

Hearst Elementary School

BZA Hearing

Application # 19123

December 15, 2015

Hearst Elementary School 3950 37th Street, NW
Zone R-1-B - DCRA File #B1501123 - DCRA BZA Case FY-15-69-Z
Lot 0008 in Square 1905 NW

The applicant DGS for DCPS, seeks special exception relief from the requirements under section 411.11 and 400.7.b of the zoning regulations for the mechanical screen the hides the mechanical equipment installed at the roof of Hearst Elementary School Building CD addition located at 3950 37th Street NW, Washington DC, per Zoning Memorandum dated August 12, 2015 and DCRA Zoning review dated February 11, 2015. We are not requesting relief from the height or enclosure requirement. Relief is requested only for the 1:1 set back of the enclosure from the second floor roof edge facing Tilden Street and Idaho Avenue, a paper (discontinued) street. The enclosure cannot be seen from 37th Street at the front of the building. The enclosure and equipment are also blocked from view from 37th Street by the adjacent third floor. We believe and maintain the provided enclosure meets the requirement of “reasonable architectural control” and offers no harm to the public good or Zone Plan.

Practical Difficulty

The original design was transmitted for DCRA /Zoning review with a screen set on the parapet wall. When informed of the potential applicability of the Articles 400.7.b and 411 the architects increased the height of the parapet wall to form an architectural element that as designed (with brick and in concert with the adjacent wall system) we interpreted to meet 411.2, which states: “when located at the same roof level with or above the top story of any building or structure, penthouses shall be subject to provisions of 400.7, etc. when applicable”. Our team interpreted the passage to allow screening at the roof edge by the building itself when there was an adjacent floor above the roof level in questions and the roof in question was not above the allowed roof height limitation for zone R-1-B. Subsequent comments from the Zoning office informed us that the enclosure as designed did not meet Article 400.7.b unless it was extended completely around the exterior walls at the second floor (*Comments received Feb. 9, 2015; Scheme revised with present enclosure March 17, 2015*). The fast tracked nature of the school project caused the team to install the DCRA approved foundation system prior to receipt of this direction for the Zoning office. The resulting cost and schedule delays to the school opening generated by redesigning the walls of the entire southern building to accommodate this increase height and weight were deemed impractical and meet the test and language of Article 411.11.

No Harm to the Public Good or Zone Plan

The HVAC unit is beyond the 1:1 setback requirement and is not visible from any public way. The enclosure is not visible from the main front public way and from the rear appears to be a building element with the same texture and finish of the main building. The enclosure meets all the tests and requirements listed in Articles 411.3 through 411.10. We maintain that there is no adverse effect from granting the relief sought from the 1:1 setback and as a point in fact, the enclosure provided **does** provides the “architectural control of the roof structures” and intent as stated in Article 411.1. The enclosure was tested for sound control, creates no adverse effect on the surrounding or adjacent neighboring properties and we believe is in harmony with the main building structure.

We therefore request the Board favorably rule and grant relief in the form of a Special Exception to the requirements under section 411.11 and 400.7.b of the zoning regulations that require the mechanical equipment screen to be setback 1:1 from all exterior walls at Hearst Elementary School building CD addition located at 3950 37th Street NW, Washington DC.

MEMORANDUM

TO: District of Columbia Board of Zoning Adjustment
FROM: Stephen J. Mordfin, AICP, Case Manager
Joel Lawson, Associate Director Development Review
DATE: December 8, 2015
SUBJECT: BZA Case 19123, 3950 37th Street, N.W., Hearst Elementary School

I. OFFICE OF PLANNING RECOMMENDATION

The Office of Planning (OP) recommends **approval** of the following:

- § 411.11, Roof Structures (one-to-one enclosure setback required; not provided)

II. LOCATION AND SITE DESCRIPTION

Address	3950 37 th Street, N.W.
Legal Description	Square 1905, Lot 8
Ward	3F
Lot Characteristics	Unusually shaped lot with frontages on three streets
Zoning	R-1-B: one family detached dwellings
Existing Development	Public school, permitted in this zone
Adjacent Properties	North and East: One-family detached dwellings South: Hearst Recreation Area West: Institutional uses, including The Washington Home and Sidwell Friends School
Surrounding Neighborhood Character	Residential, with a mixture of apartments and one-family detached dwellings

III. APPLICATION IN BRIEF

The applicant, the Department of General Services (GSA), is in the process of expanding and modernizing the existing elementary school facility. A one-story addition was constructed onto the school in the northeast corner of the property. New mechanical equipment, separate from that necessary for the remainder of the building, is required for this addition.

IV. OFFICE OF PLANNING ANALYSIS

Special Exception Relief pursuant to § 411, Roof Structures

- 411.11 Where impracticable because of operating difficulties, size of building lot, or other conditions relating to the building or surrounding area that would

tend to make full compliance unduly restrictive, prohibitively costly, or unreasonable, the Board of Zoning Adjustment shall be empowered to approve, as a special exception under § 3104, the location, design, number, and all other aspects of such structure regulated under §§ 411.3 through 411.6, even if such structures do not meet the normal setback requirements of §§ 400.7, 530.4, 630.4, 770.6, 840.3, or 930.3, when applicable, and to approve the material of enclosing construction used if not in accordance with §§ 411.3 and 411.5; provided, that the intent and purpose of this chapter and this title shall not be materially impaired by the structure, and the light and air of adjacent buildings shall not be affected adversely.

The roof structure on this one story addition to the building is designed to serve the gymnasium below and its location is dictated by necessary location of the equipment within the building. The roof structure is otherwise in compliance as it is of one color, one height and less than 18 feet six inches in height, but does require relief to provide less than the one-to-one set back from the edge of the roof.

ii. Is the proposal in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps?

The proposal would allow for the modernization and expansion of an existing public school facility, as permitted within the R-1-B zone.

iii. Would the proposal appear to tend to affect adversely, the use of neighboring property?

The proposal would not tend to affect adversely neighboring property. Rather, it would allow for the modernization of an existing neighborhood facility to better serve and meet its needs.

V. COMMENTS OF OTHER DISTRICT AGENCIES

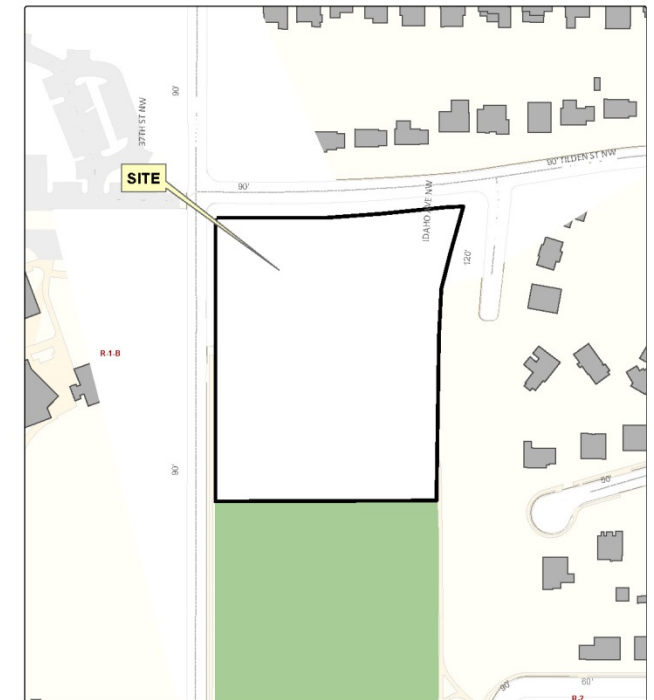
DDOT, in a memorandum dated October 13, 2015, stated that it had no objection to the application.

VI. COMMUNITY COMMENTS

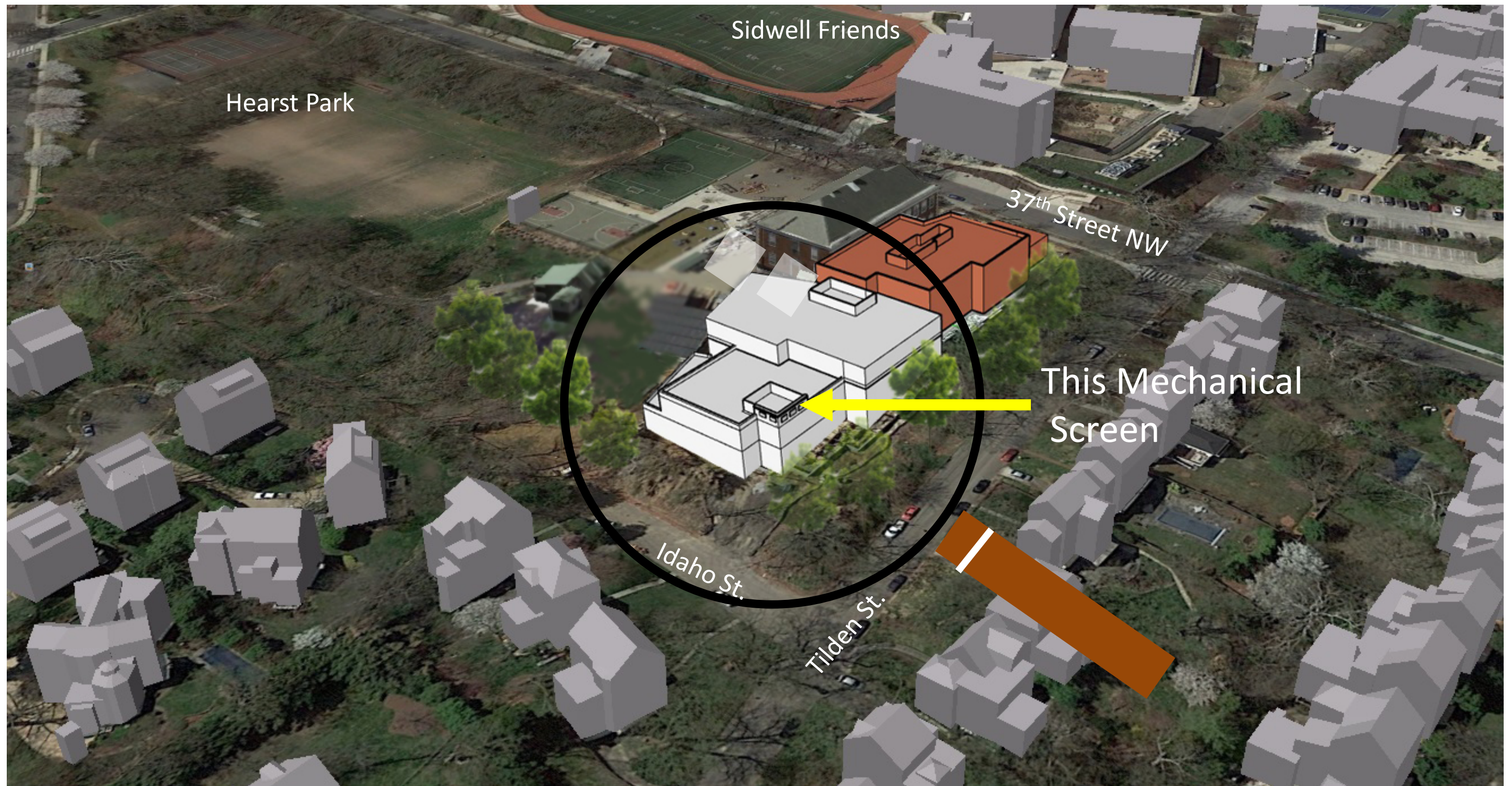
ANC 3F, at its regularly scheduled meeting of October 20, 2015, voted to support the application.

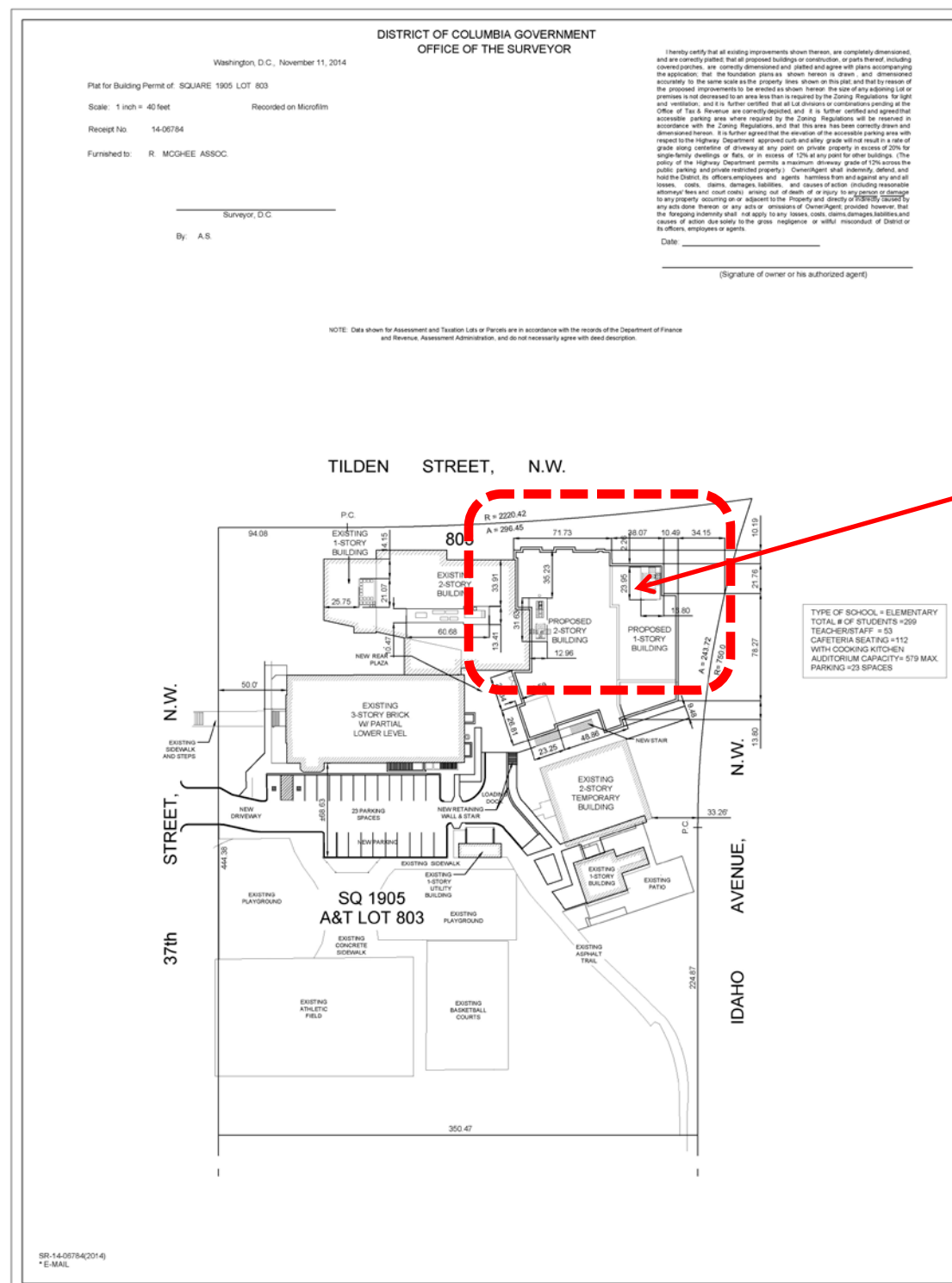
No other comments were received.

Attachment: Location Map

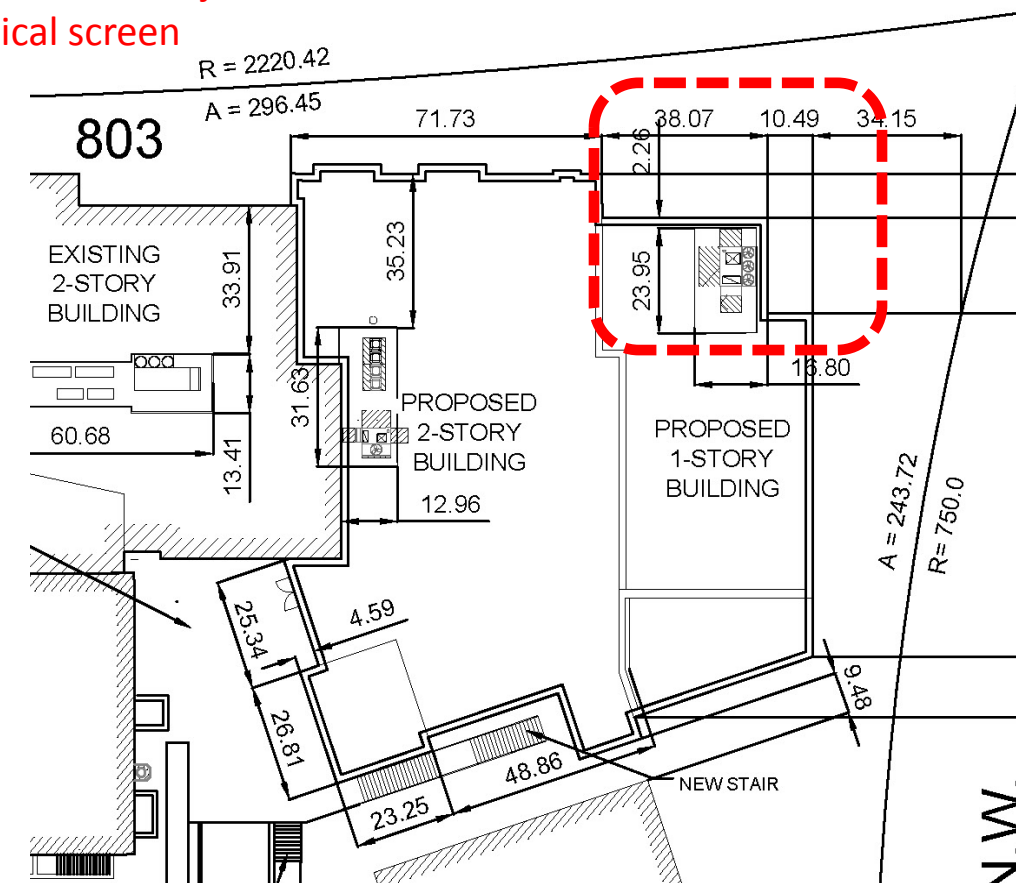


Copy of the memorandum from the DC Office of Planning

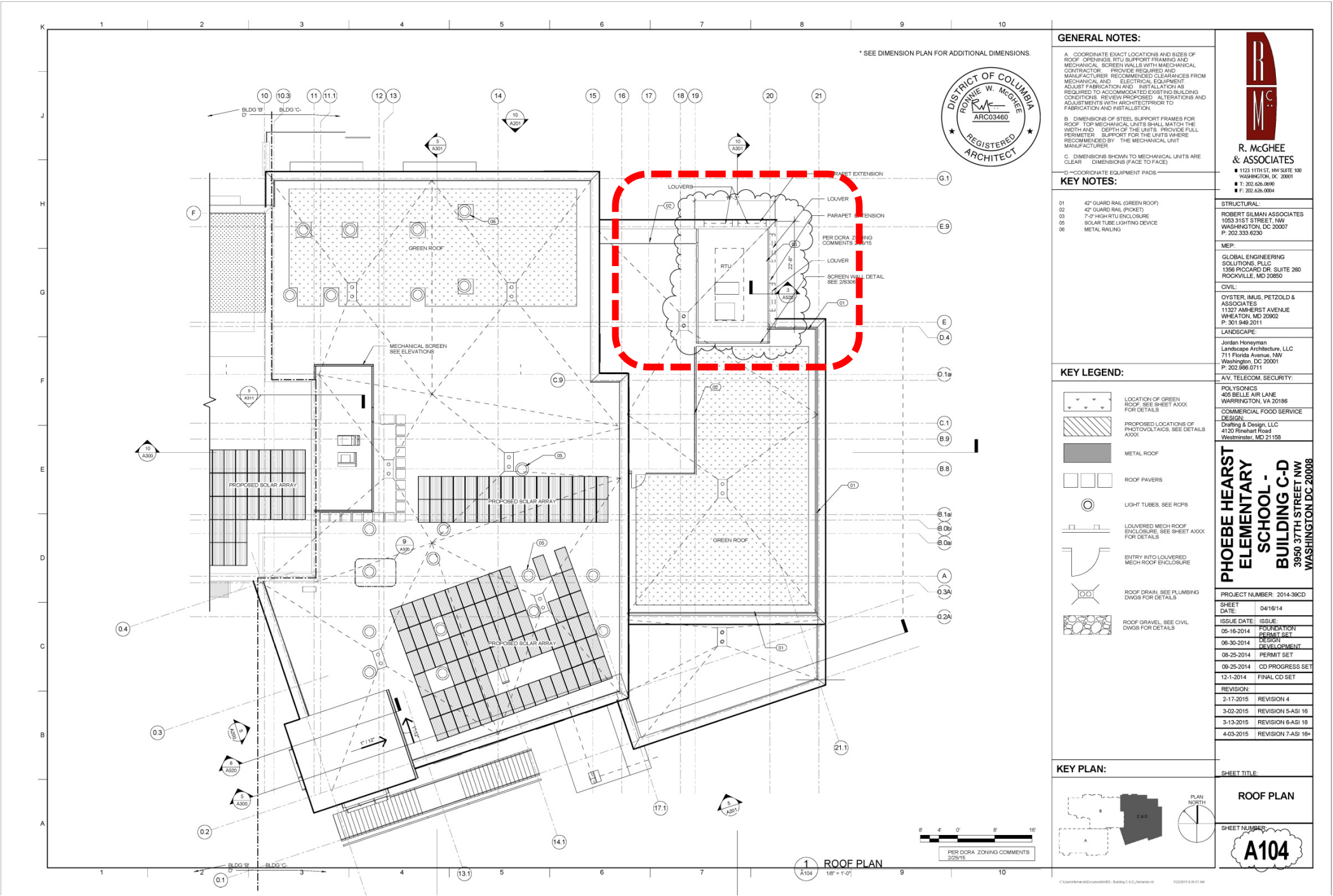




Location of the subject
Mechanical screen

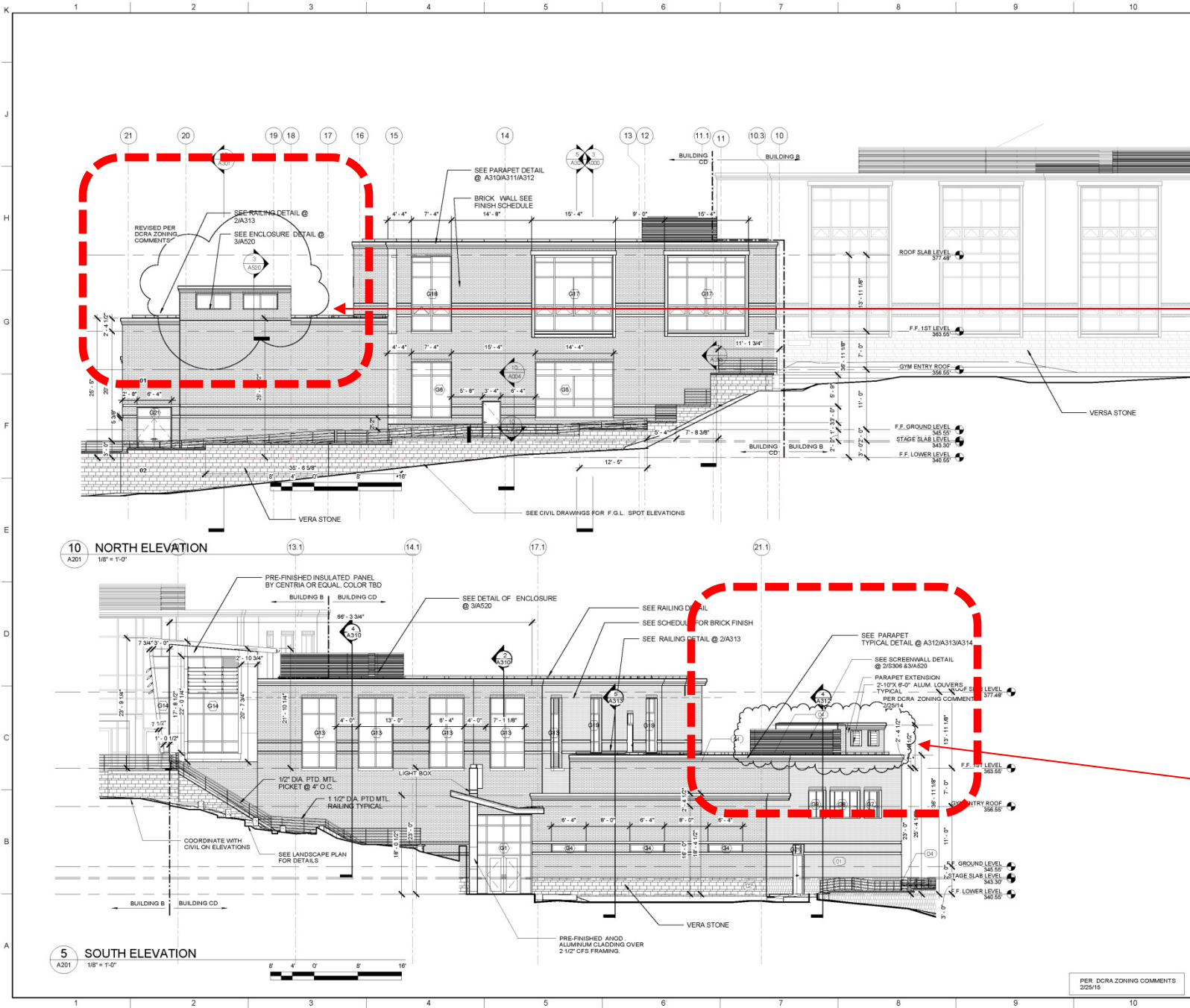


Copy of the revised survey plat submitted in response to DCRA zoning comments



Copy of the revised plan submitted in response to DCRA zoning comments





- ELEVATION NOTES:**
- GC SHALL VERIFY ALL EXTERIOR FINISHES, COLORS, AND MATERIALS WITH THE ARCHITECT. GC SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND OBTAIN THE ARCHITECT'S WRITTEN CLARIFICATION OF DESIGN INTENT BEFORE PROCEEDING.
 - COORDINATE WITH THE SIGN CONTRACTOR AND PROVIDE 2X CONTINUOUS BLOCKING IN THE STUD WALL FOR SIGNAGE ATTACHMENTS.
 - CONSTRUCTION JOINTS SHALL BE AT 20'-0" O.C. MAXIMUM.
 - BACK OF PARAPETS SHALL HAVE EXTERIOR FINISHES.
 - CONTINUE THE FINISH ALONG THE SIDES AND BACK OF EXTERIOR.
 - PANT ALL EXPOSED METAL FLASHING AND BUILDING ACCESSORIES, PIPES, CONDUITS, EQUIPMENT, ETC., TO MATCH ADJACENT SURFACE TYPICAL.
 - EXTERIOR FINISH GRADES SHOWN ON EXTERIOR ELEVATIONS ARE DIAGNOSTIC. SEE FLOOR PLANS AND CIVIL PLANS FOR MORE INFORMATION ON EXTERIOR GRADES.

KEY NOTES:

- | | |
|----|---------------------|
| 01 | BRICK |
| 02 | STONE |
| 04 | MTL. RAILING TYPE 1 |

KEY PLAN:





R. MCGHEE & ASSOCIATES
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 WASHINGTON, DC 20001
 T: 202.626.0690
 F: 202.626.0004

STRUCTURAL:
 ROBERT SILMAN ASSOCIATES
 1003 31ST STREET, NW
 WASHINGTON, DC 20007
 P: 202.333.6230

MEP:
 GLOBAL ENGINEERING SOLUTIONS, PLLC
 1356 PICCARD DR. SUITE 280
 ROCKVILLE, MD 20850

CIVIL:
 OYSTER, IMUS, PETZOLD & ASSOCIATES
 1127 AMHERST AVENUE
 WHEATON, MD 20802
 P: 301.949.2011

LANDSCAPE:
 Jordan Honeyman Landscape Architecture, LLC
 711 Florida Avenue, NW
 Washington, DC 20001
 P: 202.686.0711

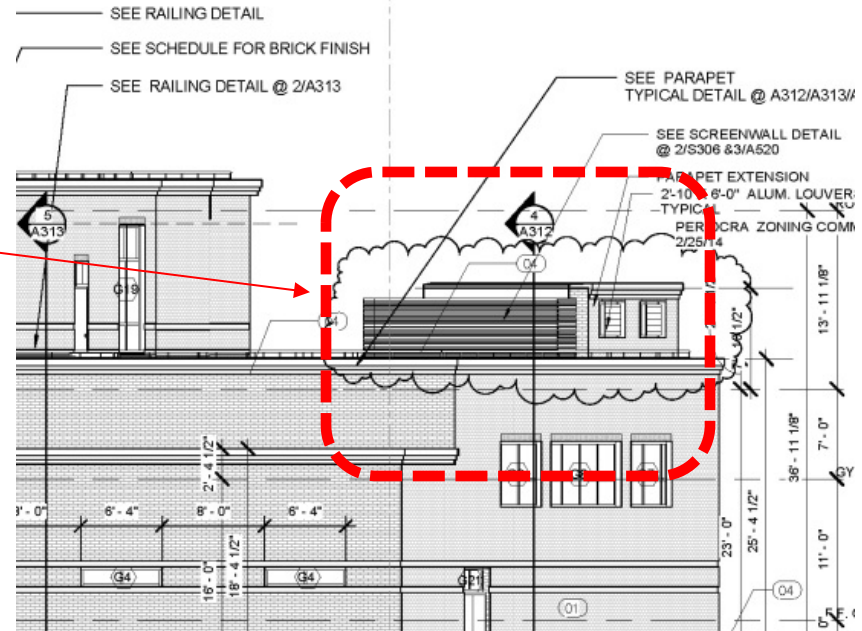
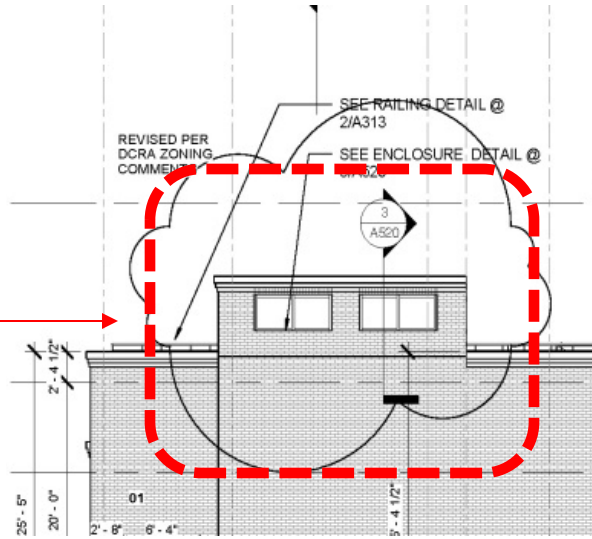
AV, TELECOM, SECURITY:
 POLYSONICS
 400 BELLE AIR LANE
 WARRINGTON, VA 20186

COMMERCIAL FOOD SERVICE DESIGN:
 Drafting & Design, LLC
 4120 Robert Road
 Westminster, MD 21158

PROJECT NUMBER: 2014-30CD
SHEET DATE: 05/08/14
ISSUE DATE: 05-16-2014
FOUNDATION DEVELOPMENT: 06-30-2014
DESIGN: 06-30-2014
PERMIT SET: 08-25-2014
CD PROGRESS SET: 09-25-2014
FINAL CD SET: 12-1-2014
REVISION: 2-17-2015
REVISION 4: 3-02-2015
REVISION 4-A&B: 3-13-2015
REVISION 6-A&B: 4-03-2015
REVISION 7-A&B: 16+

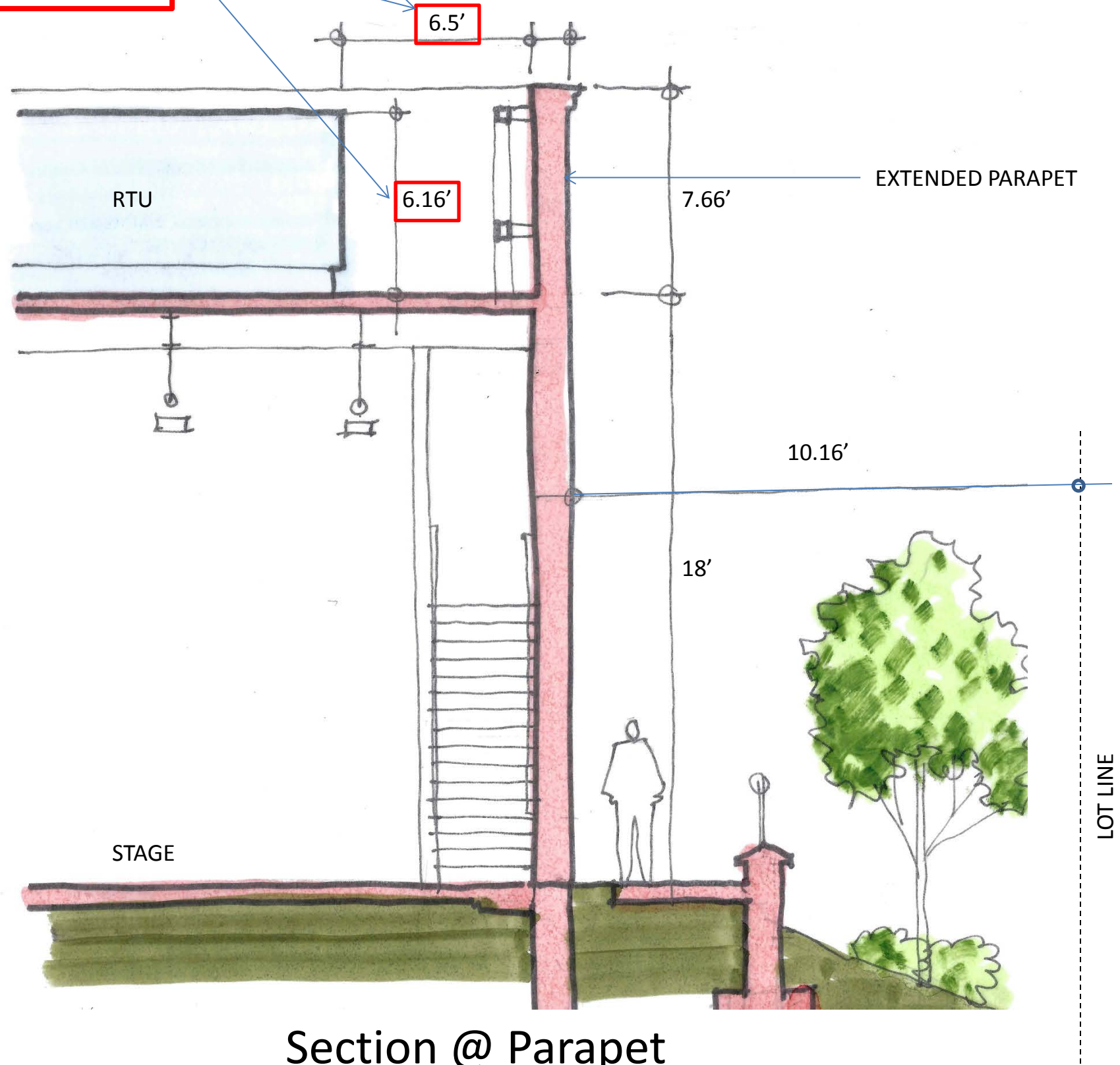
SHEET TITLE:
BUILDING ELEVATIONS

SHEET NUMBER:
A201



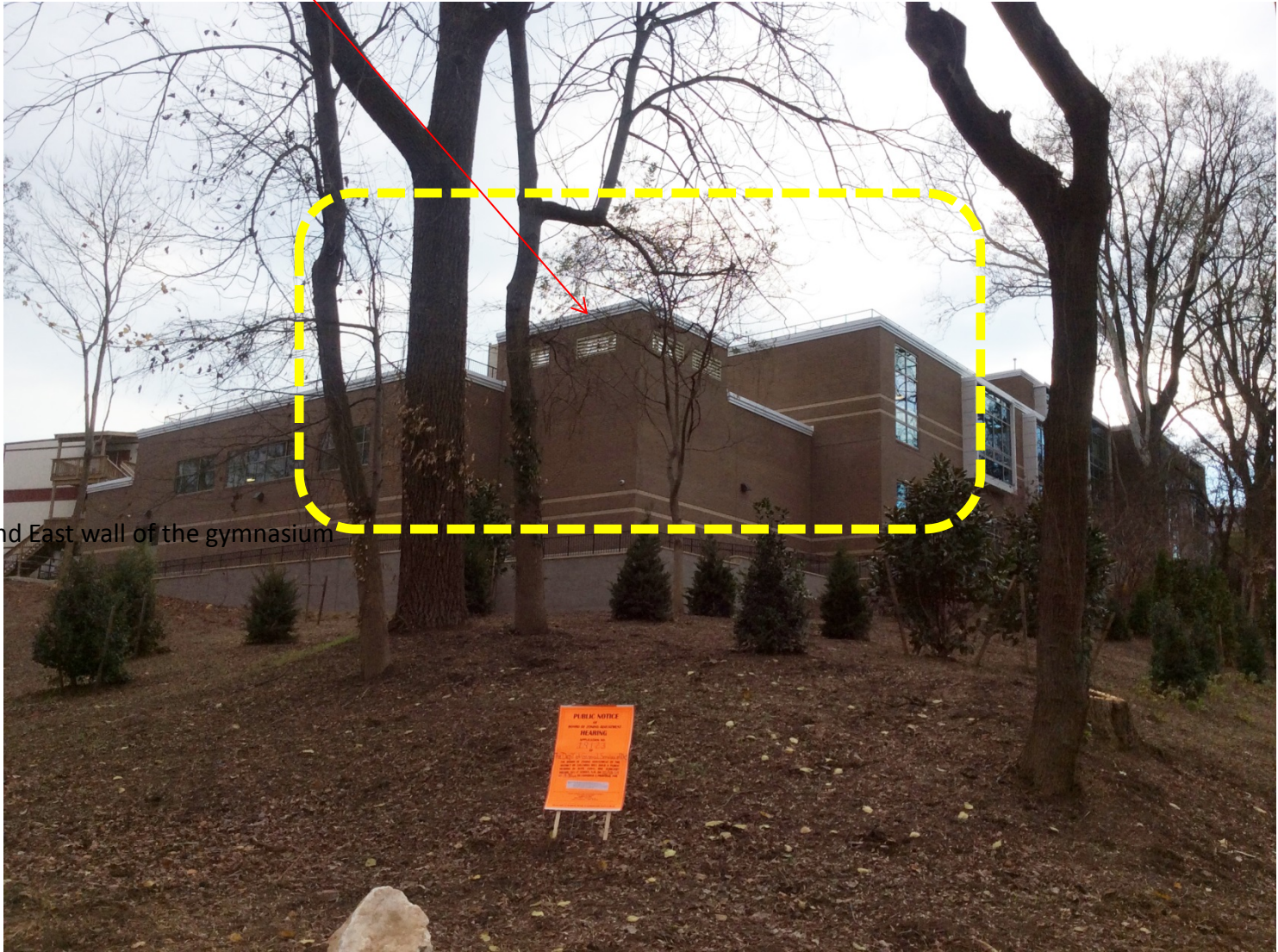
Copy of the revised elevations submitted in response to DCRA zoning comments

Note: the horizontal distance of the RTU from the parapet is greater than the required minimum of 1:1



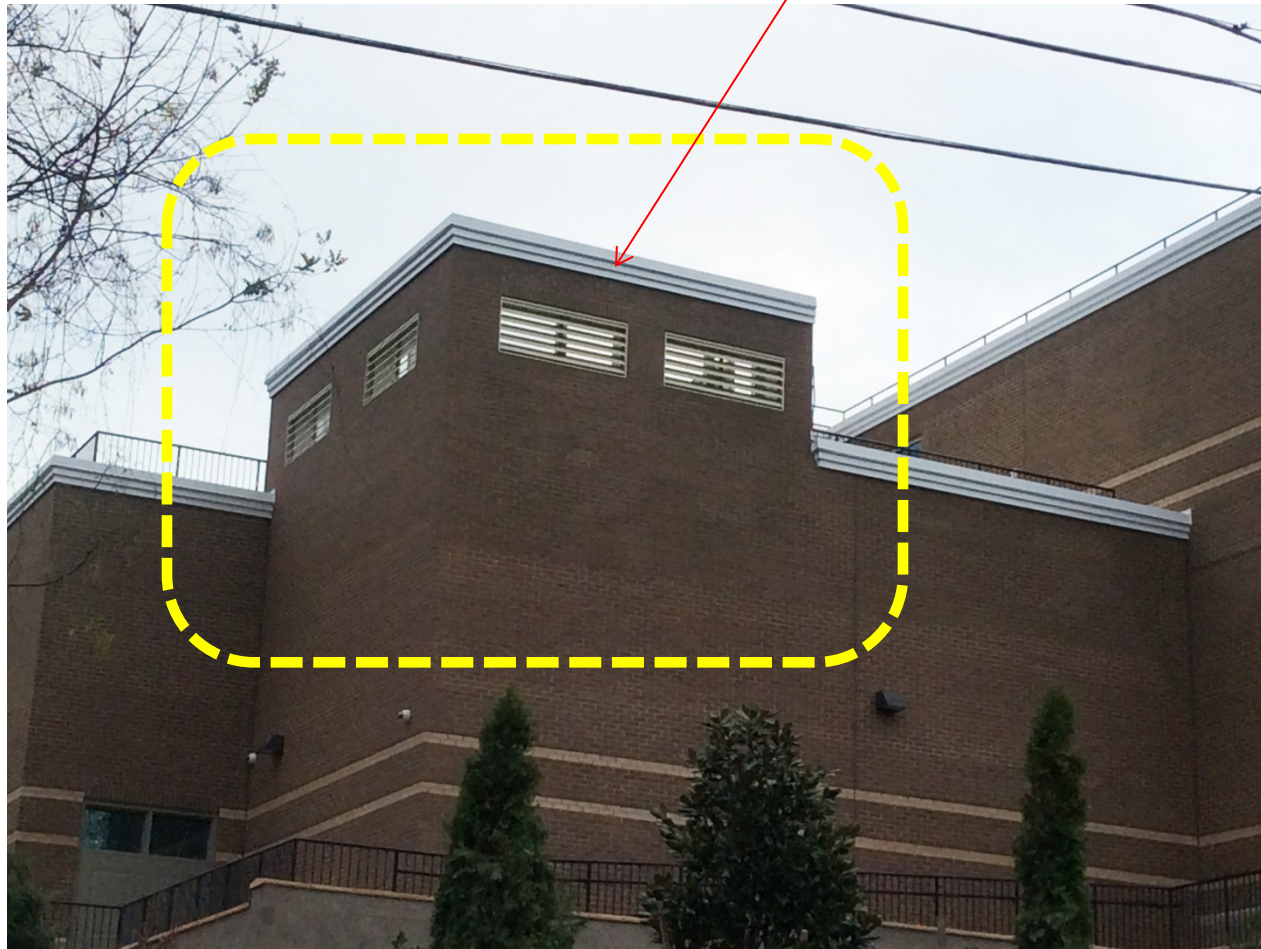
Section @ Parapet

In lieu of the mechanical screen, the parapet was extended to look like an integral part of the wall as opposed to a mechanical screen. No mechanical units are visible from the street.

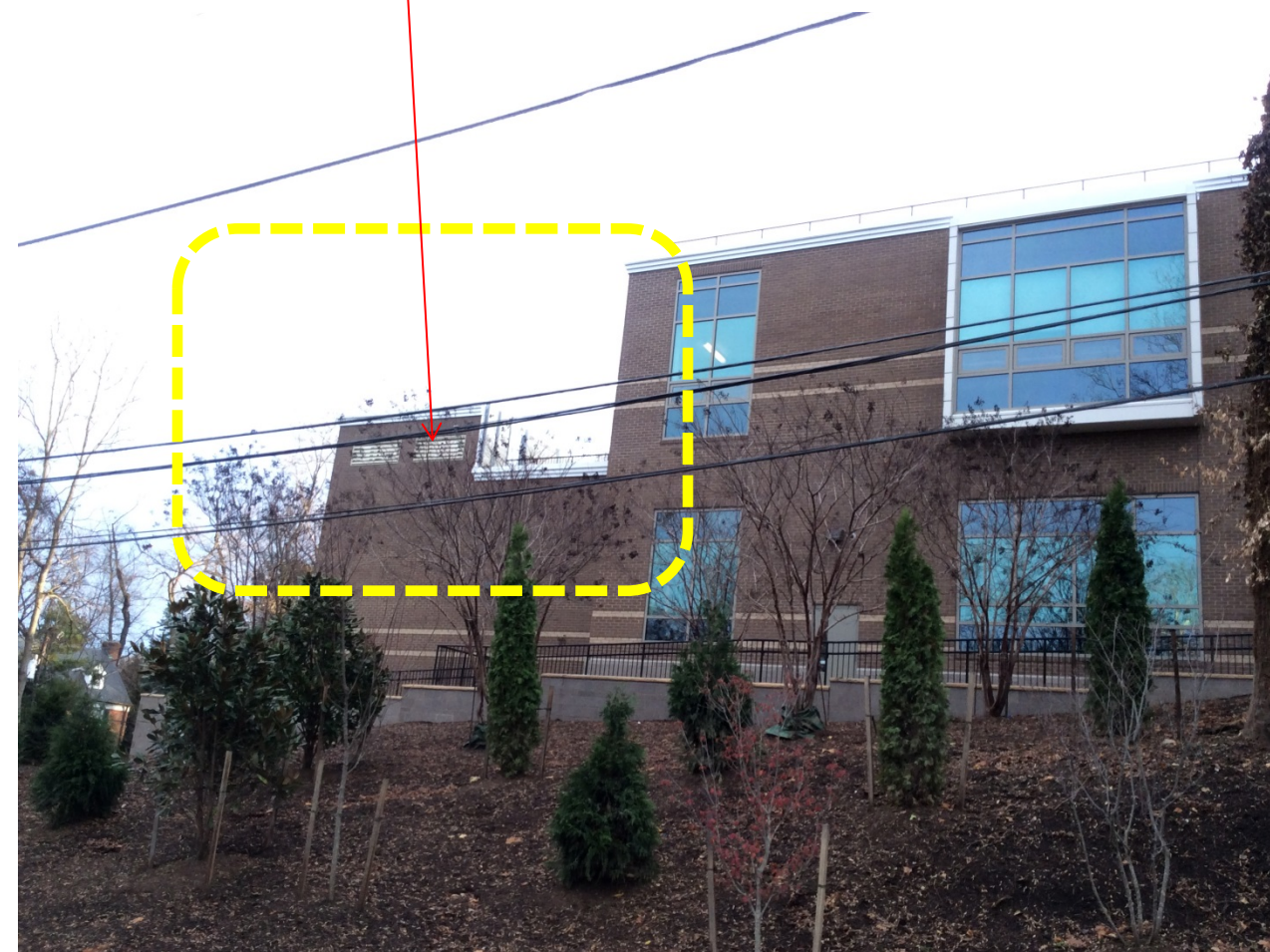


View from corner of Idaho St and Tilden looking West – Extended Parapet at the corner

In lieu of the mechanical screen, the parapet was extended to look like an integral part of the wall as opposed to a mechanical screen. No mechanical units are visible from the street.

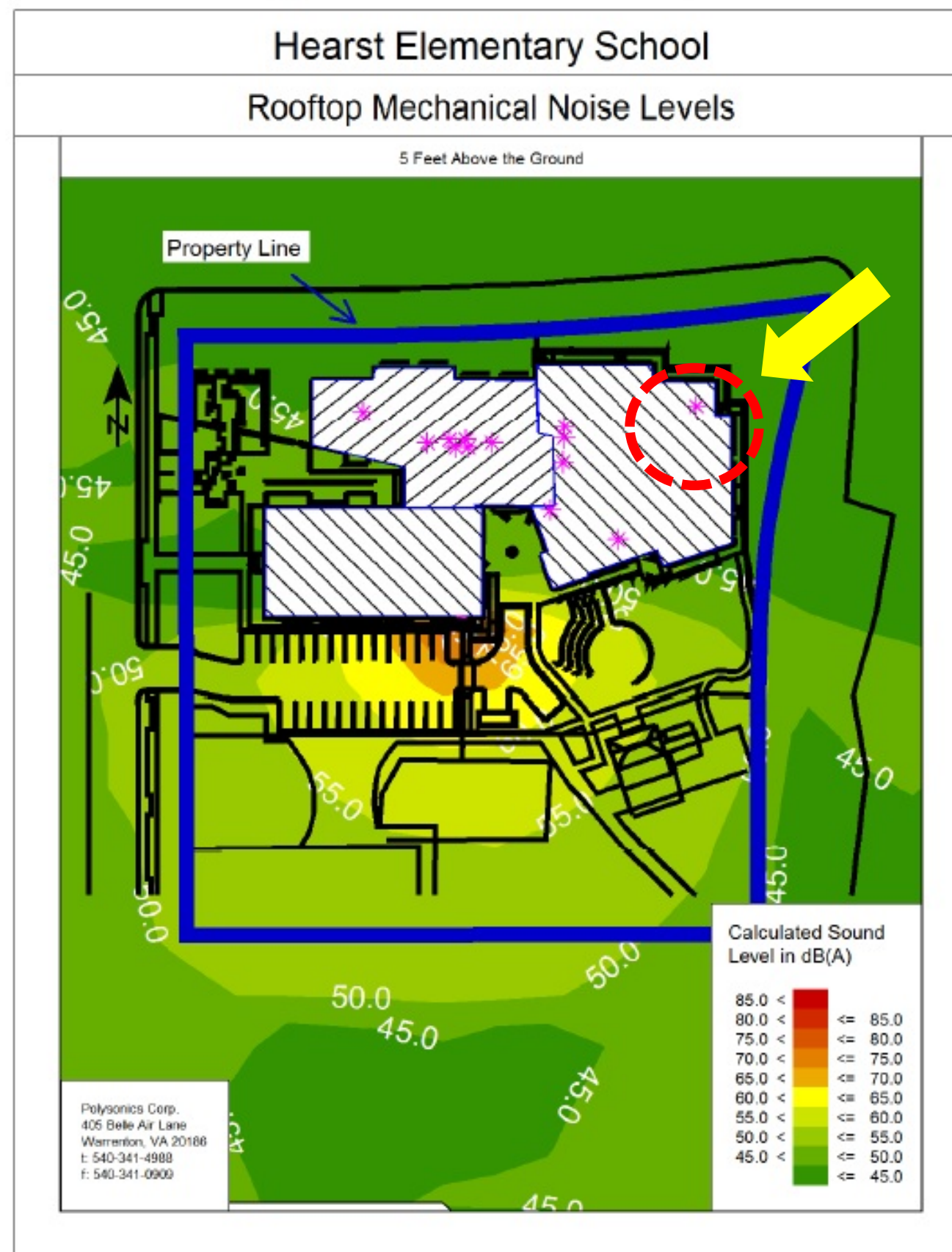


View from Tilden Ave. looking South



View from Tilden St. looking South
extended parapet at the corner

Figure 1: Noise Levels 5 Feet Above the Ground



Sound Study shows that noise levels along Tilden, Idaho and 37th Streets are in the green zone which has a decibel equivalent of < 45 - < 50