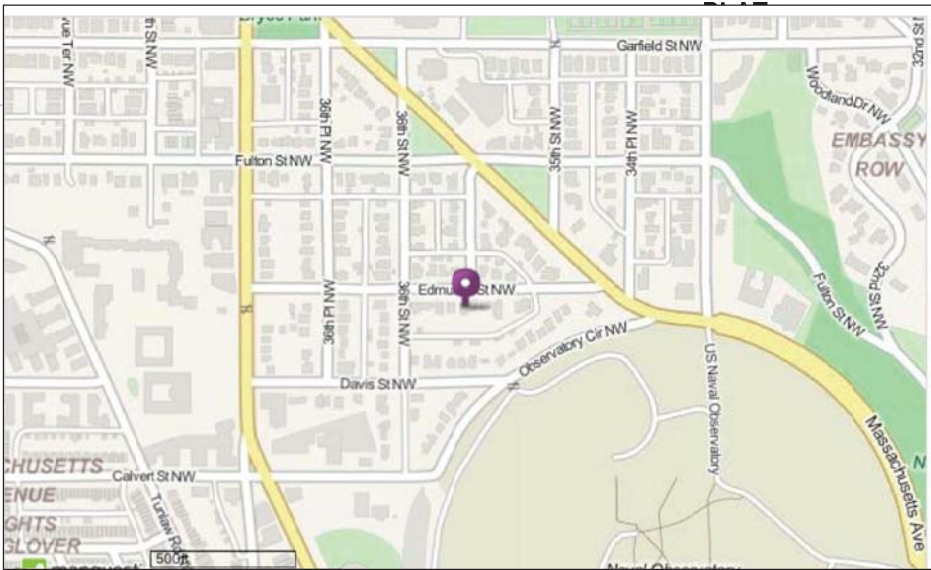
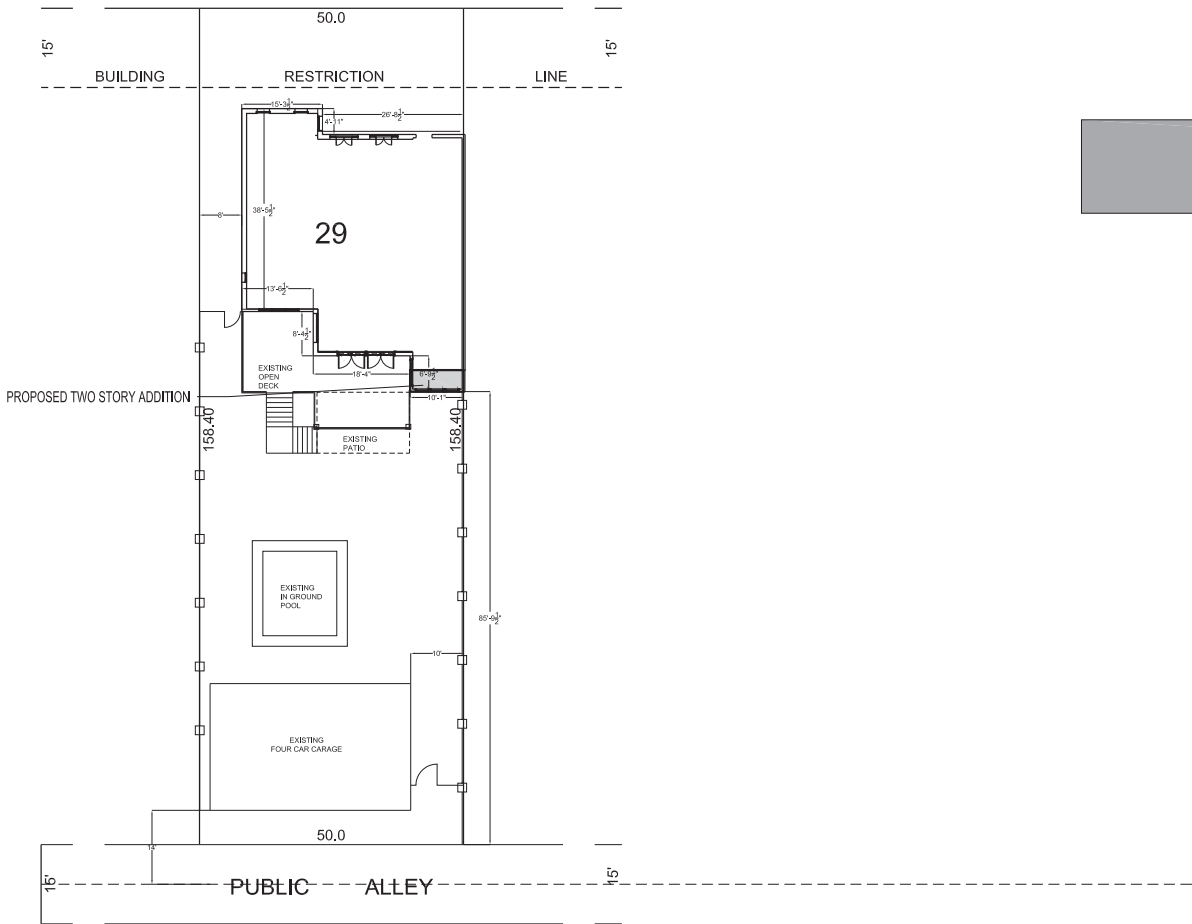


EDMUNDS STREET, N.W.



LOCATION MAP

SCOPE OF WORK

RENOVATION OF EXISTING KITCHEN WITH
ADDITION

1st Floor: 21.1 S.F.
2nd Floor: 70.3 S.F.

CLIFFORD RODGERS RESIDENCE
3530 EDMUNDS STREET, NW.
WASHINGTON, DC 20036

KITCHEN RENOVATION AND ADDITION

PROJECT TEAM

INTERIOR DESIGNER
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WASHINGTON, DC 20016
PH. 240.832.4176

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STRUCTURAL ENGINEER
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JGK STRUCTURAL ENGINEERS
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KITCHEN DESIGNER:
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BRAY AND SCARFF
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CHEVEY CHASE, MD 20815
PH. 443.745.0698A

DRAWING INDEX

- COVER
- A-0 BUILDING DATA
 - A-1 DEMO AND CONSTRUCTION PLAN
 - A-2 EXTERIOR ELEVATION, PARTITION TYPES, DOORS AND WINDOWS
 - A-3 LIGHTING & POWER PLAN WITH FINISH PLANS
 - A-4 ENLARGED KITCHEN INTERIOR ELEVATIONS
 - A-5 SECTION AND DETAILS
 - S-1 STRUCTURAL NOTES AND DETAILS

redteam
strategies
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4000 cathedral avenue, nw
washington, dc 20016



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3530 EDMUNDS STREET, NW
WASHINGTON, DC 20036

ISSUED FOR PERMIT	05/07/2015
PERMIT REVISIONS	8/31/2015

PROJECT INFORMATION

Board of Zoning Adjustment
District of Columbia
CASE NO. 20130
EXHIBIT NO. 8

[illegible]

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DEMO AND
CONSTRUCTION
FIRST AND 2ND FLOOR
PLANS

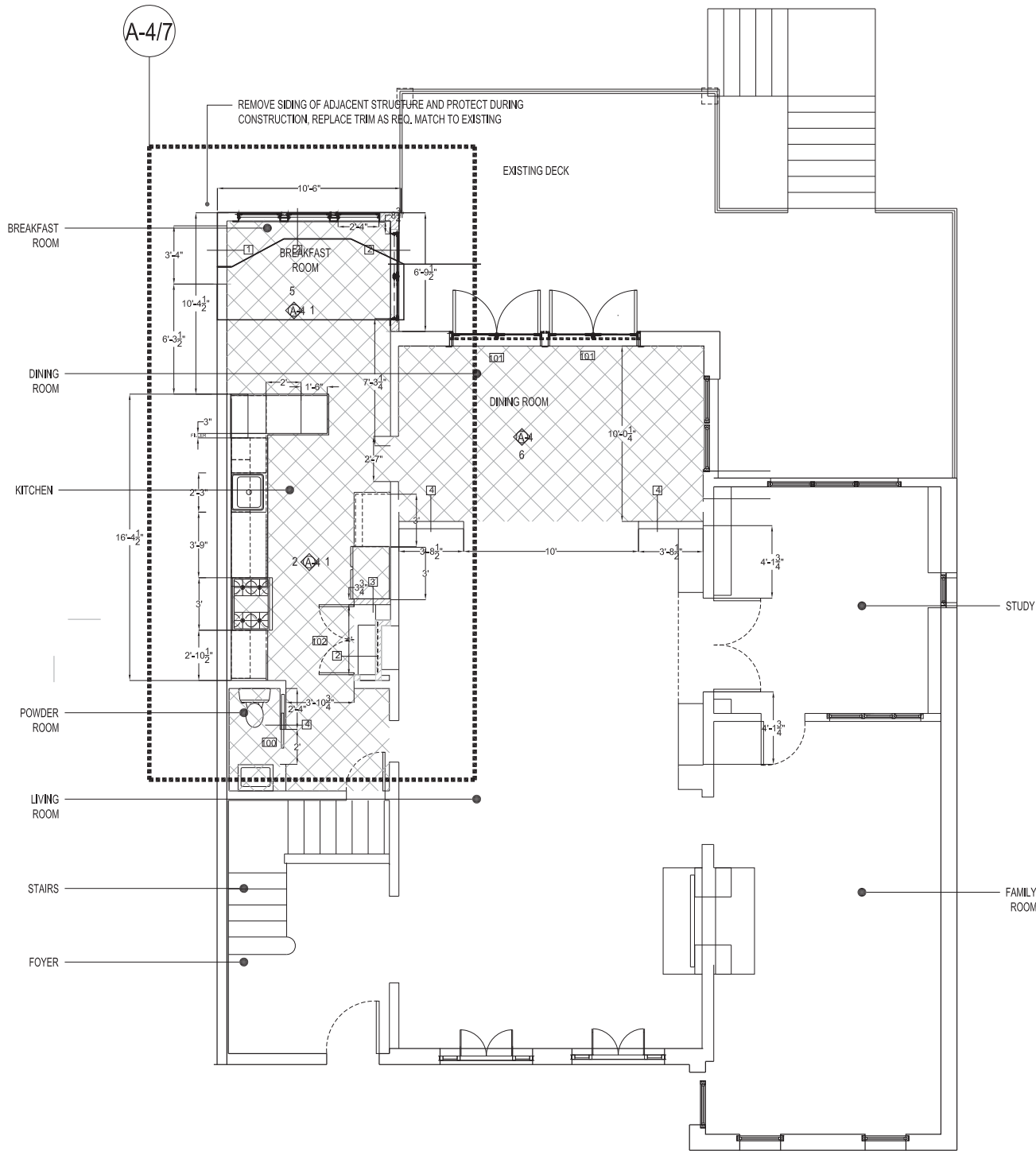
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A-1

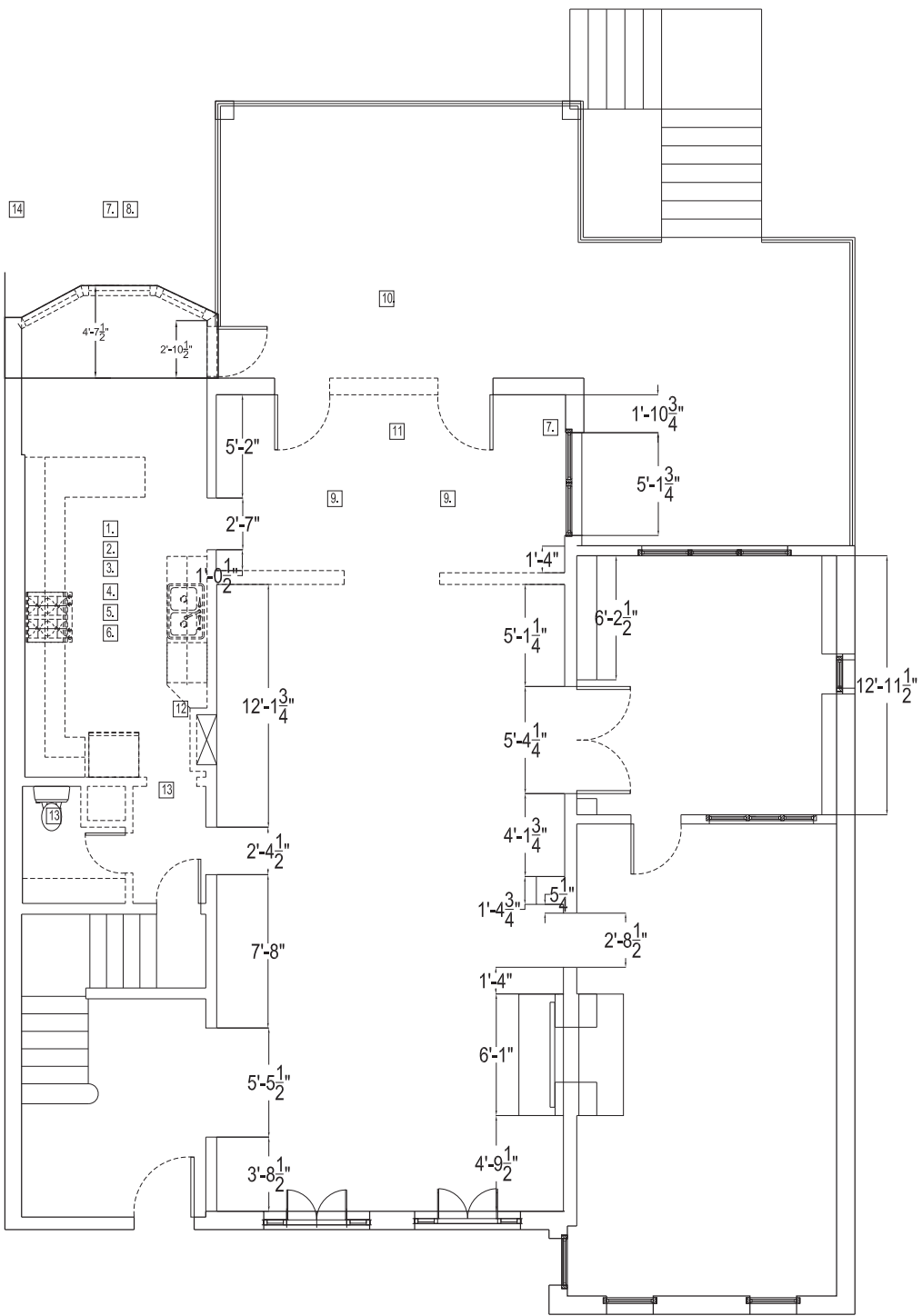
DEMO NOTES:

- 1.DEMO TO STUDS, REMOVING ALL DRYWALL AND PLASTER.
2. REMOVE FLOOR TO SLAB.
3. REMOVE CABINETRY.
4. RELOCATE SINK, BASE AND FIXTURES TO BASEMENT.
5. REMOVE ALL LIGHTING AND ELECTRICAL
6. REMOVE APPLIANCES, RELOCATE TO BASEMENT
7. REMOVE BASEBOARD HEATERS AT WINDOW, DEMO PIPING AND CAP AT SOURCE, REPAIR ANY HOLES CAUSED BY REMOVAL
8. REMOVE ADDITION, PROTECT INTERIOR FROM THE ELEMENTS.
9. DEMO WALL SAVE TRIM IF POSSIBLE FOR REUSE, PROTECT ALL ADJACENT SURFACES
10. REMOVE DOORS AND MASONRY WALL BETWEEN, PROVIDE NEEDLE BEAM DURING CONSTRUCTION, PROJECT INTERIOR FROM THE ELEMENTS.
11. CAREFULLY REMOVE WOOD FLOOR AND SAVE TO RELOCATE TO SECOND FLOOR ADDITION.
12. REMOVE GYP FACE AND STUDS AT BOXED IN DUCT WORK
13. DEMO WALL AT VESTIBULE, BROOM CLOSET, POWDER ROOM COUNTER, TOWEL BARS, SINK, FAUCETS, MIRROR, SOFFIT, BASE AND FLOOR. SAVE TOILET AND ALL BASE TO REINSTALL
14. REMOVE SIDING FROM ADJACENT STRUCTURE, PROTECT DURING CONSTRUCTION

PLAN: SECOND FLOOR CONSTRUCTION
SCALE 1/4" = 1'-0"



PLAN: FIRST FLOOR CONSTRUCTION
SCALE 1/4" = 1'-0"



PLAN: FIRST FLOOR DEMO
SCALE 1/4" = 1'-0"

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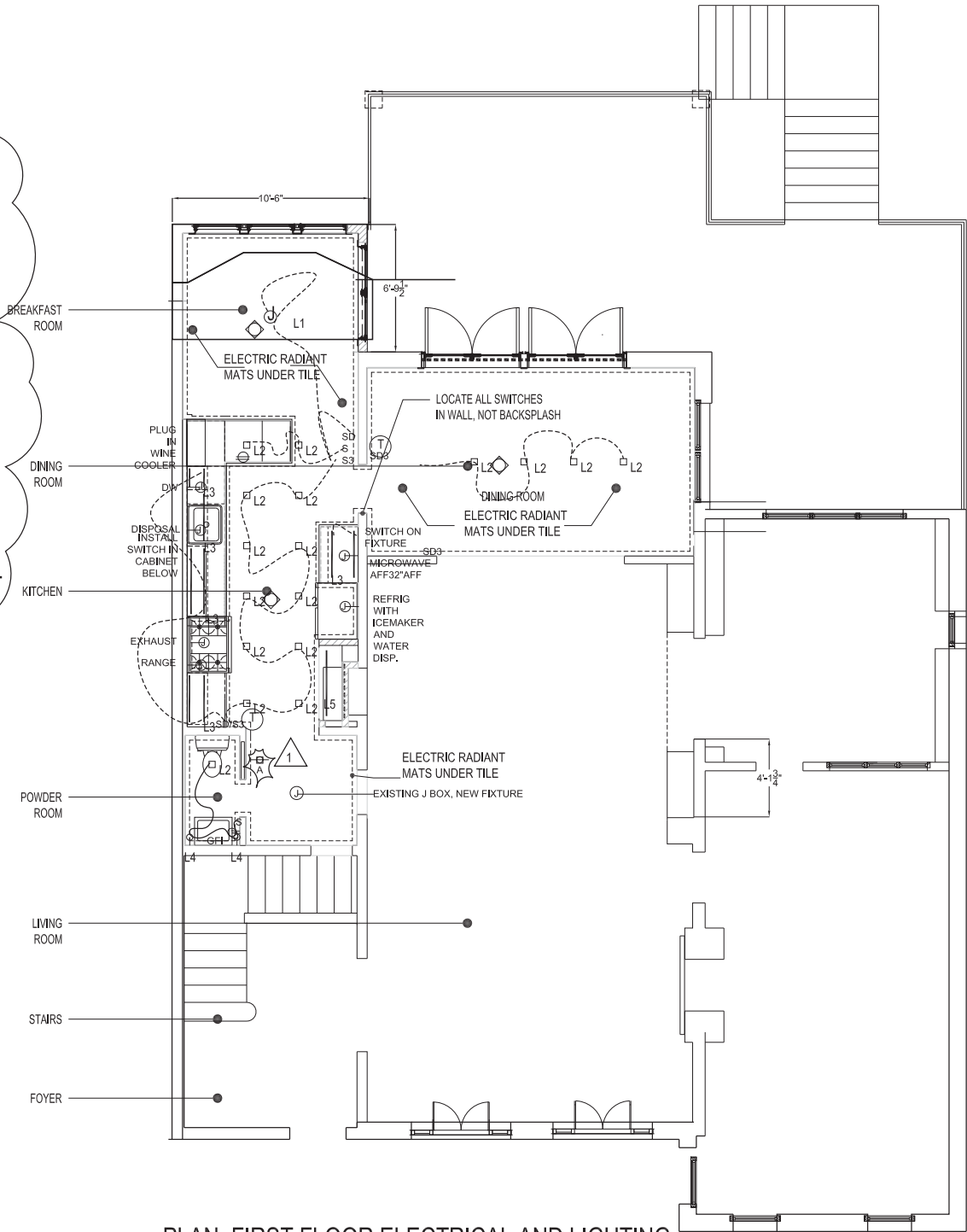
PERMIT REVISIONS 8/31/2015

FINISH AND
POWER/LIGHTING
FIRST FLOOR
PLANS

Scale: 1/4" = 1'-0"

A-3

PLAN: SECOND FLOOR ELECTRICAL
SCALE 1/8" = 1'-0"



PLAN: FIRST FLOOR ELECTRICAL AND LIGHTING
SCALE 1/4" = 1'-0"

FIXTURE SCHEDULE

A	HARDWIRE SMOKE DETECTOR AND CO2 MONITOR
Ae	EXISTING SMOKE DETECTOR - BATTERY
L1	NEW JUNCTION BOX LOCATION
L2	RECESS DOWNLIGHT
L3	UNDERCABINET LIGHT
L4	WALL SCONCE
L5	EXTERIOR SURFACE MT
S3	SWITCH THREE WAY
S3D	SWITCH THREE WAY DIMMER
SD	SWITCH DIMMER
	RADIANT FLOOR MATS
	STRIP OUTLETS

OFIC
JUNO TC19-194-WH-JUN26799
KICHLER DESIGN PRO WHITE
12058 WH 30"
12057 WH- 22"
12056 WH 12"

OFIC
VAXCEL T00097 DK BRONZE
LUTRON ARIDANI TOGGLE WHITE
LUTRON ARDANI TOGGLE WHITE
LUTRON ARDANI TOGGLE WHIT

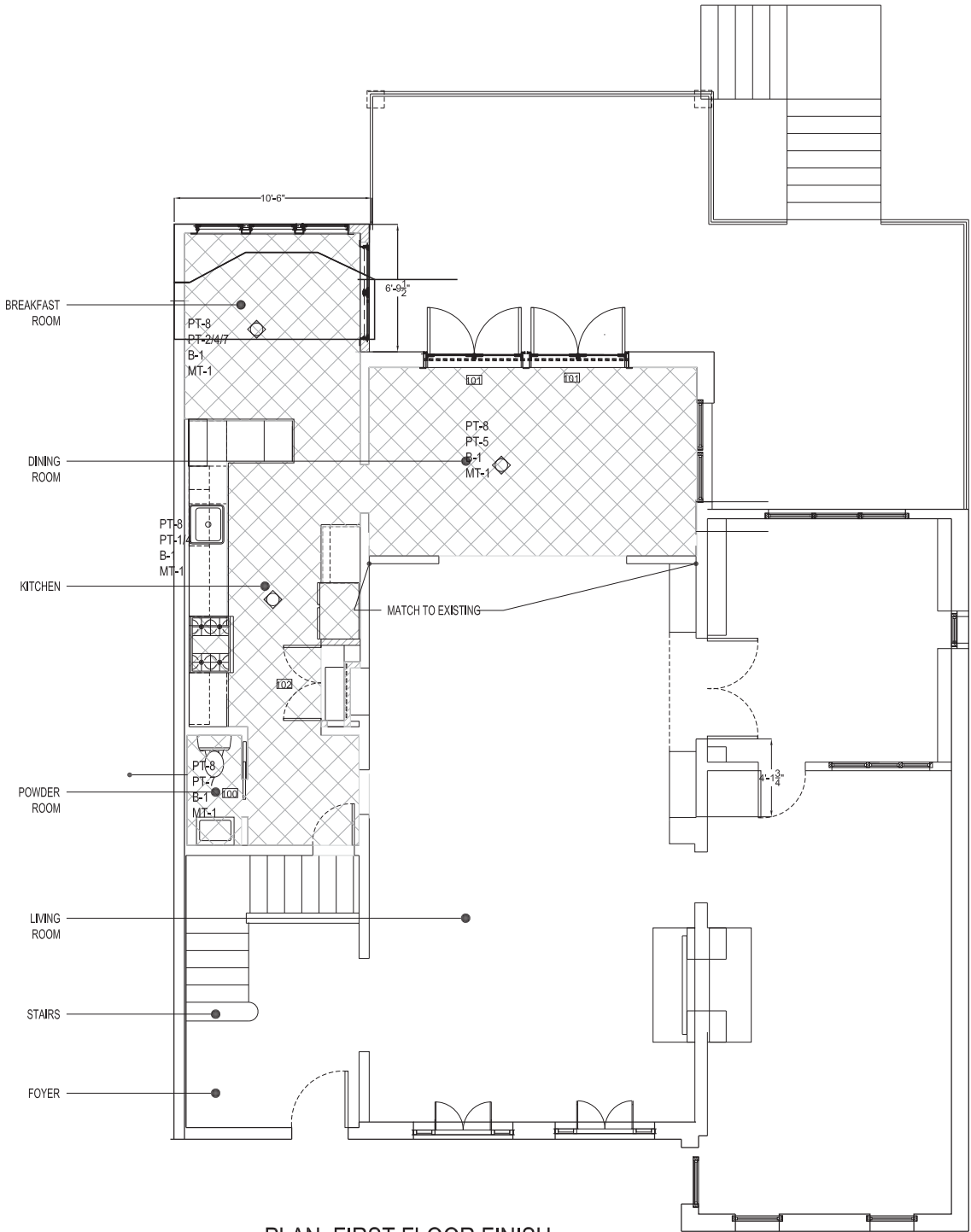
THERMOSOFT/THERMOTILE (OR EQUAL) 120v
WHITE, MOUNT TO UNDERSIDE OF WALL CABINET

LINE VOLTAGE
120V
7W/PAR16 /LED DIM - 2700K
2700 LED/120 VAC
LED/2700 INC.

LINE VOLTAGE
E26 SOCKET 60W/LED LAMP EQV.

EQUIPMENT/APPLIANCE SCHEDULE - ALL OWNER FURNISHED CONTRACTOR INSTALLED

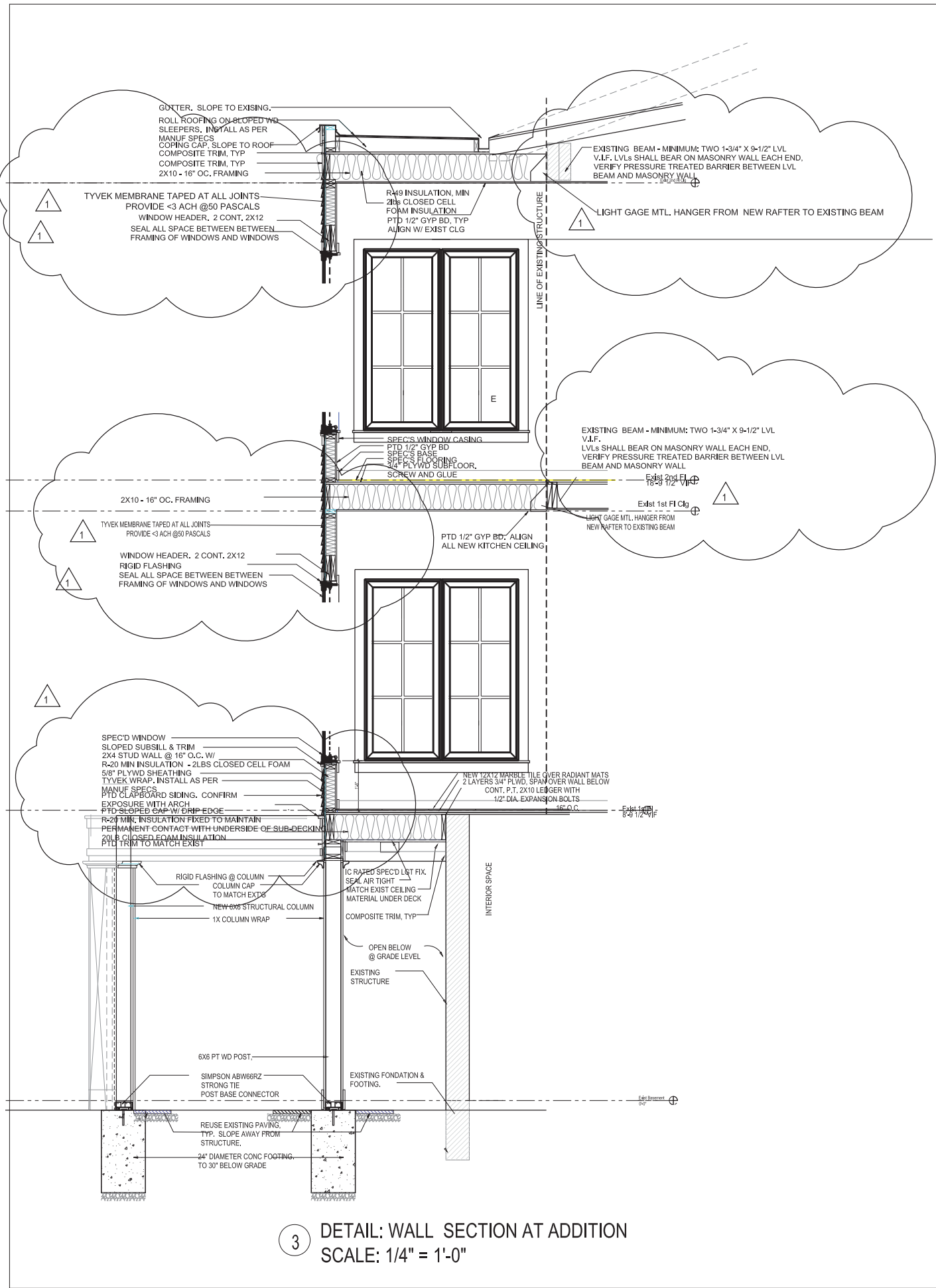
RANGE	THERMADOR	PRG366GH 36" GAS/VOLTAGE
DISHWASHER	THERMADOR	DWHD440MFP
REFRIGERATOR	GE	CY322THSS
MICROWAVE	GE	PEB9159SFSS
GARBAGE DISPOSAL	REUSE EXISING	
UNDERCOUNTER WINE FRIDE	TBD	
HOOD	GE	CV966TSS
KITCHEN SINK	OFIC	
FAUCET	OFIC	
BATHROOM SINK	OFIC	
BATHROOM FAUCET	OFIC	



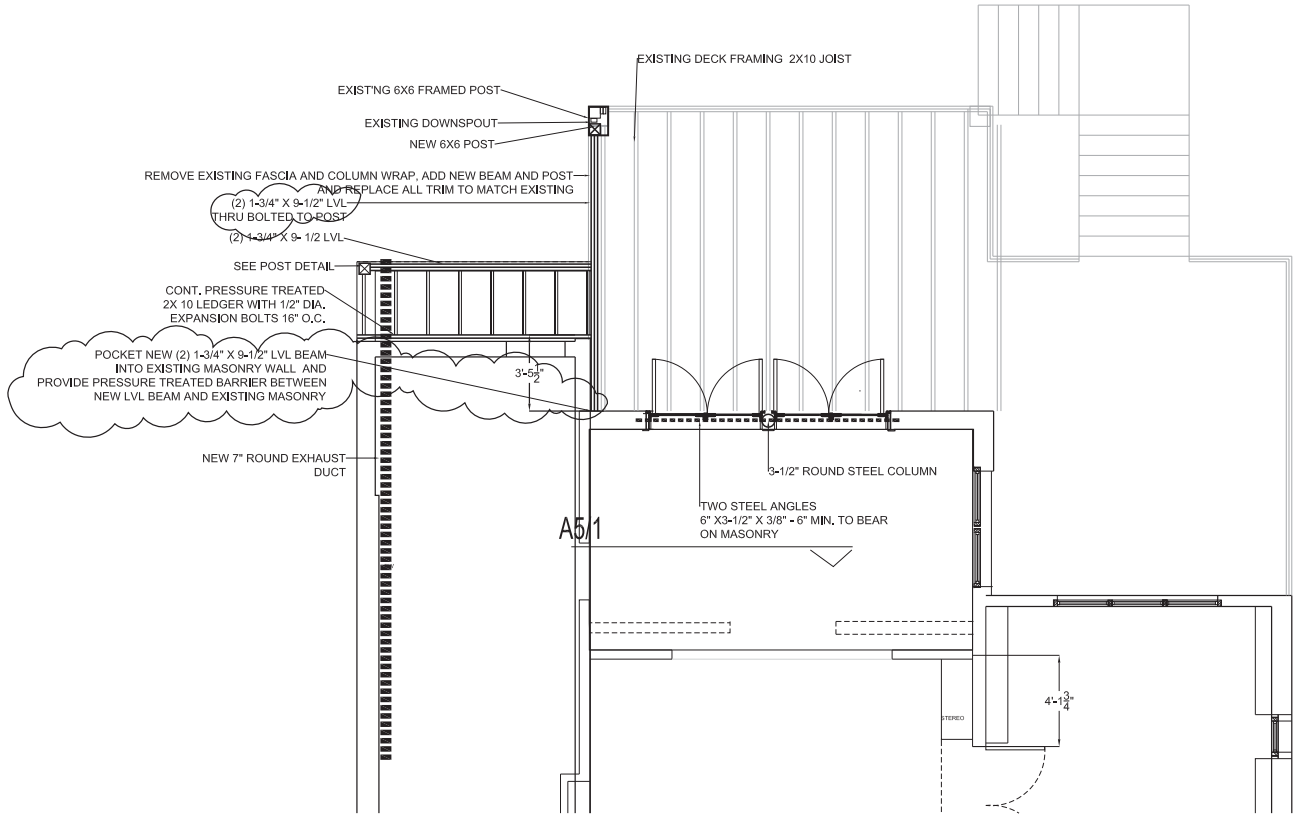
PLAN: FIRST FLOOR FINISH
SCALE 1/4" = 1'-0"

FINISH SCHEDULE

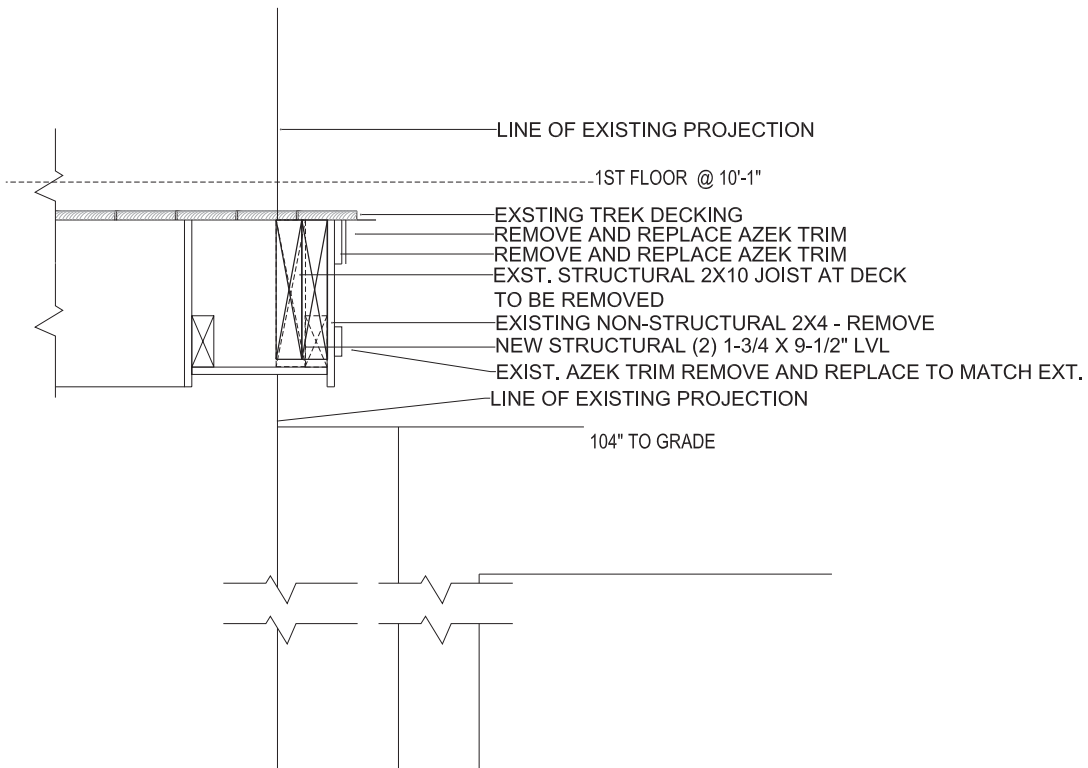
FLOOR	MT MARBLE TILE	12X12X3/8	OFIC	1/8 GROUT LINE, INSTALL ON DURAROCK
WD-1	WOOD	REUSE EXISTING 2" OAK STRIP		RELOCATED FROM DINING ROOM
BASE	B-1	7- 1/2" WOOD BASE		PAINTED PT-3
WALLS	GT GLASS SUBWAY TILE	3" X 6"	OFIC	1/8 GROUT LINE, INSTALL ON DURAROC
PT-1	PAINT	LATEX SEMI-GLOSS	TBD	
PT-2	PAINT	LATEX EGGSHELL	TBD	
PT-4	PAINT	LATEX EGGSHELL	TBD	
PT-5	PAINT	LATEX FLAT	TBD	
PT-6	PAINT	LATEX FLAT	TBD	
PT-7	PAINT	LATEX SEMI-GLOSS	TBD	
CEILING	PT-8 PAINT	LATEX FLAT	WHITE	



3 DETAIL: WALL SECTION AT ADDITION
SCALE: 1/4" = 1'-0"



2 PLAN: FLOOR FRAMING
SCALE: 1/4" = 1'-0"



1 DETAIL: SECTION AT BEAM
SCALE 1-1/2" = 1'-0"



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DETAILS
PLAN AND SECTION
AT ADDITION
PLANS

Scale: NTS

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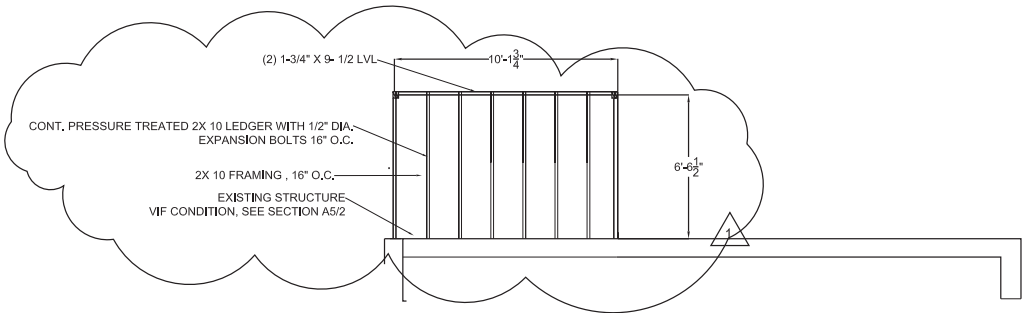
STRUCTURAL
ELEVATION,
DETAILS
AND NOTES

Scale: NTS

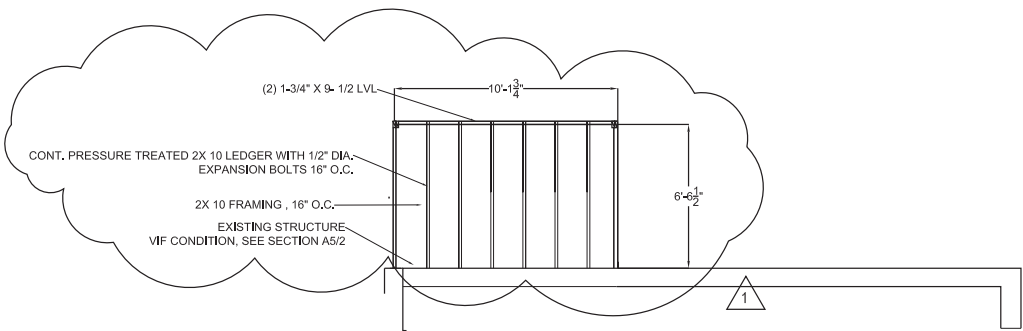
S-1



ELEVATION: REAR STRUCTURAL



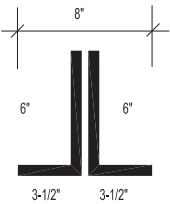
PLAN:ROOF FRAMING



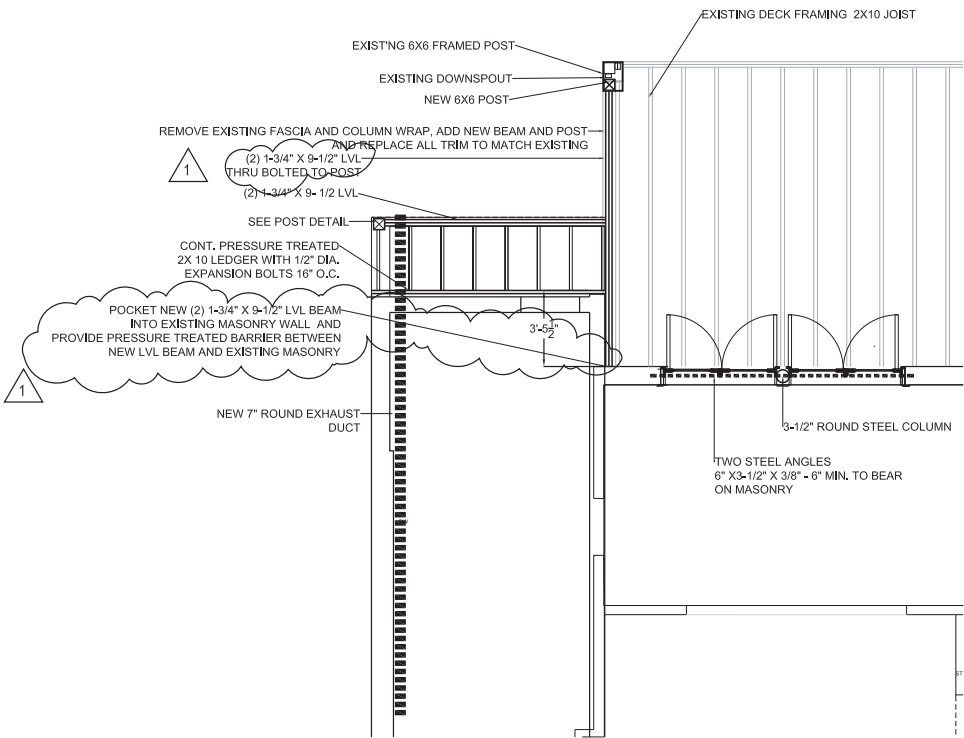
PLAN:2ND FLOOR FRAMING

GENERAL NOTES:

- DESIGN LOADS –
ROOF –
DEAD LOAD -20 PSF, LIVE LOAD – 30 PSF (SNOW).
FLOOR –
DEAD LOAD – 10 PSF, LIVE LOAD – 40 PSF.
WIND SPEED –90 MPH, EXPOSURE B.
IMPORTANCE FACTOR – 1.0
BASIC VELOCITY PRESSURE – 20.7 PSF.
- ALLOWABLE SOIL BEARING PRESSURE = 1500 PSF (ASSUMED). THIS VALUE SHALL BE FIELD VERIFIED BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO POURING FOOTINGS.
- THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL CONDITIONS DEPICTED INCLUDING BUT NOT LIMITED TO DIMENSIONS, ELEVATIONS, FINISHES AND THE WORK OF ALL TRADES.
- ALL STEEL SHALL BE A36. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS.
- SHOP DRAWINGS FOR ALL ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- ALL CONCRETE SHALL BE 3000 PSI EXCEPT SLABS WHICH SHALL BE 3500 PSI. ALL REINFORCING STEEL SHALL BE GRADE 60.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS DIRECTLY TO THE ENGINEER.
- ALL FRAMING LUMBER EXCEPT STUDS SHALL BE SOUTHERN YELLOW PINE NO. 1. ALL STUDS SHALL BE SPRUCE-PINE-FIR SURFACE DRY CONSTRUCTION GRADE.
- THESE DRAWINGS WERE PREPARED USING INFORMATION CONTAINED ON DRAWINGS PREPARED BY REDTEAM STRATEGIES. THE CONTRACTOR SHALL REFER TO THESE DRAWINGS FOR ALL DIMENSIONS, ELEVATIONS, FINISHES, AND RELATED TRADES.



DETAIL SECTION AT STEEL LINTEL



PLAN: 1ST FLOOR FRAMING