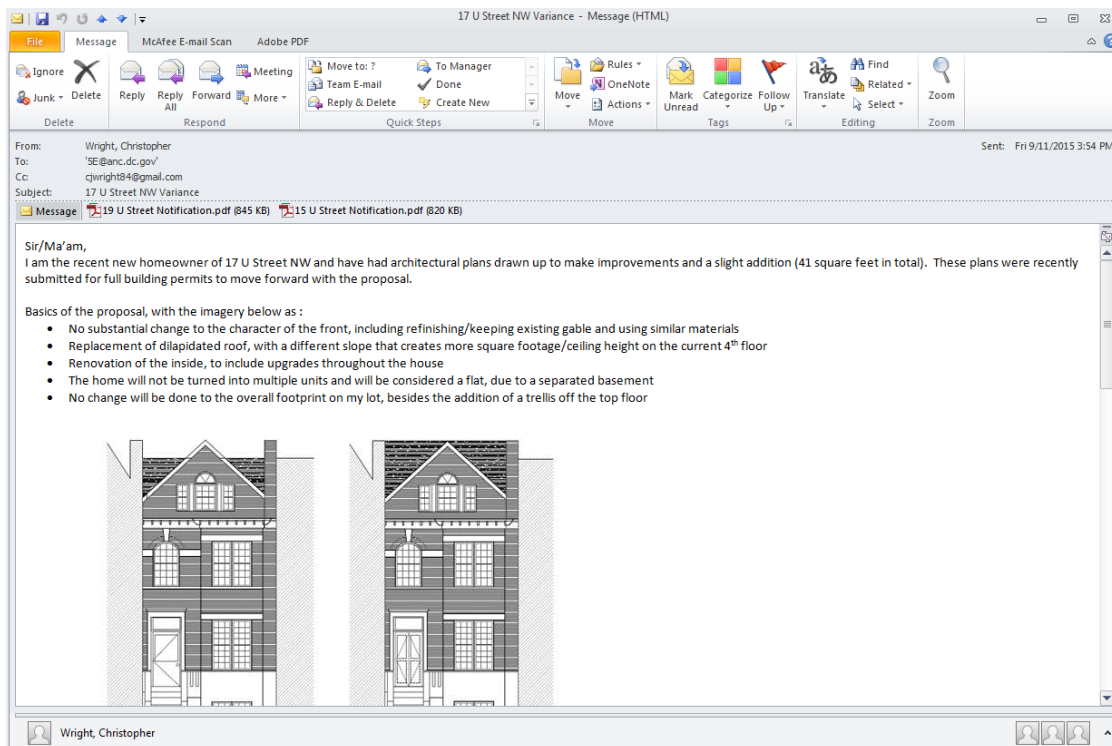


3) Notification (ANC, Community, Office of Planning, Neighbors)

The APPLICANT originally contacted the ANC (ANC 5E) on 11 September 2015 to inform them of the need for a variance, which included a description of the proposed renovation (see screenshot below). In addition to earlier interaction with the Single-Member ANC Member (ANC 5E08, Austin Pearl) in August 2015, the APPLICANT requested on 6 October 2015 that his variance be considered at the next regularly scheduled ANC Public Meeting on 20 October 2015.



The APPLICANT contacted the Bloomingdale Civic Association on 7 October 2015 to inform them of the need for a variance, which included a detailed description of the proposed renovation. The APPLICANT requested he have a chance to discuss the proposal and variance at the next regularly scheduled meeting on 19 October 2015.

The APPLICANT gained explicit support for the “proposed work plan”, following a review by the adjacent homeowners and a discussion of ensuring construction safeguards, on 28 August 2015. Please see signatures (attached 4 pages) of support from homeowners at 15 and 19 U Street NW, respectively.

The APPLICANT has obtained the names and mailing addresses of all property owners within 200 feet and will support the timely notification of those individuals. Additionally, the APPLICANT will attempt to gain explicit support from those property owners within 200 feet. The APPLICANT will also ensure any further notification and displays are readily made available.

**NOTIFICATION FORM
SAFEGUARDS DURING CONSTRUCTION**

DATE: 27 August 2015

OWNER: Christopher J. Wright

MAILING ADDRESS: 17 U Street NW
Washington, DC 20001

TEL: 703-946-6364

EMAIL: cjwright84@gmail.com

ADJACENT OWNER: MABLE GRACE HASKINS

ADDRESS: 15 U ST. NW
Washington D.C. 20001

TEL: 202 290-1680

EMAIL: mablehaskins@comcast.net

Address of Proposed Work: 17 U Street NW, Washington, DC 20001

Section §3307.1 of the 2013 District of Columbia Building Code, 12 DCMR A (the "Building Code") requires adjoining public and private property to be protected from damage during construction, alteration, repair, demolition or raze of a premises at the expense of the person causing the work. Protection must be provided for lots, and for all elements of a building or other structure, including, but not limited to, footings, foundations, party walls, chimneys, skylights, and roofs. Provisions shall be made to control water runoff and erosion during construction or demolition or raze activities.

Proper underpinning of existing adjoining or party walls which require underpinning must be provided in accordance with applicable sections of the Building Code.

Under Sections §3307.2 and §3307.3 of the Building Code, notification of the adjoining property owner is required for certain types of construction activities. A copy of Section §3307 of the Building Code is available online on the DCRA website at <http://dcra.dc.gov/page/regulations-dcra> or through the following online link:
http://www.ecodes.biz/ecodes_support/free_resources/2013DistrictofColumbia/13Building/PDFs/Chapter%2033%20%20Safeguards%20During%20Construction.pdf

SCOPE OF WORK REQUIRING NOTIFICATION OF ADJACENT PROPERTY OWNER(S) (check as applicable):

1. The proposed work involves the need to install structural support of an adjoining building or structure (e.g., underpinning of foundation) _____; or
2. The proposed work involves excavation on the owner's property and the related need to support an adjacent property, including land and any buildings or structures located on the adjacent property (not including a public way) _____; or
3. The proposed work will impact the use or stability or structural support of a party wall or party line _____.

Form of Notification Required

Dear _____

My name is Christopher J Wright. (I am/we are) the owner of the property located at 17 U Street NW, Washington, DC 20001 which adjoins your property. Pursuant to Section §3307.2 and/or Section §3307.3 of the 2013 District of Columbia Building Code, Title 12 DCMR Subtitle A (the "Building Code"), (I am/We are) proposing to carry out work, as identified above, which requires notification to you as the adjacent property owner. This notification includes a copy of all construction documents which relate to the structural support of the adjoining building or other structure or to the structural support of the excavation, including any updates or amendments to the work plan that have been submitted with the permit application(s).

1 This form has been provided by DCRA for the purpose of demonstrating a permit applicant's compliance with the notification and property access requirements of Section 3307 of the Building Code. Compliance with these requirements does not relieve a permit holder, or person causing the work, of any obligations or responsibilities under civil or criminal law to protect an adjoining property from damage.

DCRA/POD/2014

Adjoining Owner's Response

Address of Proposed Work: 17 U Street NW, Washington, DC 20001

Adjacent Property Address: 15 U Street NW, Washington, DC 20001

I do not object to the proposed work plan ngk.

Requested access to my property is:

Granted N/A

Granted with Conditions _____

*Denied _____

I object to the proposed work plan on the grounds that the proposed work plan will not protect my adjoining property, and I have attached technical support for my objection _____. Following resolution of my objection under Section §3307.2.2.2 of the Building Code, I understand that I will have an opportunity to decide whether or not access to my property will be granted.

Mahle Grace Hashemi

Adjoining Owner's Signature

Date: 8-30-2015

*If access is denied, I understand that (1) I will be responsible for making safe my own property without delay so as not to impede or materially delay the proposed construction; and (2) limited access will still be authorized in the following circumstances
(a) where a wall or foundation located on a party line or on my property requires underpinning as a result of the proposed work;
(b) where the owner causing the work can provide the underpinning by undertaking the work from his/her/its property, even if the footing extends onto my property; and (c) where extension of the footing is required to stabilize and support my building, and to avoid unreasonable delay in excavation and development of the permitted project.

3

This form has been provided by DCRA for the purpose of demonstrating a permit applicant's compliance with the notification and property access requirements of Section 3307 of the Building Code. Compliance with these requirements does not relieve a permit holder, or person causing the work, of any obligations or responsibilities under civil or criminal law to protect an adjoining property from damage.

DCRA/POD/2014

**NOTIFICATION FORM
SAFEGUARDS DURING CONSTRUCTION**

DATE: 27 August 2015

OWNER: Christopher J. Wright

MAILING ADDRESS: 17 U Street NW

Washington, DC 20001

TEL: 703-946-6364

EMAIL: cjwright84@gmail.com

ADJACENT OWNER: CHRIS CAMPO NOVO

ADDRESS: 19 U St. NW

WDC 20001

TEL: 202-345-1317

EMAIL: chriscampnovo@yahoo.com

Address of Proposed Work: 17 U Street NW, Washington, DC 20001

Section §3307.1 of the 2013 District of Columbia Building Code, 12 DCMR A (the "Building Code") requires adjoining public and private property to be protected from damage during construction, alteration, repair, demolition or raze of a premises at the expense of the person causing the work. Protection must be provided for lots, and for all elements of a building or other structure, including, but not limited to, footings, foundations, party walls, chimneys, skylights, and roofs. Provisions shall be made to control water runoff and erosion during construction or demolition or raze activities.

Proper underpinning of existing adjoining or party walls which require underpinning must be provided in accordance with applicable sections of the Building Code.

Under Sections §3307.2 and §3307.3 of the Building Code, notification of the adjoining property owner is required for certain types of construction activities. A copy of Section §3307 of the Building Code is available online on the DCRA website at <http://dcra.dc.gov/page/regulations-dcra> or through the following online link:
[http://www.ecodes.biz/ecodes_support/free_resources/2013DistrictofColumbia/13Building/PDFs/Chapter%2033%20%20Safeguards%20During%20Const](http://www.ecodes.biz/ecodes_support/free_resources/2013DistrictofColumbia/13Building/PDFs/Chapter%2033%20%20Safeguards%20During%20Construction.pdf)
[ruction.pdf](http://www.ecodes.biz/ecodes_support/free_resources/2013DistrictofColumbia/13Building/PDFs/Chapter%2033%20%20Safeguards%20During%20Const)

SCOPE OF WORK REQUIRING NOTIFICATION OF ADJACENT PROPERTY OWNER(S) (check as applicable):

1. The proposed work involves the need to install structural support of an adjoining building or structure (e.g., underpinning of foundation) _____; or
2. The proposed work involves excavation on the owner's property and the related need to support an adjacent property, including land and any buildings or structures located on the adjacent property (not including a public way) _____; or
3. The proposed work will impact the use or stability or structural support of a party wall or party line _____.

Form of Notification Required

Dear _____

My name is Christopher J. Wright. (I am/we are) the owner of the property located at 17 U Street NW, Washington, DC 20001 which adjoins your property. Pursuant to Section §3307.2 and/or Section §3307.3 of the 2013 District of Columbia Building Code, Title 12 DCMR Subtitle A (the "Building Code"), (I am/We are) proposing to carry out work, as identified above, which requires notification to you as the adjacent property owner. This notification includes a copy of all construction documents which relate to the structural support of the adjoining building or other structure or to the structural support of the excavation, including any updates or amendments to the work plan that have been submitted with the permit application(s).

1

This form has been provided by DCRA for the purpose of demonstrating a permit applicant's compliance with the notification and property access requirements of Section 3307 of the Building Code. Compliance with these requirements does not relieve a permit holder, or person causing the work, of any obligations or responsibilities under civil or criminal law to protect an adjoining property from damage.

DCRA/POD/2014

Adjoining Owner's Response

Address of Proposed Work: 17 U Street NW, Washington, DC 20001

Adjacent Property Address: 19 U Street NW, Washington, DC 20001

I do not object to the proposed work plan X.

Requested access to my property is: If access is necessary, owner of 17 U St.

Granted _____
Granted with Conditions Accepts responsibility to cure any damages caused to
*Denied _____ my property in connection with construction access.

I object to the proposed work plan on the grounds that the proposed work plan will not protect my adjoining property, and I have attached technical support for my objection _____. Following resolution of my objection under Section §3307.2.2.2 of the Building Code, I understand that I will have an opportunity to decide whether or not access to my property will be granted.


Adjoining Owner's Signature

Date: 30 Aug. 2015

*If access is denied, I understand that (1) I will be responsible for making safe my own property without delay so as not to impede or materially delay the proposed construction; and (2) limited access will still be authorized in the following circumstances
(a) where a wall or foundation located on a party line or on my property requires underpinning as a result of the proposed work;
(b) where the owner causing the work can provide the underpinning by undertaking the work from his/her/its property, even if the footing extends onto my property; and (c) where extension of the footing is required to stabilize and support my building, and to avoid unreasonable delay in excavation and development of the permitted project.

3

This form has been provided by DCRA for the purpose of demonstrating a permit applicant's compliance with the notification and property access requirements of Section 3307 of the Building Code. Compliance with these requirements does not relieve a permit holder, or person causing the work, of any obligations or responsibilities under civil or criminal law to protect an adjoining property from damage.

DCRA/POD/2014