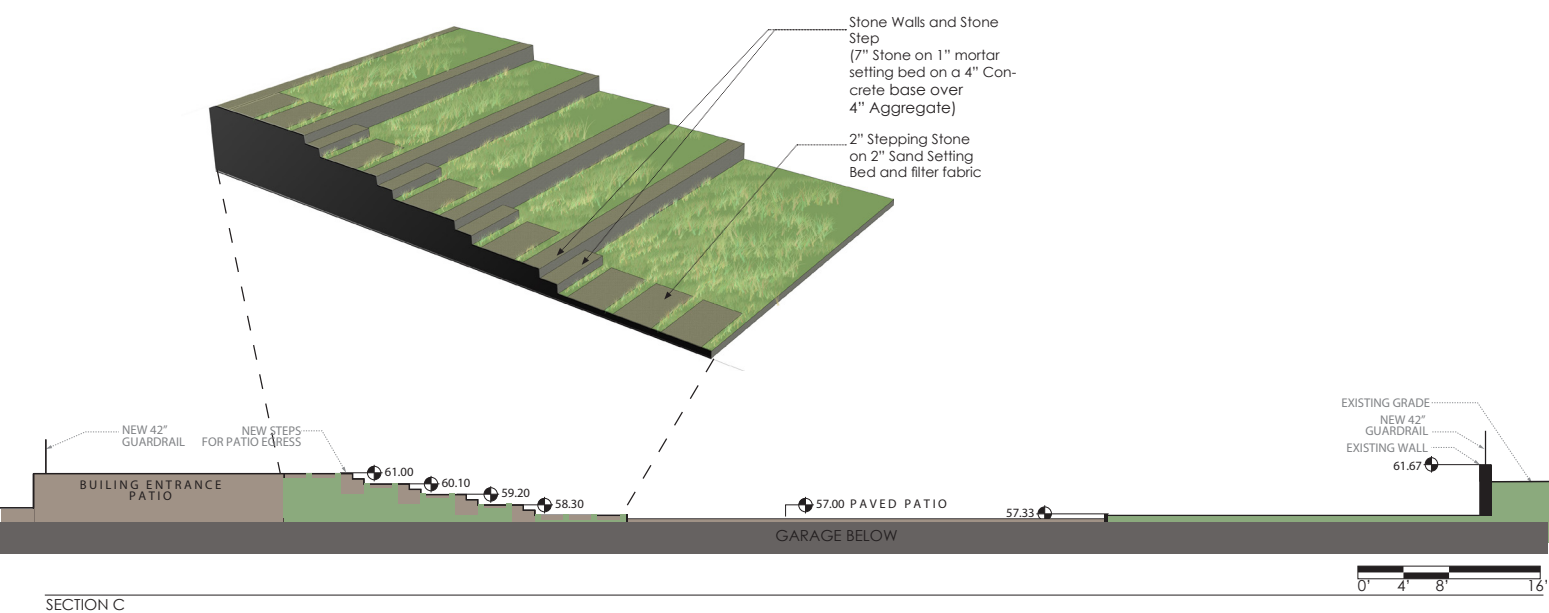
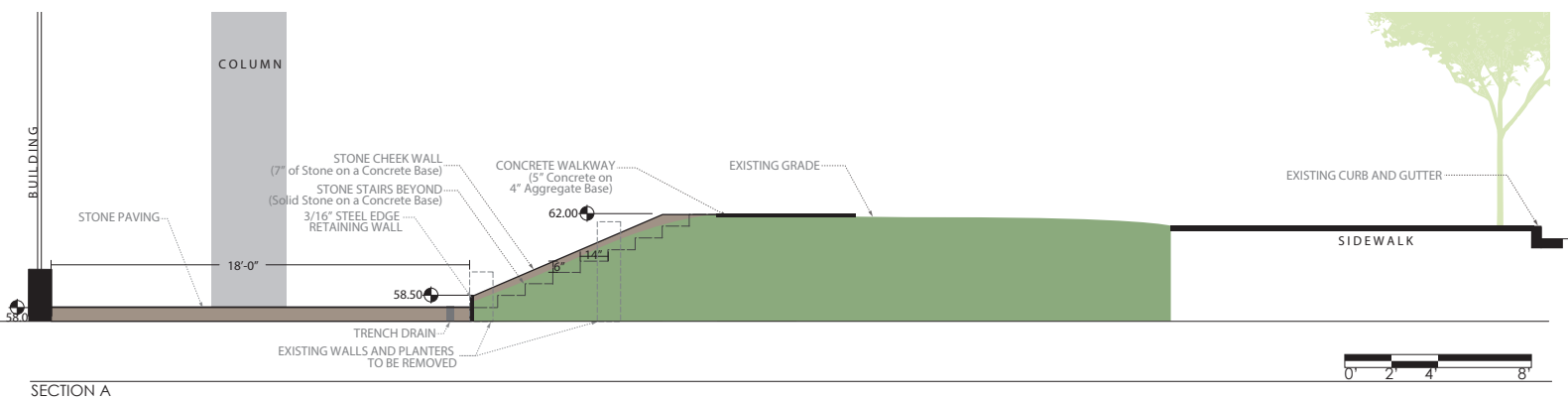
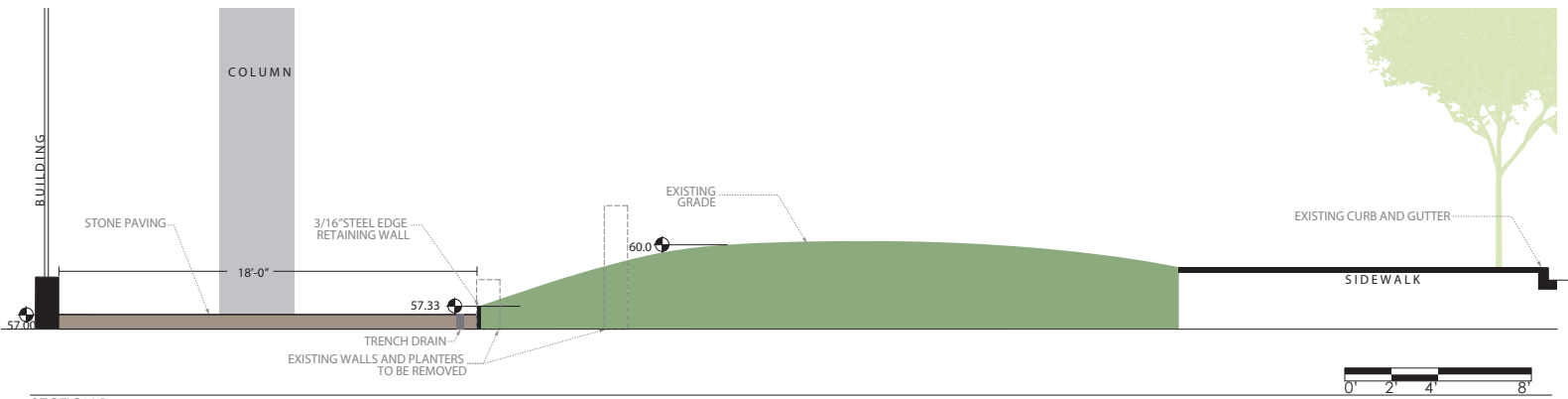
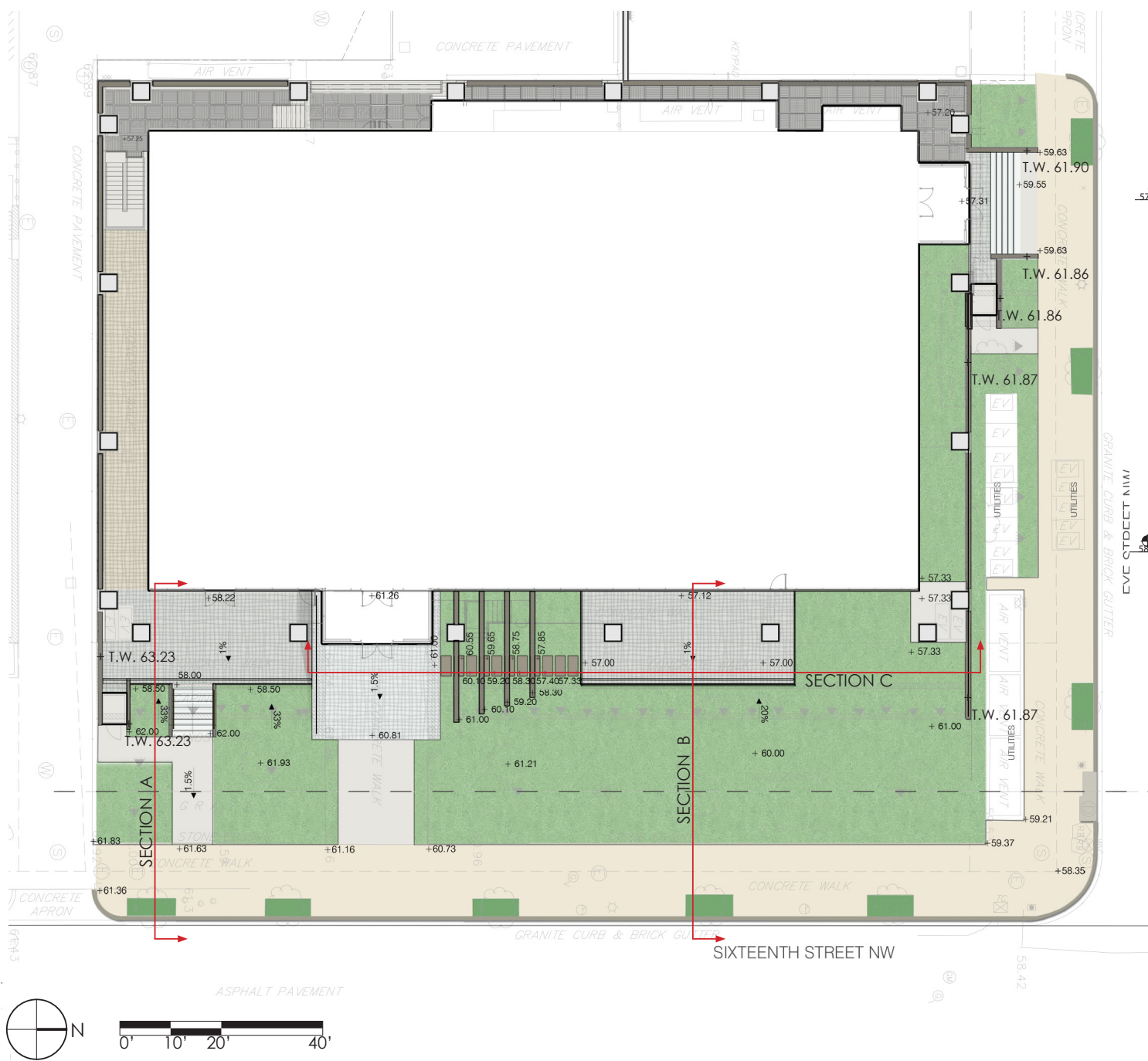
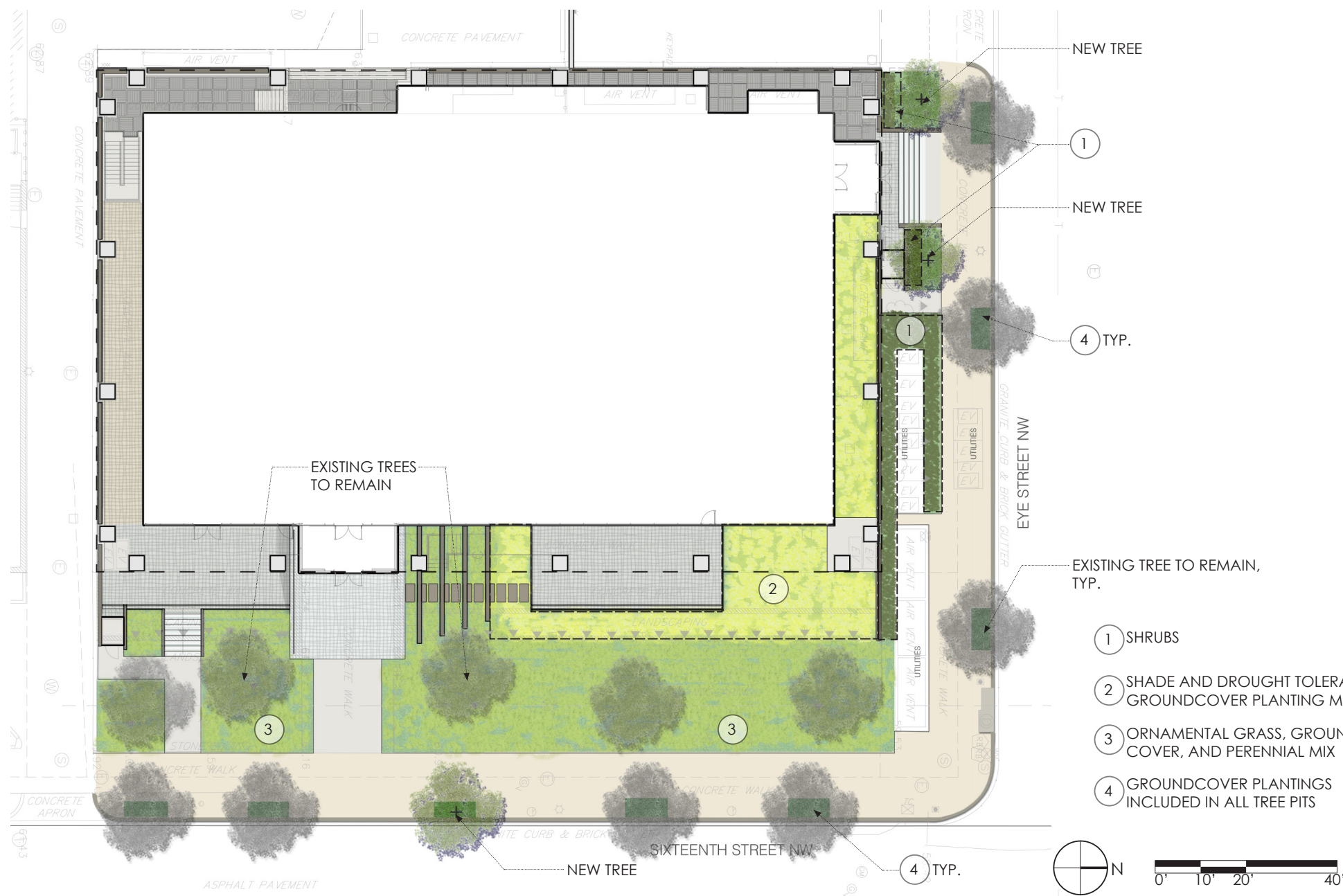


SITE PLAN - GRADING



SITE PLAN - PLANTING



1 SHRUBS



2 SHADE AND DROUGHT TOLERANT GROUNDCOVER PLANTING MIX



3 ORNAMENTAL GRASS, GROUNDCOVER, AND PERENNIAL MIX

04.

Civil Design

COVER SHEET

REFERENCE GRID

A

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GENERAL NOTES

1.) NOTIFY MISS UTILITY 1-800-257-7777, 48 HOURS PRIOR TO EXCAVATING.

2.) NOTIFY D.C. DEPT. OF PUBLIC WORKS - PUBLIC SPACE MAINTENANCE ADMINISTRATION, 48 HOURS PRIOR TO START OF CONSTRUCTION, CONTACT CHIEF UTILITY INSPECTION SECTION (202) 787-4024.

3.) ALL PROPOSED UTILITY WORK SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE D.C. WATER AND SEWER AUTHORITY.

4.) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING PRIOR TO THE START OF ANY WORK.

5.) ALL EXISTING FACILITIES, INCLUDING, BUT NOT LIMITED TO WALKS, ROADS, LAWNS, SHRUBBERY, ETC. INSIDE OR OUTSIDE OF CONSTRUCTION LIMITS, WHICH ARE TO REMAIN, BUT ARE DISTURBED UNDER THIS CONTRACT SHALL BE REESTABLISHED AND/OR RECONSTRUCTED TO THEIR ORIGINAL CONDITION AT NO COST TO THE OWNER.

6.) ALL WALKS, CURB, GUTTER AND DRIVEWAYS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN COMPLETE SECTIONS TO THE NEAREST JOINT.

7.) THE ARCHITECT SHALL BE NOTIFIED FOR INSPECTION AND APPROVAL PRIOR TO CUTTING OF ANY SIDEWALKS, CURB, GUTTER OR DRIVEWAY.

8.) AREAS WHERE EXISTING PAVING IS REMOVED SHALL BE SCARIFIED AND TOPSOIL ADDED TO BRING AREA TO PROPOSED GRADE, THE DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED.

9.) SHOULD THE CONTRACTOR, DURING HIS WORK, ENCOUNTER ANY UTILITIES OR STRUCTURES NOT IDENTIFIED WITHIN THE CONTRACT DRAWINGS, HE SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.

10.) NO TRENCHING SHALL REMAIN OPEN FOR MORE THAN 24 HOURS WITHOUT PRIOR APPROVAL OF THE ARCHITECT, TRENCHES LEFT OPEN SHALL HAVE BARRICADES INSTALLED AROUND PERMETER.

11.) LOCATION OF UTILITIES ON THE PLANS ARE BASED ON FIELD SURVEY DATA AND/OR RECORD DRAWINGS OF THE ORIGINAL LOCATIONS, THE INFORMATION SHOWN IS NOT NECESSARILY COMPLETE AND THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UTILITIES WELL IN ADVANCE OF CONDUCTING CONSTRUCTION OPERATIONS WHICH COULD DAMAGE THESE FACILITIES.

12.) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATIONS OF ALL EXISTING UTILITIES WELL IN ADVANCE OF CONDUCTING CONSTRUCTION OPERATIONS TO ENSURE PROPER CONNECTIONS WITH PROPOSED UTILITIES.

13.) IN AREAS WHERE PROPOSED CONSTRUCTION MAY CONFlict WITH EXISTING UTILITIES, THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING UTILITIES. IF AN UNDERGROUND UTILITY IS DAMAGED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER OF SAID UTILITY.

14.) ANY DAMAGE SUSTAINED TO UTILITIES ABOVE AND BELOW GROUND SHALL BE REPAIRED BY OR UNDER THE DIRECTION OF THE UTILITY OWNER AT CONTRACTORS EXPENSE, UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR BACKFILL OR EXCAVATE AFFECTING SAID UTILITY WITHOUT FIRST RECEIVING PERMISSION FROM THE UTILITY OWNER.

1600 I "EYE" STREET, N.W.
LOT 39, SQUARE 186
WASHINGTON, DISTRICT OF COLUMBIA

SHEET INDEX:

1 COVER SHEET

2 EXISTING CONDITIONS AND DEMOLITION PLAN

3 SITE DIMENSION AND GRADING PLAN

4 STORMWATER MANAGEMENT PLAN

PROJECT NARRATIVE

Site Civil & Utilities

The project site is located at 1600 Eye Street NW Washington DC. Total property area is approximately 22,290 sf. In existing conditions the site is occupied by 8 storey building with parking garage at lower level. Proposed development involves interior and exterior renovation of existing building and entrances modification along 16th street as well as Eye Street. In addition a patio (approximately 800 sf) is proposed with some landscape around it as shown in the attached drawings.

The existing building is served by a 6" water (combined domestic and Fire), 6" Sanitary Sewer and a 10" storm sewer. The 10" storm sewer connects to an existing 15" combined sewer main located along the Eye Street. The 6" Sanitary Sewer connects to an existing 12" combined sewer main located along the 16th Street. The 6" water connects to an existing 12" water main located along the 16th street. The building has Gas and Electric services as well.

At this time there is no plan to replace/upgrade existing utilities. All the existing site utilities will remain and no new site utilities are proposed.

Stormwater Management

Based on the available information, the total project construction cost will exceed 50% of the pre-project value of the building. The building footprint is greater than 5000 sf. Hence, the project will be considered "Major Substantial Improvement" (MSI) as per the 2013 Stormwater Management (SWM) guidelines of District Department of Environment (DDOE).

In addition, the proposed work involves land disturbance in public Right of Way (PROW). Therefore SWM will need to be provided for the work within PROW to maximum extent practicable (MEP).

As indicated via worksheet on attached drawings, total SWM obligation is 1,203 cf for MSI (Building renovation work) and 274 cf for PROW.

At this time the scope of work does not include design of SWM BMPs to ensure compliance with above mentioned SWM obligation. It appears that the site constraints will not allow for a majority of available BMP options indicated in 2013 SWM design guidelines issued by DDOE. A green roof and underground cistern seem to be the only feasible options from design point of view. Lack of available land area and existing plumbing system will not allow for other options such as bio-retention, permeable pavement, infiltration trench etc.

As per the current regulation at least 50% of SWM obligation will need to be retained on-site and rest can be achieved offsite or via SWM credit purchase or fee in lieu to DDOE. It appears that meeting SWM obligation will be a challenge for this development.

For the PROW portion of the SWM obligation, a bio-retention within the green space along 16th street can be targeted.

LOCATION MAP
N.T.S.

Call DC One Call "DOC" at 1-800-257-7777
48 hours prior to the start of work

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of the District of Columbia Code, Division V, Title 34, Subtitle VII, Chapter 27, Underground Protection.

Engineering
Surveying
Planning
Environmental Sciences

Rockville
Lanham
Waldorf
Leonardtown
Frederick
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ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
[www.solteszdc.com](#)

NO.

REVISIONS

BY

DATE

DATE: JULY 2015

DESIGNED: CWV

CAD STANDARDS VERSION: V8 - 2000

TECHNICIAN: CWV

CHECKED: AP

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITTS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHENEVER POSSIBLE, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER/APPLICANT

1600 I STREET CORPORATION
BUILDING E
15301 VENTURA BOULEVARD
SHERMAN OAKS CA, 91403-5885

MAP

9

CPED

K 13

TAX MAP

ZONING CATEGORY:

WISC 200' SHEET

SITE DATUM

HORIZONTAL ASSUMED

VERTICAL: DC WATER

COVER SHEET

NO. 1600 I STREET, N.W.
LOT 39
SQUARE 186
Subdivision Book 152 page 116
WASHINGTON
DISTRICT OF COLUMBIA

SCALE

AS SHOWN

SHEET 1

OF 4

PROJECT NO. 3561-00-00

Q:\3561\000\ENGINEERING\SHEETS\01 COVER.sht Scale= 20.0000 ft / in. User=mmiller PLTdrv= PDF_Grey_300.pltcdy Penlt= TEXT_SUB.tbl 7/24/2015 1:57:19 PM

MPAA 888 16th ST NW & 1600 EYE ST NW

