

ABBREVIATIONS									
AB	ANCHOR BOLT	FG	FIBERGLASS	MAS	MASONRY	S	SOUTH		
AC	AIR CONDITIONING	FD	FLOOR DRAIN	MAX	MAXIMUM	SCD	SCHEDULE		
ADJ	ADJUSTIBLE	FDN	FOUNDATION	MC	MEDICINE CABINET	SD	SMOKE DETECTOR		
AFP	ABOVE FINISHED FLOOR	FF	FINISH FLOOR	MDO	MEDIUM DENSITY OVERLAY	SECT	SECTION		
AL	ALUMINUM	FIN FL	FINISH FLOOR	MEDC	MECHANICAL	SF	SQUARE FOOT		
AP	APPROXIMATE	FLASHG	FLASHING	CM	MEMBRANE	SH	SHEET		
BD	BOARD	FOM	FACE OF MASONRY	MFR	MANUFACTURER	SHHG	SHEATHING		
BIT	BITUMINOUS	FOS	FACE OF STUD	MIN	MINIMUM	SIM	SIMILAR		
BLK	BLOCK	FRMG	FRAMING	MISC	MISCELLANEOUS	SPEC	SPECIFICATIONS		
BKG	BLACK	FS	FULL SIZE	MLDG	MOULDING	SQ	SQUARE		
BLDG	BUILDING	FT	FOOT OR FEET	MO	MASONRY OPENING	S & R	SHELF & ROD		
BM	BEAM	FTG	FOOTING	MTD	MOUNTED	S.S.	SOIL STACK (WASTE)		
BO	BOTTOM OF	FUR	FURRING	MTL	METAL	SST	STAINLESS STEEL		
BOF	BOTTOM OF FOOTING	GA	GAUGE	MUL	MULLION	STD	STANDARD		
BR	BRICK	GALV	GALVANIZED	N	NORTH	STL	STEEL		
BRC	BRICK	GC	GENERAL CONTRACTOR	NIC	NOT IN CONTRACT	STRU	STRUCTURE		
CAB	CABINET	GL	GLASS	No or #	NUMBER	SUSP	SUSPENDED		
C.I.	CAST IRON	GR	GRADE	NOM	NOMINAL	SYM	SYMMETRICAL		
CLG	CEILING	GTR	GUTTER	NTS	NOT TO SCALE	SYS T	SYSTEM TREAD		
CMU	CONCRETE MASONRY UNIT	GWB	GYPSSUM WALLBOARD	ON	ON CENTER	T&G	TONGUE AND GROOVE		
COL	COLUMN	OP	OUTLET	OD	OUTSIDE DIAMETER	TEMP	TEMPERED		
CONC	CONCRETE	HB	HOSE BIBB	OPF	OPENING	THK	THICK (NESS)		
CONST	CONSTRUCTION	HD	HEAD	OPF	OPPOSITE	TOP	TOP OF		
CONT	CONTINUOUS	HDWR	HARDWARE	PCM	PRECAST CONCRETE	TOP	TOP OF FOOTING		
CONTR	CONTRACTOR	HGR	HANGER	PL	PLATE	TOP	TOP OF WALL		
CPT	CARPET	HORIZ	HORIZONTAL	PLA	PLASTIC LAMINATE	TYF	TYPICAL		
CT	CERAMIC TILE	HT	HEIGHT	PLAS	PLASTER	UNF	UNFINISHED		
CTR	CENTER	HTG	HEATING	PNL	PANEL	UNO	UNLESS NOTED OTHERWISE		
DBL	DOUBLE	HVAC	HTG, VENTILATING, & A/C	PR	PAIR	VB	VAPOR BARRIER,		
DEM	DEMOLISH, DEMOLITION	HW	HOT WATER	PSF	POUNDS PER SQUARE FOOT	VERT	VERTICAL		
DET	DETAIL	HWD	HARDWOOD	PSI	POUNDS PER SQUARE INCH	VEST	VESTIBULE		
DH	DOUBLE HUNG	ID	INSIDE DIAMETER	PT	PRESSURE TREATED	VIF	VERIFY IN FIELD		
DIA	DIAMETER	INSUL	INSULATION	PTD	PAINTED	VIN	VINYL		
DM	DIMENSION	INST	INSTALLED	PVC	POLYVINYL CHLORIDE	V	VENER		
DL	DEAD LOAD	INT	INTERIOR	FLWYD	FLYWOOD	W	WEST		
DN	DOWN	JB	JAMB	R	RISER	W	WOOD		
DR	DOOR	JST	JOIST	RD	RADIUS	W/WD	WOOD WITH WOOD		
DS	DOWNSPOUT	JT	JOINT	RO	ROOF DRAIN	WIND	WINDOW		
DWG	DRAWING	KIT	KITCHEN	REBAR	REINFORCEMENT BAR STEEL	W#	WD. M.D.G. DESIGNATION		
E	EAST	KW	KILOWATT	RECT	RECTANGLE	WO	WITHOUT		
EA	EACH	LAM	LAMINATE(ED)	REF	REFERENCE	WP	WATER PROOF		
EXP JT	EXPANSION JOINT	LAV	LAVATORY	REFG	REFRIGERATOR	WR	WATER RESISTANT		
EL (LEV)	ELEVATION	LBS	POUNDS	REG	REGISTER	WT	WEIGHT		
ENCL	ENCLOSURE	LF	LINEAR FOOT	REINFG	REINFORCING	WWT	WELODED WIRE FABRIC		
EL	ELECTRICAL	LH	LEFT HAND	REQD	REQUIRED				
ELP	ELECTRICAL PANELBOARD	LL	LIVE LOAD	RESIL	RESILIENT				
EQ	EQUAL	LVL	LAM. VENEER LUMBER	REV	REVERSE				
EQPT	EQUIPMENT			RFG	ROOFING				
EW	EACH WAY			RH	RIGHT HAND				
EX	EXISTING			RM	ROOM				
EXP	EXPANSION			RND	ROUND				
EXT	EXTERIOR			RO	ROUGH OPENING				

	EARTH / COMPACTED FILL	
	GRAVEL / POROUS FILL	
	CONCRETE	
	SAND / MORTAR PLASTER / STONE	
	FACE BRICK	
	CONCRETE BLOCK	
	BLUESTONE / SLATE	
	MARBLE / STONE	
	BATT INSULATION	WOOD FRAME CONSTRUCTION
	RIGID INSULATION OR DRAINBOARD	POINT ELEVATION
	GYPSUM WALLBOARD	CONSTRUCTION ABOVE, BELOW OR BEYOND
	STEEL	CENTERLINE OF CONSTRUCTION
	DOOR NUMBER	WINDOW TYPE
		SMOKE DETECTOR
		FINISH WOOD
		CHANGE OF ELEVATION
		SECTION KEY
		DETAIL KEY
		EXISTING CONTOUR
		NEW CONTOUR
		ROUGH FRAMING
		WOOD BLOCKING
		PLYWOOD

- 1) PROPOSED CONVERSION OF EXISTING SCREENED PORCH INTO SUNROOM. PROPOSED REAR ADDITION, TERRACE AND STAIR TO REAR OF THIS SUNROOM. PROPOSED REMOVAL OF SIDE ADDITION AND CONSTRUCTION OF NEW SIDE ADDITION. PROPOSED CANTILEVERED BAY INTO REAR SETBACK (REQUIRES VARIANCE).
- 2) PROPOSED ADDITION OF PORTICO. PROPOSED FRONT STOOP RENOVATION AND WALK AND STAIR REPLACEMENT.
- 3) PROPOSED BASEMENT RENOVATION WITH NEW REAR STORAGE & EGRESS STAIR.
- 4) PROPOSED MAIN LEVEL RENOVATION.
- 5) PROPOSED 2ND LEVEL RENOVATION AND ADDITION OVER EXISTING GARAGE.
- 6) PROPOSED ATTIC RENOVATION WITH NEW ADDED DORMERS FRONT AND BACK.
- 7) EXISTING MECHANICAL, ELECTRICAL & PLUMBING TO BE UPGRADED TO ACCOMMODATE RENOVATION.

INDEX OF DRAWINGS		ISSUED		VICINITY MAP	ENERGY DATA		BUILDING DATA						
A0001	COVER SHEET	DATE	REASON		DCMR - 12 ENERGY CODE PRESCRIPTIVE METHOD				CODE STANDARD: DCMR 12 DC CONSTRUCTION CODES SUPPLEMENT INTERNATIONAL BUILDING CODE, 2012 EDITION NATIONAL ELECTRIC CODE, 2011 EDITION				
A0002	SPECIFICATIONS	APR.08.15	REVIEW		ELEMENT	R-VALUE		U-FACTOR		SQUARE FOOTAGES: CONDITIONED			
A1.0	CELLAR DEMO/ BASEMENT PLANS	MAY.15.15	PRICING			New Homes/Additions	Sunrooms	New Homes/Additions	Sunrooms	EXISTING	PROPOSED ADD	TOTAL	
A1.1	DEMO/ FIRST FLOOR PLANS					-	-	0.35	0.35	CELLAR	854 Sq. Ft.	113 Sq. Ft.	967 Sq. Ft.
A1.2	DEMO/ SECOND FLOOR PLANS					-	-	0.55	0.55	FIRST FLOOR	954 Sq. Ft.	528 Sq. Ft.	1482 Sq. Ft.
A1.3	ATTIC PLAN					49	19	0.26	-	SECOND FLOOR	854 Sq. Ft.	291 Sq. Ft.	1145 Sq. Ft.
A2.0	EXISTING ELEVATIONS				Walls (Wd Framed)	20	13	0.062	-	ATTIC	629 Sq. Ft.	0 Sq. Ft.	629 Sq. Ft.
A2.1	ELEVATIONS- FRONT/ REAR				Walls (Conc, CMU)	8/13	8/13	0.141	-				
A2.2	ELEVATIONS- RIGHT/ LEFT					19	19	0.047	-				
E1	ELECTRICAL PLANS					10/13 ¹	10/13 ¹	0.059	-				
E2	ELECTRICAL PLANS					10 ²	10 ²	-	-				
						10/13 ²	15/19 ²	0.065	-				
									1 -- Use R-10 when applied continuously against the wall; use R-13 when applied between studs. 2 -- Insulation must extend from the slab edge to a length of 24" vertically and/or horizontally. 3 -- Use insulation on crawl space walls in unvented-condition				
									ZONING: R-1-B ALLOWABLE LOT OCCUPANCY = 40% LOT SIZE 4,583 SQ. FT. EXISTING BUILDING 1,343 SQ. FT. LOT OCCUPANCY AREA SQ. FT. COVERD ADDITIONS EXISTING LOT OCCUPANCY % TOTAL AREA INCREASE IN LOT OCCUPANCY % SQ. FT.				



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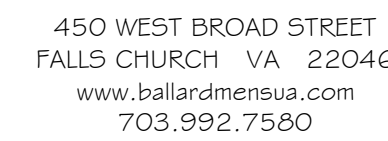
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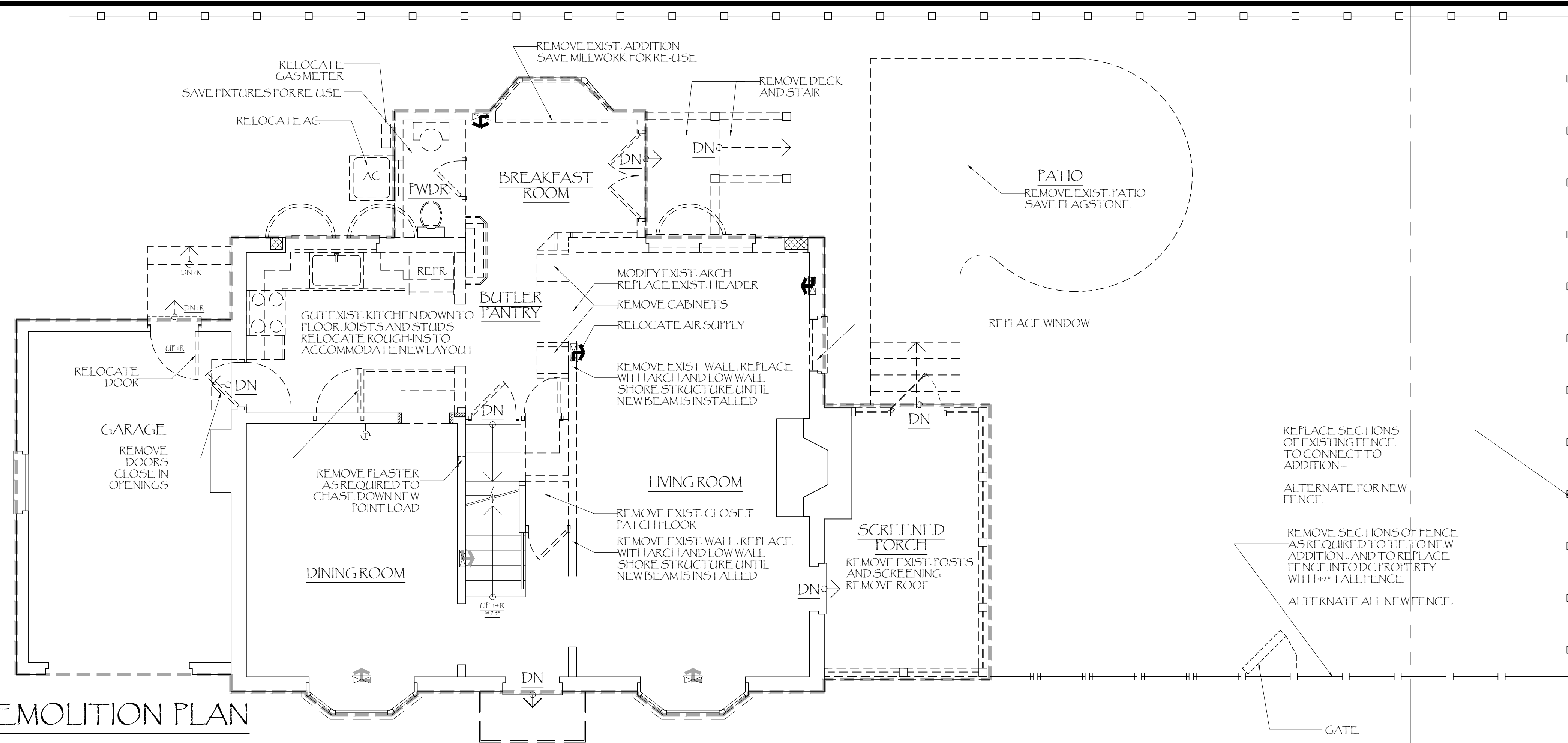
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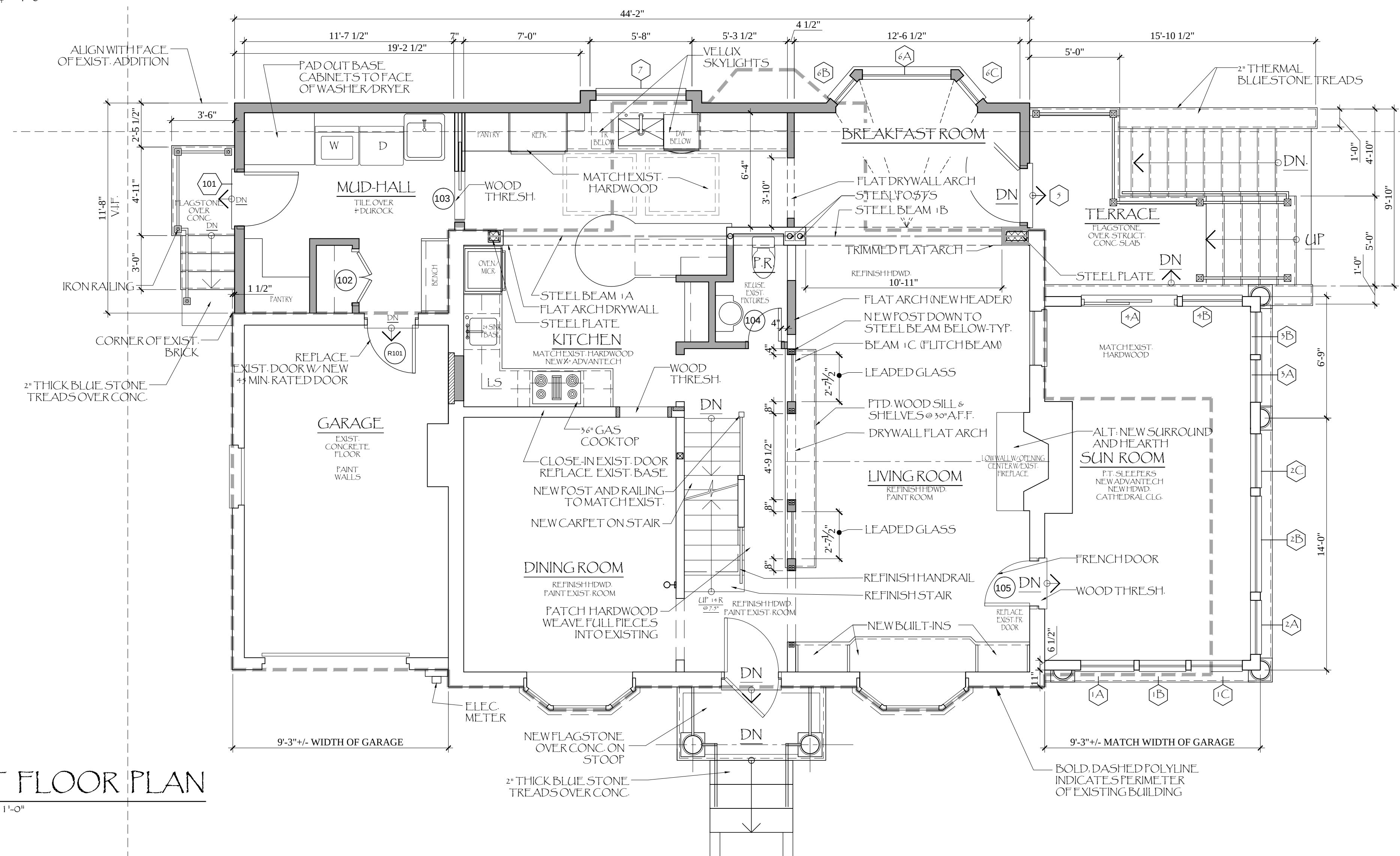
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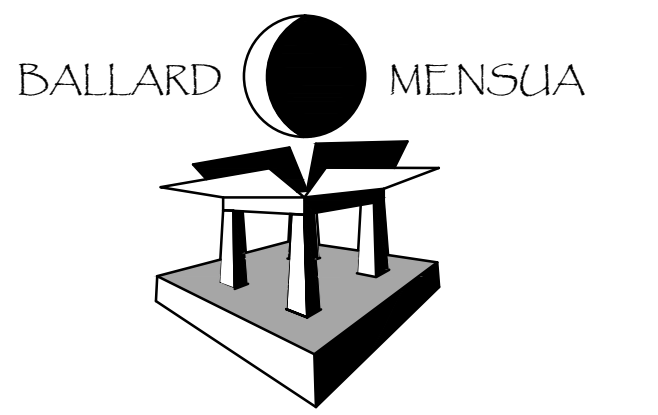
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FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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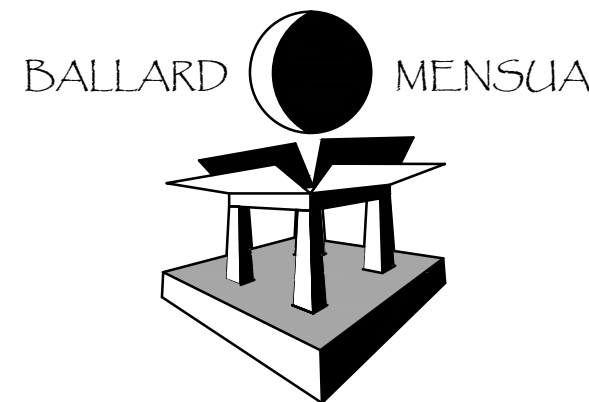
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FIRST FLOOR PLANS

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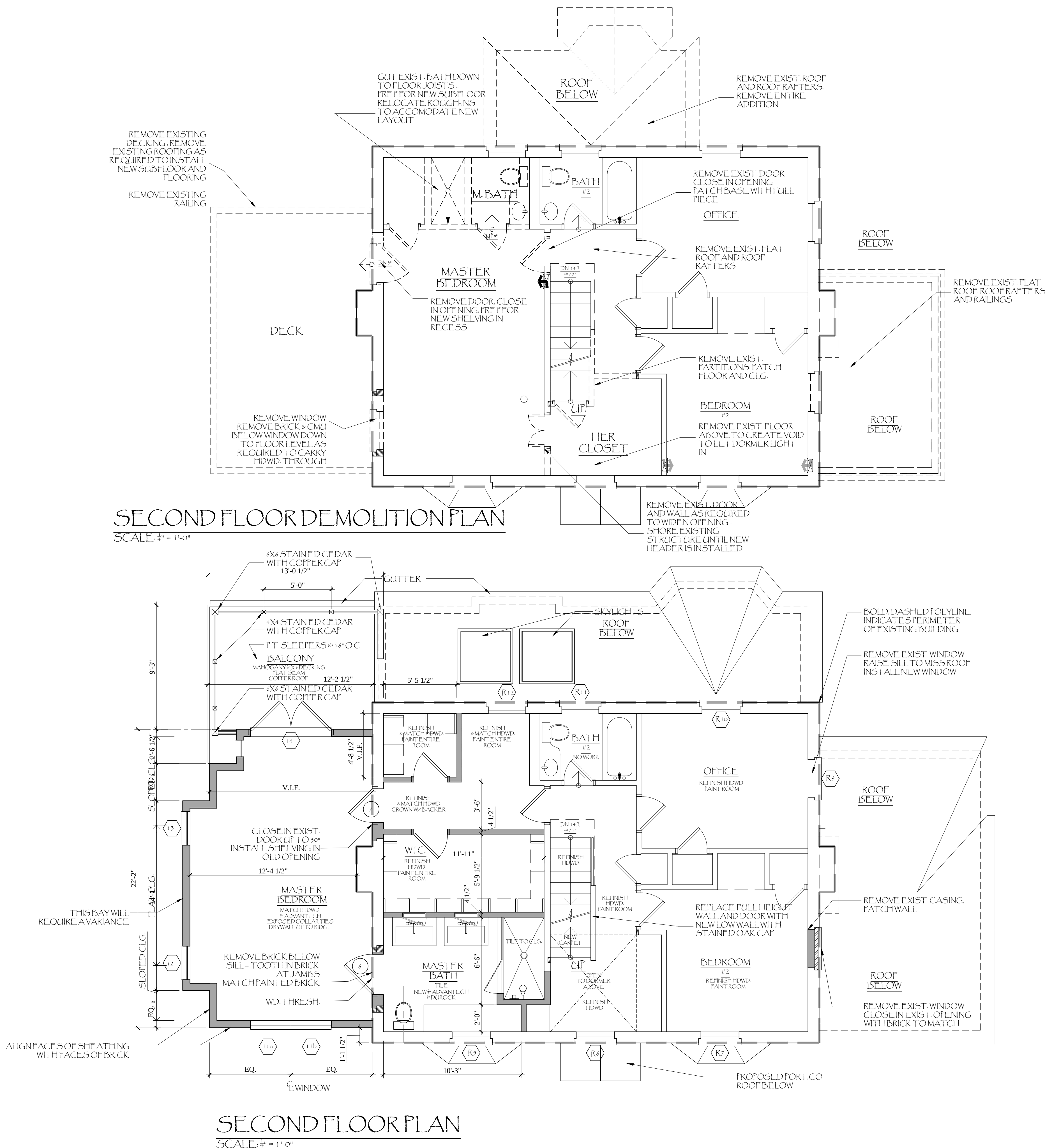
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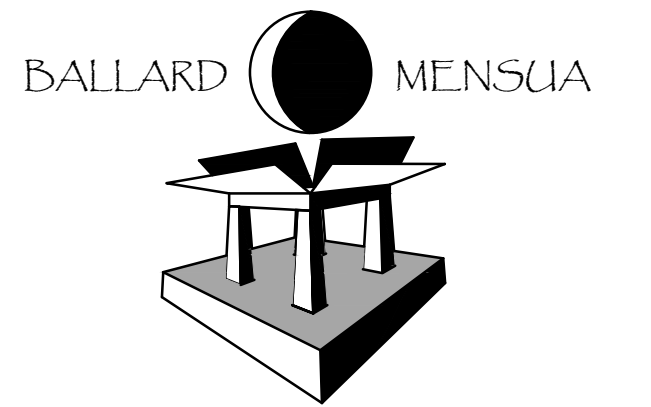
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SECOND
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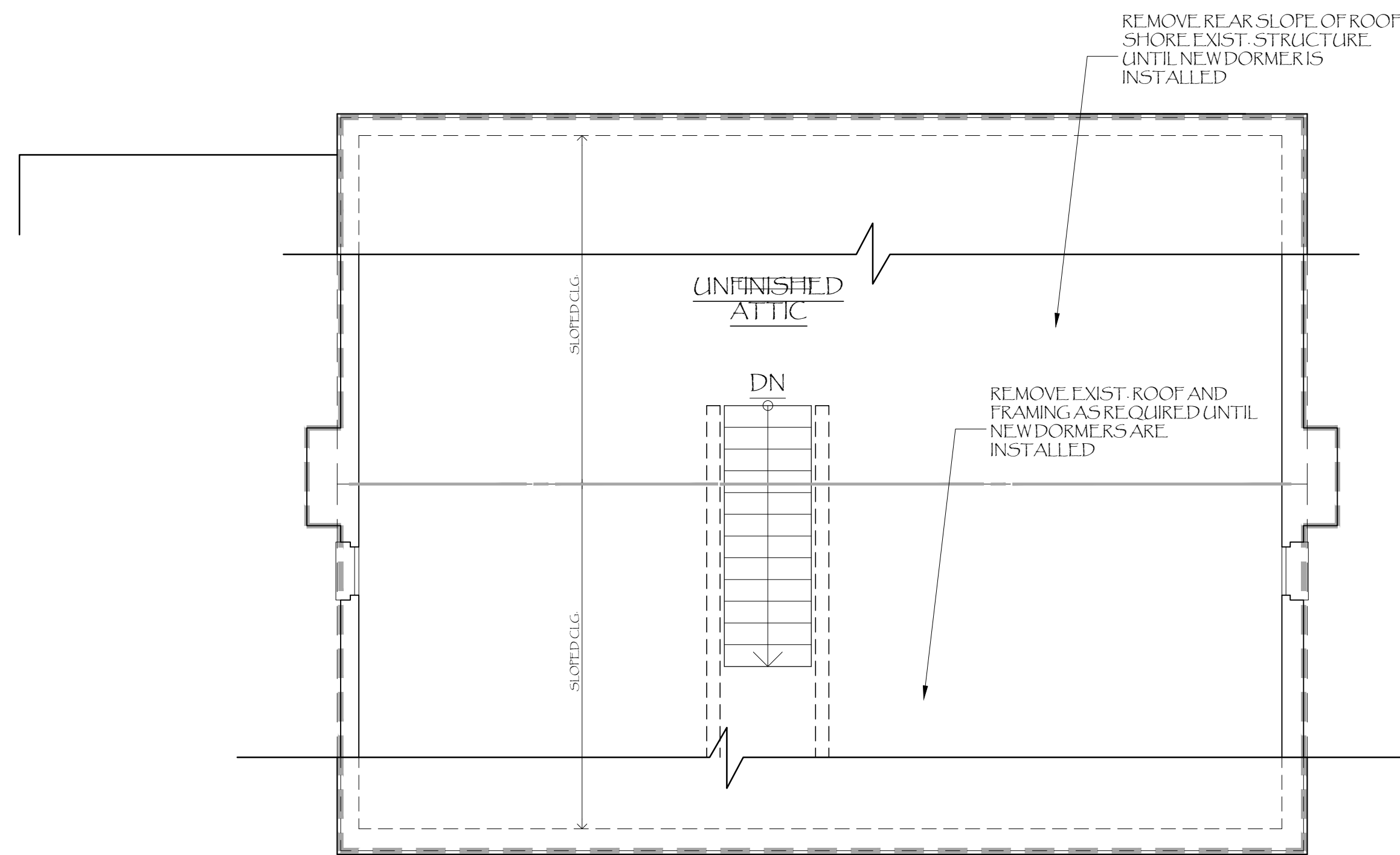
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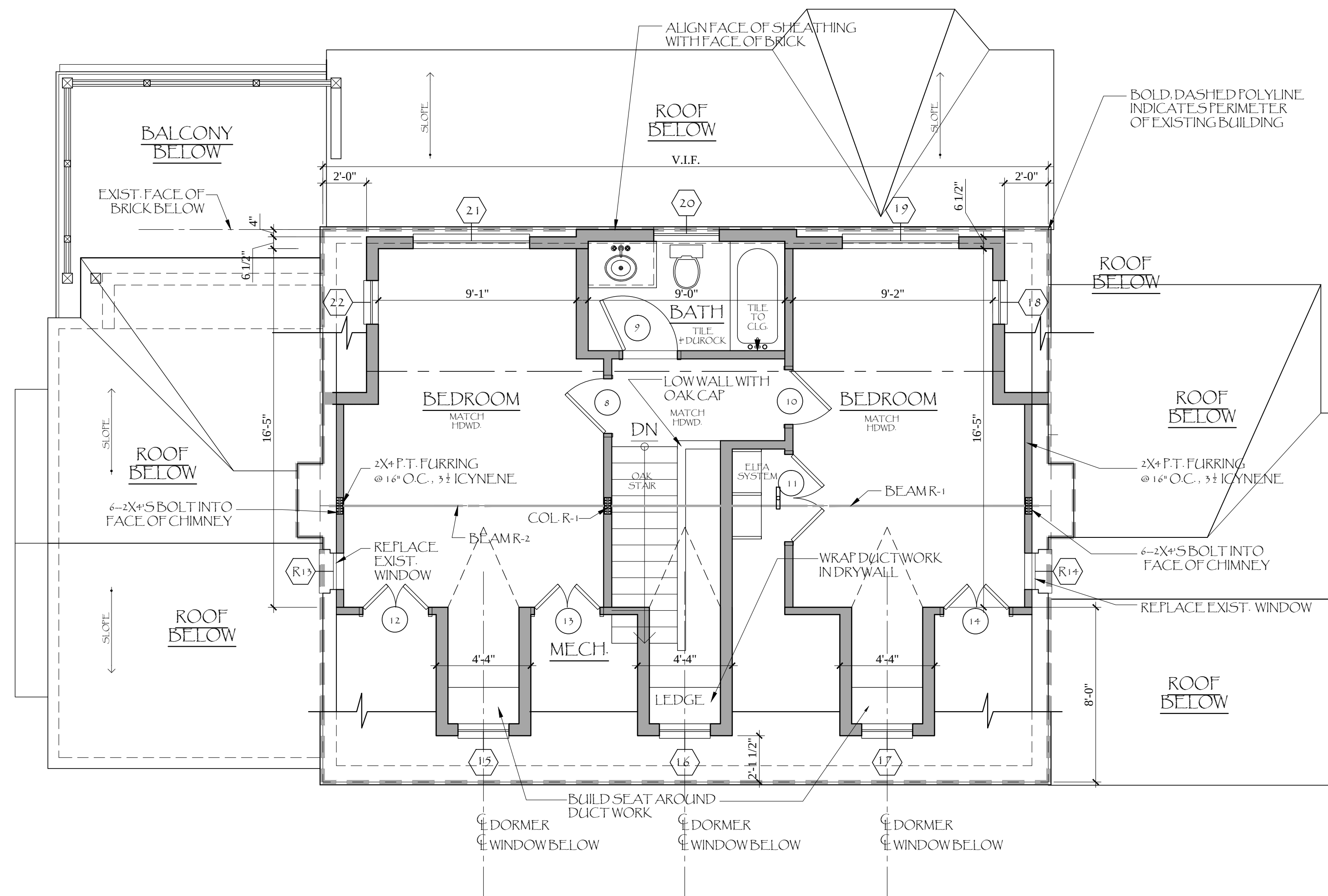
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ATTIC DEMOLITION PLAN
SCALE: 3/4" = 1'-0"



ATTIC PLAN
SCALE: 3/4" = 1'-0"



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ELEVATIONS

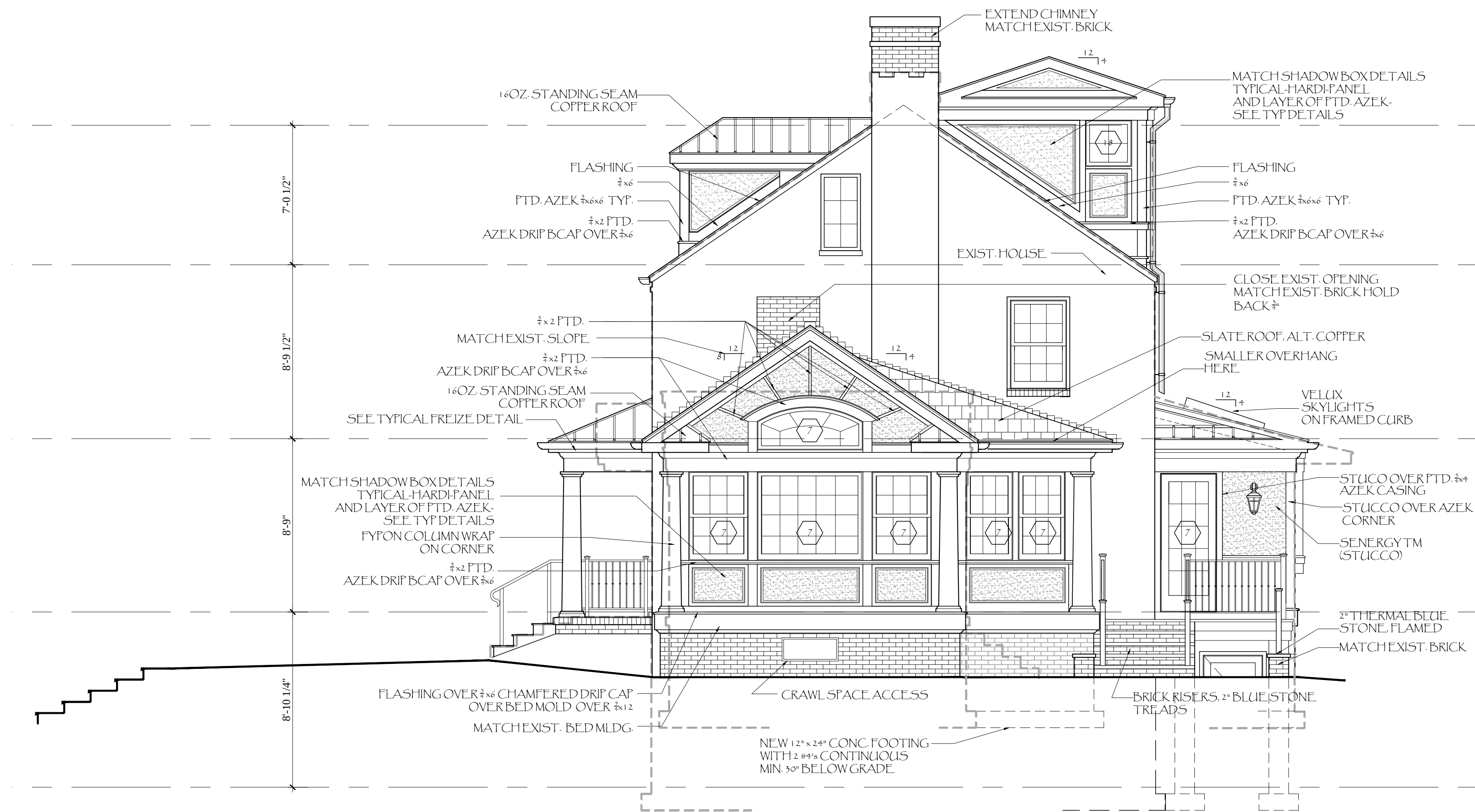
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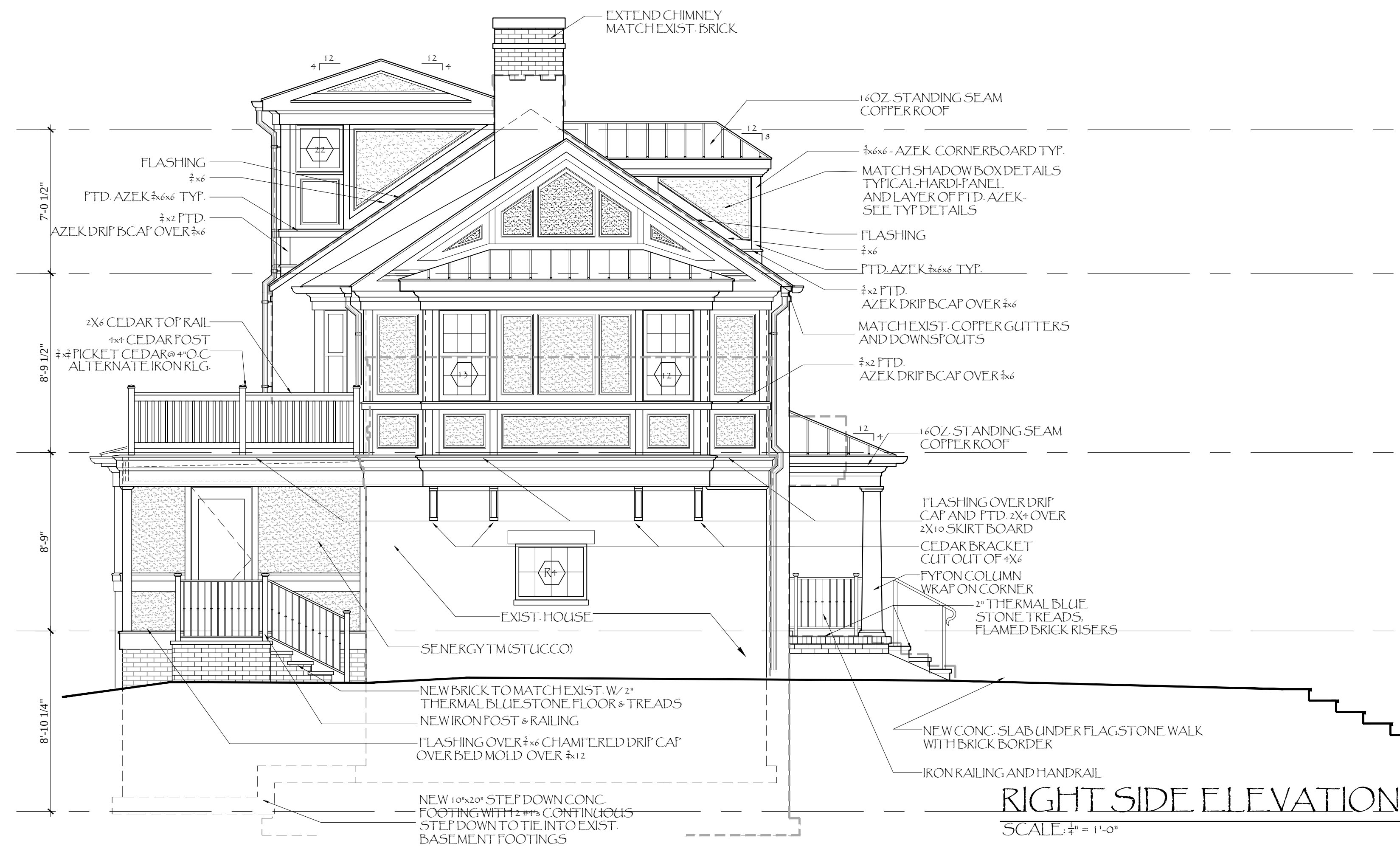
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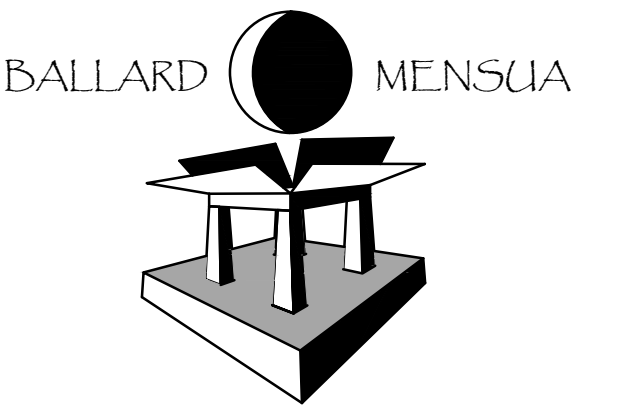




LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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