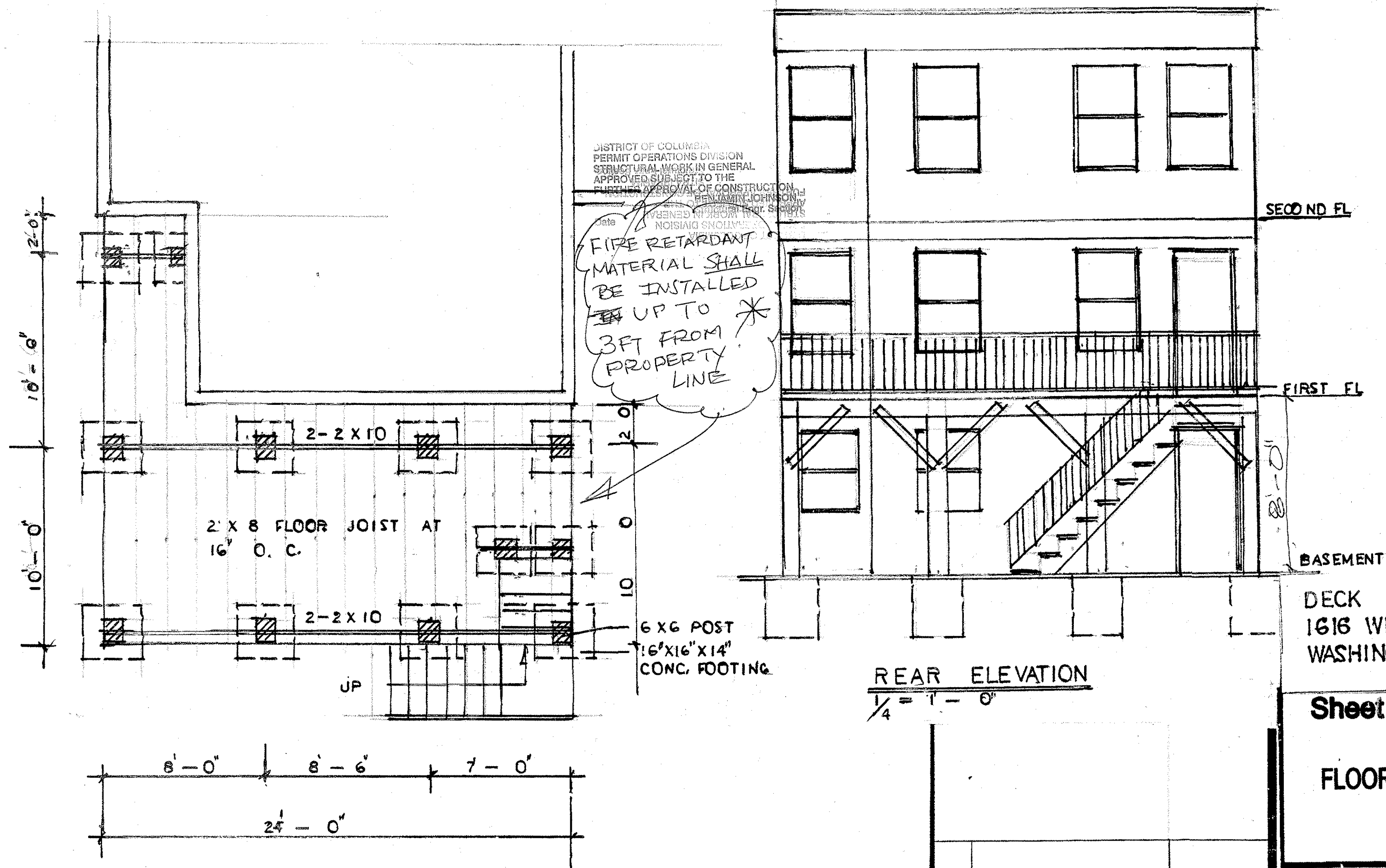




DECK FRAMING PLAN

1/4" = 1' - 0"

No.	Revision/Issue	Date
Consultants		
Sunday Ojigbo (B.S. Arch/ M.S. Planning) 2409 Oxon Run Drive Temple Hills, Md 20744		

Consultants

Sunday Ojigbo
(B.S. Arch/ M.S. Planning)
2409 Oxon Run Drive
Temple Hills, Md 20744

Sheet Title

FLOOR PLANS

DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION
DATE: 12-15-13
BENJAMIN JOHNSON
Engr. Section

AUG 3, 2013

Project No.

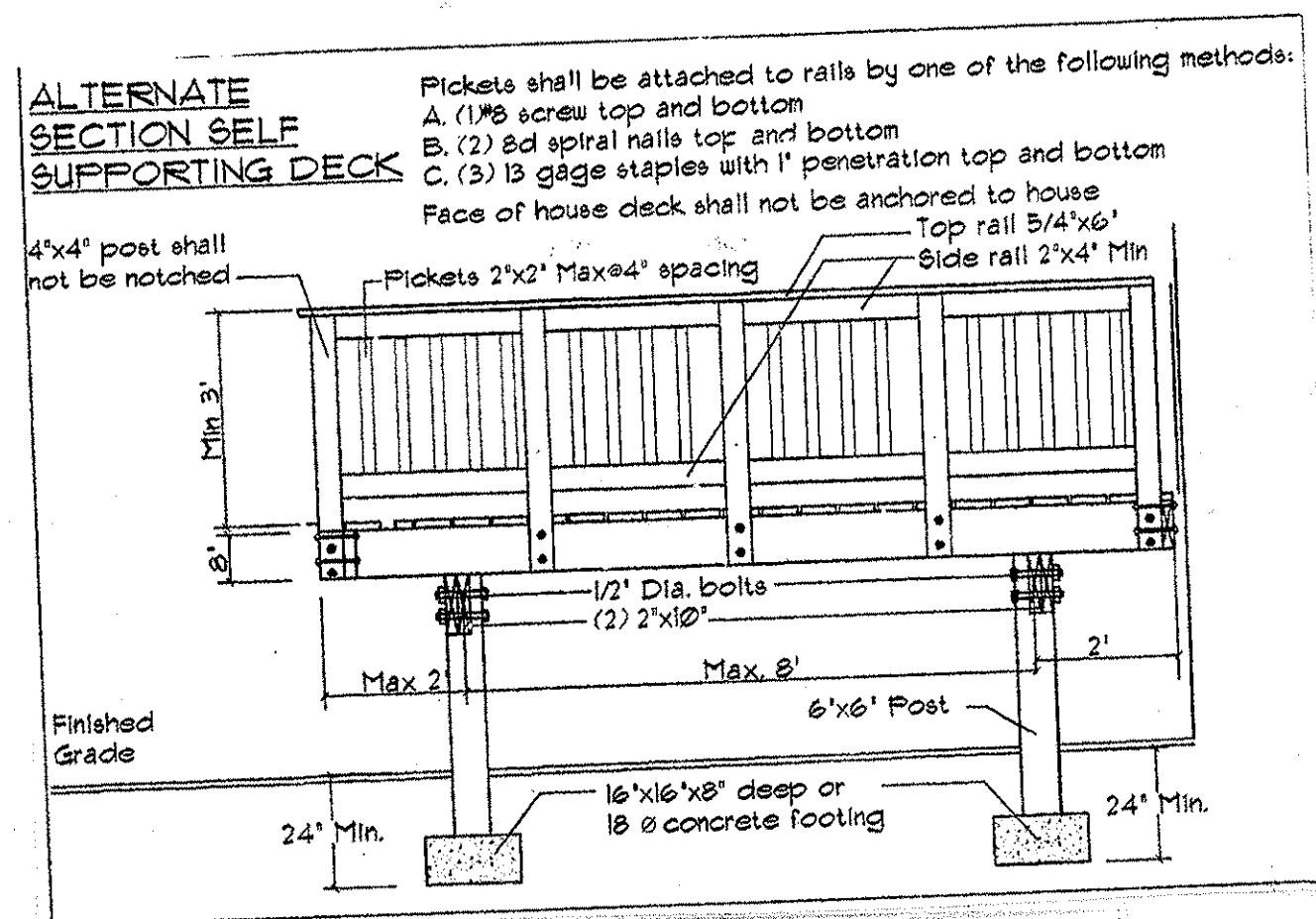
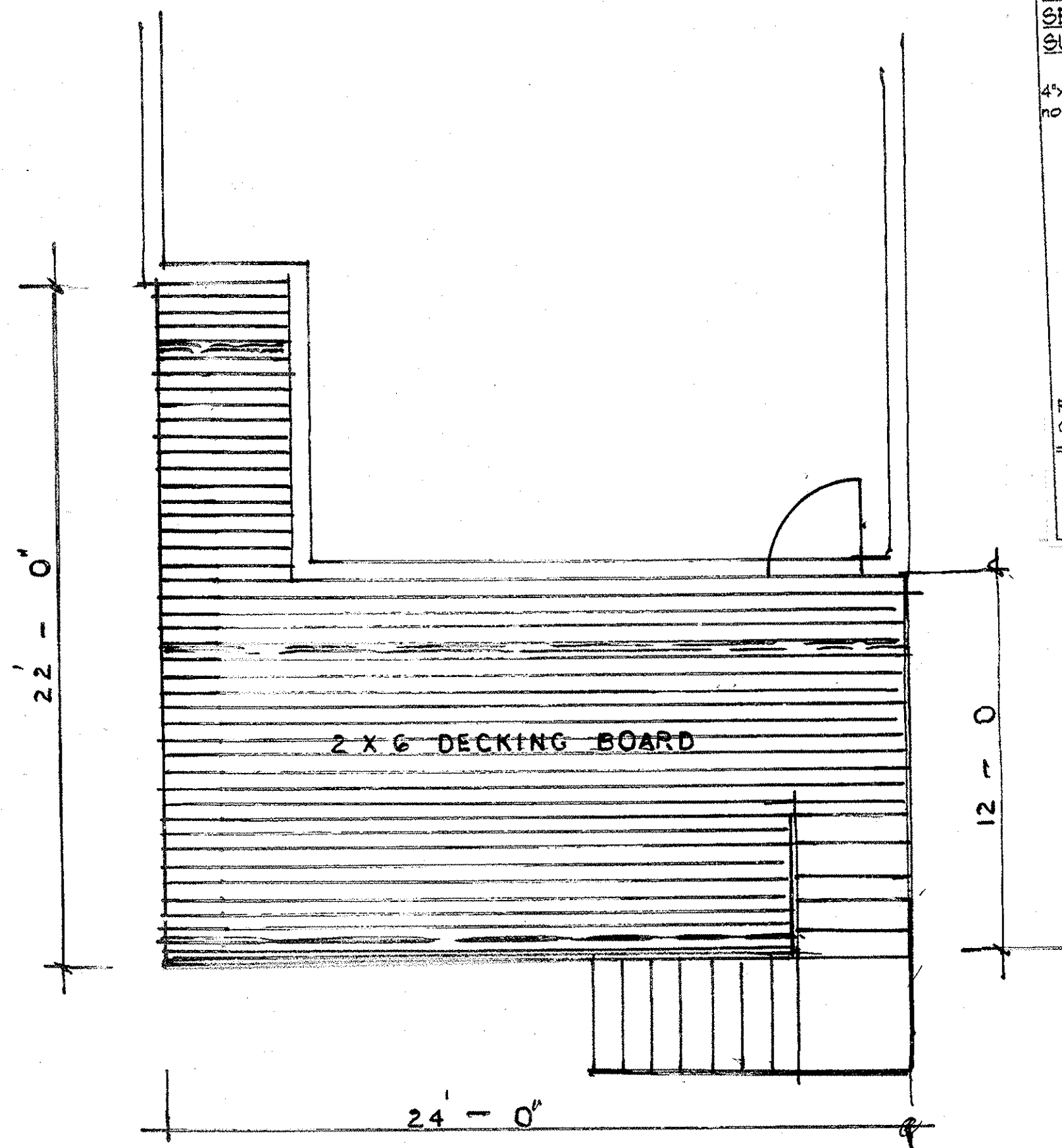
Sheet

Date 12-15-13

Drawn By RFM

Scale AS SHOWN

A - 1



DECK CONSTRUCTION
 1616 WEBSTER STREET NW
 WASHINGTON DC

No.	Revision/Issue	Date

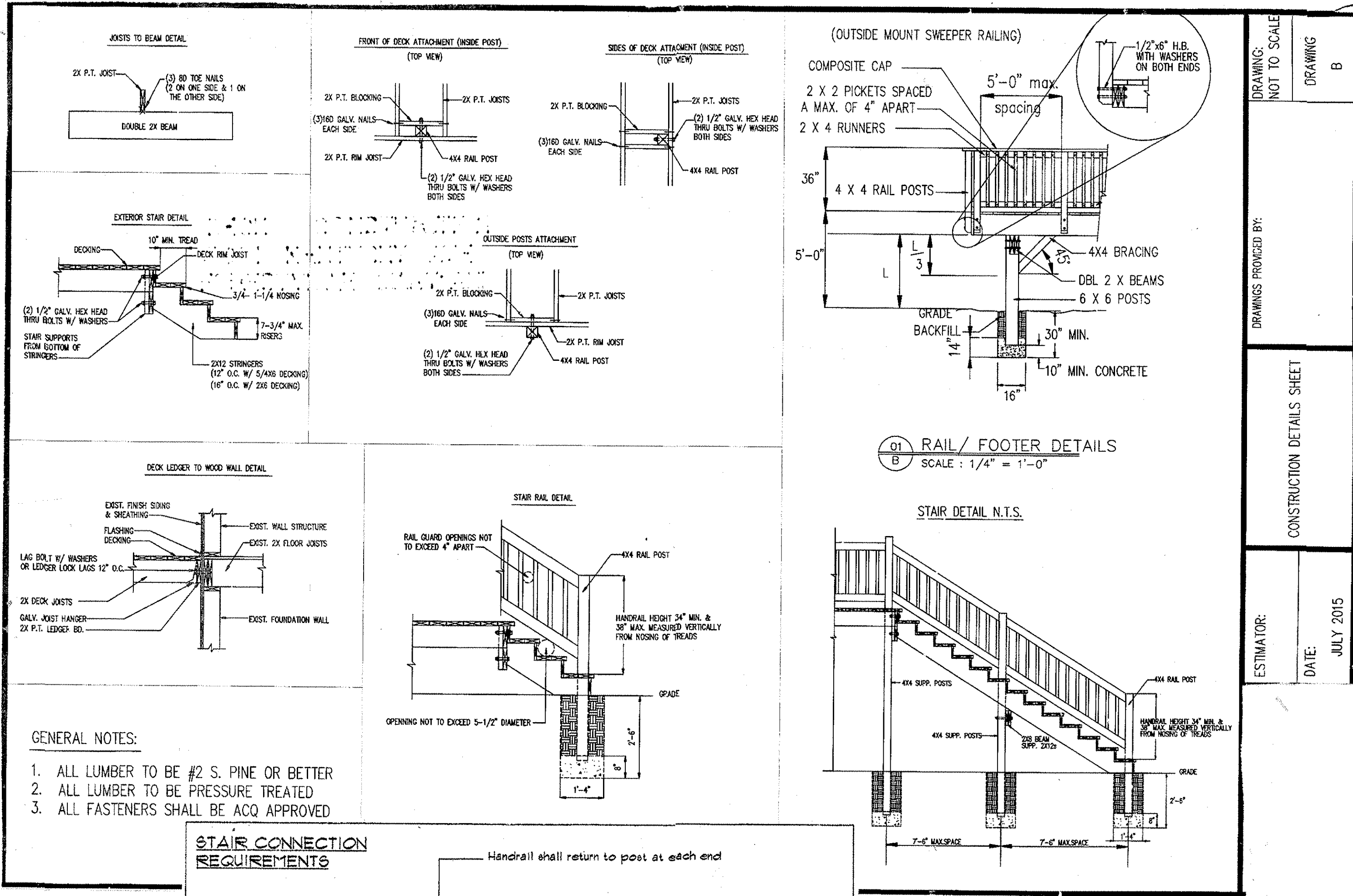
Consultants

Sunday Ojigbo
 (B.S. Arch/ M.S. Planning)
 2409 Oxon Run Drive
 Temple Hills, Md 20744

Sheet Title

FLOOR PLANS

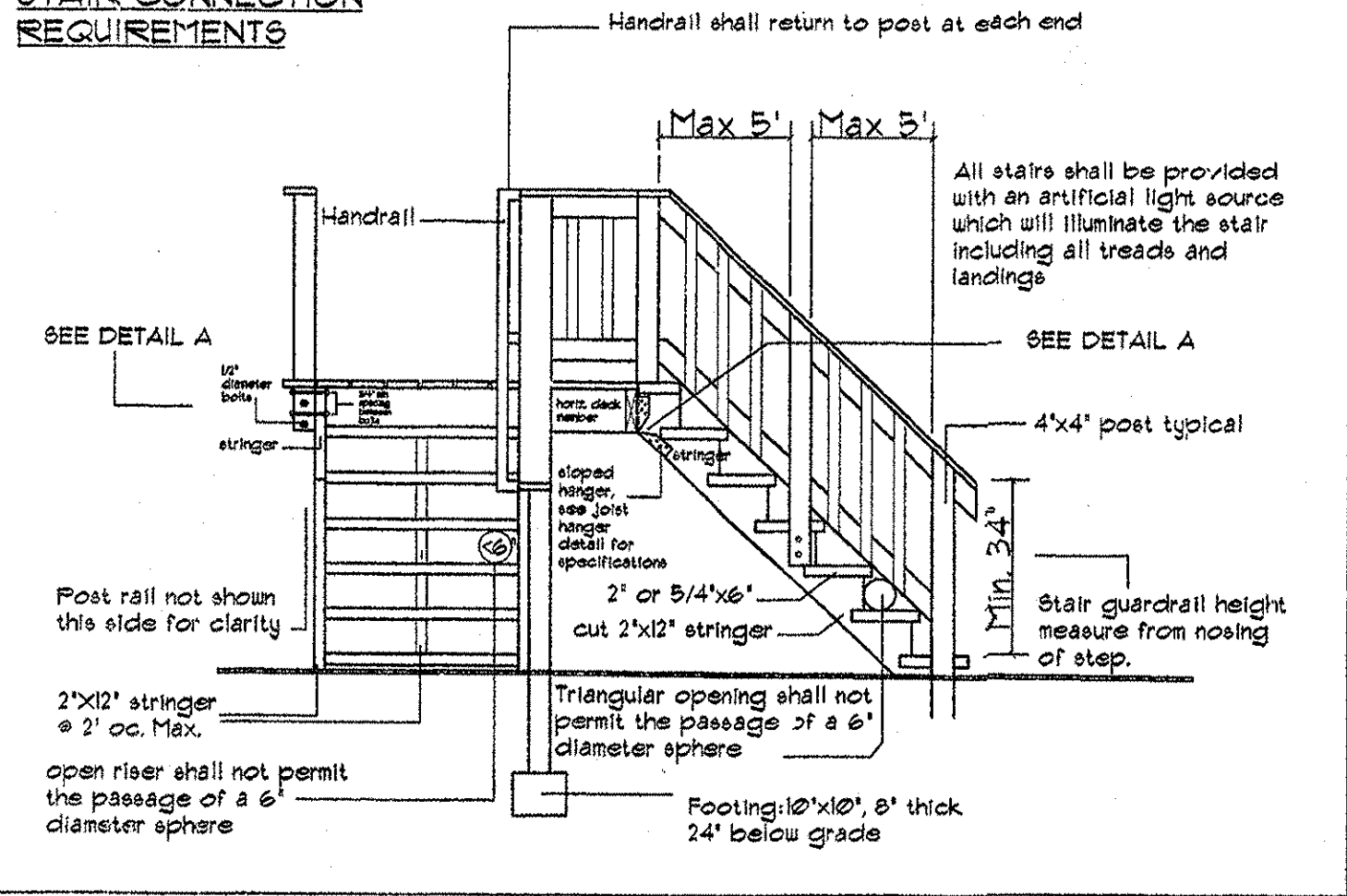
Project No.	Sheet
Date 12-15-13	A-2
Drawn By RFM	
Scale AS SHOWN	



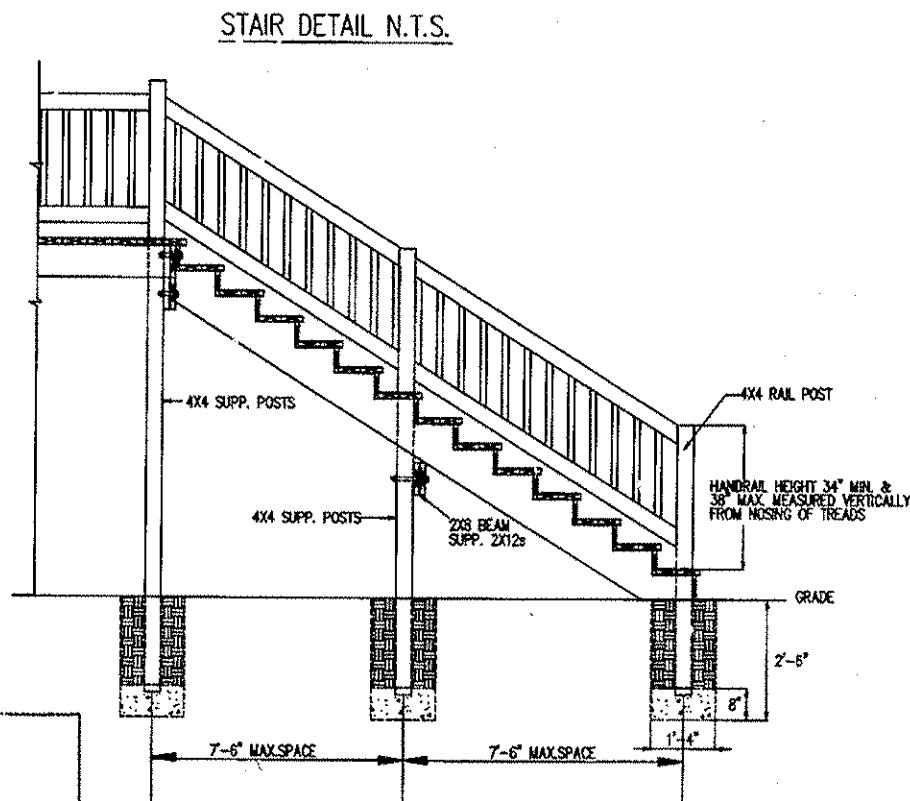
GENERAL NOTES:

1. ALL LUMBER TO BE #2 S. PINE OR BETTER
2. ALL LUMBER TO BE PRESSURE TREATED
3. ALL FASTENERS SHALL BE ACQ APPROVED

STAIR CONNECTION REQUIREMENTS



RAIL/FOOTER DETAILS
SCALE: 1/4" = 1'-0"



DRAWING: NOT TO SCALE	DRAWING B
DRAWINGS PROVIDED BY:	CONSTRUCTION DETAILS SHEET
ESTIMATOR:	DATE: JULY 2015

DECK CONSTRUCTION
1616 WEBSTER STREET NW
WASHINGTON DC

No.	Revision/Issue	Date
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Consultants
Sunday Ojigbo
(B.S. Arch/ M.S. Planning)
2409 Oxon Run Drive
Temple Hills, Md 20744

Sheet Title
FLOOR PLANS

Project No.	Sheet
Date 12-15-13	A-3
Drawn By RFM	
Scale AS SHOWN	

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., August 20, 2015

Plat for Building Permit of: SQUARE 2646 LOT 10

Scale: 1 inch = 20 feet Recorded in Book 62 Page 78

Receipt No. 15-07224

Furnished to: CAROL ANN O'DAY

[Signature]
FOR Surveyor, D.C.

By: A.S. *[Signature]*

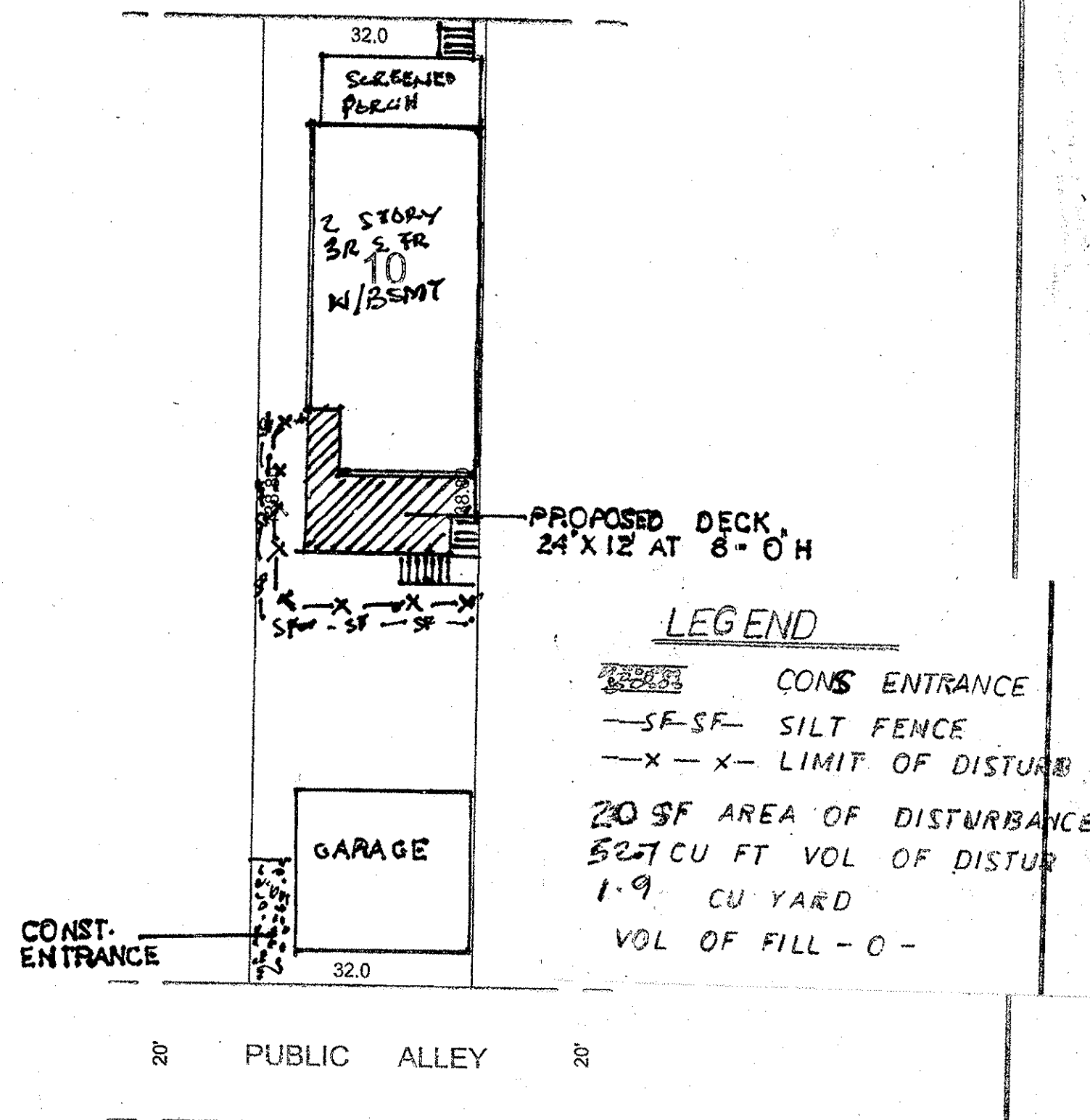
I hereby certify that all existing improvements shown thereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon, the size of any adjoining Lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified that all Lot divisions or combinations pending at the Office of Tax & Revenue are correctly depicted, and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and private restricted property.) Owner/Agent shall indemnify, defend, and hold the District, its officers, employees and agents harmless from and against any and all losses, costs, claims, damages, liabilities, and causes of action (including reasonable attorneys' fees and court costs) arising out of death of or injury to any person or damage to any property occurring on or adjacent to the Property and directly or indirectly caused by any acts done thereon or any acts or omissions of Owner/Agent; provided however, that the foregoing indemnity shall not apply to any losses, costs, claims, damages, liabilities, and causes of action due solely to the gross negligence or willful misconduct of District or its officers, employees or agents.

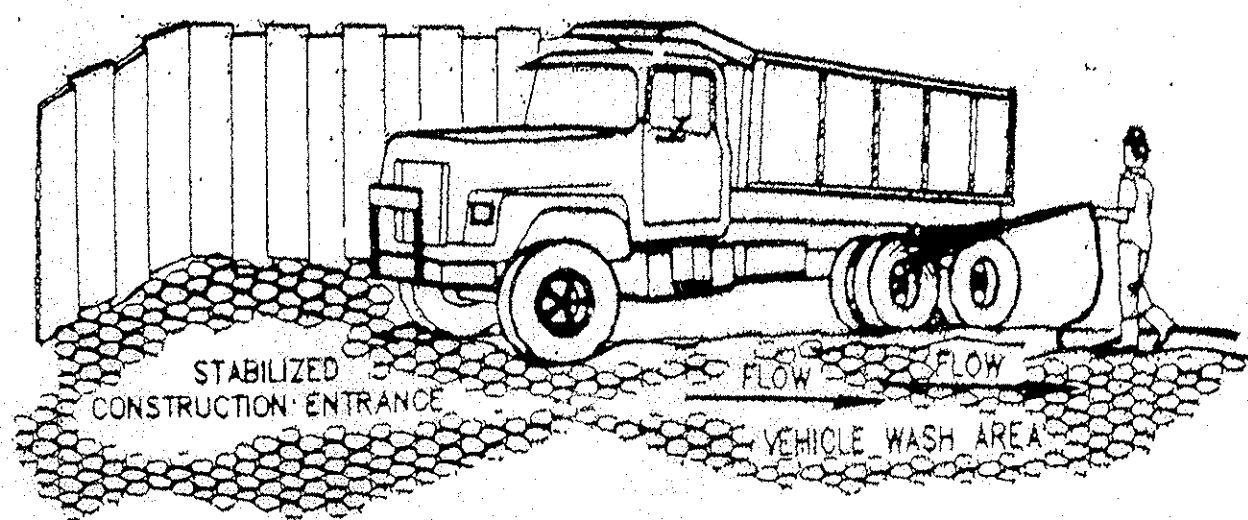
Date: _____

(Signature of owner or his authorized agent)

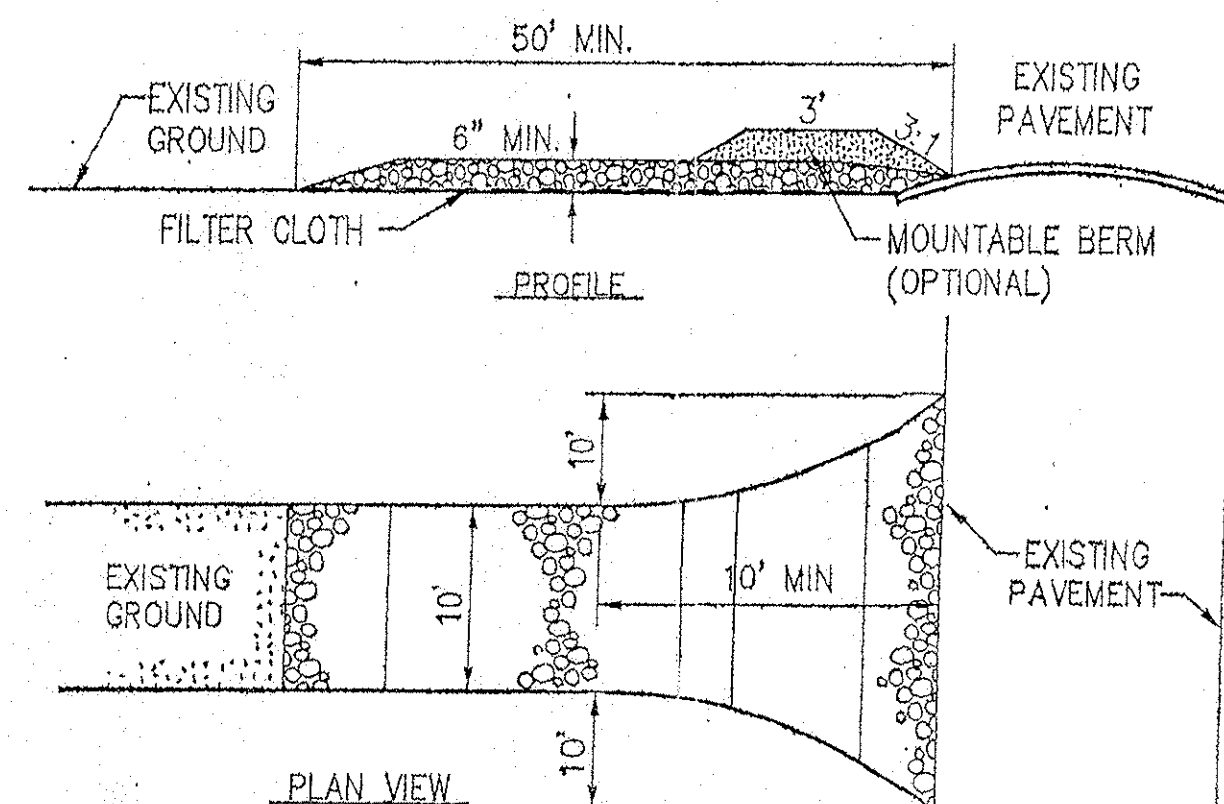
NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

WEBSTER STREET, N.W.





VEHICLE WASH DETAIL
(NOT TO SCALE)



1 STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)

CONSTRUCTION RAMP SPECIFICATION

1. STONE SIZE— USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH— AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS— NOT LESS THEN SIX (6) INCHES.
4. WIDTH— TEN (10) FOOT MINIMUM, BUT NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH— WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER— ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE— THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING— WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SEDIMENT CONTROL APPROVAL

PLAN NUMBER _____

THIS APPROVAL IS FOR GRADING AND SEDIMENT CONTROL ONLY.

PERMITTEE/CONTRACTOR IS REQUIRED TO CONSTRUCT DESIGN FEATURES SHOWN

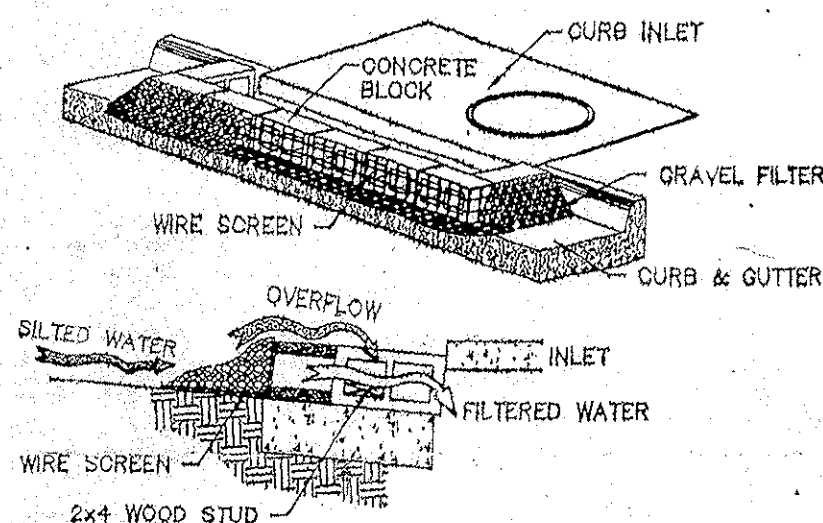
HEREON. HE SHALL NOTIFY THIS OFFICE AT NUMBER BELOW AT LEAST 24 HOURS

BEFORE START OF GRADING ACTIVITY AND WITHIN TWO WEEKS AFTER

COMPLETION OF PROJECT FOR FINAL INSPECTION

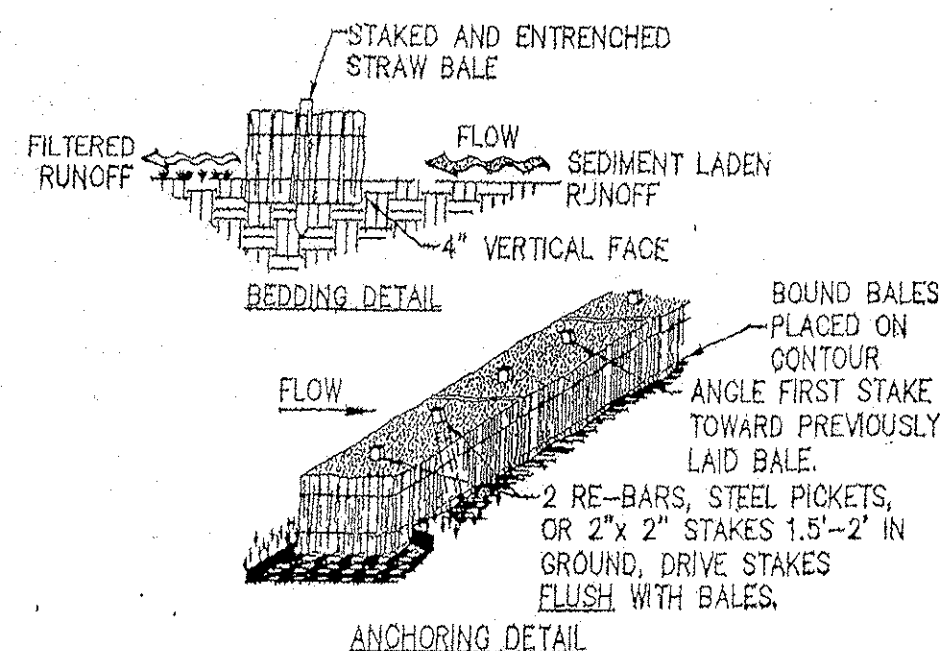
DATE _____

FLOODING AND EROSION
CONTROL SECTION



2 CURB INLET SEDIMENT FILTER (NOT TO SCALE)

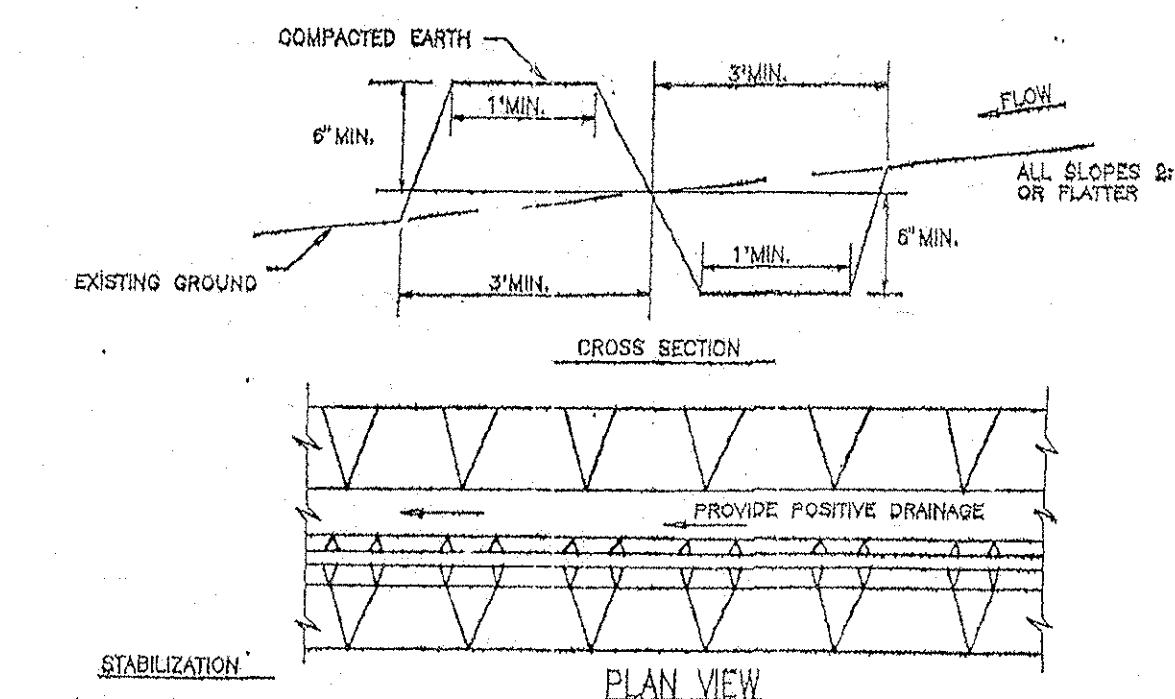
1. TWO CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ABUTTING THE CURB AT EITHER SIDE OF THE INLET OPENING.
2. A 2 INCH BY 4 INCH STUD SHALL BE CUT AND PLACED THROUGH THE OUTER HOLES OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCKS IN PLACE.
3. CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ACROSS THE FRONT OF THE INLET AND ABUTTING THE SPACER BLOCKS AS ILLUSTRATED.
4. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. CHICKEN WIRE OR HARDWARE CLOTH WITH 1/2-INCH OPENINGS SHALL BE USED.
5. TWO TO THREE INCH STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BARRIER AS SHOWN.
6. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.



CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THAT BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

6 STRAW BALE DIKE DETAIL (NOT TO SCALE)



3 EARTH DIKE DETAIL (NOT TO SCALE)

Construction Specifications

1. All perimeter dike/swales shall have an uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet into an undisturbed stabilized area at a non-erosive velocity.
4. The swale shall be excavated or shaped to line, grade, and cross-section as required to meet the criteria specified in the standard.
5. Fill shall be compacted by earth moving equipment.
6. Stabilization with seed and mulch or as specified of the area disturbed by the dike and swale shall be completed within 7 days upon removal.
7. Inspection and required maintenance shall be provided after each rain event.

Note: The maximum drainage area for this practice is 2 acres.

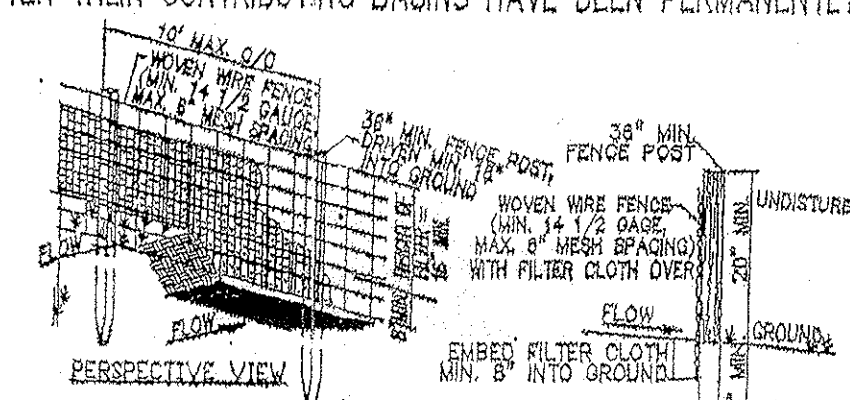
U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS IS TO BE REMOVED FROM THE SITE.
3. ALLEY AND / OR STREET SHALL BE SWEEPED CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY BY THE CONTRACTOR. ANY DAMAGED DEVICE OR MEASURE WILL BE REPAIRED OR REPLACED BY THE CLOSE OF DAY OR AS DIRECTED BY THE ARCHITECT.
5. ALL VEHICLES LEAVING THE SITE SHALL EXIT THROUGH THE CONSTRUCTION ENTRANCE ONLY AND SHALL BE WASHED DOWN TO REMOVE MUD FROM TIRES BEFORE ENTERING THE STREET. CONSTRUCTION ENTRANCE TO BE MAINTAINED IN GOOD WORKING CONDITIONS.
6. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
7. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS IMMEDIATE CLEANING.
8. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE BOUNDARY NOT SHOWN TO BE PAVED SHALL BE SEEDED OR SODDED AS PER DC SPECIFICATIONS WITHIN SEVEN DAYS OF DISTURBANCE.
10. ANY STOCKPILING, REGARDLESS OF LOCATION ON SITE SHALL BE STABILIZED WITHIN 14 DAYS AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
11. AFTER RAZE OR DEMOS, THERE IS NEED FOR GROUND COVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING. SUCH AS SEED, SOD, PAVING, BRICKBRACK OR MULCH, ETC.
12. AT THE COMPLETION OF CONSTRUCTION PROJECT AND AFTER THE D.C. EROSION AND SEDIMENT CONTROL INSPECTOR APPROVAL, ALL TEMPORARY SILTATION, SEDIMENTATION AND EROSION CONTROL MEASURES AND DEVICES SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE PERMANENTLY STABILIZED.

SEQUENCE OF CONSTRUCTION

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE WHERE SHOWN. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL SILT FENCE AROUND PERIMETER OF SITE.
4. NO DISTURBED AREA WILL BE DENUDED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SILTATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL SILT FENCE TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.



4 STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS:
STEEL EITHER T OR U TYPE OR 2" HARDWOOD

FENCE:
WOVEN WIRE, 14 1/2 GAGE 6" MESH OPENING

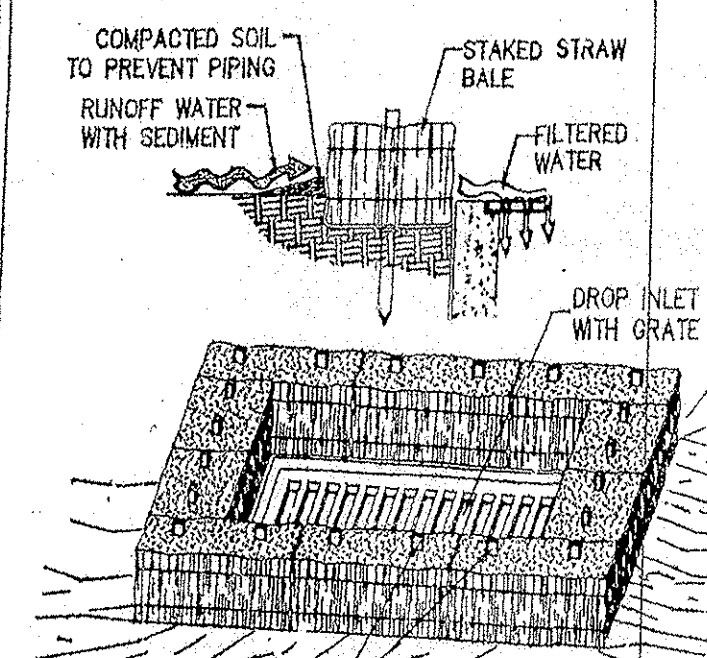
FILTER CLOTH:
FILTER X, MIRAFI 100X, STABILINK, T140N OR APPROVED EQUAL

PREFABRICATED UNIT:
GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

PLAN NUMBER

THIS APPROVAL IS FOR GRADING AND SEDIMENT CONTROL ONLY. PERMITTEE/CONTRACTOR IS REQUIRED TO CONSTRUCT DESIGN FEATURE SHOWN HEREON. HE SHALL NOTIFY THIS OFFICE AT (202)637-4360 AT LEAST 24 HOURS BEFORE START OF GRADING ACTIVITY AND WITHIN TWO WEEKS AFTER COMPLETION OF PROJECT FOR FINAL INSPECTION.

SEDIMENT AND EROSION CONTROL PLAN & DETAILS



STRAW BALES STAKED
WITH 2 STAKES PER BALE

SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

5 STRAW BALE DROP INLET SEDIMENT FILTER (NOT TO SCALE)