

888 16TH ST NW
1600 EYE ST NW

Motion Picture Association of America

APPLICATION TO THE
BOARD OF ZONING
ADJUSTMENT

August 21, 2015



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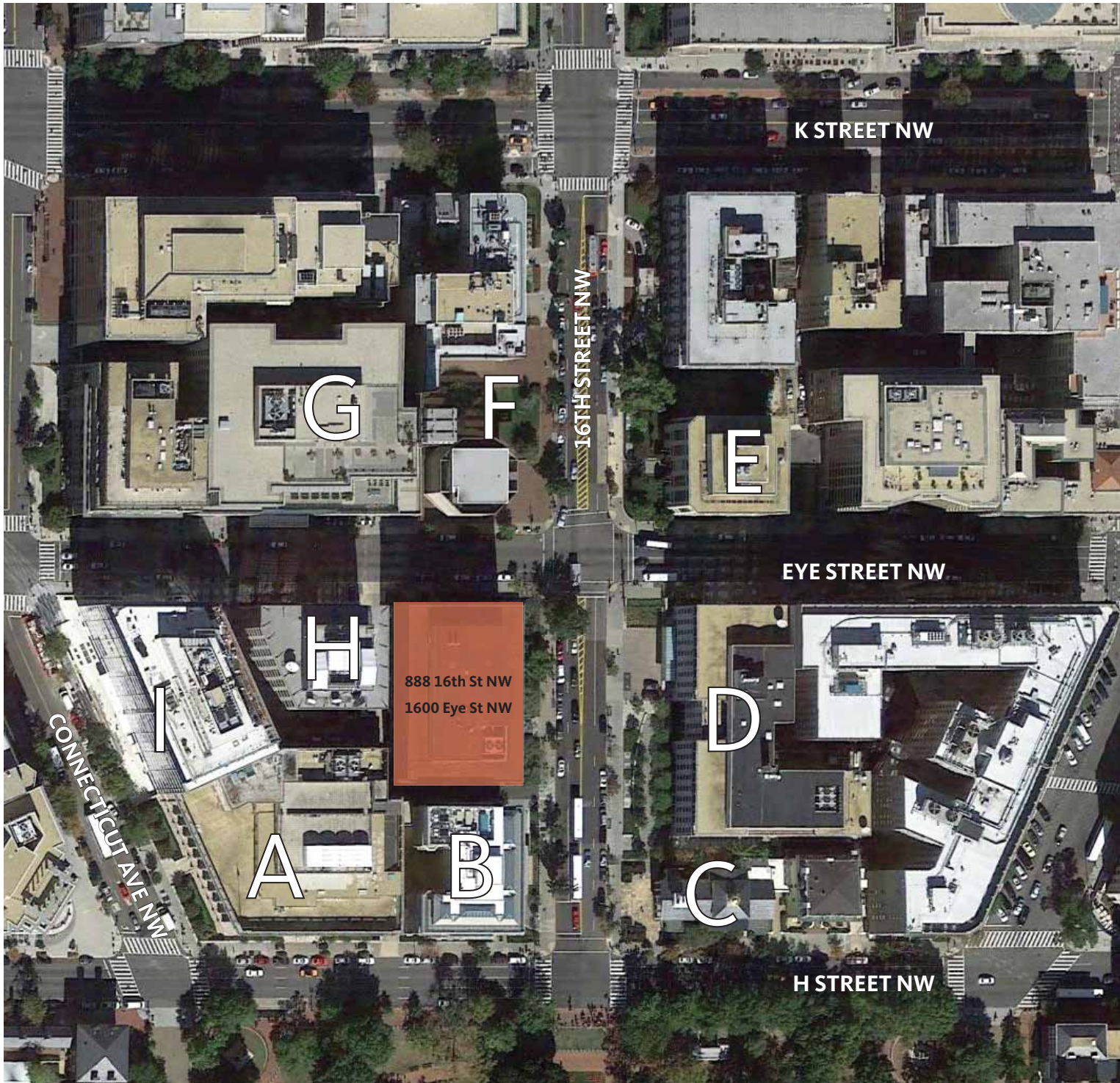


Site Context

VICINITY MAP



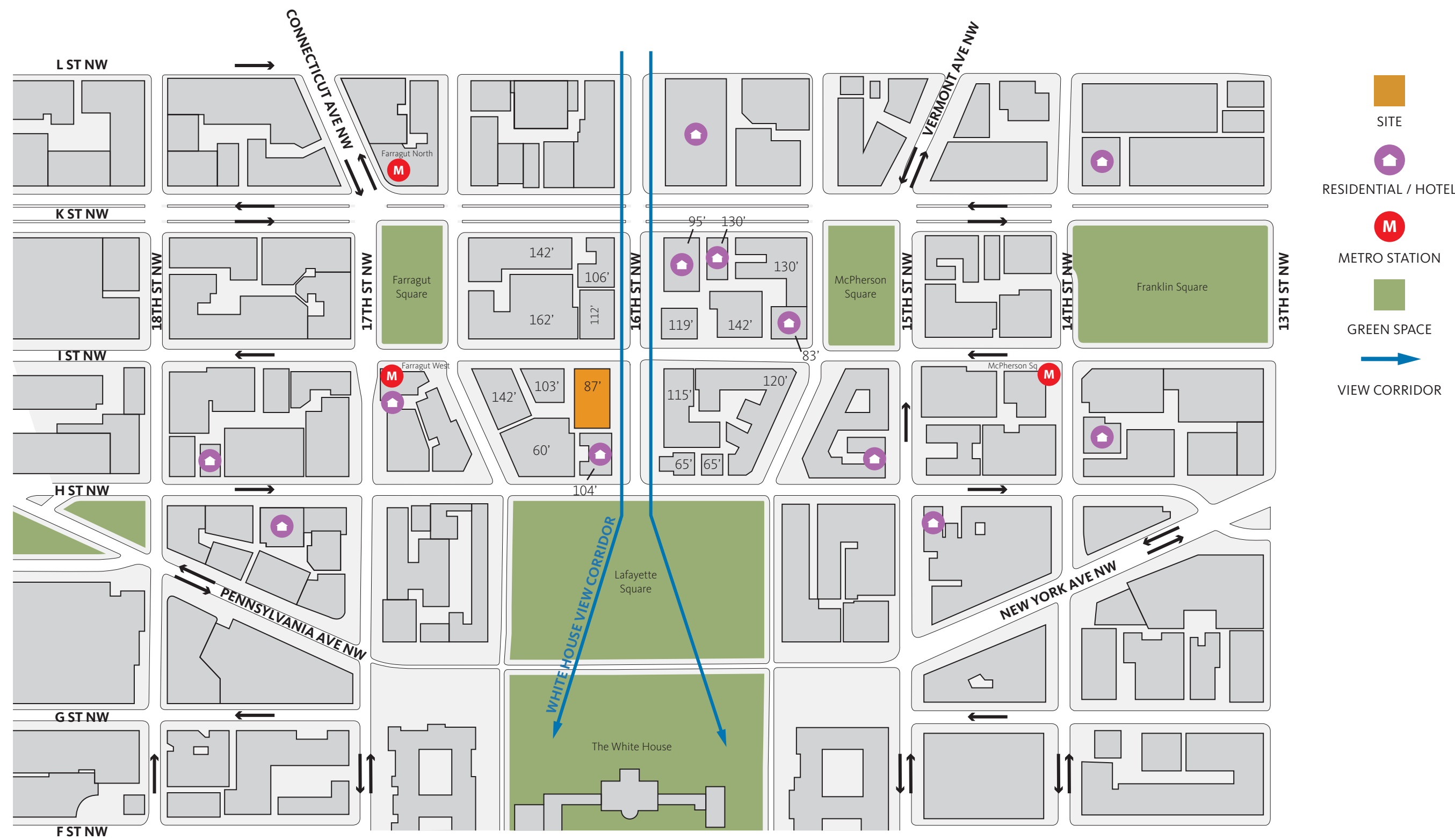
LOCAL MAP



- | | | | |
|---|-----------------------------|---|------------------------|
| A | U.S. Chamber of Commerce | F | 900 16th Street NW |
| B | The Hay-Adams Hotel | G | 1625 Eye Street NW |
| C | St. John's Episcopal Church | H | 1620 Eye Street NW |
| D | AFL-CIO | I | 815 Connecticut Ave NW |
| E | LiUNA | | |



LOCAL ANALYSIS



ADJACENT BUILDINGS

- A

U.S. Chamber of Commerce
- B

The Hay-Adams
- C

St. John's Episcopal Church
- D

AFL-CIO
- E

LIUNA
- F

900 16th Street NW
- G

1625 Eye Street NW
- H

1620 Eye Street NW
- I

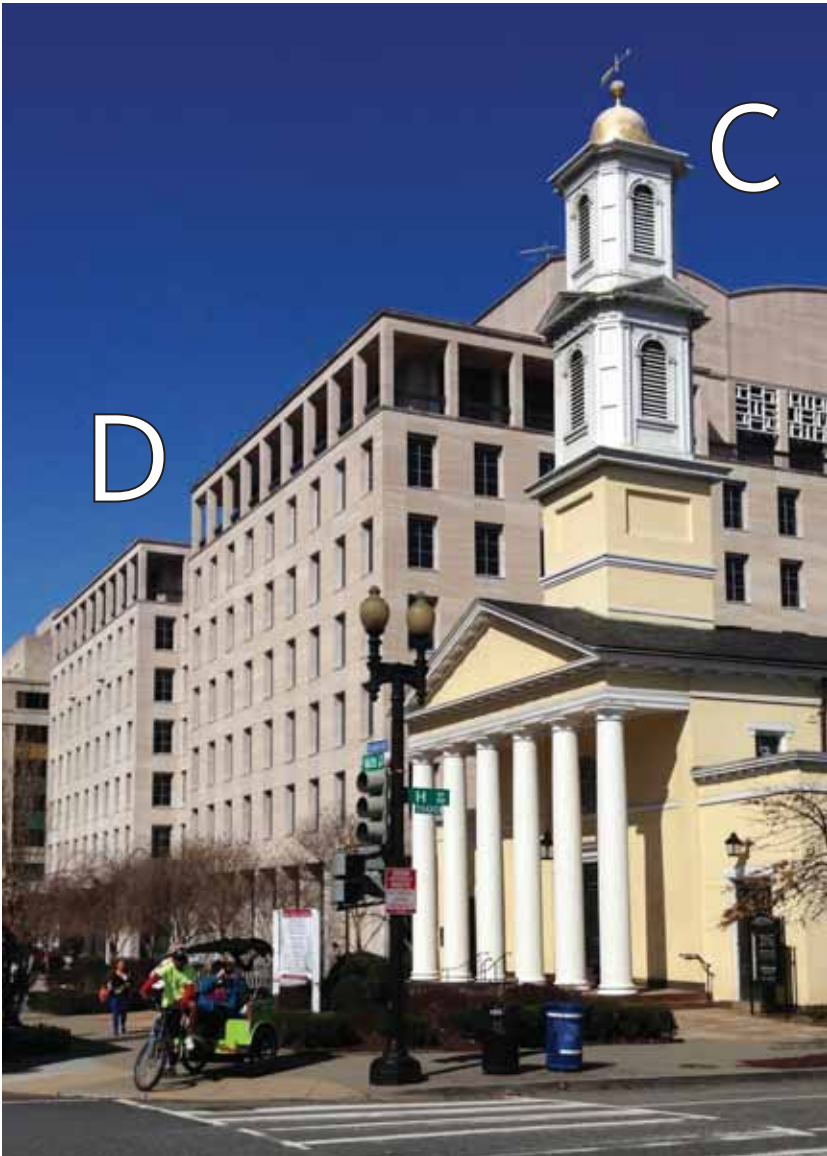
815 Connecticut Ave NW



View from H St NW looking northeast towards Connecticut Ave.



View from intersection of H St NW and 16th St NW looking northwest.



View from intersection of H St NW and 16th St NW looking northeast.



ADJACENT BUILDINGS

- A

U.S. Chamber of Commerce
- B

The Hay-Adams
- C

St. John's Episcopal Church
- D

AFL-CIO
- E

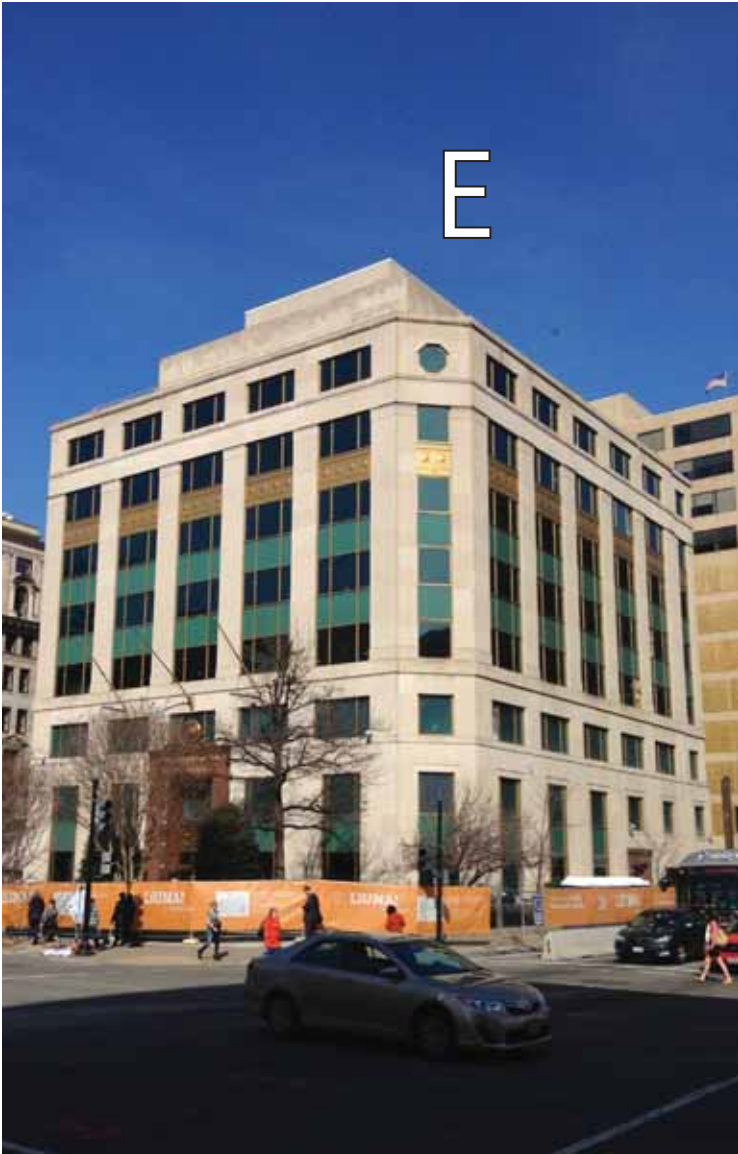
LIUNA
- F

900 16th Street NW
- G

1625 Eye Street NW
- H

1620 Eye Street NW
- I

815 Connecticut Ave NW



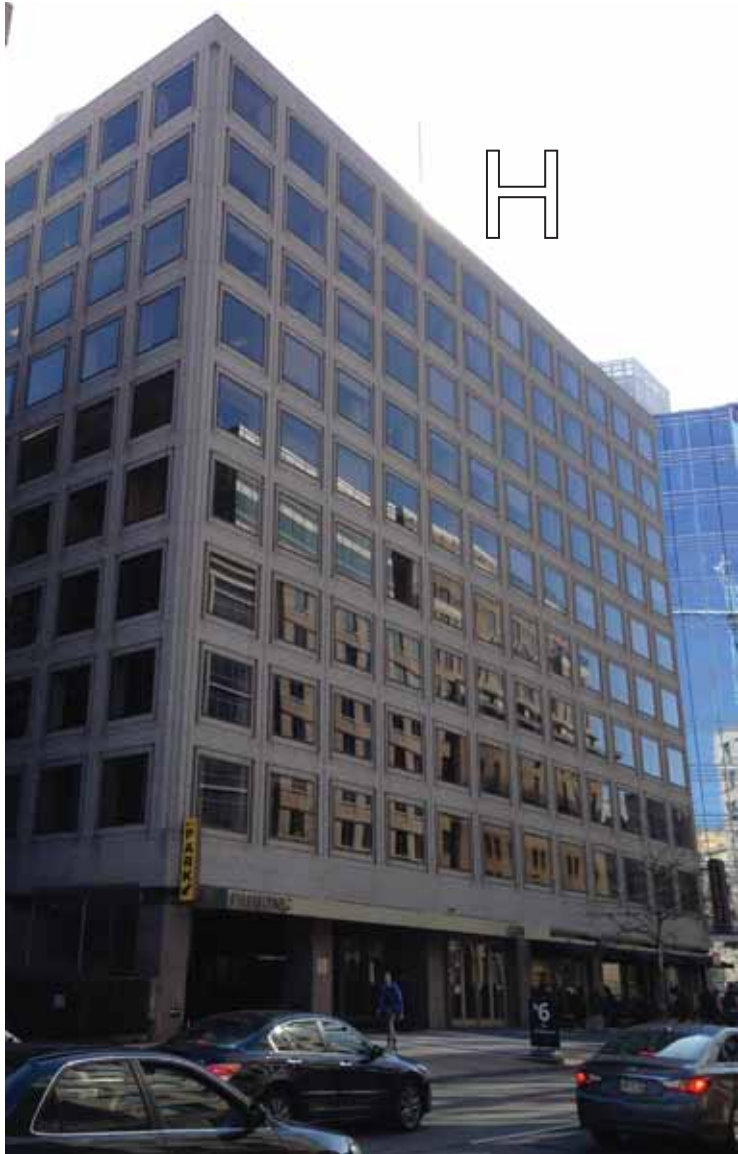
View from intersection of Eye St NW and 16th St NW looking northeast.



View from 16th St NW looking southwest towards Eye St NW.
(under constructions - renderings)

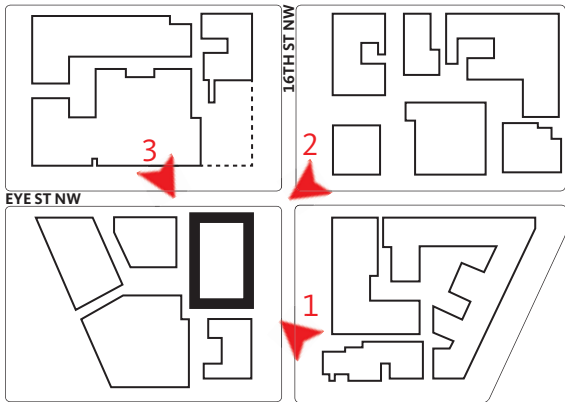


View from Eye St NW looking northwest towards 17th St NW.



View from Eye St NW looking southwest towards 17th St NW.

EXISTING BUILDING PHOTOS



View from 16th St NW looking northwest towards Eye Street NW.

EXISTING BUILDING PHOTOS

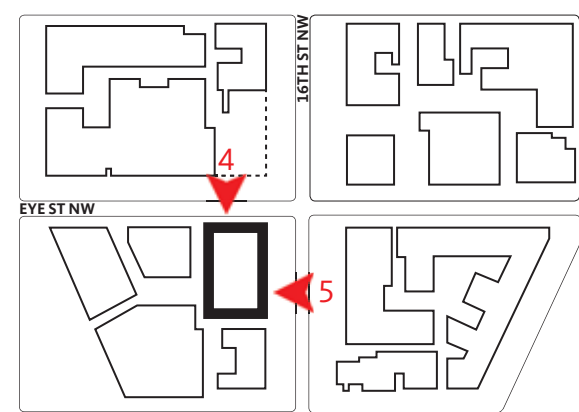


View from intersection of 16th St NW and Eye Street NW looking southwest.



View from Eye St NW looking east towards 16th Street NW.

EXISTING BUILDING ENTRANCES



View of main building lobby on 16th St NW.



View of MPAA lobby on Eye St NW.

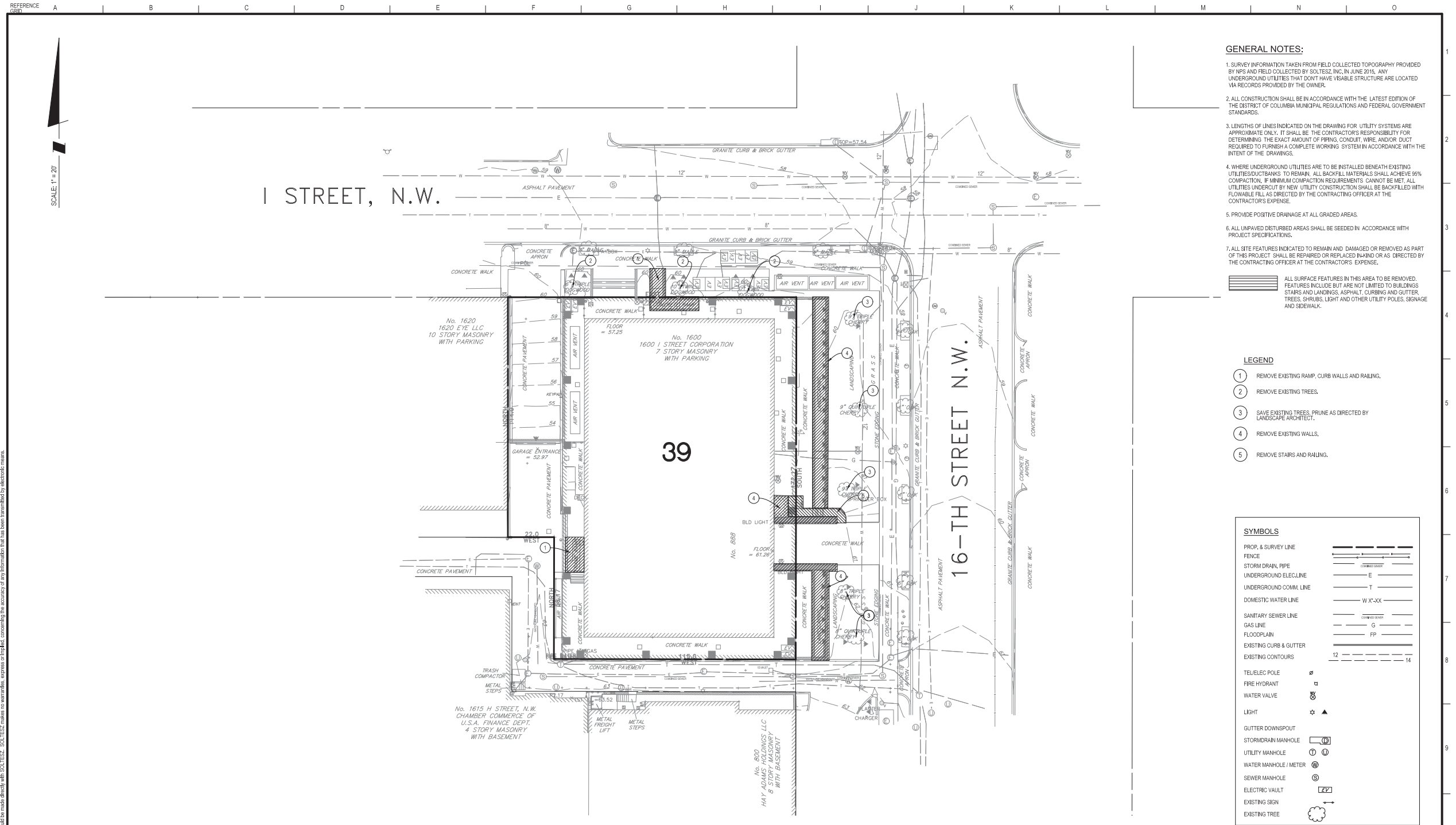
02.

Civil Design

COVER SHEET

[illegible]

EXISTING CONDITIONS PLAN



NO. REVISIONS BY DATE

DATE: JULY 2015 CAD STANDARDS VERSION: V8 - 2000 PAGE NO. 69

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-2777, 48 HOURS BEFORE THE START OF EXCAVATION, IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TYPE OF INCHES. HOWEVER, IF LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY. BEFORE PROCEEDING WITH CONSTRUCTION, CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER/APPLICANT

1600 I STREET CORPORATION
BUILDING E
15301 VENTURA BOULEVARD
SHERMAN OAKS CA. 91403-5885

MAP <u>9</u> GRID <u>K 13</u>	
TAX MAP	ZONING CATEGORY:
WSSC 200' SHEET	
SITE DATUM	
HORIZONTAL: <u>ASSUMED</u>	
VERTICAL: <u>DC WATER</u>	

EXISTING CONDITIONS PLAN

NO. 1600 I STREET, N.W.
LOT 39
SQUARE 186
Subdivision Book 152 page 116
WASHINGTON
DISTRICT OF COLUMBIA



1" = 20'

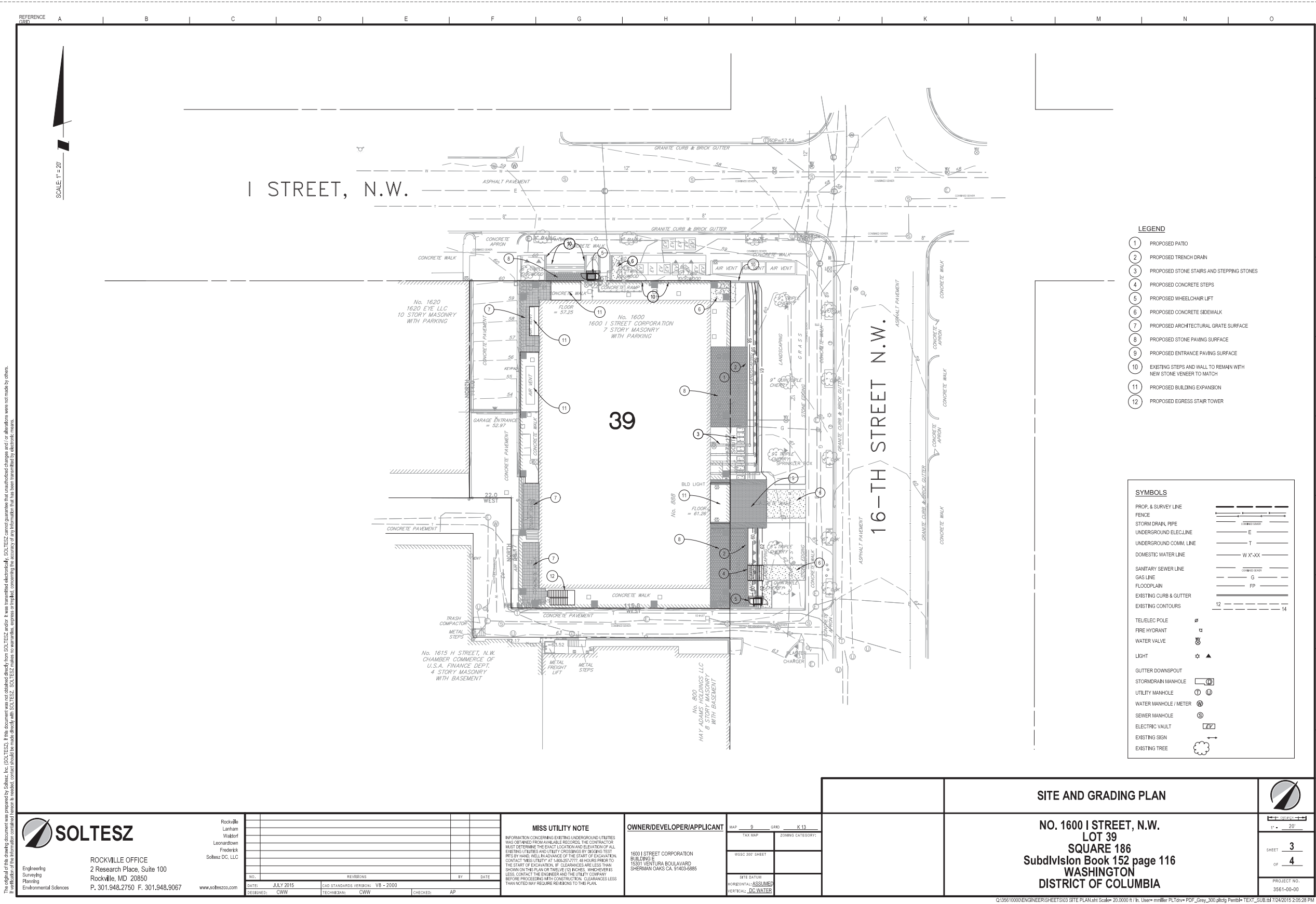
SHEET 1
OF 4

PROJECT NO.
3561-00-00

Q:\3561000\ENGINEER\SHEETS\02 EX COND.sht Scale= 20.0000 ft / in. User= mrr\linc PLTdrv= PDF Grey 300 pldc Penth= TEXT SUB.tbl 7/24/2015 1:58:23 PM

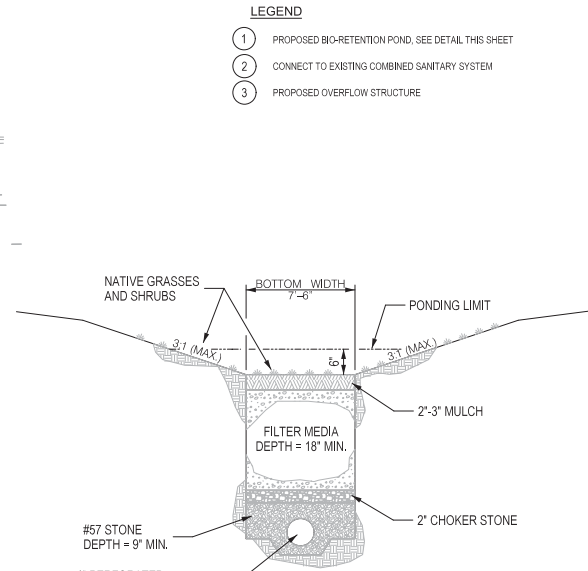


SITE AND GRADING PLAN



MPAA 888 16th ST NW & 1600 EYE ST NW

Frequency	Maintenance Tasks
Upon establishment	- For the first 6 months following construction, the practice and CDA should be inspected at least twice after storm events that exceed 1/2 inch of rainfall. Conduct any needed repairs or stabilization. - Inspectors should look for bare or eroding areas in the contributing drainage area or around the bioretention area, and make sure they are immediately stabilized with grass cover. - One-time, spot fertilization may be needed for initial plantings. - Watering is needed once a week during the first 2 months, and then as needed during first growing season (April-October), depending on rainfall. - Remove and replace dead plants. Up to 10% of the plant stock may die off in the first year, so construction contracts should include a care and replacement warranty to ensure that vegetation is properly established and survives during the first growing season following construction.
At least 4 times per year	- Mow grass filter strips and bioretention with turf cover - Check curb cuts and inlets for accumulated grit, leaves, and debris that may block inflow
Twice during growing season	Spot weed, remove trash, and rake the mulch
Annually	- Conduct a maintenance inspection - Supplement mulch in devoid areas to maintain a 3 inch layer - Prune trees and shrubs - Remove sediment in pretreatment cells and inflow points
Once every 2-3 years	- Remove sediment in pretreatment cells and inflow points - Remove and replace the mulch layer
As needed	- Add reinforcement planting to maintain desired vegetation density - Remove invasive plants using recommended control methods - Remove any dead or diseased plants - Stabilize the contributing drainage area to prevent erosion



SYMBOLS	
PROP. & SURVEY LINE	
FENCE	
STORM DRAIN, PIPE	
UNDERGROUND ELEC. LINE	
UNDERGROUND COMM. LINE	
DOMESTIC WATER LINE	
SANITARY SEWER LINE	
GAS LINE	
FLOODPLAIN	
EXISTING CURB & GUTTER	
EXISTING CONTOURS	
TELE. ELEC. POLE	
FIRE HYDRANT	
WATER VALVE	
LIGHT	
GUTTER DOWNSPOUT	
STORMDRAIN MANHOLE	
UTILITY MANHOLE	
WATER MANHOLE / METER	
SEWER MANHOLE	
ELECTRIC VAULT	
EXISTING SIGN	
EXISTING TREE	

 SOLTESZ Engineering Surveying Planning Environmental Sciences	ROCKVILLE OFFICE 2 Research Place, Suite 100 Rockville, MD 20850 P. 301.948.2750 F. 301.948.9067 www.solteszco.com	Rockville Lanham Waldorf Leonardtown Frederick Soltesz DC, LLC	MISS UTILITY NOTE INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY EXCAVATING TEST PITS BY HAND. WELL IN ADVANCE OF THE START OF EXCAVATION, CONTACT MISS UTILITY AT 1-800-227-7438 PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR WELL BELOW RECORD, WORK HEREIN IS NOT TO BE CONSIDERED A GUARANTEE OF THE ACCURACY OF THE INFORMATION BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THE PLAN.	OWNER/DEVELOPER/APPLICANT 1000 I STREET CORPORATION BUILDING E 1000 I STREET SHERMAN OAKS CA, 91403-5885	MAP: G GRID: K 13 TAX MAP: W50 200 SHEET ZONING CATEGORY: PD 100 SITE DATUM: HORIZONTAL: ASSUMED VERTICAL: DC WATER	NO. 1600 I STREET, N.W. LOT 39 SQUARE 186 Subdivision Book 152 page 116 WASHINGTON DISTRICT OF COLUMBIA	SHEET 4 OF 4 PROJECT NO. 3561-00-00

Survey Book No. 1003 Page No. 161

DISTRICT OF COLUMBIA GOVERNMENT
Office of the SurveyorPlat of SURVEY OF LOT 39 TO MARK, SHOW ACTUAL ANGLES AND MEASUREMENTS.

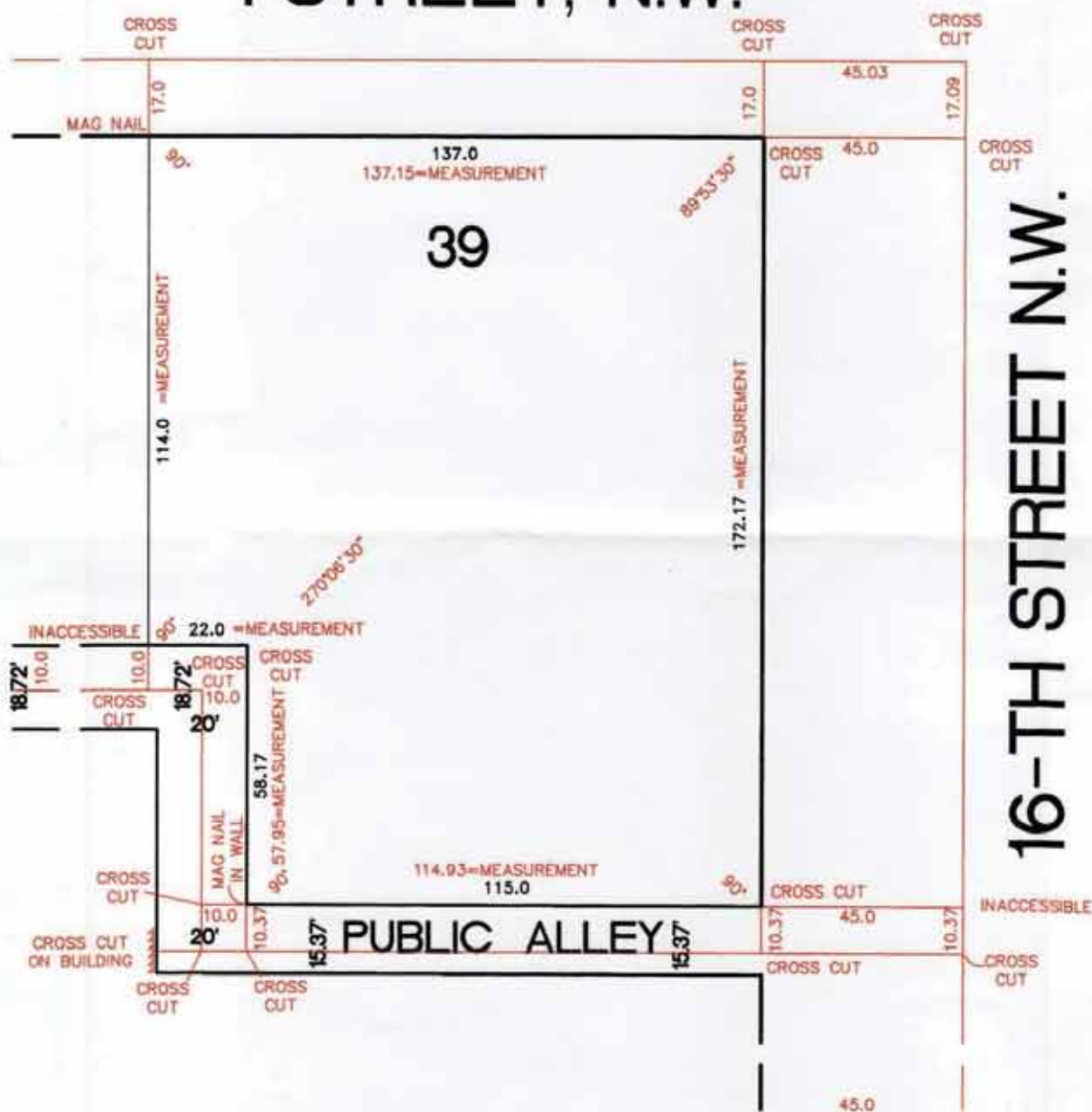
SQUARE 186

Scale: 1 inch = 30 feet

S.O. Receipt No. SR15-SO-05161

1 STREET, N.W.

16-TH STREET N.W.



OFFICE OF THE SURVEYOR, D.C.

This plat is accepted for recordation in accordance with Chapter 28 of Title 10 DCMR.

S.O. SEAL

RLS SEAL

Date June 8, 2015 Surveyor, D.C. [Signature]

Recorded at 10:00 AM on JUNE 8, 2015

Recorded in Survey Book 1003, Page 161

REGISTERED LAND SURVEYOR'S CERTIFICATION

I certify that the survey shown hereon was made by me or under my direction in accordance with Chapter 28 of Title 10 DCMR.

6-1-15 D. T. Caywood
Date Daniel T. Caywood
D.C. Registration Number: 98-6

Daniel T. Caywood
D.C. Registration Number: 98-6



MADDOX

Engineers
Surveyors

3204 Tower Oaks Blvd., Suite 200-A, Rockville, MD 20852
(301) 762-9001 www.maddoxinc.com

Party Chief: J.J. SLAMA
RLS Job No. 15030

Date: 05/18/16



DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., July 16, 2015

Plat for Building Permit of SQUARE 186 LOT 39

Scale: 1 inch = 30 feet Recorded in Book 152 Page 116

Receipt No. 15-06287

Furnished to: ANKUR PATEL

Surveyor, D.C.

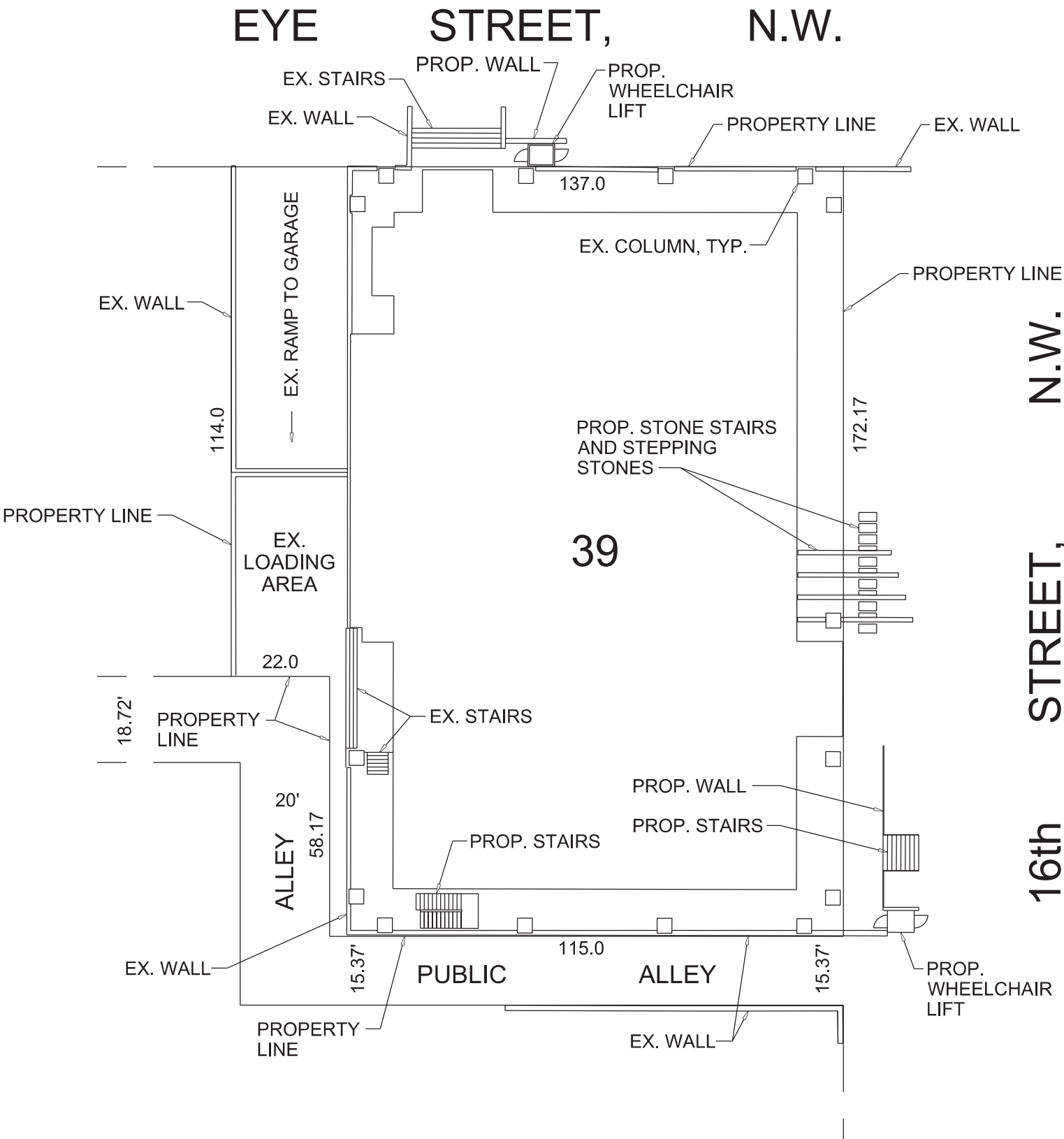
By: A.S.

I hereby certify that all existing improvements shown thereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining Lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified that all Lot divisions or combinations pending at the Office of Tax & Revenue are correctly depicted, and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and private restricted property.) Owner/Agent shall indemnify, defend, and hold the District, its officers, employees and agents harmless from and against any and all losses, costs, claims, damages, liabilities, and causes of action (including reasonable attorneys' fees and court costs) arising out of death of or injury to any person or damage to any property occurring on or adjacent to the Property and directly or indirectly caused by any acts done thereon or any acts or omissions of Owner/Agent; provided however, that the foregoing indemnity shall not apply to any losses, costs, claims, damages, liabilities, and causes of action due solely to the gross negligence or willful misconduct of District or its officers, employees or agents.

Date: _____

(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

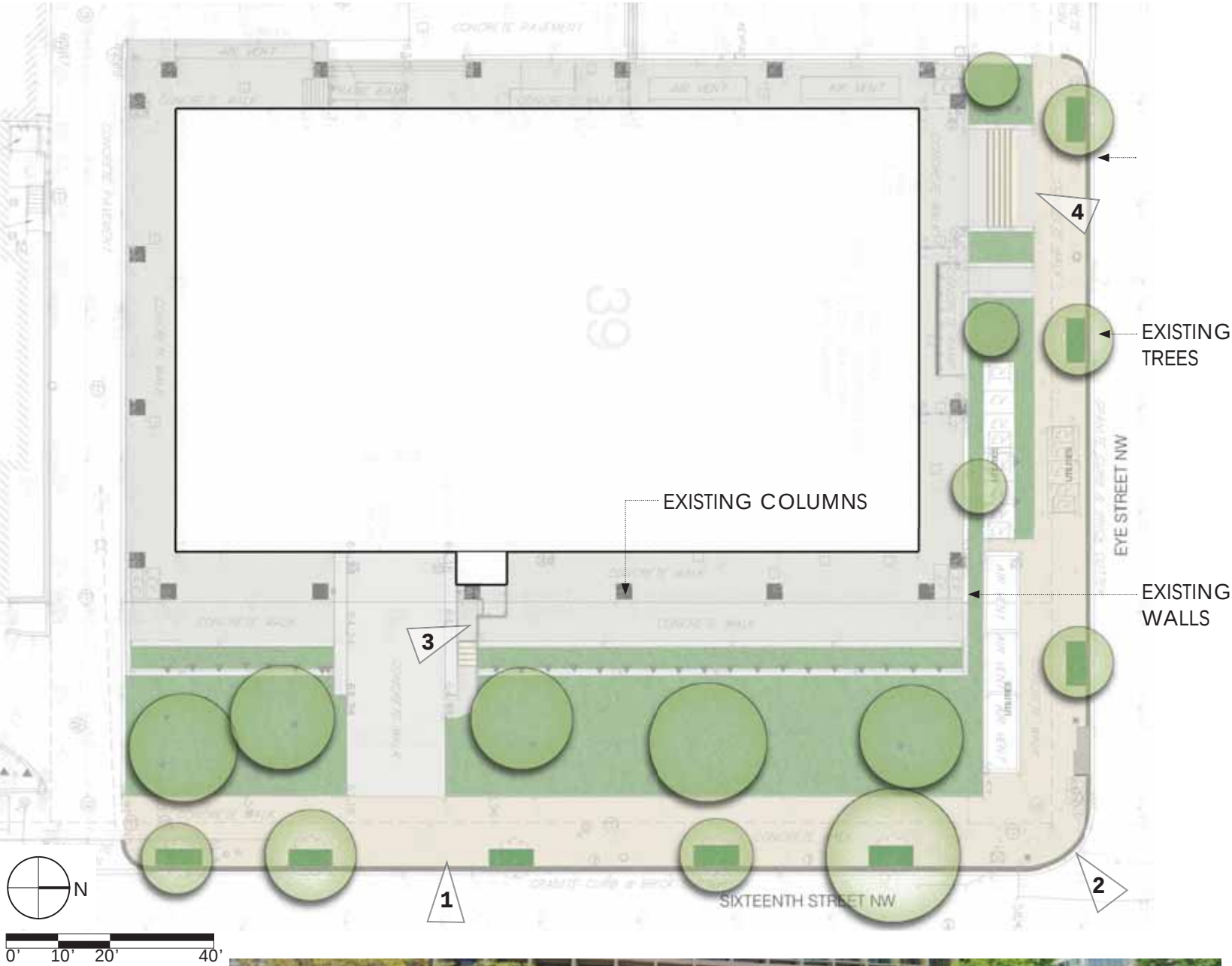




Landscape Design



EXISTING PLAN AND PHOTOS



1 View of building entrance from 16th Street NW



2 View from the intersection of 16th Street NW and Eye Street NW

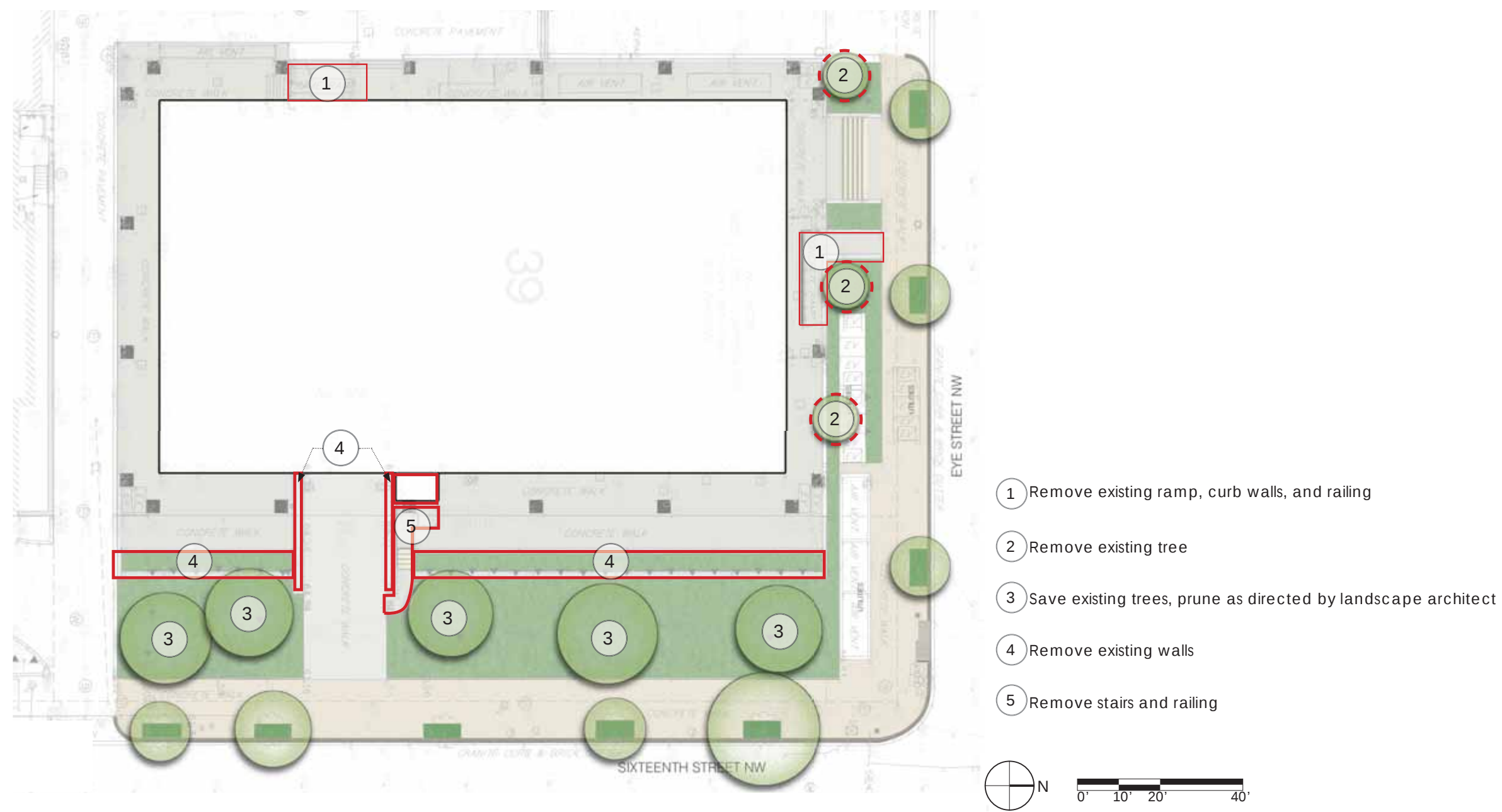


3 View of patio and existing terraced planters

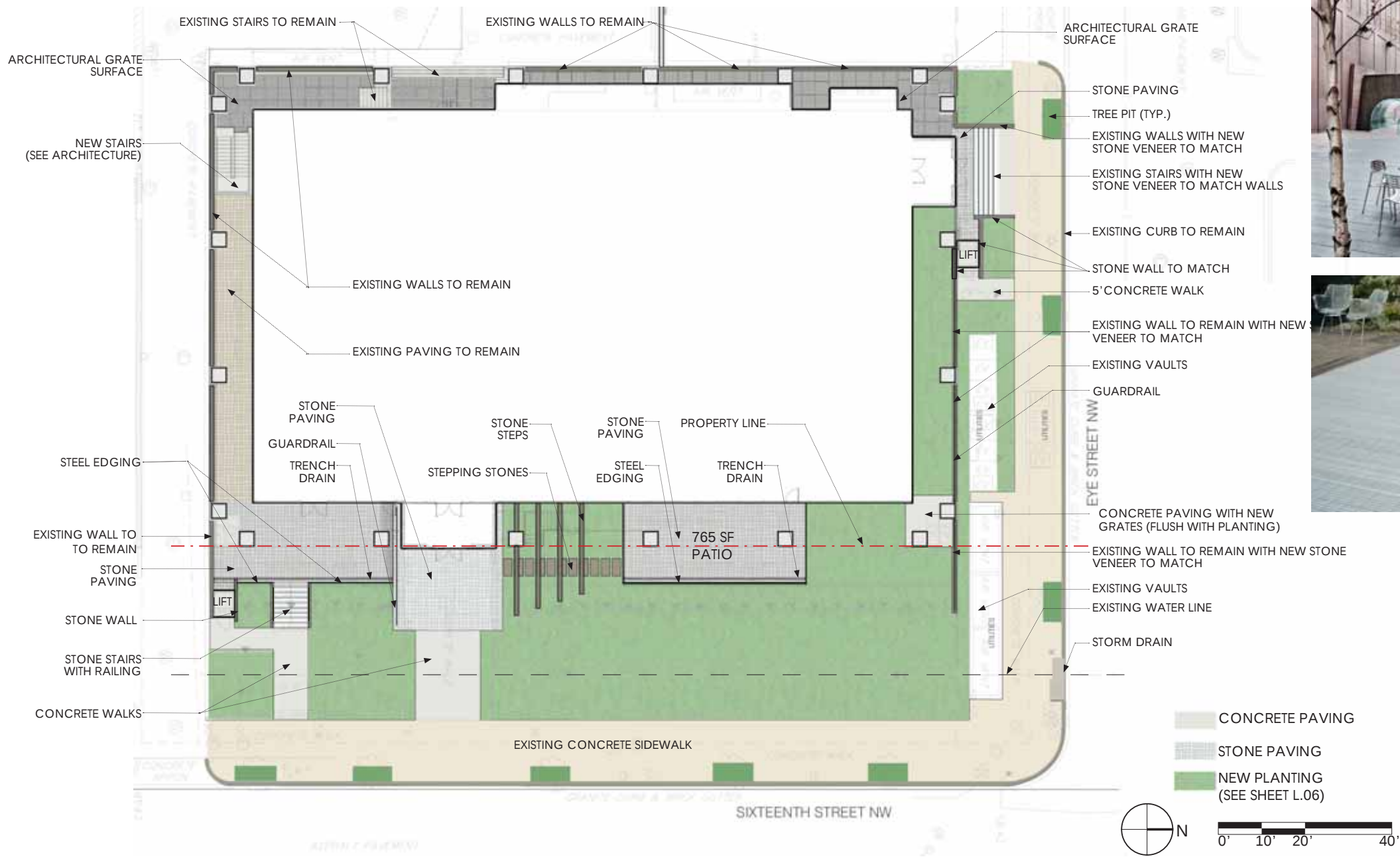


4 View of building entrance from Eye Street NW

SITE PLAN - DEMOLITION



SITE PLAN - HARDSCAPE



2" STONE PAVING
on 1" sand setting bed
and 4" concrete base
over 4" of aggregate

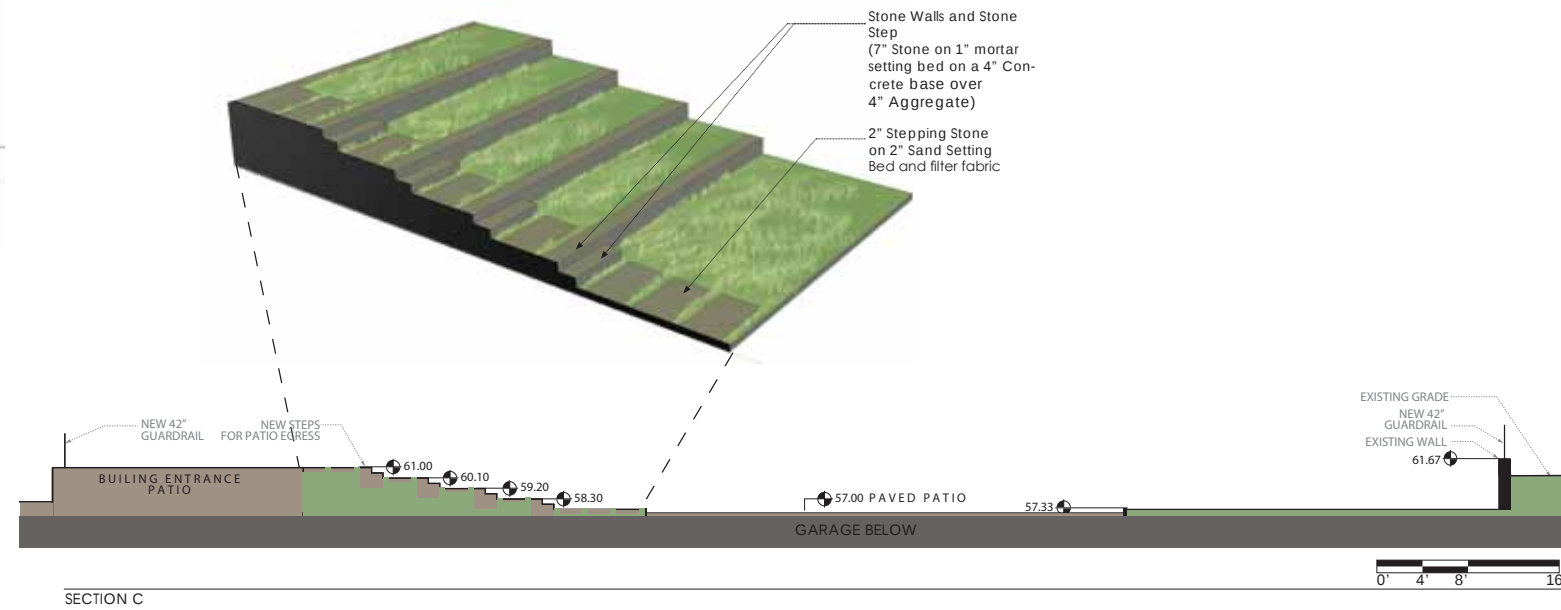
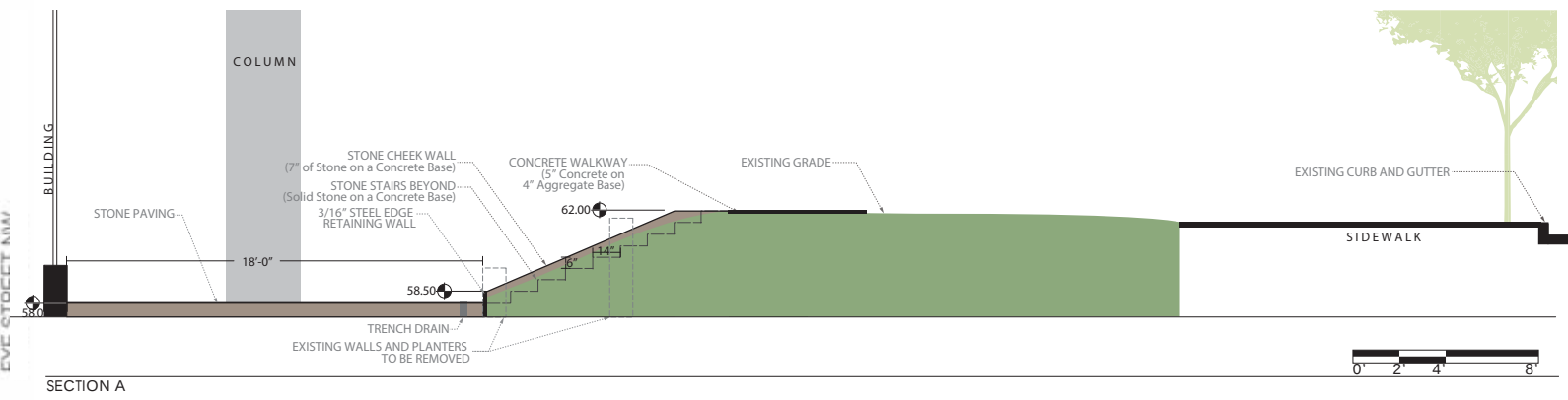
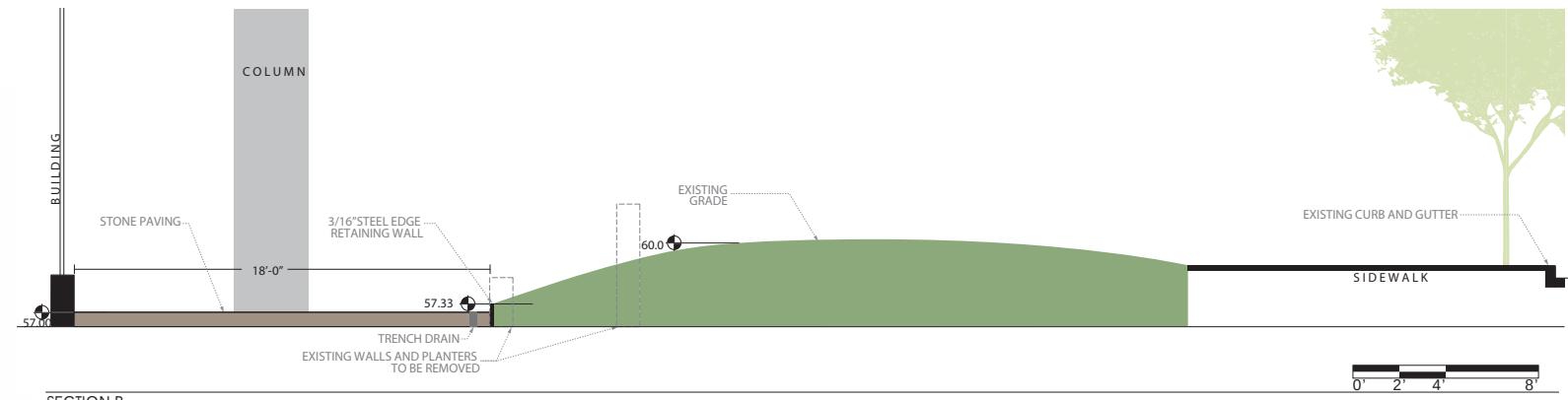
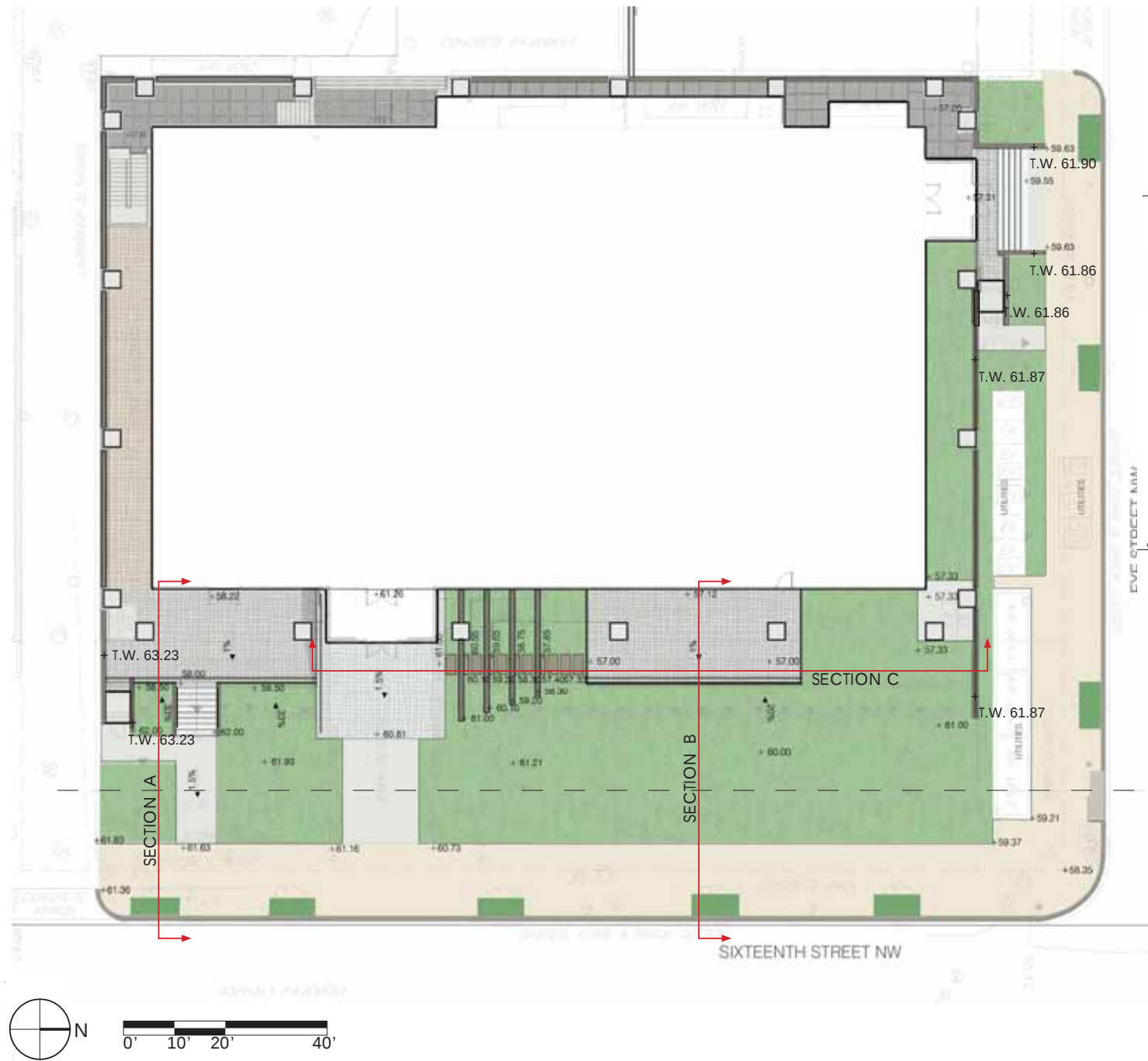


ARCHITECTURAL GRATE
SURFACE



STONE WALLS
AND STEPS
7" Stone on 1" mortar setting
bed on a 4" Concrete base
over 4" Aggregate

SITE PLAN - GRADING



SITE PLAN - PLANTING



- EXISTING TREE TO REMAIN, TYP.
- 1 SHRUBS
 - 2 SHADE AND DROUGHT TOLERANT GROUND COVER PLANTING MIX
 - 3 ORNAMENTAL GRASS, GROUND COVER, AND PERENNIAL MIX
 - 4 GROUND COVER PLANTINGS INCLUDED IN ALL TREE PITS



04.

Architectural Design

ZONING TABULATION - SUMMARY

Zoning Summary - DCMR Title 11

1600 I Street NW

Zone: SP-2
Square: 0186
Lot: 0039

Total Site Area: 22,308
Maximum FAR: 6.0 / 3.5 (non-residential)
Proposed FAR: 5.99 (non-residential)

Floor Area Recorded		Floor Area Proposed		Project Total Floor Area	
Lot 0039 Existing to remain 1600 I Street NW		Level 08	1,618		
		Level 07	1,618		
		Level 06	1,618		
		Level 05	1,618		
		Level 04	1,618		
		Level 03	1,618		
		Level 02	83		
		Level 01	1,064		
Total		Total		Total GFA	133,549
122,694		10,855		Total FAR	5.99

Roof Structure Calculation

Permitted @ 0.37 FAR 8,254
Proposed 8,083

Lot Occupancy

Lot Occupancy Allowed: 100%
Lot Occupancy Proposed: 79%

Zoning Tabulations (Proposed)				
	Minimum Required	Maximum Permitted	Proposed	Note
Building Height	N/A	90' - 0"	90' - 0"	
Roof Structure Height	N/A	18' - 6"	18' - 6"	
Rear Yard	18' - 0"	N/A	7' - 6"	
Side Yard	N/A	N/A	N/A	
Court (Open)	21' - 6"	N/A	26' - 0"	
Court (Closed)	N/A	N/A	N/A	
Parking	73	N/A	143 - 161	
Loading	2 @ 30'	N/A	2 @ 30'	

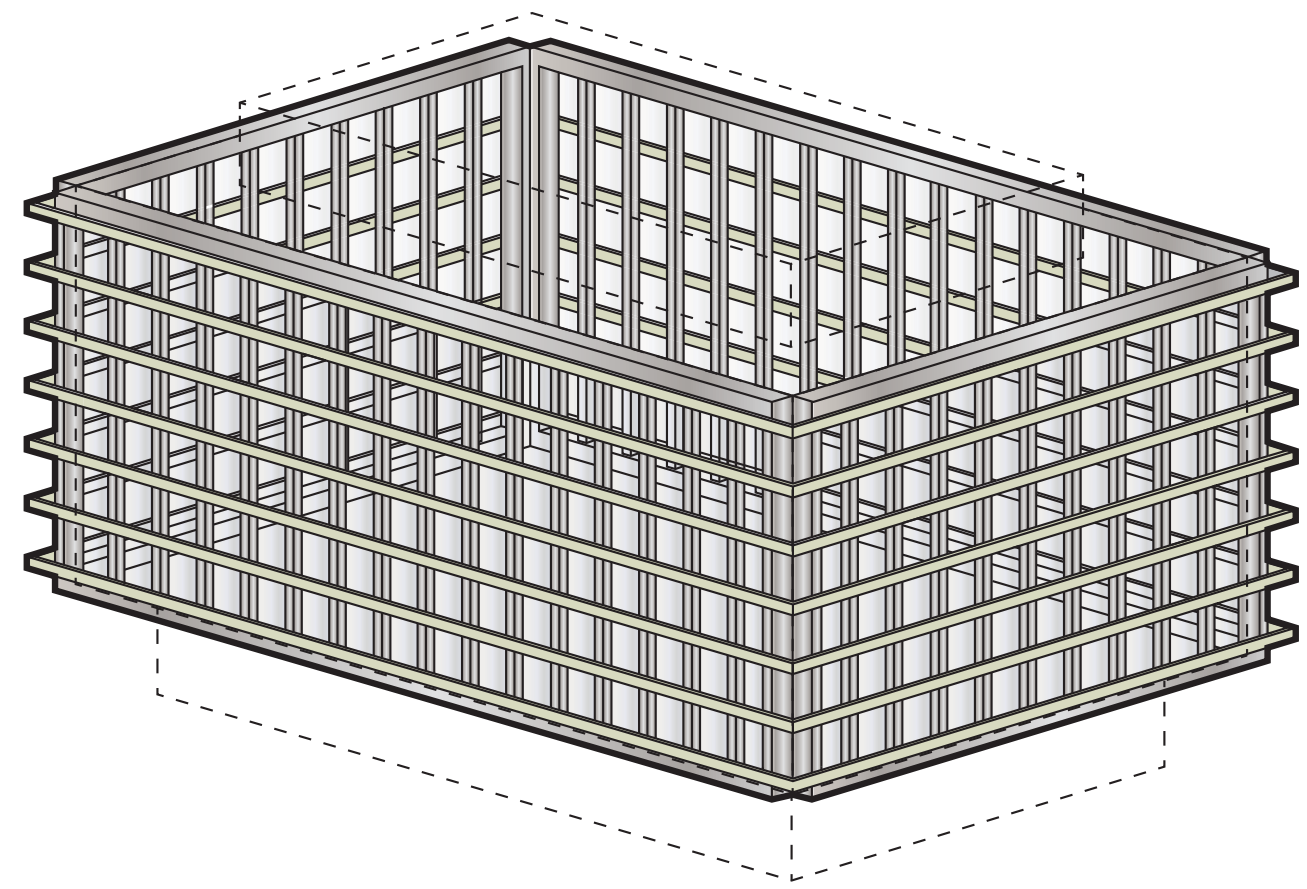
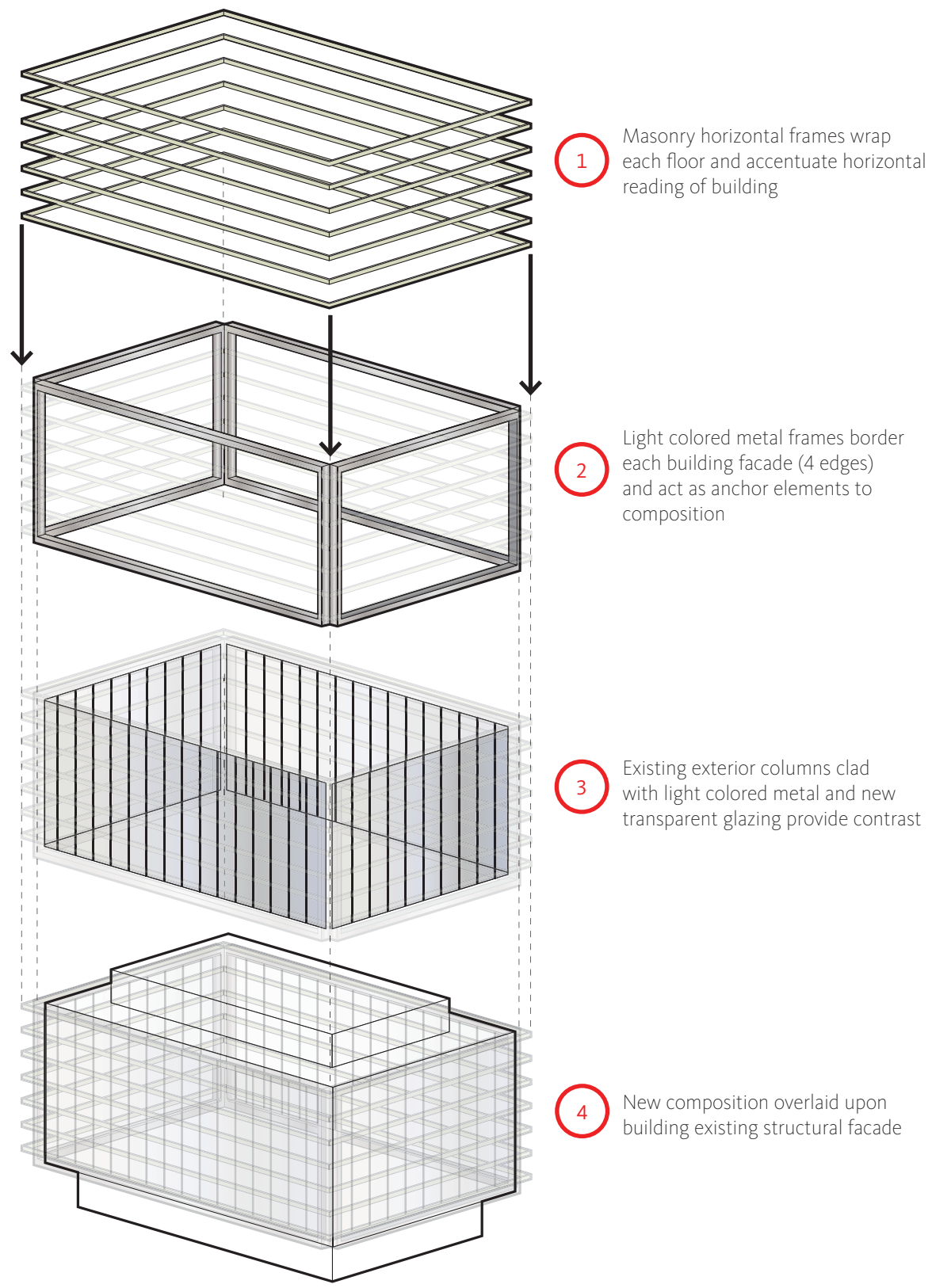
RENDERED VIEW - CORNER OF 16TH & EYE ST, LOOKING SW



RENDERING - LIGHTING STRATEGY

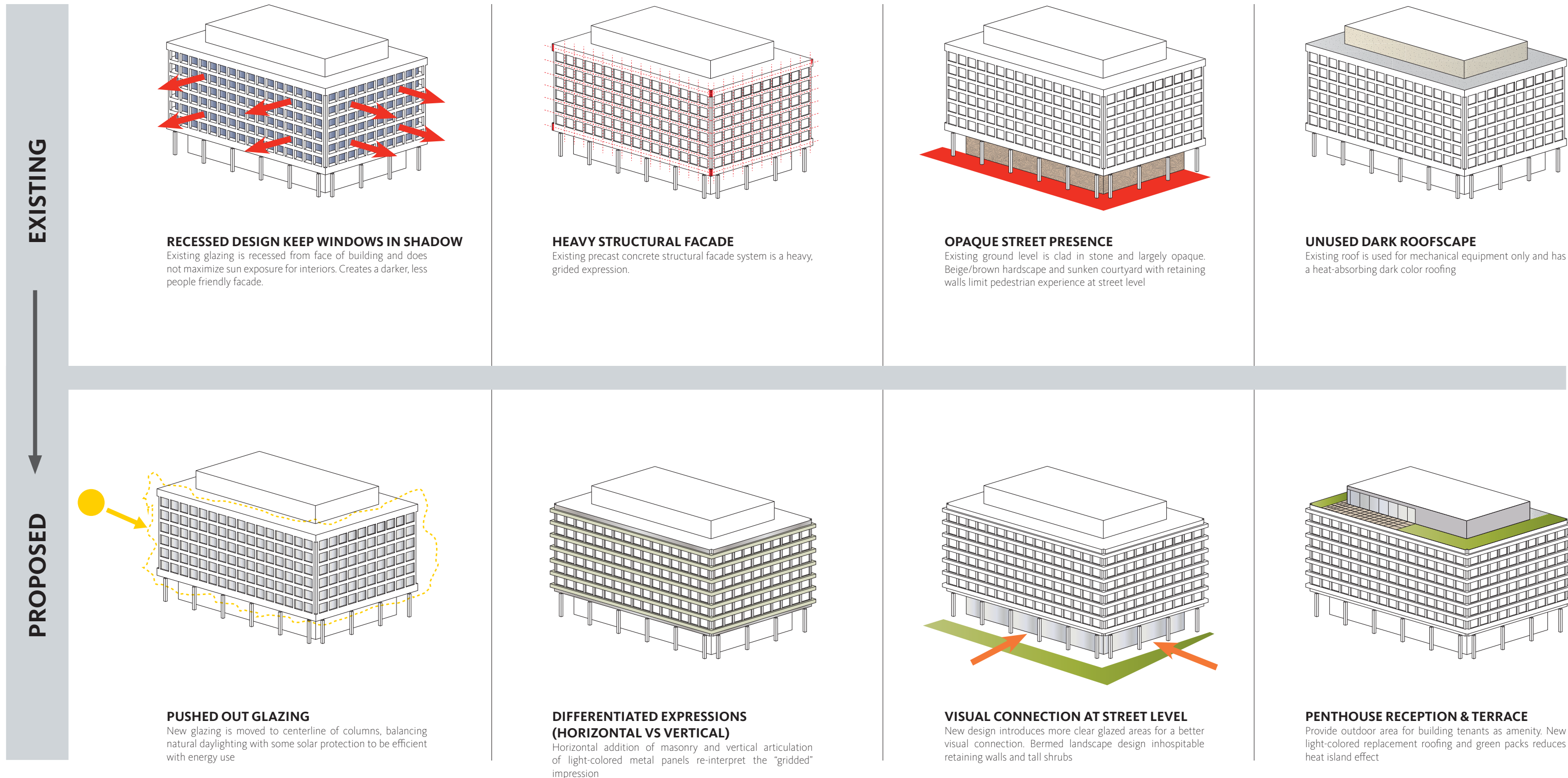


DESIGN APPROACH - BUILDING SKIN ARTICULATION



New skin strategy respects and references building's Brutalist heritage, provides a more approachable and modern exterior by strategically highlighting key elements.

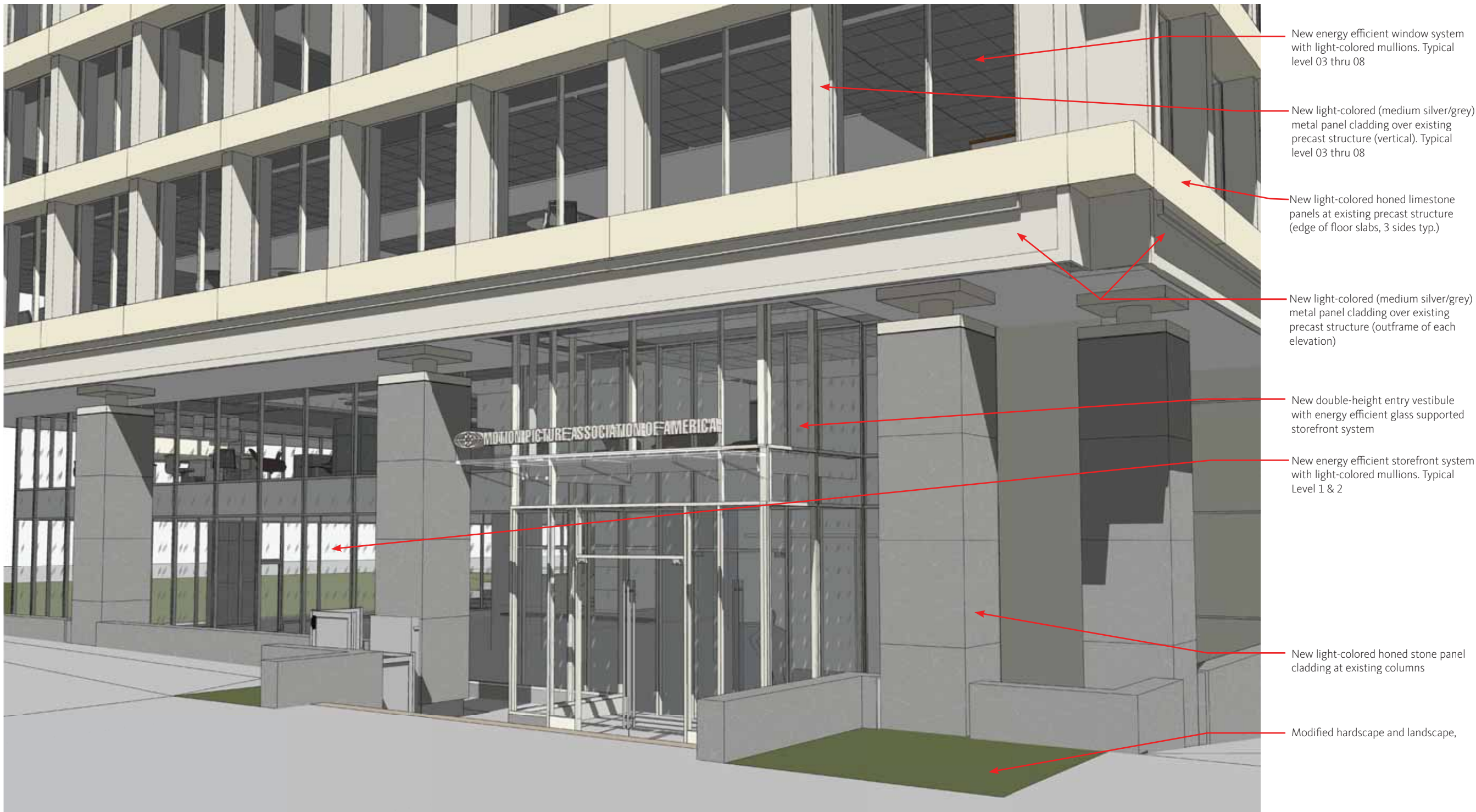
DESIGN FEATURES - KEY IMPROVEMENTS



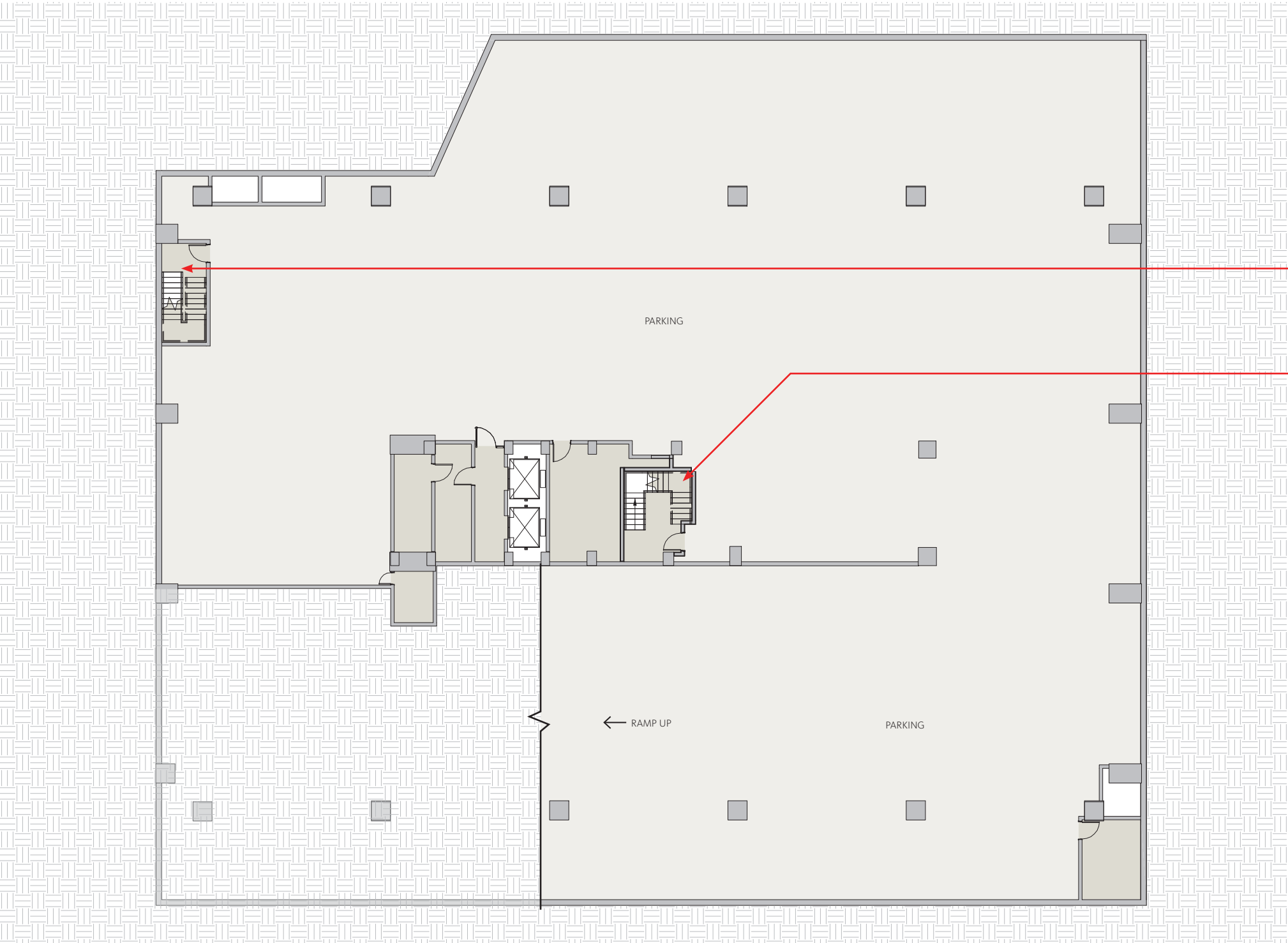
RENDERED VIEW - 16TH ST BUILDING LOBBY



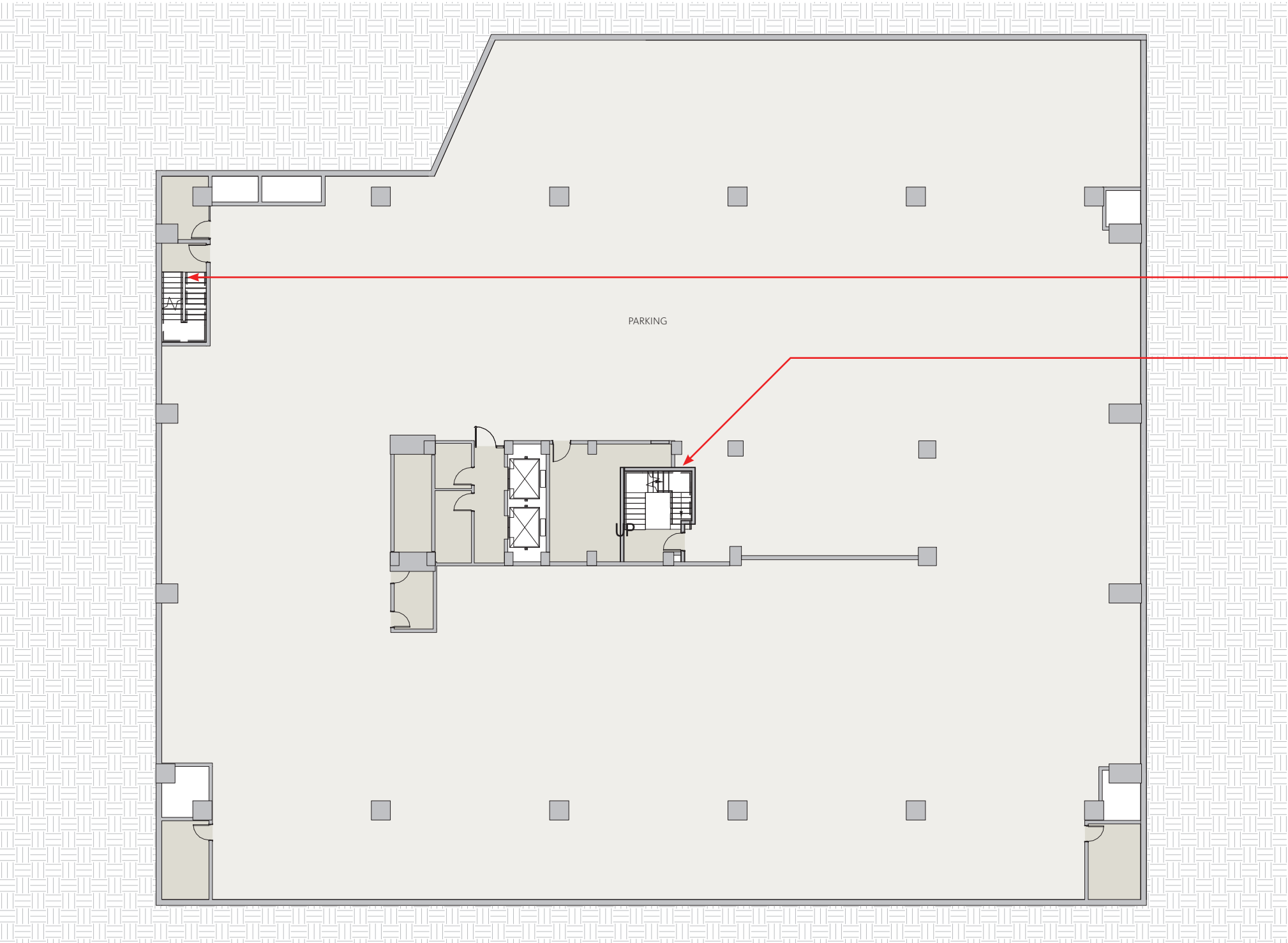
RENDERED VIEW - EYE ST TENANT LOBBY



FLOOR PLAN - LOWER LEVEL 03 (LL-03)



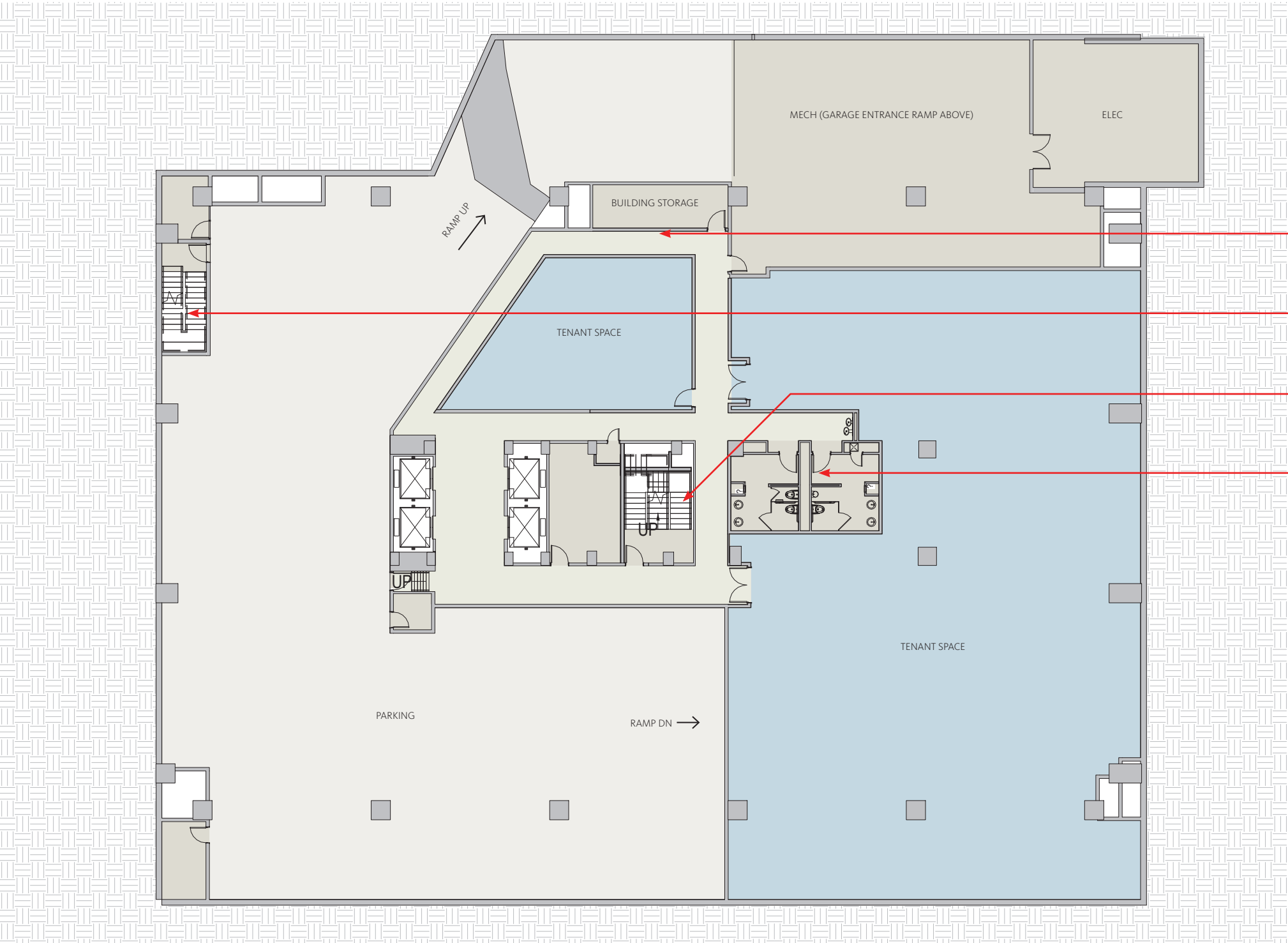
FLOOR PLAN - LOWER LEVEL 02 (LL-02)



New egress stair (L1 - C3).

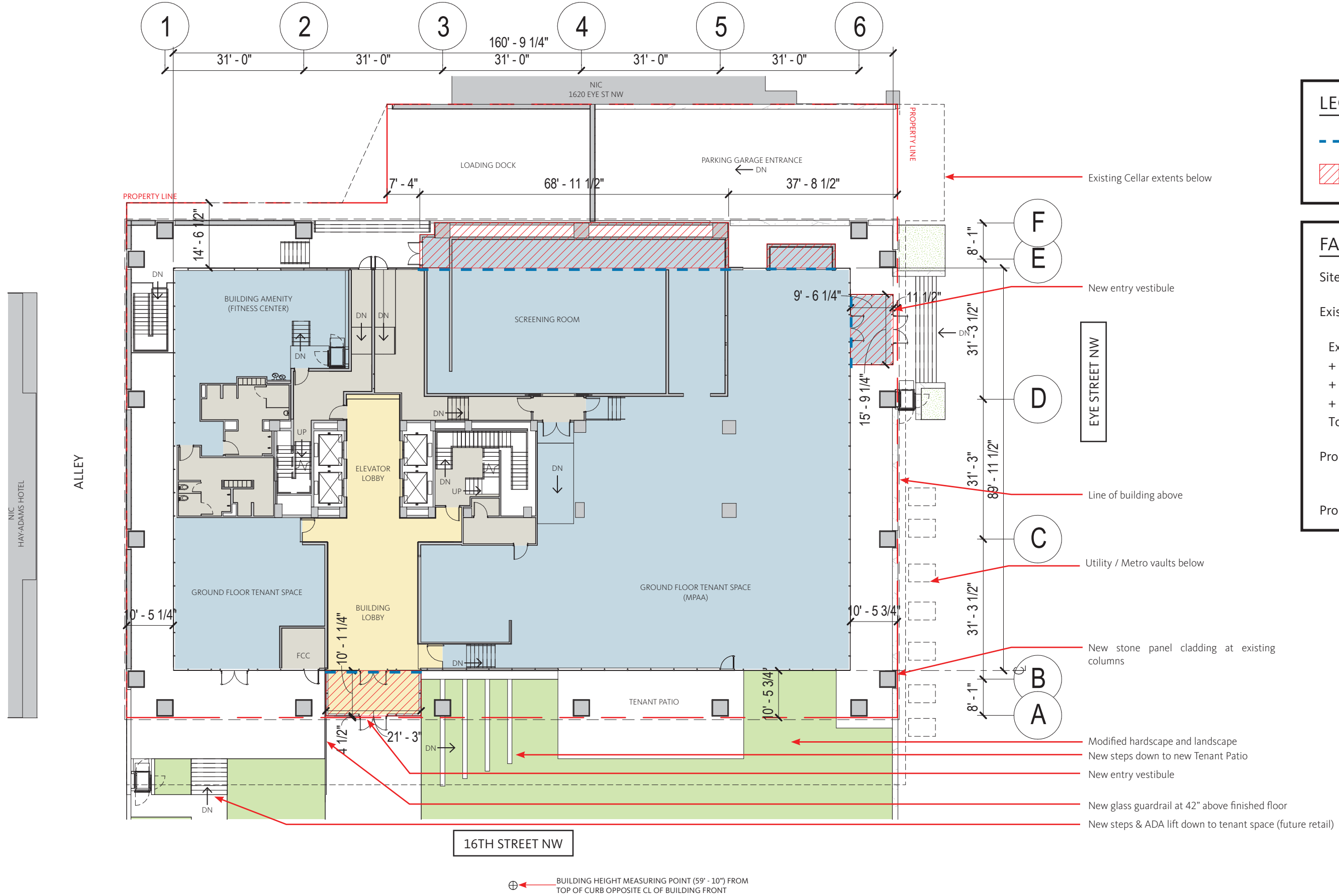
New egress stair (L1 - C3).

FLOOR PLAN - LOWER LEVEL 01 (LL-01)



- Remove existing egress stair.
- New egress stair (L1 - C3).
- New egress stair (L1 - C3).
- Restroom reconfiguration.

FLOOR PLAN - LEVEL 01



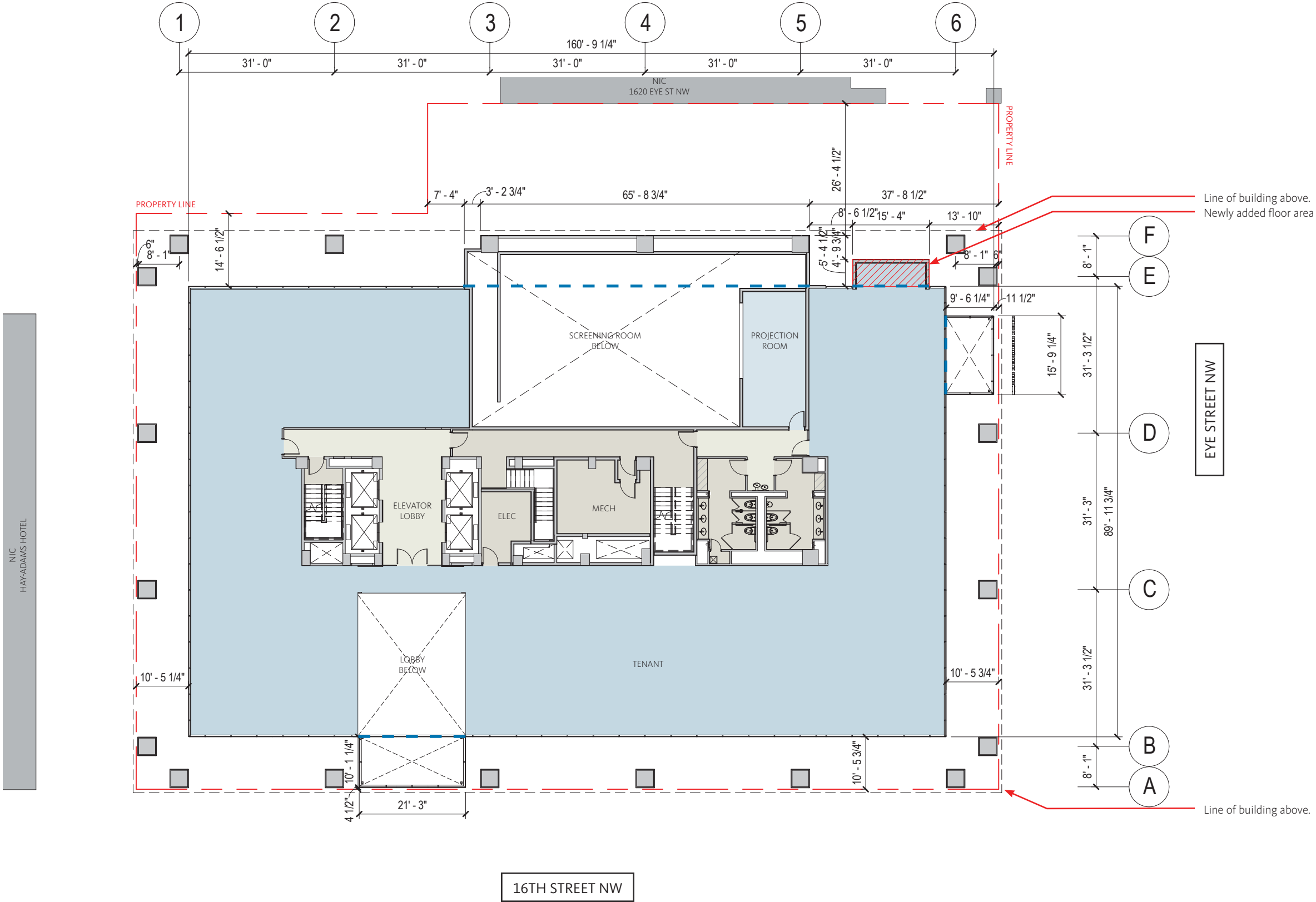
LEGEND

- Existing perimeter location
- Floor plate area increase 1,064 SF

FAR TABULATION

Site area	22,308 SF
Existing FAR	5.5
Existing area	122,694 SF
+ Level 1	1,064 SF
+ Level 2	83 SF
+ Level 3-8	9,708 SF
Total increase	10,855 SF
Proposed area	133,549 SF
	/ 22,308 SF
Proposed FAR	5.99

FLOOR PLAN - LEVEL 02

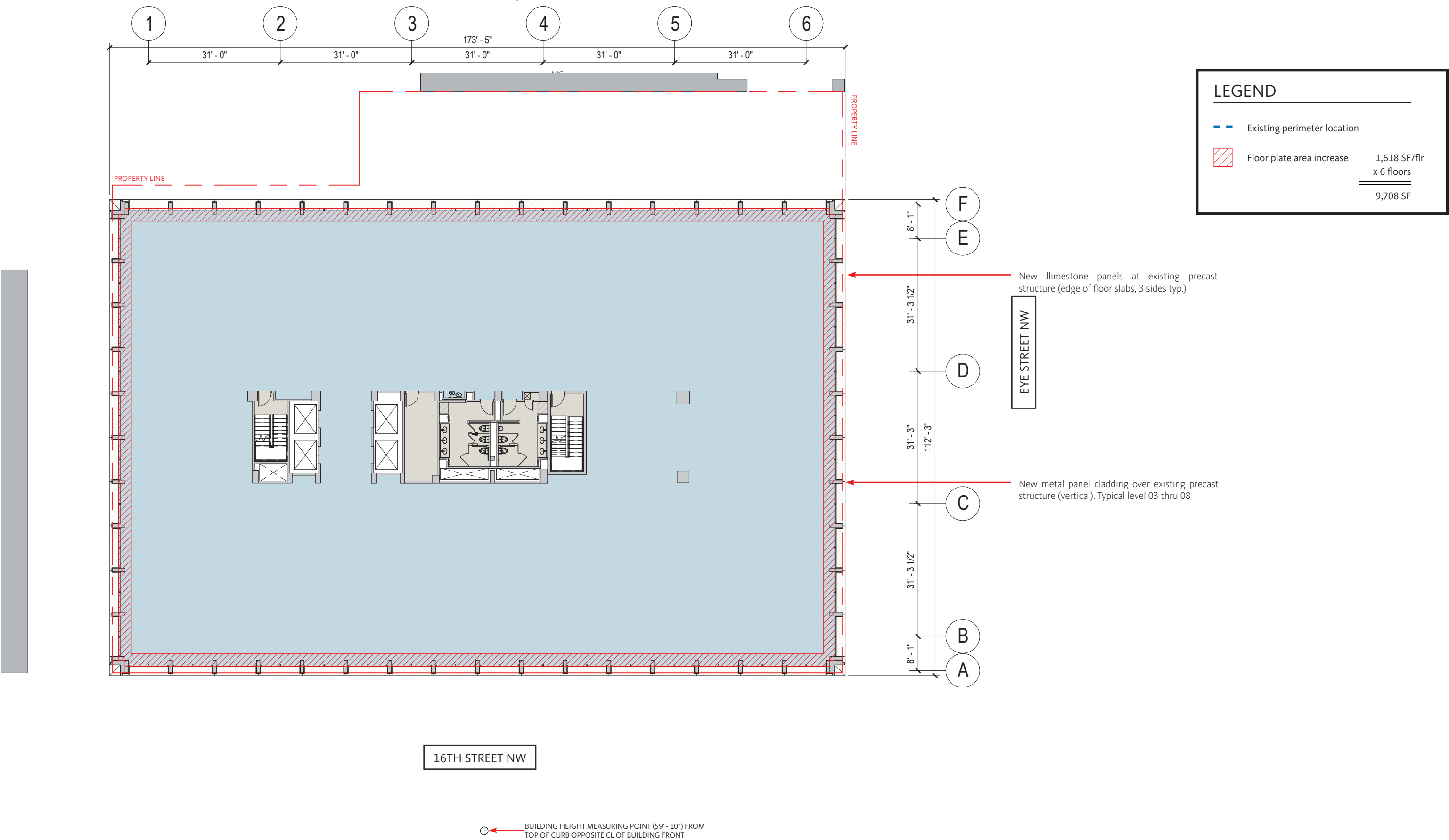


LEGEND

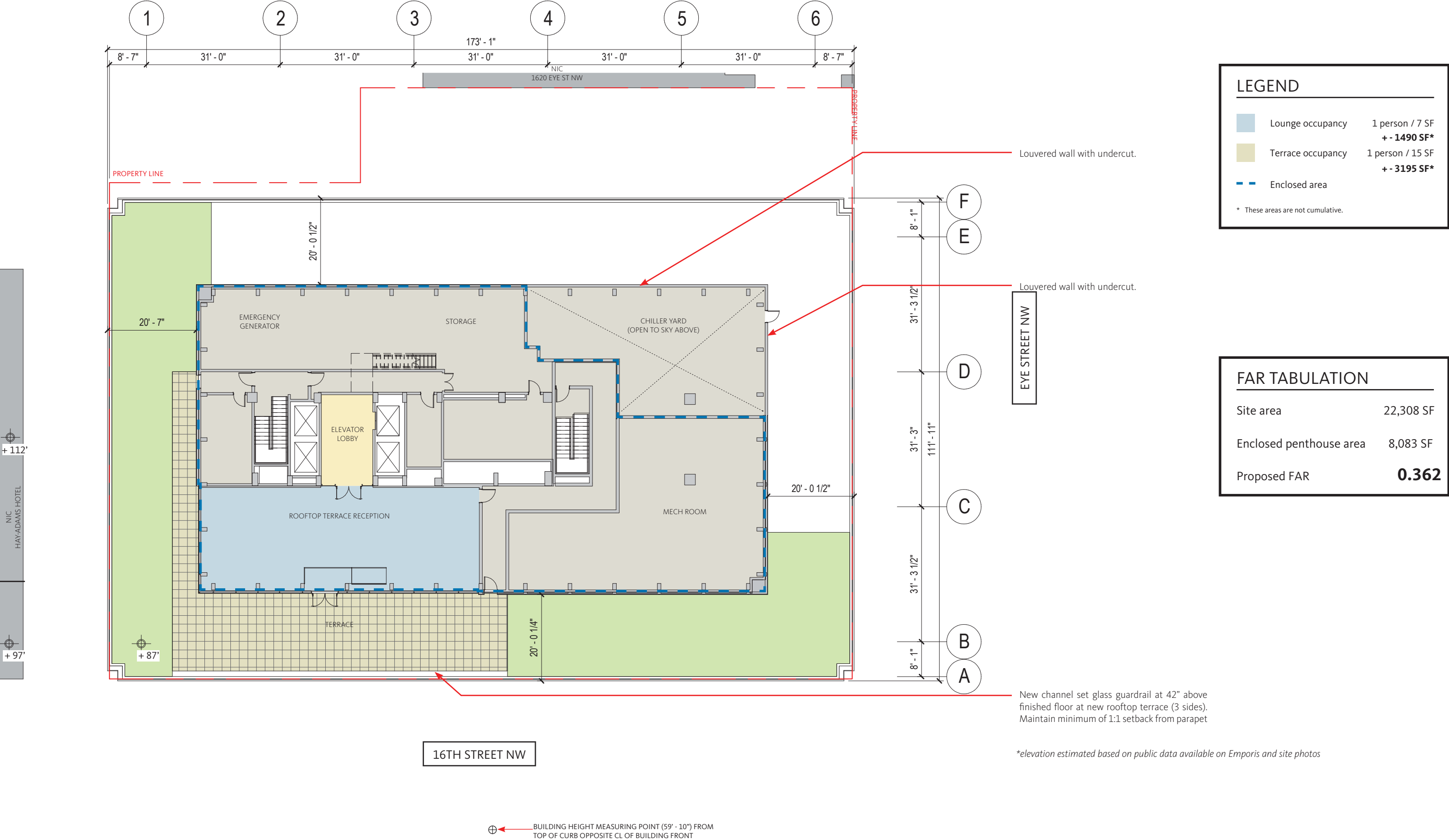
Existing perimeter location

Floor plate area increase 83 SF

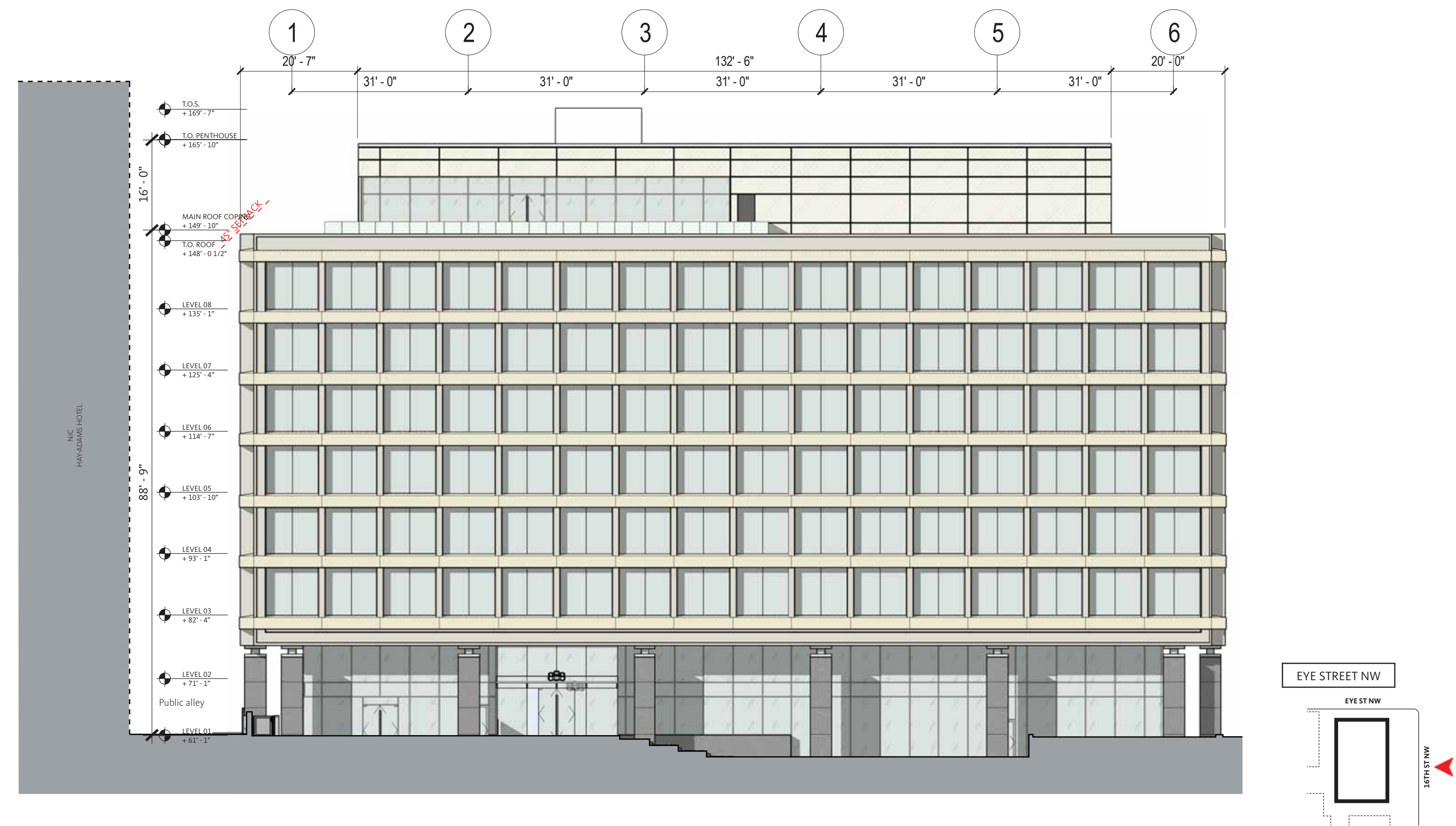
FLOOR PLAN - LEVELS 03 - 08 (typical office levels)



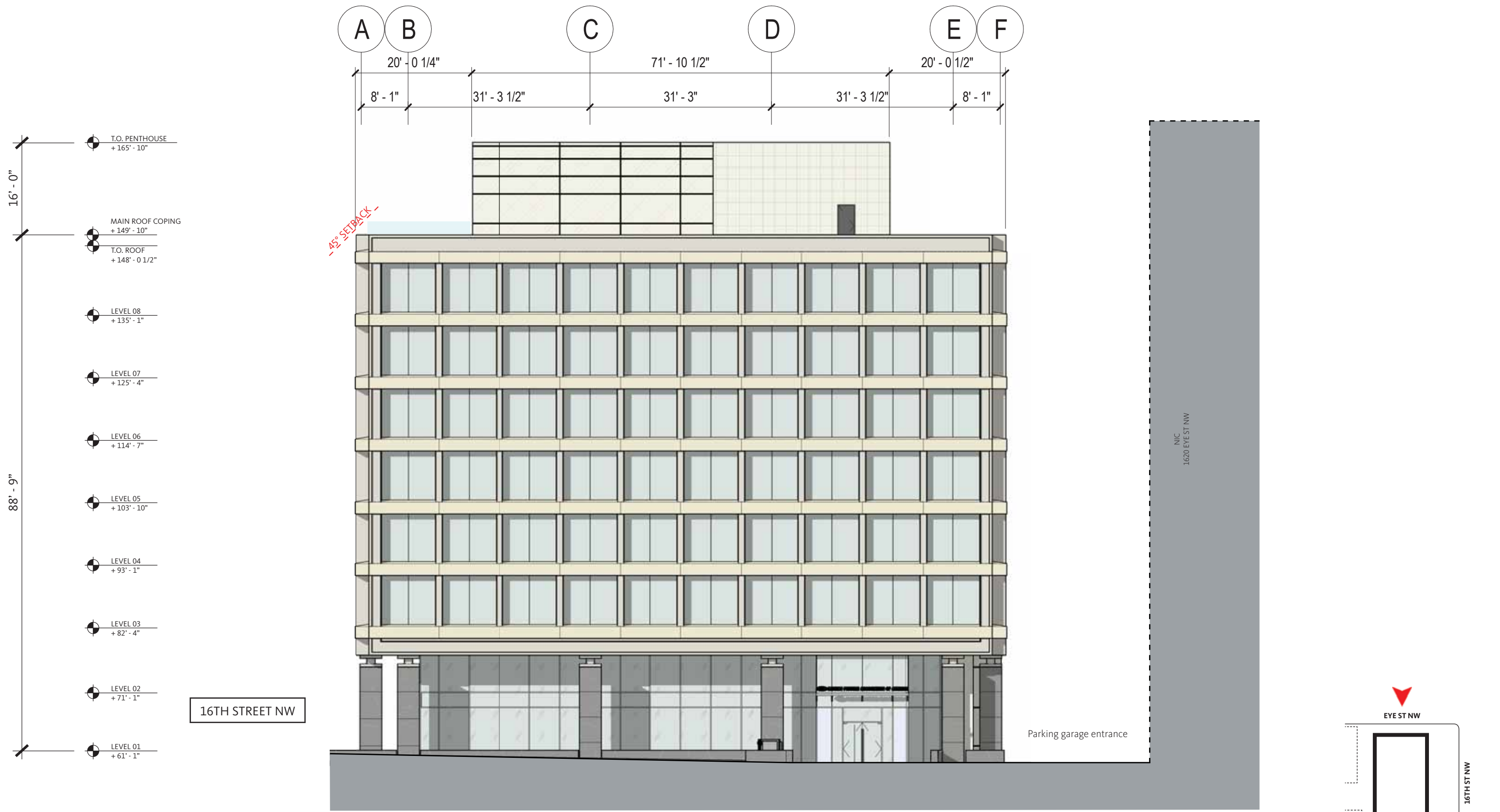
FLOOR PLAN - PENTHOUSE LEVEL



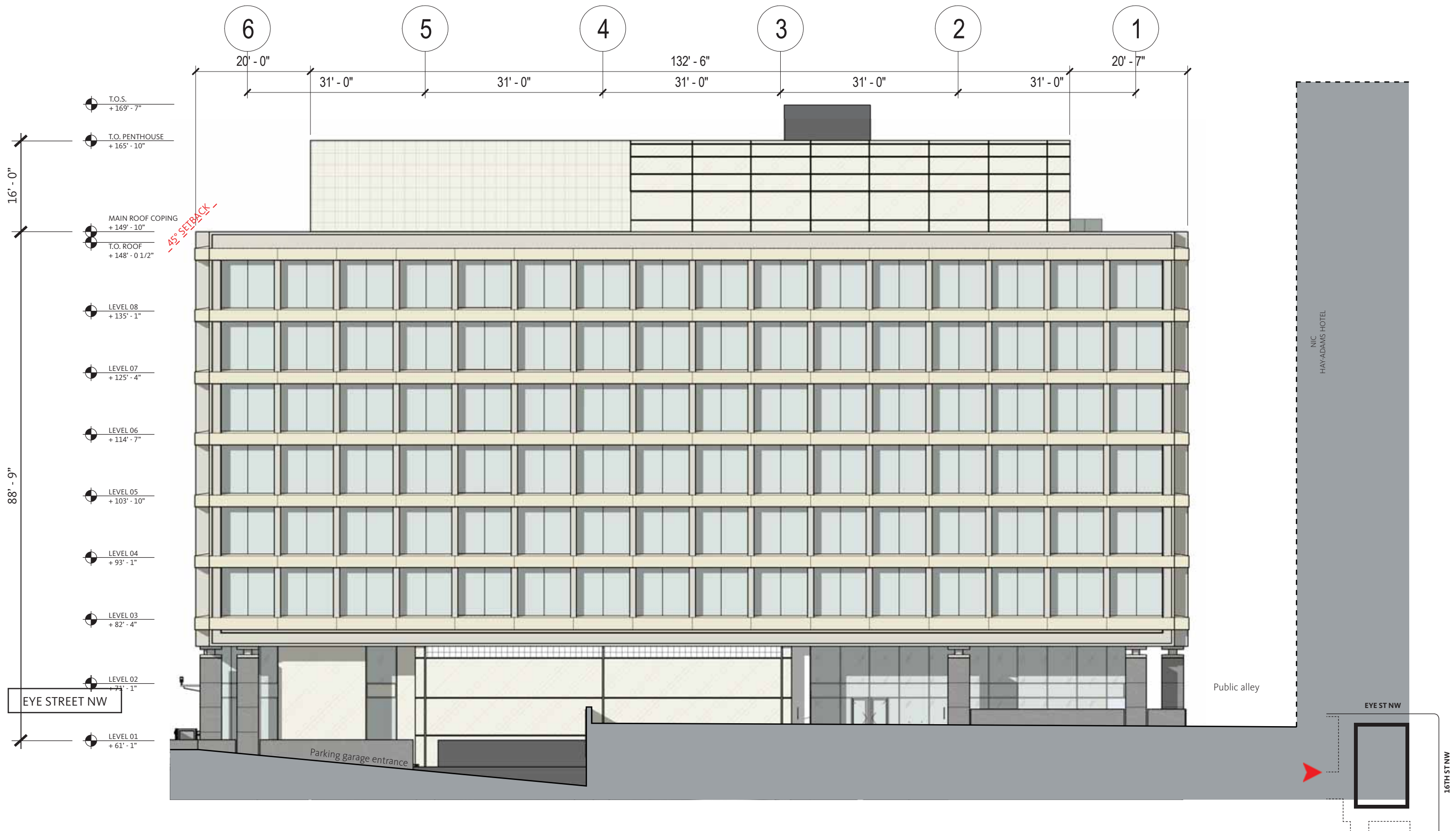
BUILDING ELEVATION - EAST



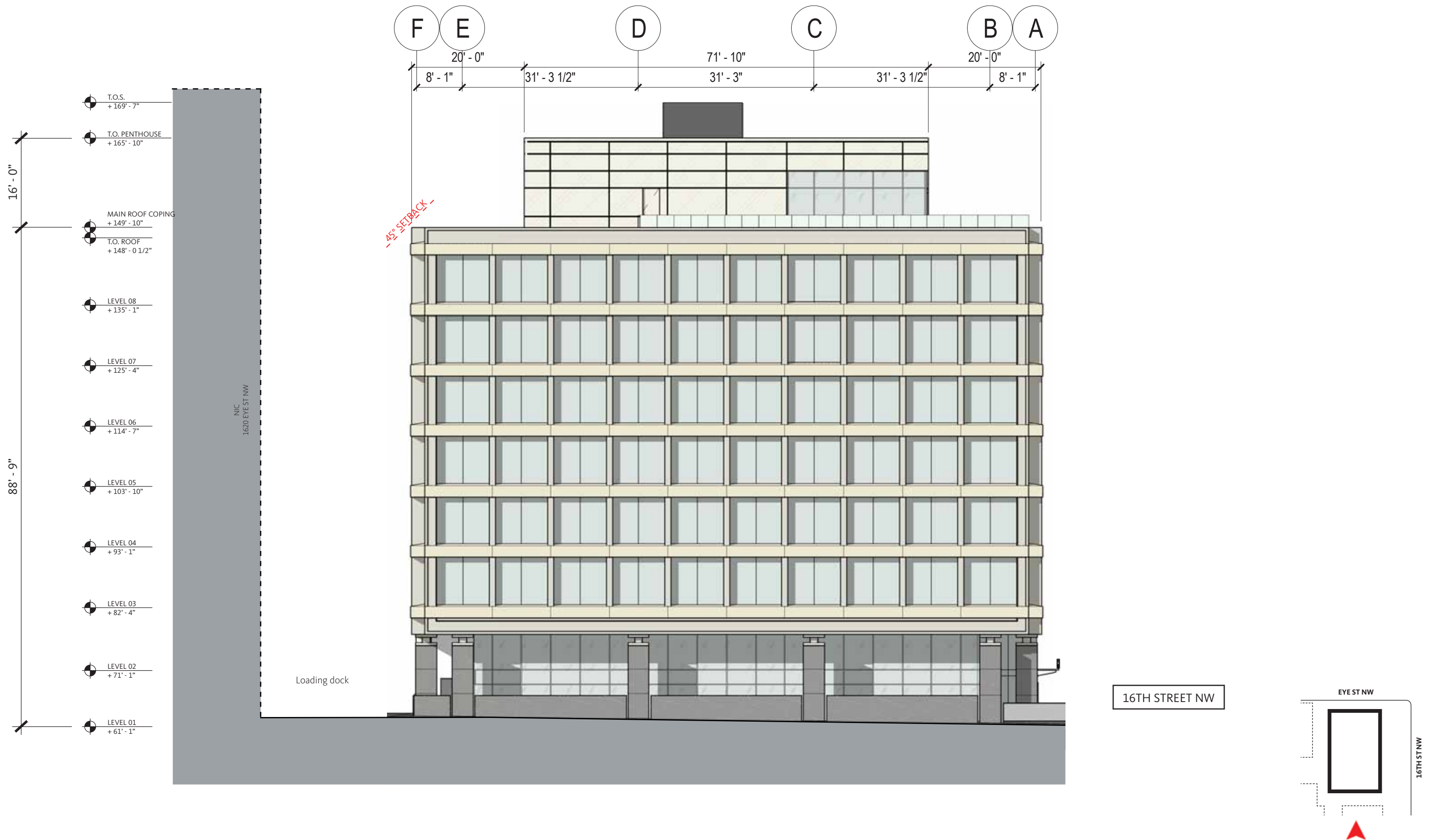
BUILDING ELEVATION - NORTH



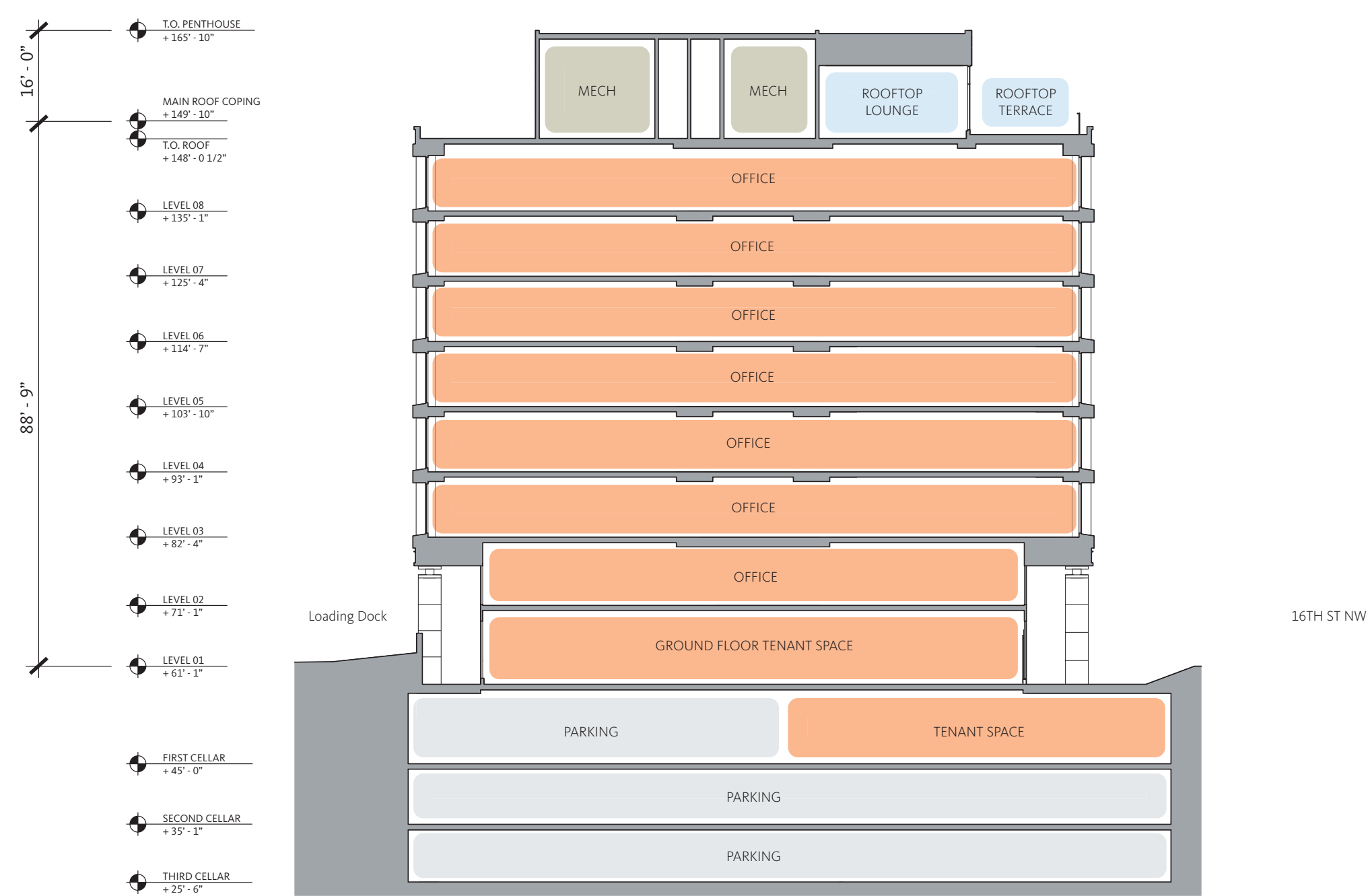
BUILDING ELEVATION - WEST



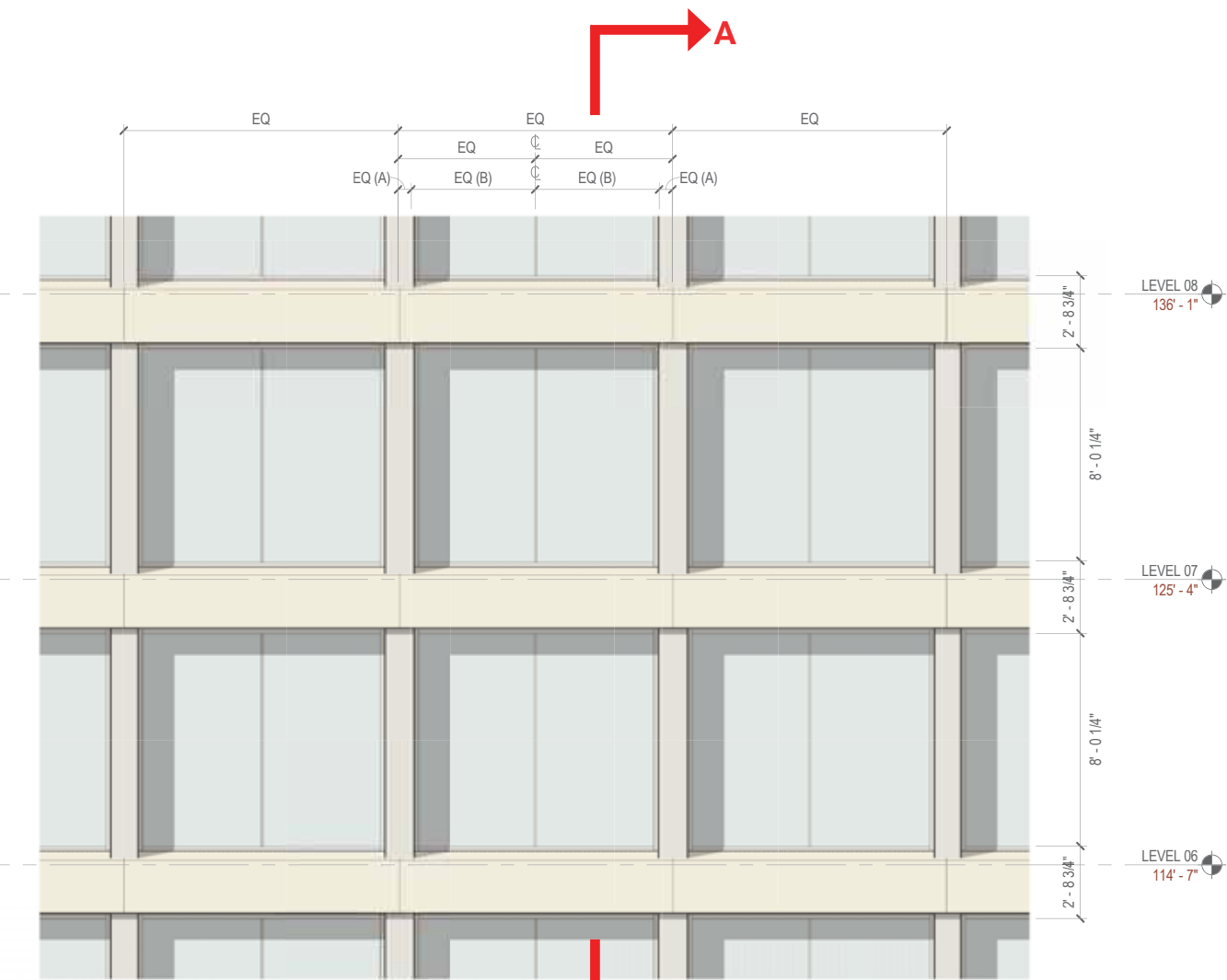
BUILDING ELEVATION - SOUTH



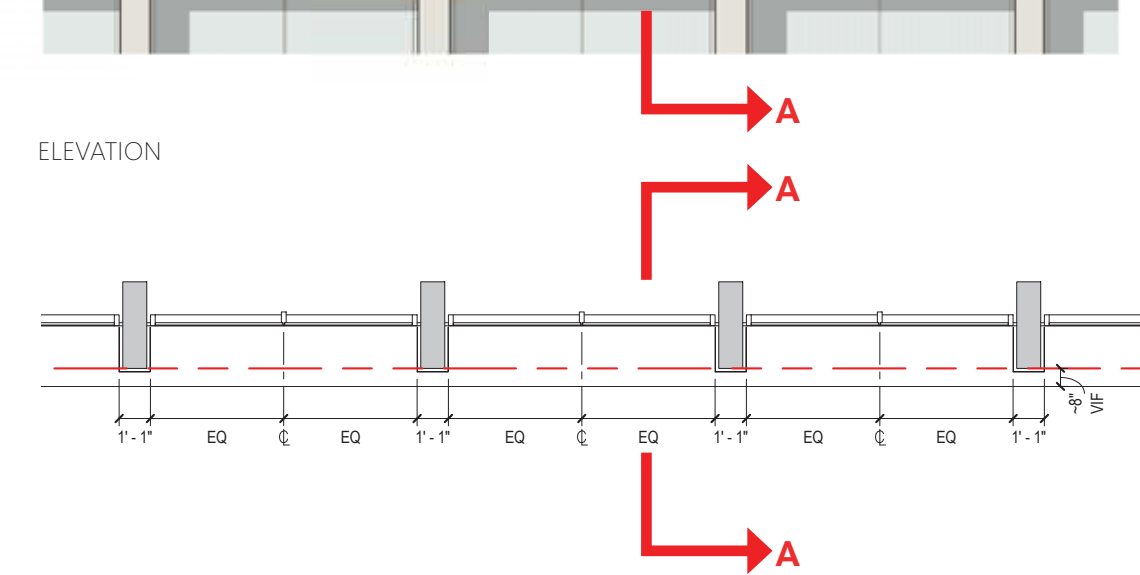
BUILDING SECTION - EAST/WEST



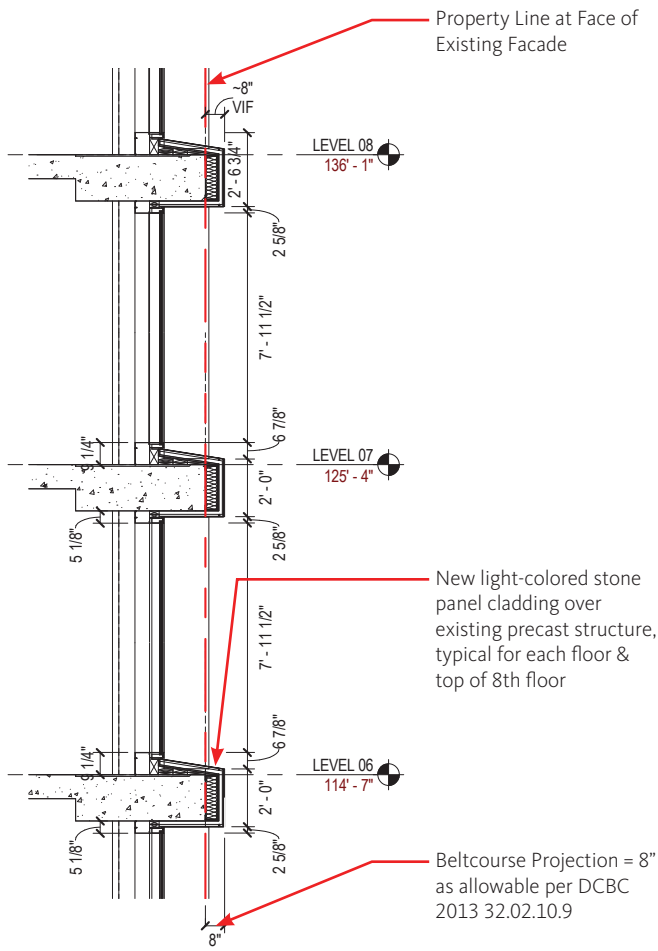
FACADE DETAIL - FACADE CLADDING @ HORIZONTAL



ELEVATION



PLAN

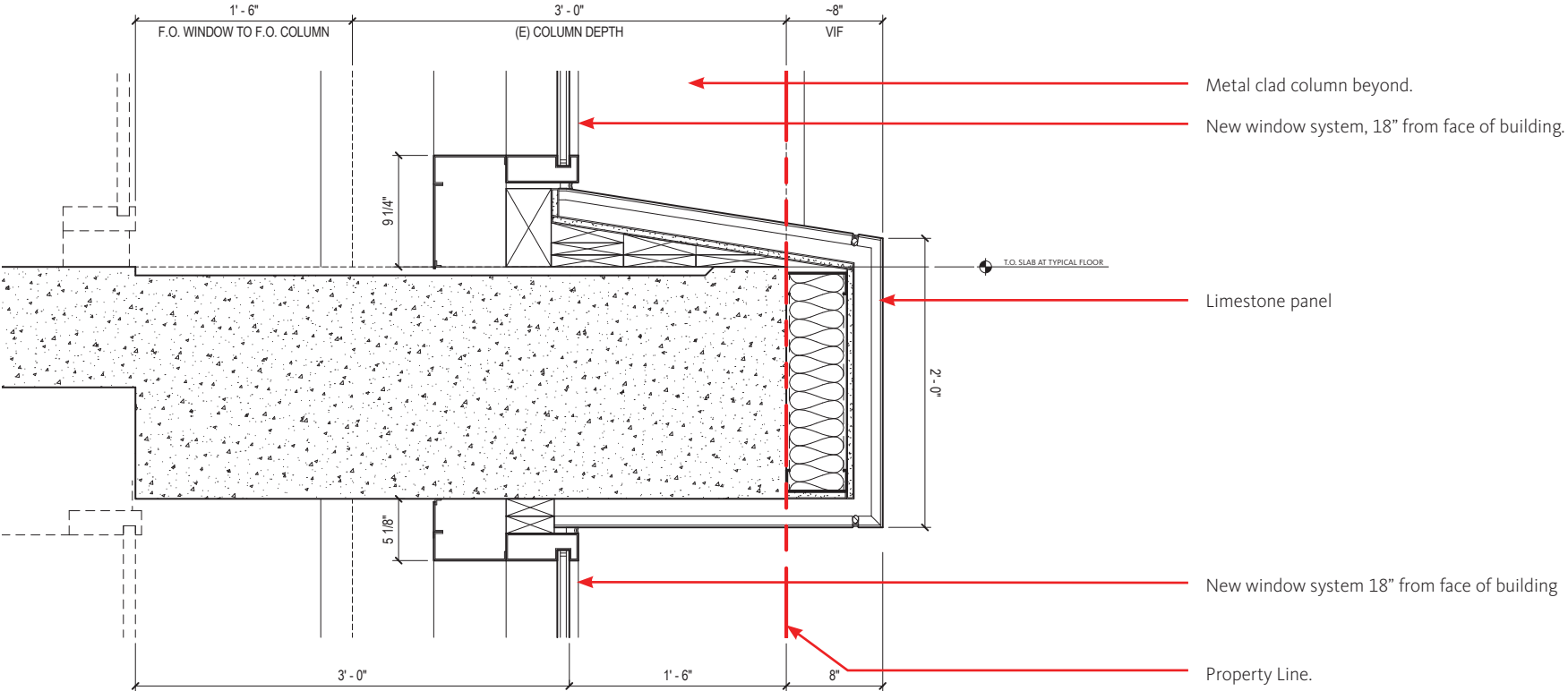


SECTION A-A

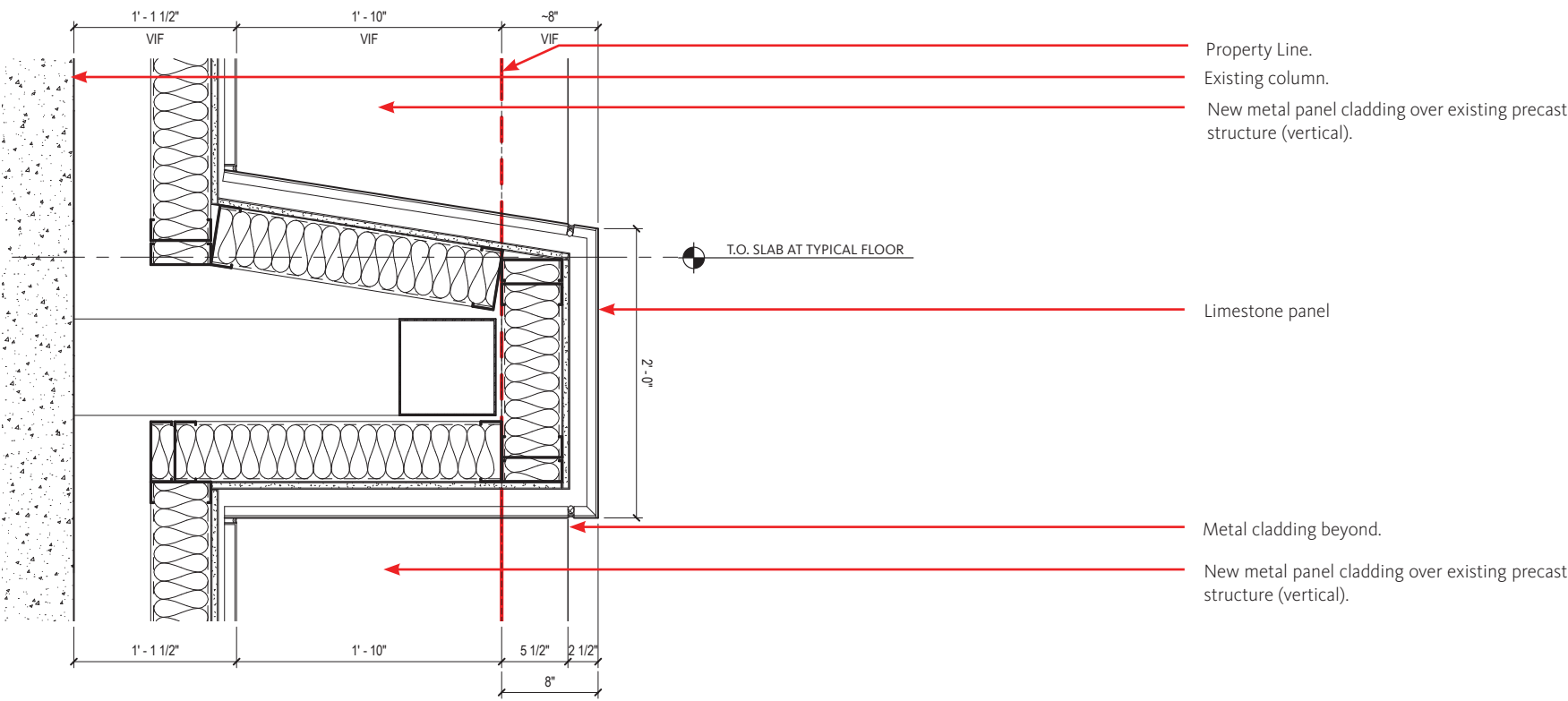


RENDERING

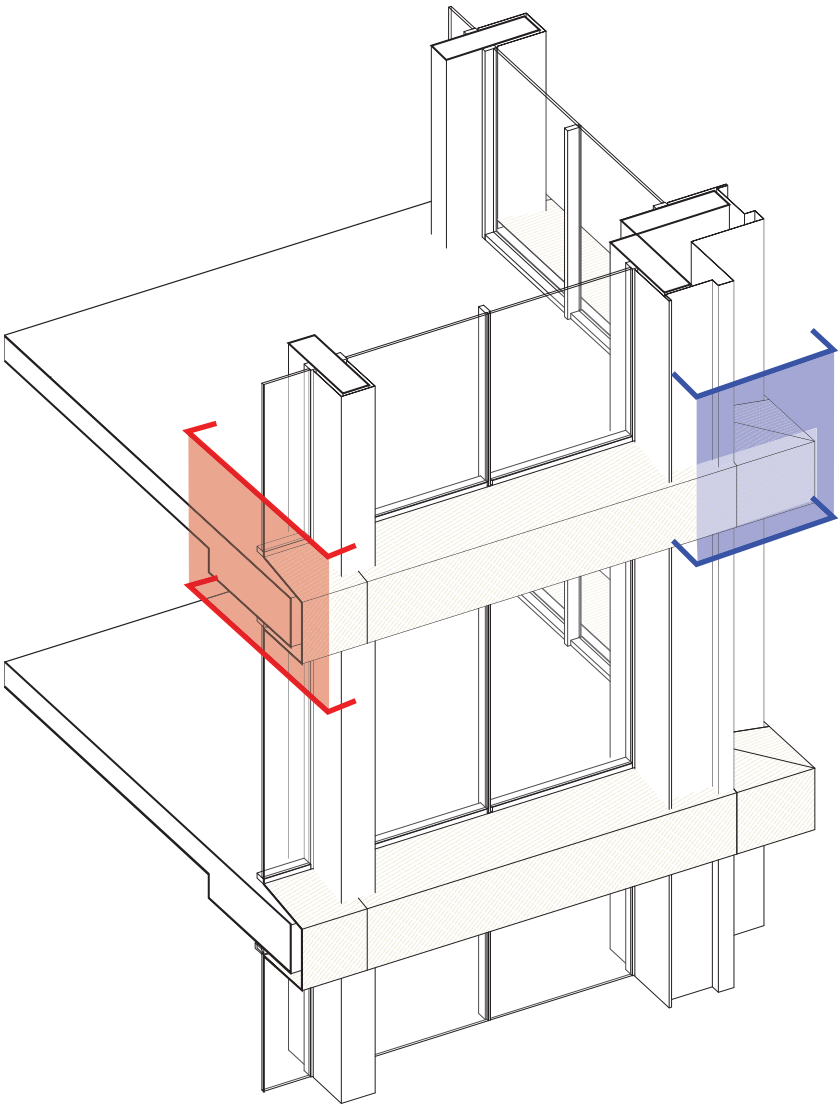
FACADE DETAIL - FACADE CLADDING @ HORIZONTAL - ENLARGED



SECTION - RED



SECTION - BLUE



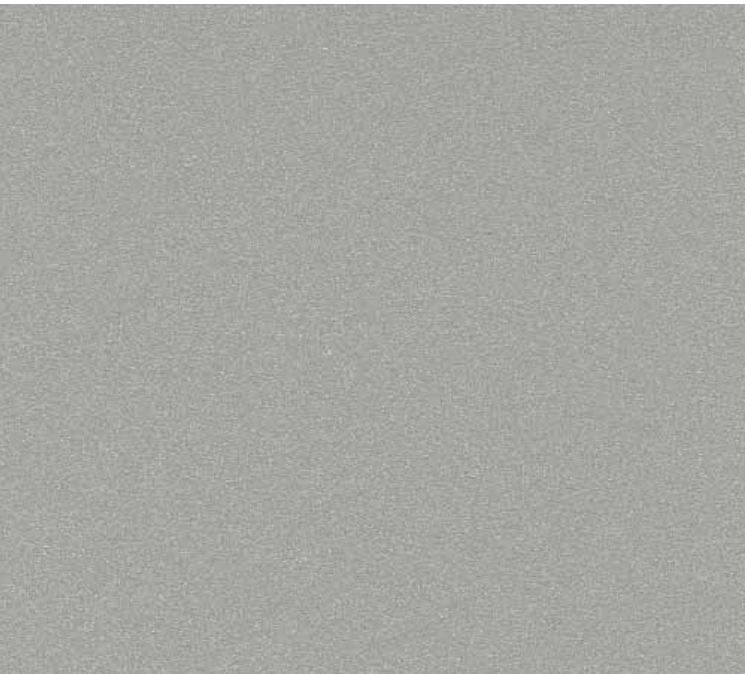
MATERIALS PALETTE - EXTERIOR



Light-colored honed limestone panels with honeycomb backing at existing precast structure (horizontal).



Light-colored honed granite panels at existing exterior columns at ground floor.



New light-colored metal panel cladding over existing precast structure (vertical).



Insulated glass at typical office floors.



Insulated glass at storefront.