

DC Partners for the
Revitalization of
Education Projects

DEPARTMENT OF GENERAL SERVICES
Program Management Team

1250 U Street, NW
3rd Floor
Washington, DC 20009

202.698.7763
www.dgs.dc.gov

June 23, 2015

Ms. Kathleen Beeton
Department of Consumer and Regulatory Affairs
Office of the Zoning Administrator
1100 4th Street, SW
Washington, DC 20024

Re: Hearst Elementary School
DCRA Building Permit Tracking Number B1501123
Zoning Reviewer Comments

Dear Ms. Beeton,

I am writing in reference to the Hearst Elementary School modernization project located at 3950 37th Street, NW, Washington, DC 20008. A building permit application was submitted on October 31, 2014 and is currently being tracked under DCRA Permit Number B1501123.

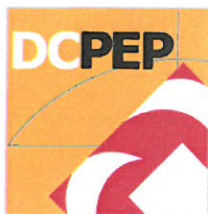
On February 9, 2015, we received comments from the Zoning Reviewer, Mr. David Vollin, which included the following:

1. All required screening and mechanical equipment shall have a 1 to 1 setback from all exterior walls or BZA is required.

In response to the above comments, revisions were made to extend the overall height of the mechanical equipment screen wall; this revision was captured in updated drawings that were submitted in March 2015 with the response package (copy enclosed).

On June 16, 2015, the design team received a call from Mr. Vollin and additional comments stating the following:

1. As prescribed by Sections 400 and 411 all mechanical equipment that will be 4 ft. or greater above the roof/parapet must be completely set back from all exterior walls no less than a distance equal to its height above the roof/parapet. Furthermore only one roof structure is allowed per roof - all mechanical equipment must be housed in one enclosure at uniform height. If there are existing roof structures, the proposed equipment must be located so that its screening can be connected to the existing to create one enclosure matching the existing height if conforming. The plans show one uniform enclosure but the elevations show two separate enclosures on the same roof which is



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non-conforming. Furthermore, the plans show there will not be a 1 to 1 setback. The plans have not been revised to call out the new and existing roof structures, including their dimensions and the dimensions of the existing and proposed structure.

We believe that the revision to the screen wall is in conformance with the cited zoning regulations and respectfully request a meeting with you to review the design. I welcome the opportunity to speak with you to schedule the meeting at your earliest convenience. My contact information is listed below:

Phone: 202-603-6469

Address: 1250 U Street NW, 3rd Floor, Washington, DC 20009

Email: novella.brady@mckissackdc.com

Thank you for your attention to this matter.

Respectfully,

Novella Brady

Project Manager – Powell Elementary School, Addition & Modernization

Enclosures

cc: P. Artin – DCPEP
W. Mangrum – DCPEP
T. Gebremichael – DCPEP
D. Foster – DCPEP



R. MCGHEE & ASSOCIATES

Hearst Elementary Building CD
3950 37th Street NW, Washington DC
Building Permit # B1501123

June 23, 2015

RMc response to the DCRA Zoning comments dated June 16, 2015 via phone conversation with Mr. David Vollin. The following are the comments and design team response;

DCRA Zoning - Initial review completed. HOLD FOR CORRECTION
Comment(s)

- 1. All required screening and mechanical equipment shall have a 1 to 1 setback from all exterior walls or BZA is required**

RMc response:

In response to the DCRA comment listed above, sent by Quinten L. Washington, dated February 11, 2015, Design team responded to the comment dated 3/17/15 with updated drawings, based on our interpretation of the zoning regulation 411 and 770.6, to show drawing revisions in the mechanical screen at the North East corner of the building which is the subject of the comments. See attached A104, A200, and A201.

After waiting for few months, we received comments via phone call from Mr. David Vollin, Tuesday, June 16, 2015, regarding the 1:1 ratio. According to Mr. Vollin, the parapet we showed in our drawings shows extension only in the area of the mechanical equipment where it requires a 1:1 setback from the exterior wall, and still not compliance apparently the parapet needs to be extended to the perimeter of the roof structure, whereby increasing the length and height of the whole parapet above the roof level.

Below are the highlighted excerpt from the zoning regulation that we based our interpretation and on our opinion, complies with the issue of the 1:1 setback regulation.

770.6 If housing for mechanical equipment or a stairway or elevator penthouse is provided on the roof of a building or structure, it shall be erected or enlarged as follows:

- (a) It shall meet the requirements of § 411;
- (b) It shall be set back from all exterior walls a distance at least equal to its height above the roof upon which it is located;

411 ROOF STRUCTURES (R)

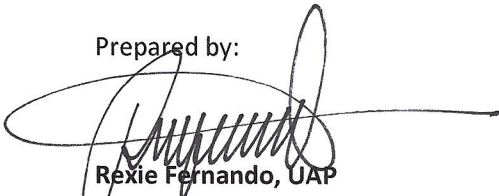
411.3 All penthouses and mechanical equipment shall be placed in one (1) enclosure, and shall harmonize with the main structure in architectural character, material, and color.

411.4 When roof levels vary by one (1) floor or more or when separate elevator cores are required, there may be one (1) enclosure for each elevator core at each roof level.

411.5 Enclosing walls from roof level shall be of equal height, and shall rise vertically to a roof, except as provided in § 411.6.

411.6 When consisting solely of mechanical equipment, the equipment shall be enclosed fully as prescribed in §§ 411.3 and 411.5, except that louvers may be provided. A roof over a cooling tower need not be provided when the tower is located at or totally below the top of enclosing walls.

Prepared by:

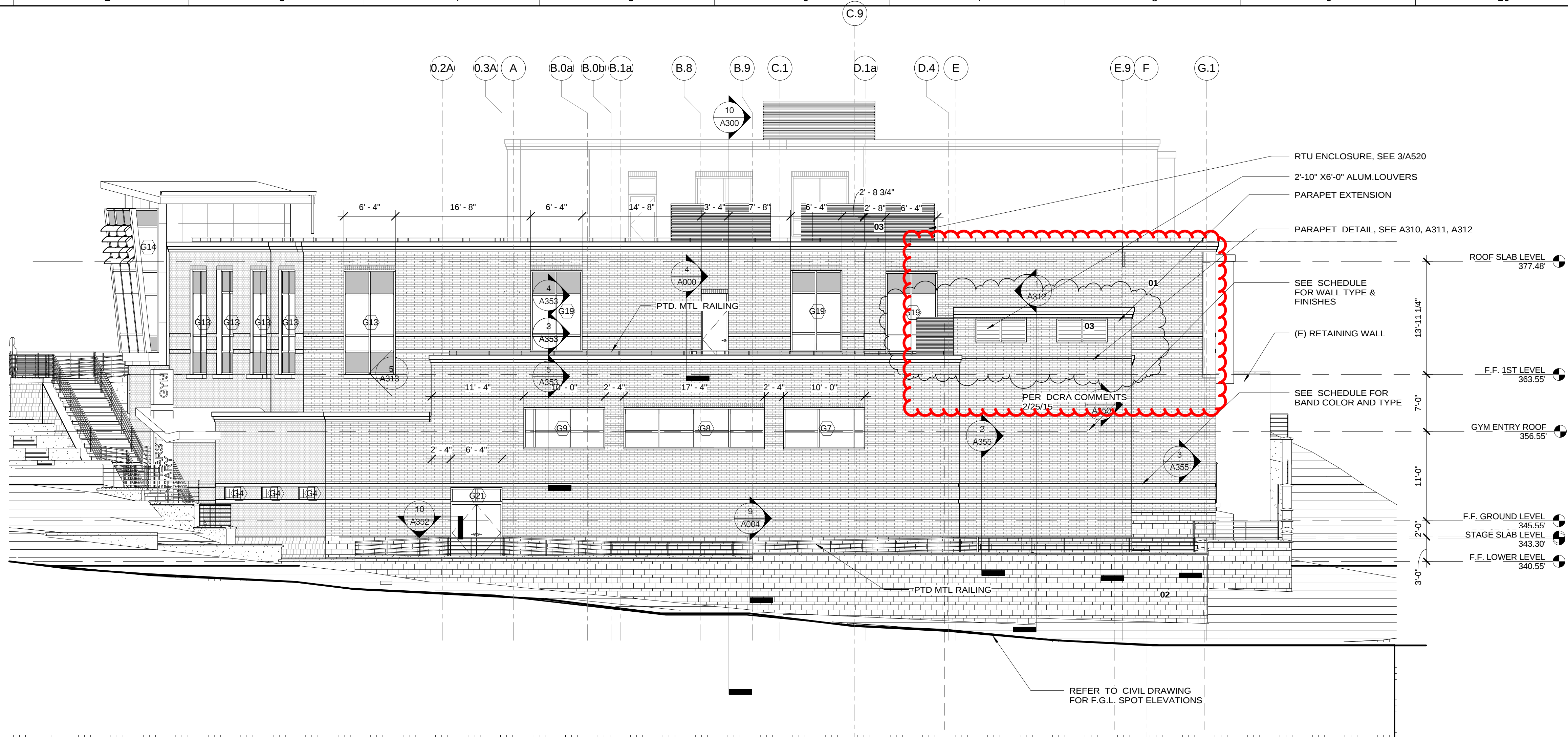


Rexie Fernando, UAP
Project Manager

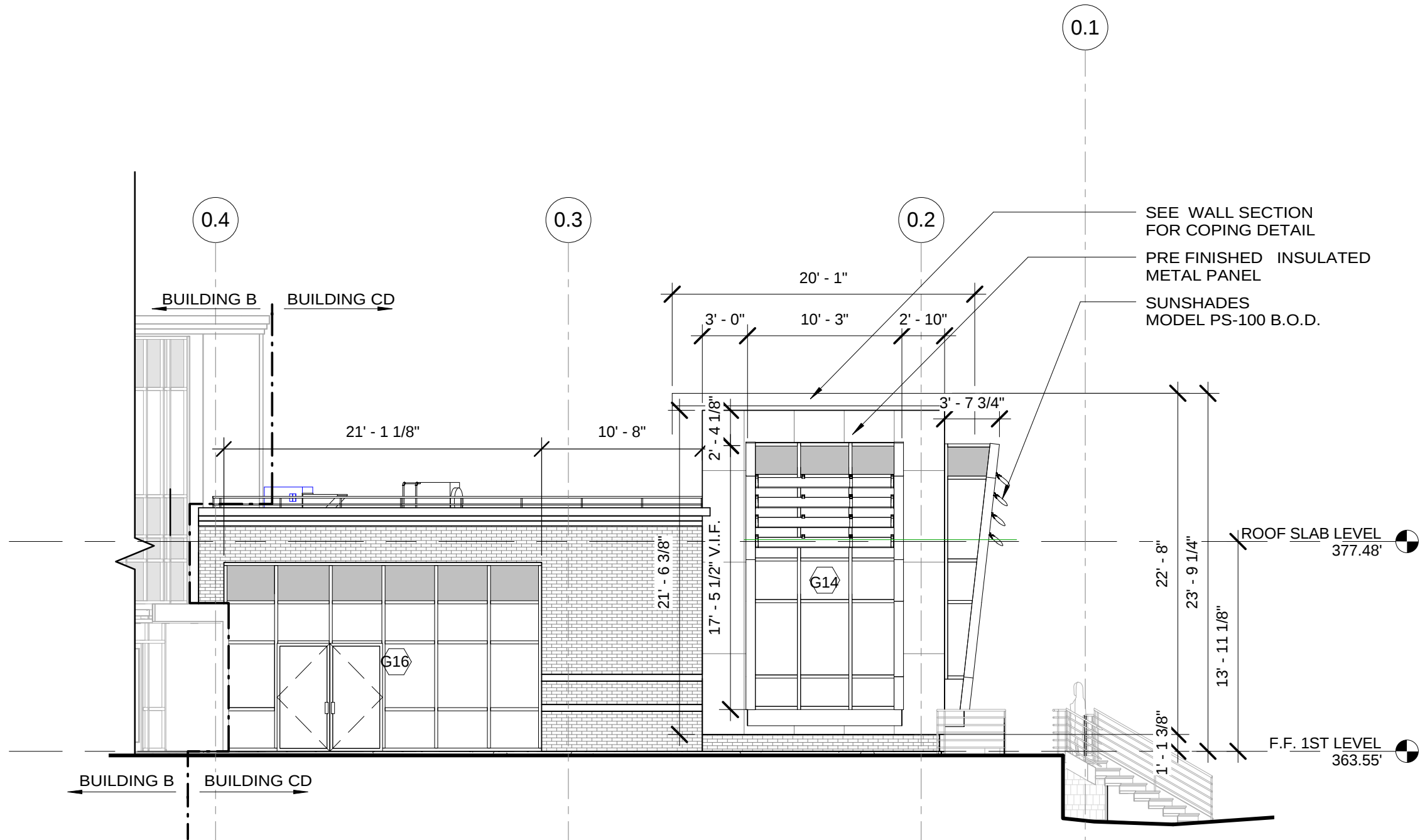
Noted:



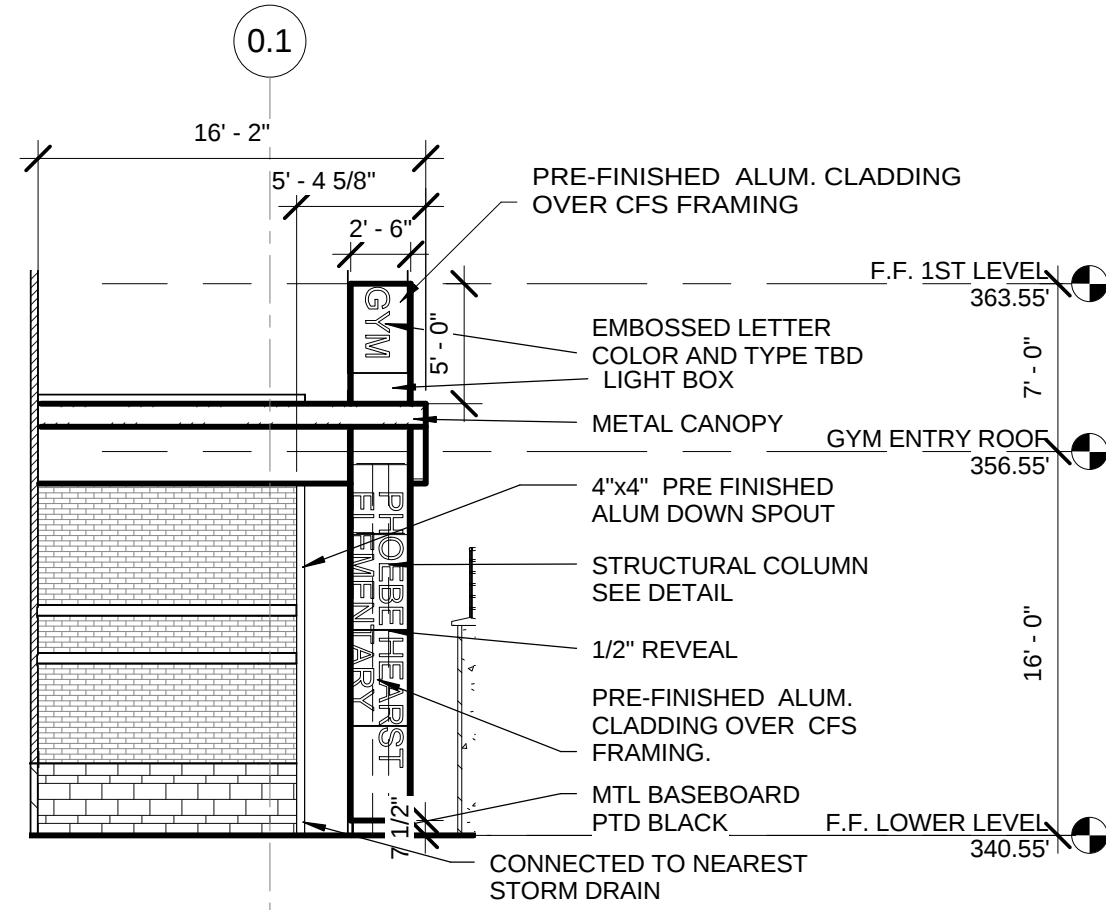
Ronnie McGhee, AIA, LEED AP
Principal



10 EAST ELEVATION
A200 1/8" = 1'-0"



5 SOUTHWEST ELEVATION
A200 1/8" = 1'-0"



1 GYM ENTRY ELEVATION
A200 1/8" = 1'-0"



PER DCRA ZONING COMMENTS

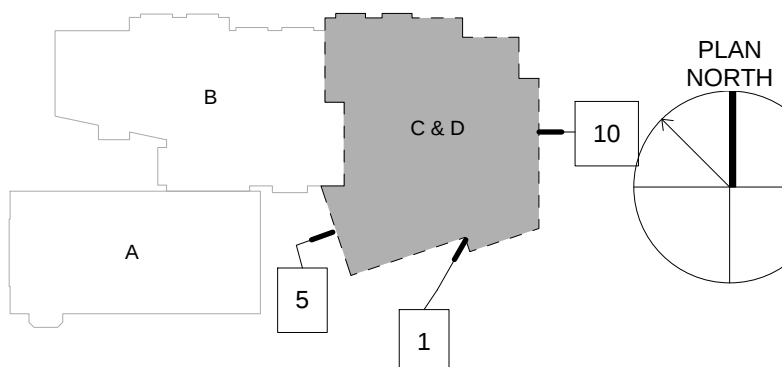
ELEVATION NOTES:

- A. GC SHALL VERIFY ALL EXTERIOR FINISHES, COLORS, AND MATERIALS WITH THE ARCHITECT. GC SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND OBTAIN THE ARCHITECT'S WRITTEN CLARIFICATION OF DESIGN INTENT BEFORE PROCEEDING.
- B. COORDINATE WITH THE SIGN CONTRACTOR AND PROVIDE 2X CONTINUOUS BLOCKING IN THE STUD WALL FOR SIGNAGE ATTACHMENTS.
- C. CONSTRUCTION JOINTS SHALL BE AT 20'-0" O.C. MAXIMUM.
- D. BACK OF PARAPETS SHALL HAVE EXTERIOR FINISHES.
- E. CONTINUE THE FINISH ALONG THE SIDES AND BACK OF EXTERIOR.
- F. PAINT ALL EXPOSED METAL FLASHING AND BUILDING ACCESSORIES, PIPES, CONDUITS, EQUIPMENT, ETCH., TO MATCH ADJACENT SURFACE TYPICAL.
- G. EXTERIOR FINISH GRADES SHOWN ON EXTERIOR ELEVATIONS ARE DIAGRAMMATIC. SEE FLOOR PLANS AND CIVIL PLANS FOR MORE INFORMATION ON EXTERIOR GRADES.

KEY NOTES:

- 01 BRICK
02 STONE
03 MECHANICAL SCREEN

KEY PLAN:



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ROCKVILLE, MD 20850

CIVIL:
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11327 AMHERST AVENUE
WHEATON, MD 20902
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LANDSCAPE:
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Landscape Architecture, LLC
711 Florida Avenue, NW
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P: 202.986.0711

AV, TELECOM, SECURITY:
POLYSONICS
405 BELLE AIR LANE
WARRINGTON, VA 20186

COMMERCIAL FOOD SERVICE DESIGN:
Drafting & Design, LLC
4120 Rinehart Road
Westminster, MD 21158

PROJECT NUMBER: 2014-39CD

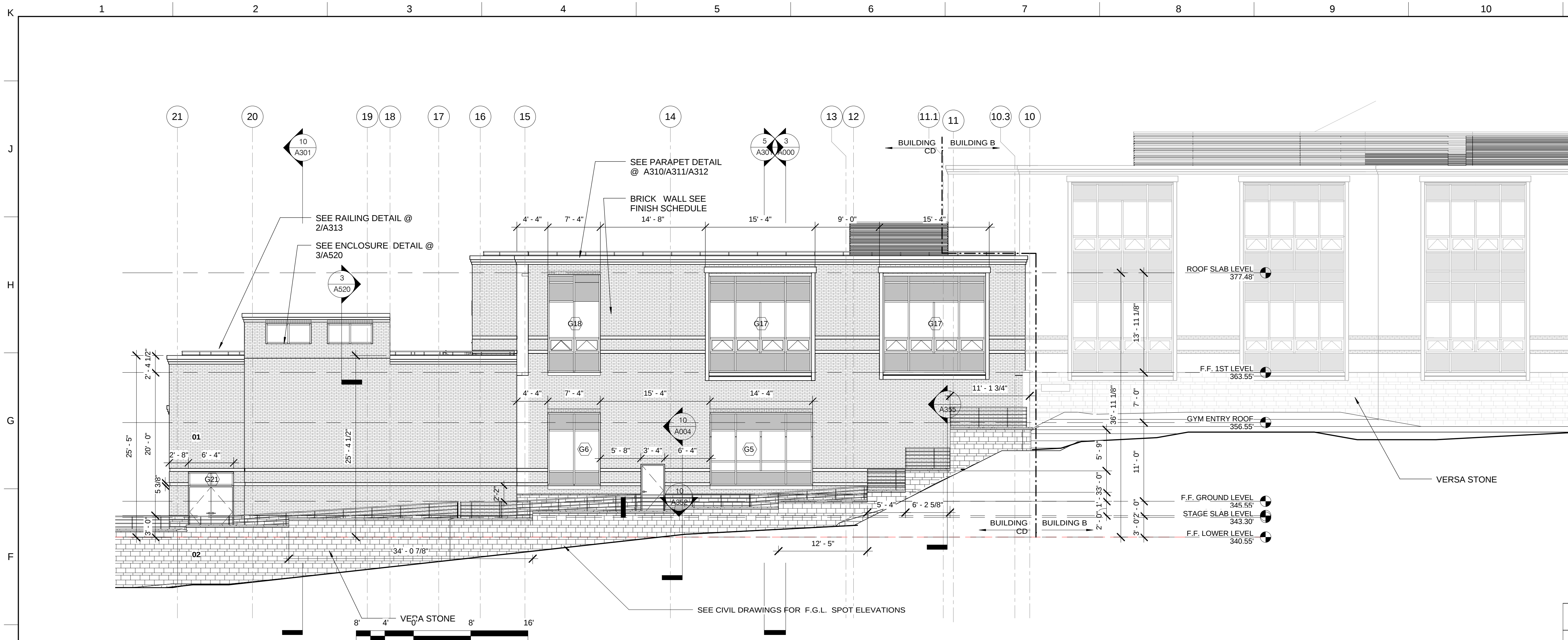
SHEET DATE:	05/08/14
ISSUE DATE:	ISSUE:
05-16-2014	FOUNDATION PERMIT SET
06-30-2014	DESIGN DEVELOPMENT
08-25-2014	PERMIT SET
09-25-2014	CD PROGRESS SET
12-1-2014	FINAL CD SET
REVISION:	
2-17-2015	REVISION 4
3-02-2015	REVISION 5-ASI 16
3-13-2015	REVISION 6-ASI 18

SHEET TITLE:

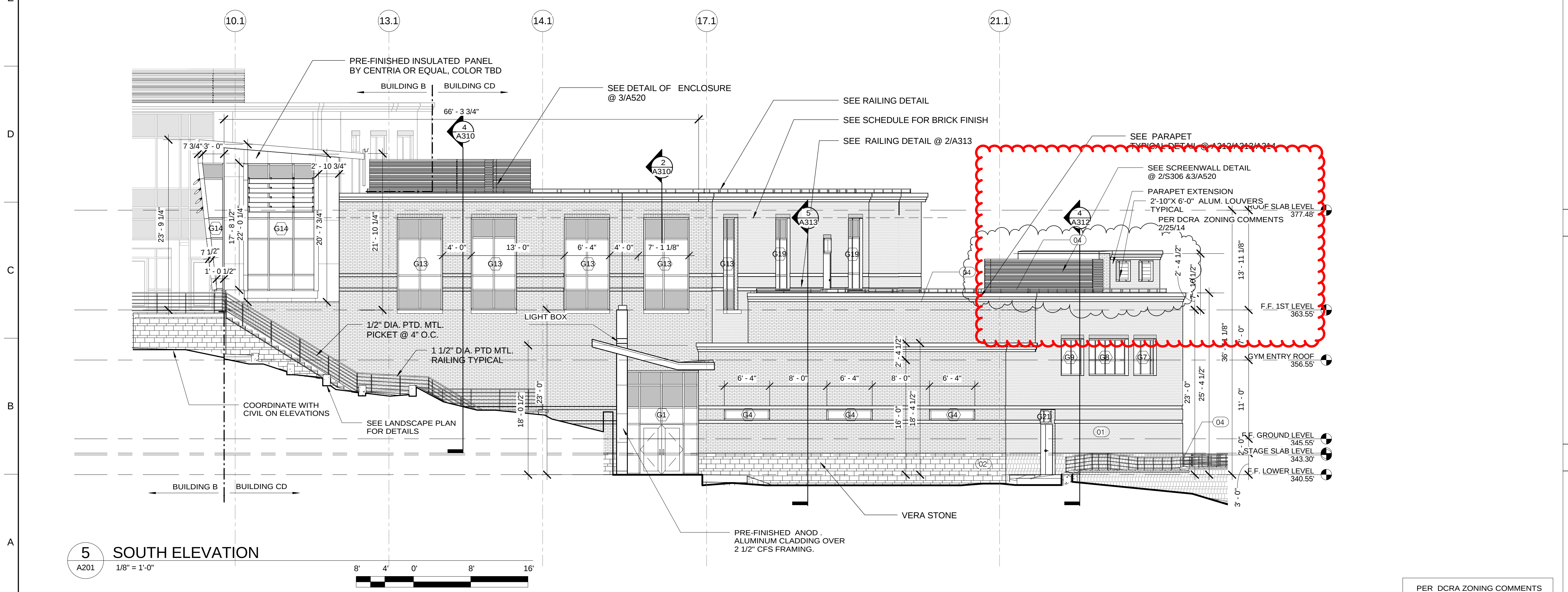
BUILDING ELEVATIONS

SHEET NUMBER:

A200



10 NORTH ELEVATION
A201 1/8" = 1'-0"



5 SOUTH ELEVATION
A201 1/8" = 1'-0"

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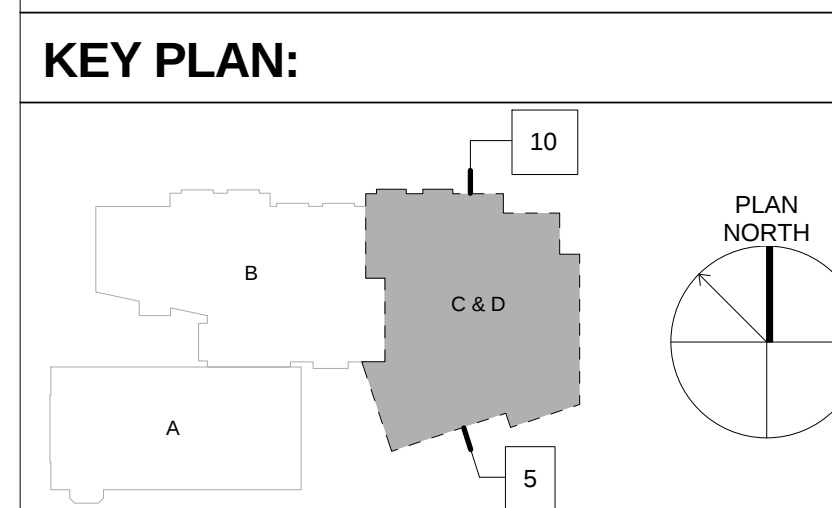
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G. EXTERIOR FINISH GRADES SHOWN ON EXTERIOR ELEVATIONS ARE DIAGRAMMATIC. SEE FLOOR PLANS AND CIVIL PLANS FOR MORE INFORMATION ON EXTERIOR GRADES.

KEY NOTES:

01 BRICK	
02 STONE	
01	BRICK
02	STONE
04	MTL RAILING TYPE 1



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3-02-2015	REVISION 5-ASI 16
3-13-2015	REVISION 6-ASI 18

SHEET TITLE:
BUILDING ELEVATIONS

SHEET NUMBER:
A201