ROOF COVERING SHALL BE CONSTRUCTED OF FIRE RETARDED MATERIAL PER UIC.
32. ALL PENETRATIONS THRU FIRE RATED WALLS AND CEILINGS SHALL BE INSTALLED WITH FIRE DAMPERS, FIRE SEAL, ETC. SO AS TO MAINTAIN FIRE RESISTIVE RATING AND STRUCTURAL INTEGRITY OF WALL OR CEILING ASSEMBLY.

Design Criteria:

Live load:  
Dead load:  
Snow load :25 psf  
Wind speed : 90 mph  
Soil bearing capacity :  
Occupant loads  
Frost depth for DC is 2 ft. 6" inches per the 2013 DCMR 12A, §1809.5.

ZONING Details:

Zoning District: R-1-B  
Word: 3  
Area: 1757  
Minimum Lot Width: 50 ft.  
Minimum Lot Area: 5000 sq.ft.  
Max. Stories: 3  
Max. Height : 45 ft.  
Side yard height : 8 ft.  
Rear yard setback : 25ft.  
Lot occupancy: Up to 40% with BZA Approval

223. ZONING RELIEF FOR ADDITIONS TO ONE-FAMILY DWELLINGS OR FLATS (R-1) AND FOR NEW OR ENLARGED ACCESSORY STRUCTURES

223.1 An addition to a one-family dwelling or flat, in those Residence Districts where a flat is permitted, or a new or enlarged accessory structure on the same lot as a one-family dwelling or flat, shall be permitted even though the addition or accessory structure does not comply with all of the requirements of §§ 401, 403, 404, 405, 406, and 2001.3 shall be permitted as a special exception if approved by the Board of Zoning Adjustment under § 3104, subject to the provisions of this section.

223.3 The lot occupancy of all new and existing structures on the lot shall not exceed fifty percent (50%) in the R-1 and R-2 Districts or seventy percent (70%) in the R-3, R-4, and R-5 Districts.

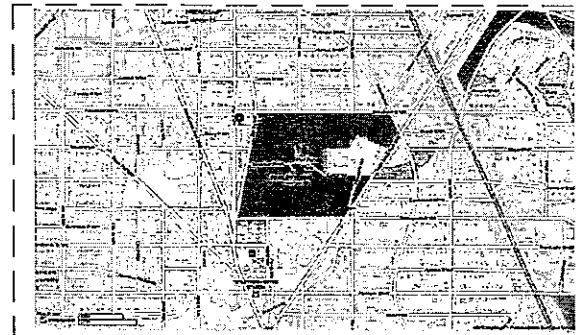
223.4 The Board may require special treatment in the way of design, screening, exterior or interior lighting, building materials, or other features for the protection of adjacent or nearby properties.

223.5 This section may not be used to permit the introduction or expansion of a nonconforming use.

SOURCE: Final Rulesmaking published at 45 DCR 1146, 1447 (March 13, 1998); as amended by Final Rulesmaking published at 48 DCR 8979, 8983 (September 28, 2001); and as amended by Final Rulesmaking published at 54 DCR 9564 (October 5, 2007).

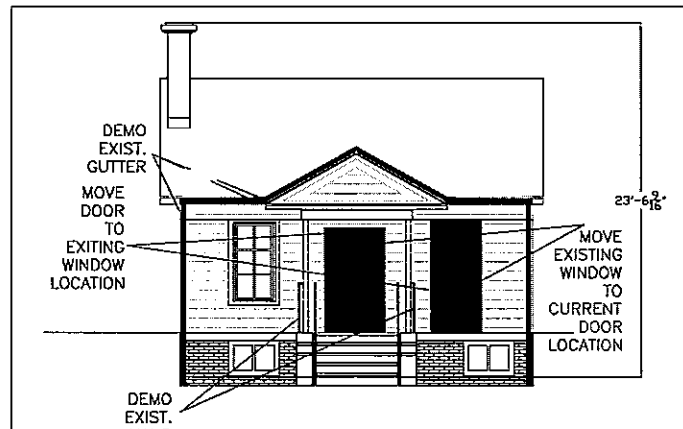
Proposed Variance/Special Exception Request Data

LOCUS MAP:



| General Notes                                                   |                   |       |
|-----------------------------------------------------------------|-------------------|-------|
| No.                                                             | Revisions/Issues  | Date  |
|                                                                 |                   |       |
| File Name and Address                                           |                   |       |
| 305 MEDIA<br>4041 CARDINAL CREST DRIVE<br>WOODBRIIDGE, VA 22013 |                   |       |
| Project Name and Address                                        |                   |       |
| Melbert Residence<br>4925 41st Street, NW<br>Washington, DC     |                   |       |
| Project                                                         | Melbert Residence | Sheet |
| Date                                                            | May 20, 2015      | A1    |
| Drawn                                                           |                   |       |

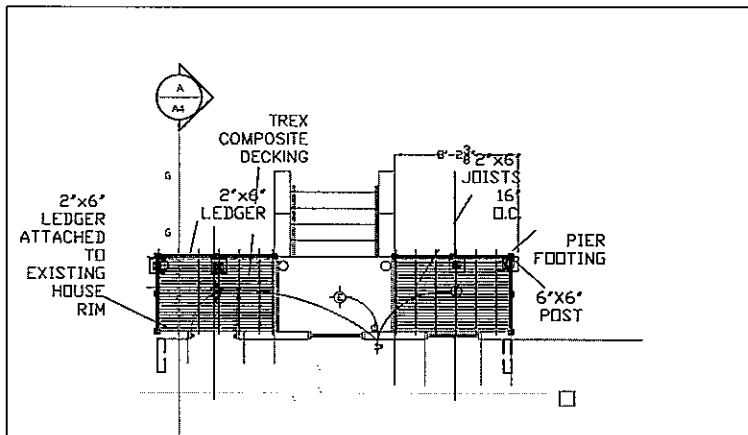
Board of Zoning Adjustment  
District of Columbia  
CASE NO.19186  
EXHIBIT NO.7



1  
SHEET

## Demolition

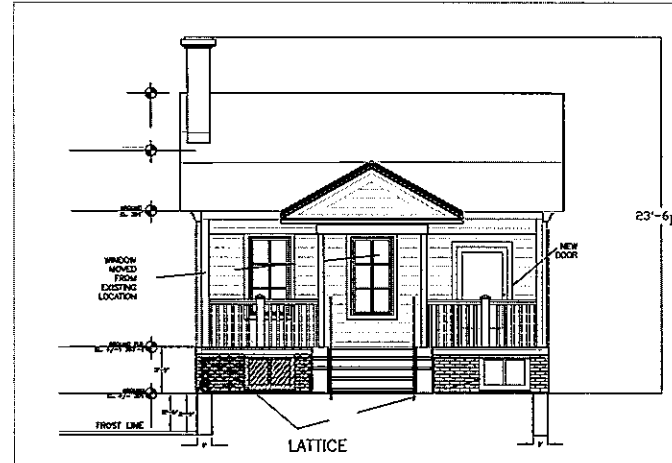
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2  
A3

## Porch Framing Plan

Scale: 1/8" = 1'-0"



## Proposed Elevation

Scale: 1/8" = 1'-0"

### General Notes

| No. | Revision/Issue | Date |
|-----|----------------|------|
|     |                |      |

### Site Name and Address

305 MEDIA  
4041 CARDINAL CREST DRIVE  
WOODBRIIDGE, VA 22913

### Project Name and Address

Mathert Residence  
4925 41st Street, NW  
Washington, DC

### Project

Mathert Residence

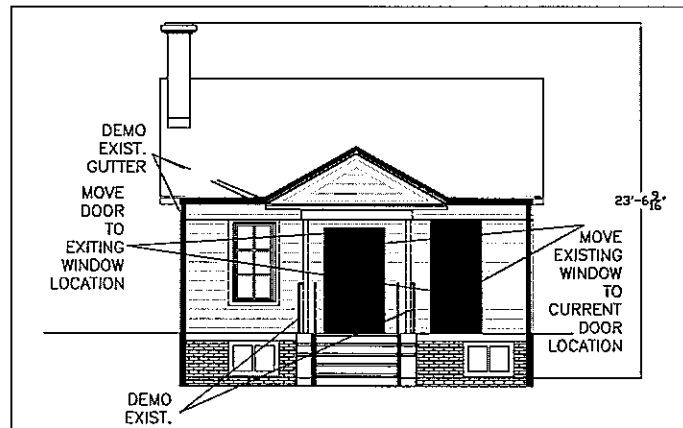
Date

May 20, 2015

Scale

Sheet

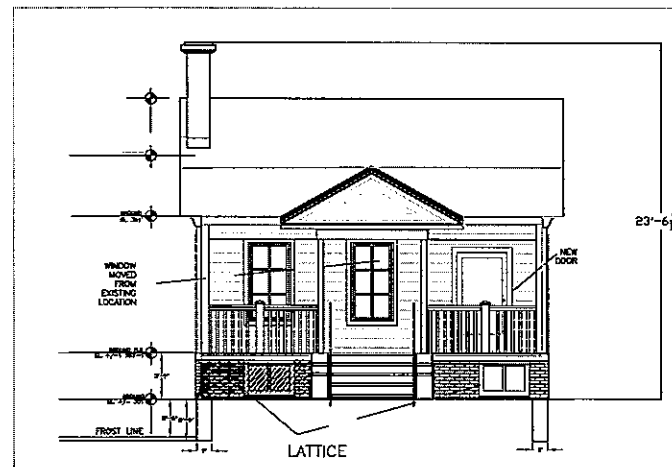
A2



1  
A3

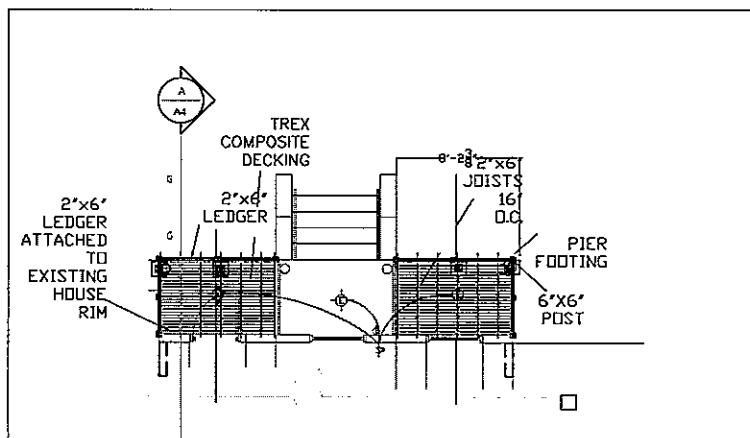
### Demolition

Scale: 1/8" = 1'-0"



### Proposed Elevation

Scale: 1/8" = 1'-0"



2  
A3

### Porch Framing Plan

Scale: 1/8" = 1'-0"

#### General Notes

| No. | Revision/Issue | Date |
|-----|----------------|------|
|     |                |      |

#### Site name and address

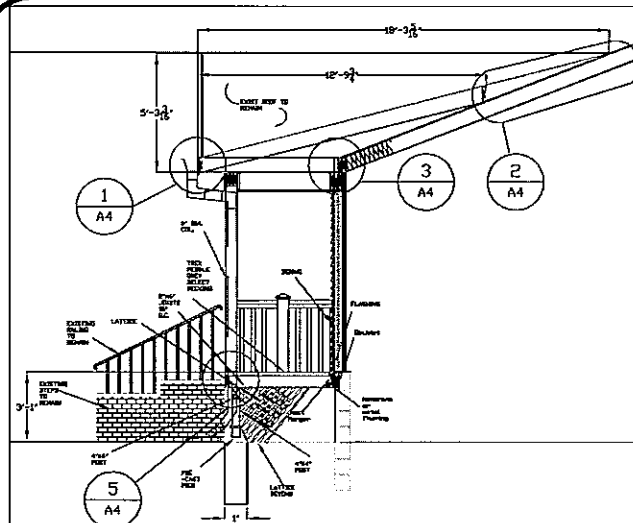
305 MEDIA  
4041 CARDINAL CREST DRIVE  
WOODBRIIDGE, VA 22913

#### Project name and address

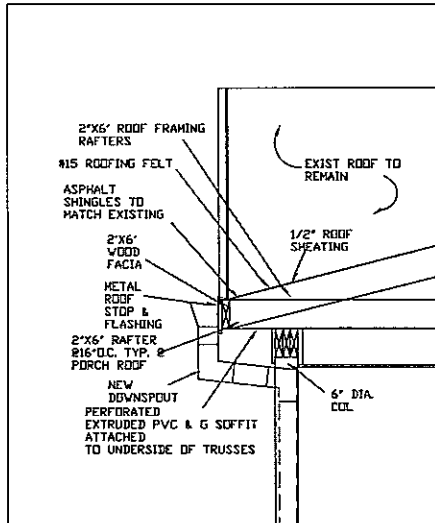
Melhart Residence  
4925 41st Street, NW  
Washington, DC

|                              |                      |
|------------------------------|----------------------|
| Project<br>Melhart Residence | Date<br>May 20, 2015 |
|------------------------------|----------------------|

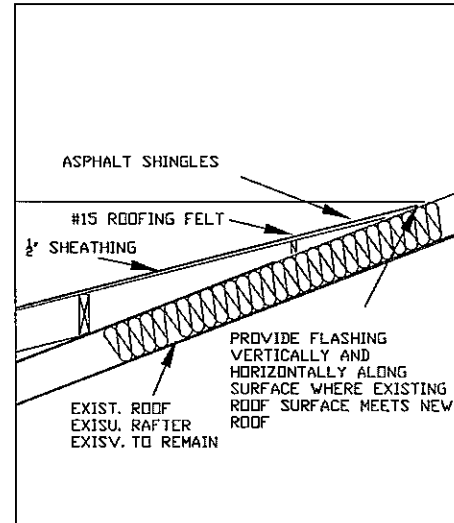
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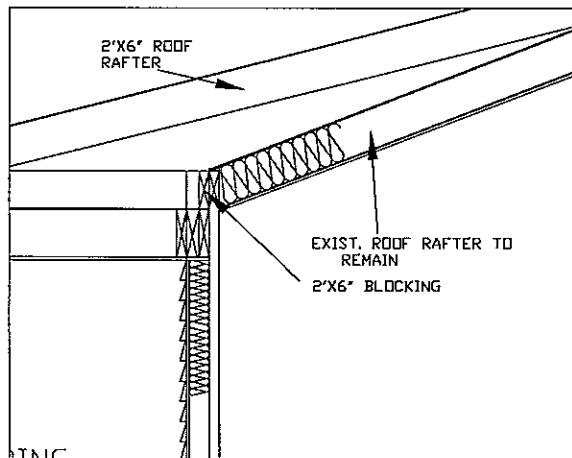
**A**  
A4  
**Section A-A**  
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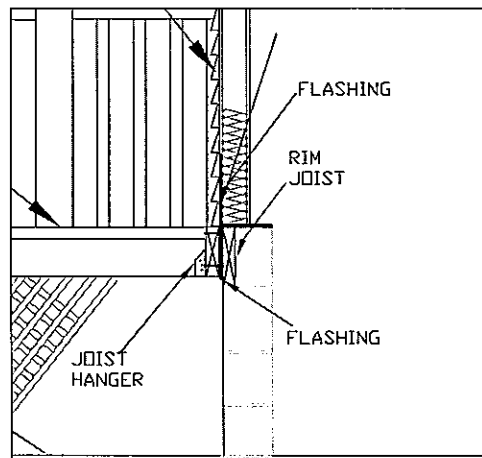
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A4  
**DETAIL**  
Scale: 3/8" = 1'-0"



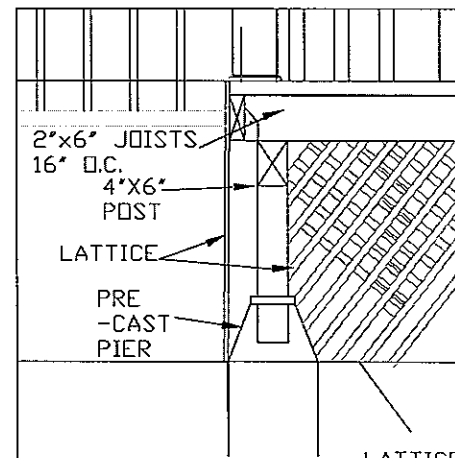
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A4  
**DETAIL**  
Scale: 1/2" = 1'-0"



**3**  
A4  
**DETAIL**  
Scale: 1/2" = 1'



**4**  
A4  
**DETAIL**  
Scale: 1/2" = 1'



**5**  
A4  
**DETAIL**  
Scale: 3/4" = 1'

**General Notes**

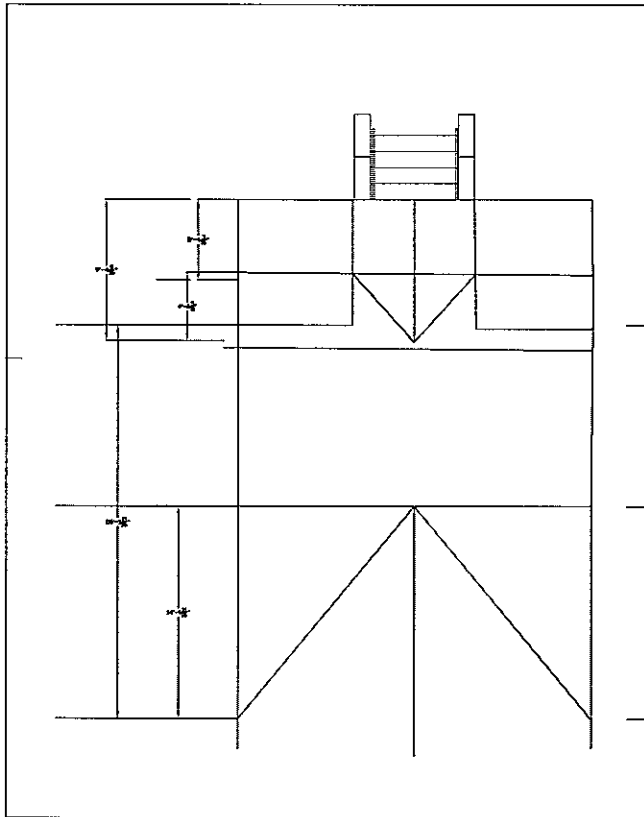
Notes:  
ALL EXPOSED WOOD SHALL BE PRESSURE TREATED TYP.

| No. | Revisions/Issues | Date |
|-----|------------------|------|
|     |                  |      |

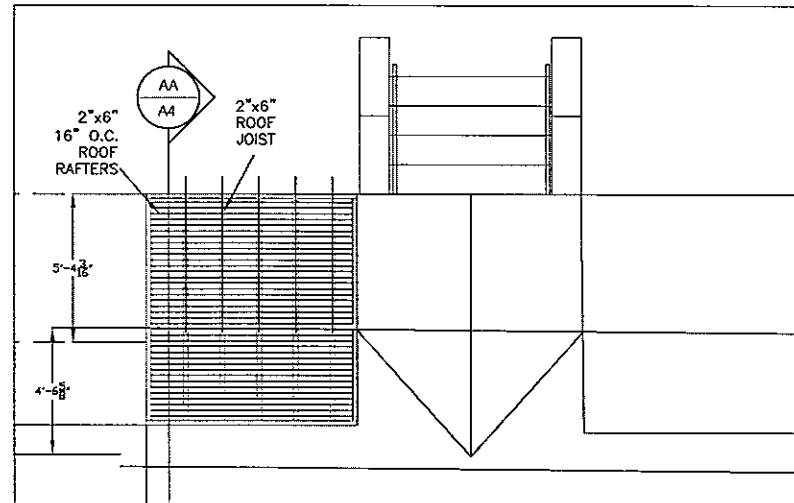
**Per Owner and Address**  
305 MEDIA  
4041 CARDINAL CREST DRIVE  
WOODBRIDGE, VA 22151

**Project Name and Address**  
Nehert Residence  
4925 41st Street, NW  
Washington, DC

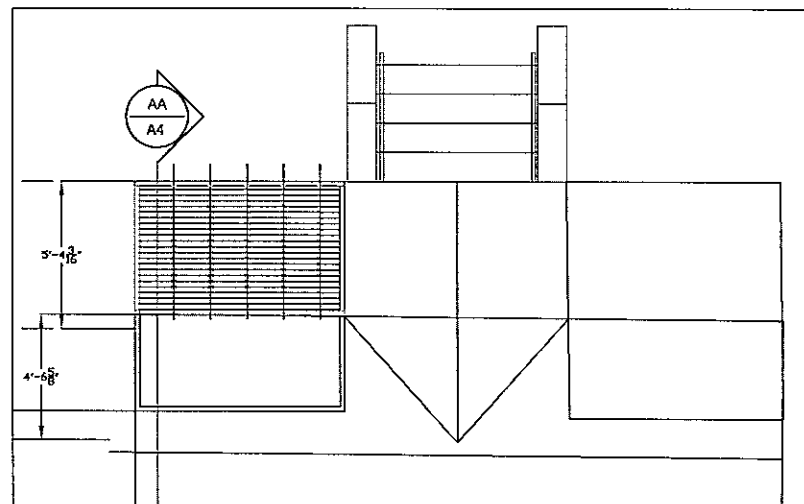
**Project**  
Nehert Residence  
Date: June 10, 2015  
Sheet: **A4**



1  
A5  
Roof Plan  
Scale: 1/8" = 1'-0"



1  
A5  
Roof Framing Plan Option 1  
Scale: 1/8" = 1'-0"



2  
A5  
Roof Framing Plan Option 2  
Scale: 1/8" = 1'-0"

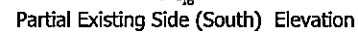
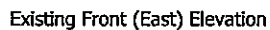
General Notes

| No. | Revisions/Notes | Date |
|-----|-----------------|------|
|     |                 |      |

Plan Name and Address  
3DS MEDIA  
4041 CARDINAL CREST DRIVE  
WOODBRIDGE, VA 22193

Project Name and Address  
Habitat RedKance  
4925 41st Street, NW  
Washington, DC

|                             |                      |                    |
|-----------------------------|----------------------|--------------------|
| Project<br>Habitat RedKance | Date<br>May 20, 2015 | Sheet<br><b>A5</b> |
|                             |                      |                    |



| No. | Revision/Issue | Date |
|-----|----------------|------|
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**Print Name and Address**

3DS Media  
4041 Cardinal Crest Drive  
Woodbridge, VA 22193

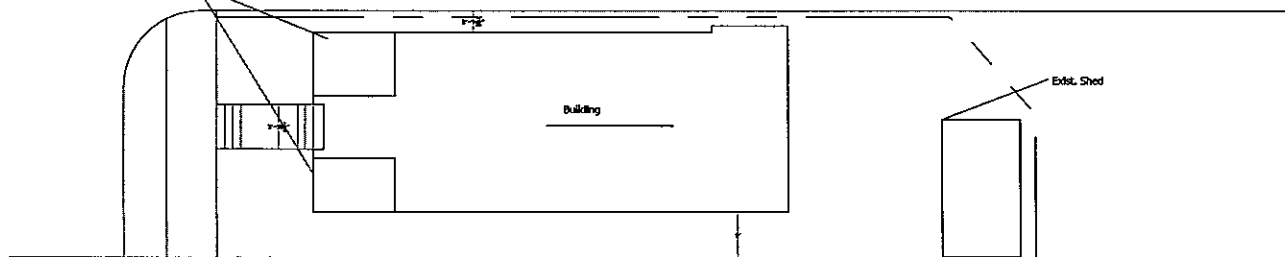
**Project Name and Number**

Melbert Residence Porch  
4925 41st St. NW  
Washington, DC

|         |                   |
|---------|-------------------|
| Project | Melhart Residence |
| City    | Washington, DC    |
| State   |                   |

[illegible]

**New Covered Porch**

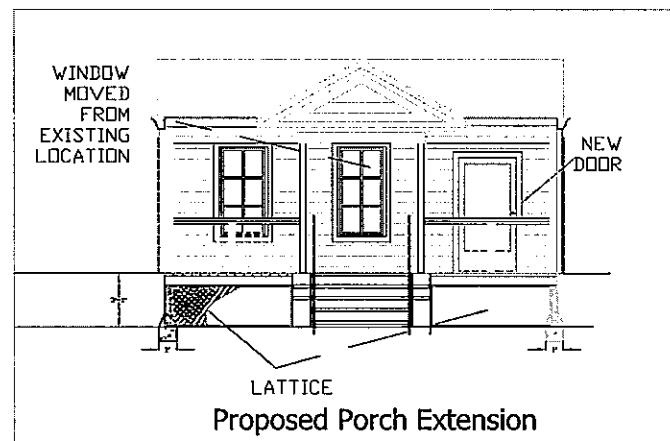
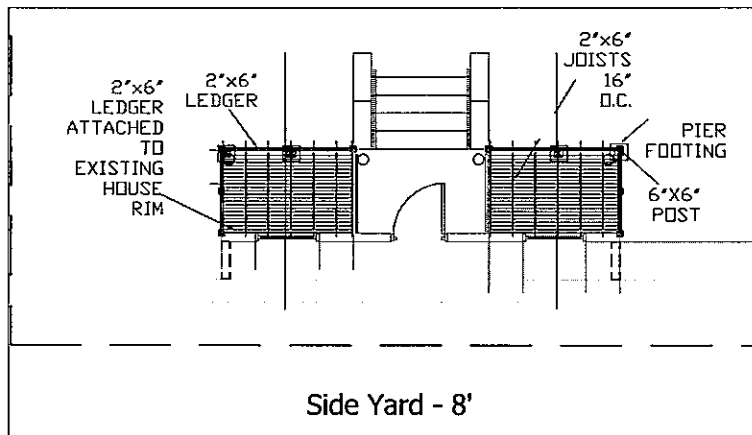
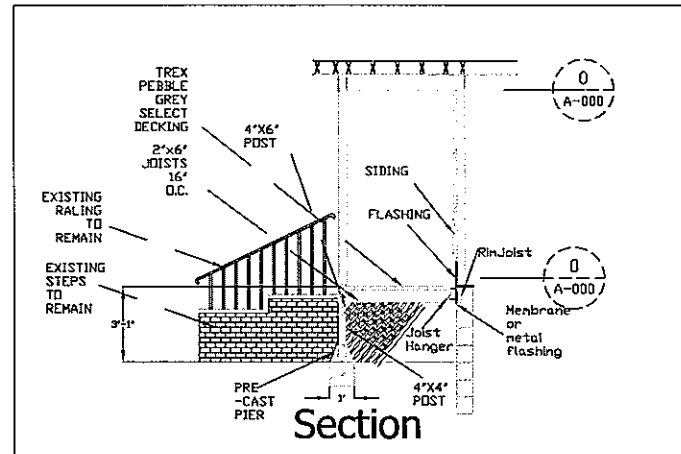


Exist. Shed

Building

Zoning Setback Minimum Requirements:  
Rear Yard - 25' \*  
Side Yard - 8'  
Existing Lot Coverage - 77 %  
Proposed Lot Coverage - 77 %  
Zoning- R1





| General Notes                                      |                |                               |
|----------------------------------------------------|----------------|-------------------------------|
| No.                                                | Revising/Amend | Date                          |
| <div> <div> Project Name and Address </div> </div> |                |                               |
| <div> <div> Project Name and Address </div> </div> |                |                               |
| <div> <div>Project</div> <div>Date</div> </div>    |                | <div> <div>Sheet</div> </div> |

