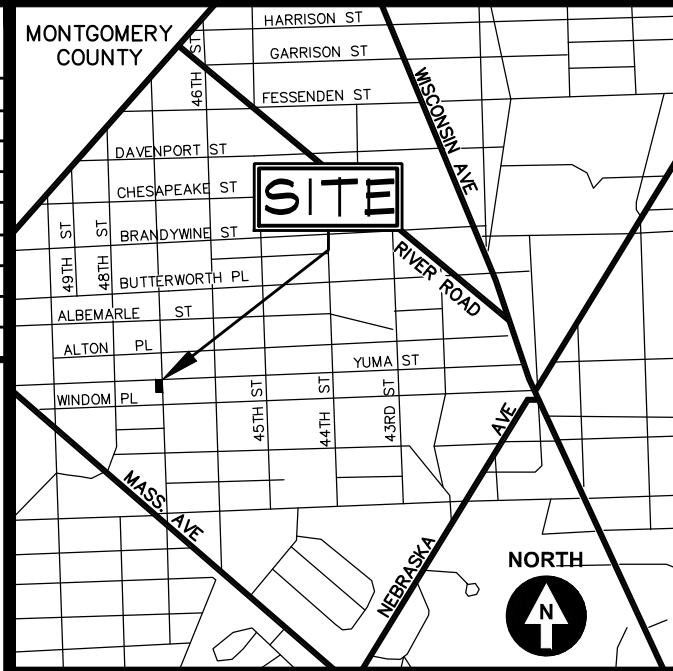


GENERAL NOTES

- 1) TWO-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED APRIL, 2015.
- 2) BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED APRIL, 2015.
- 3) ZONING: R-1-B
MINIMUM LOT WIDTH = 50 FEET
MINIMUM LOT AREA = 5,000 SQUARE FEET
MAXIMUM BUILDING HEIGHT = 40 FEET / 3 STORIES
FRONT B.F.L. = NONE PER DC SURVEYORS OFFICE
MINIMUM REAR YARD = 25 FEET
MINIMUM SIDE YARD = 8 FEET
MAXIMUM LOT OCCUPANCY = 40%
MINIMUM PERVIOUS SURFACE COVERAGE = 50%
- 4) TOTAL LOT AREA: LOT 28 = 4,583 SQUARE FEET (0.105 ACRES)

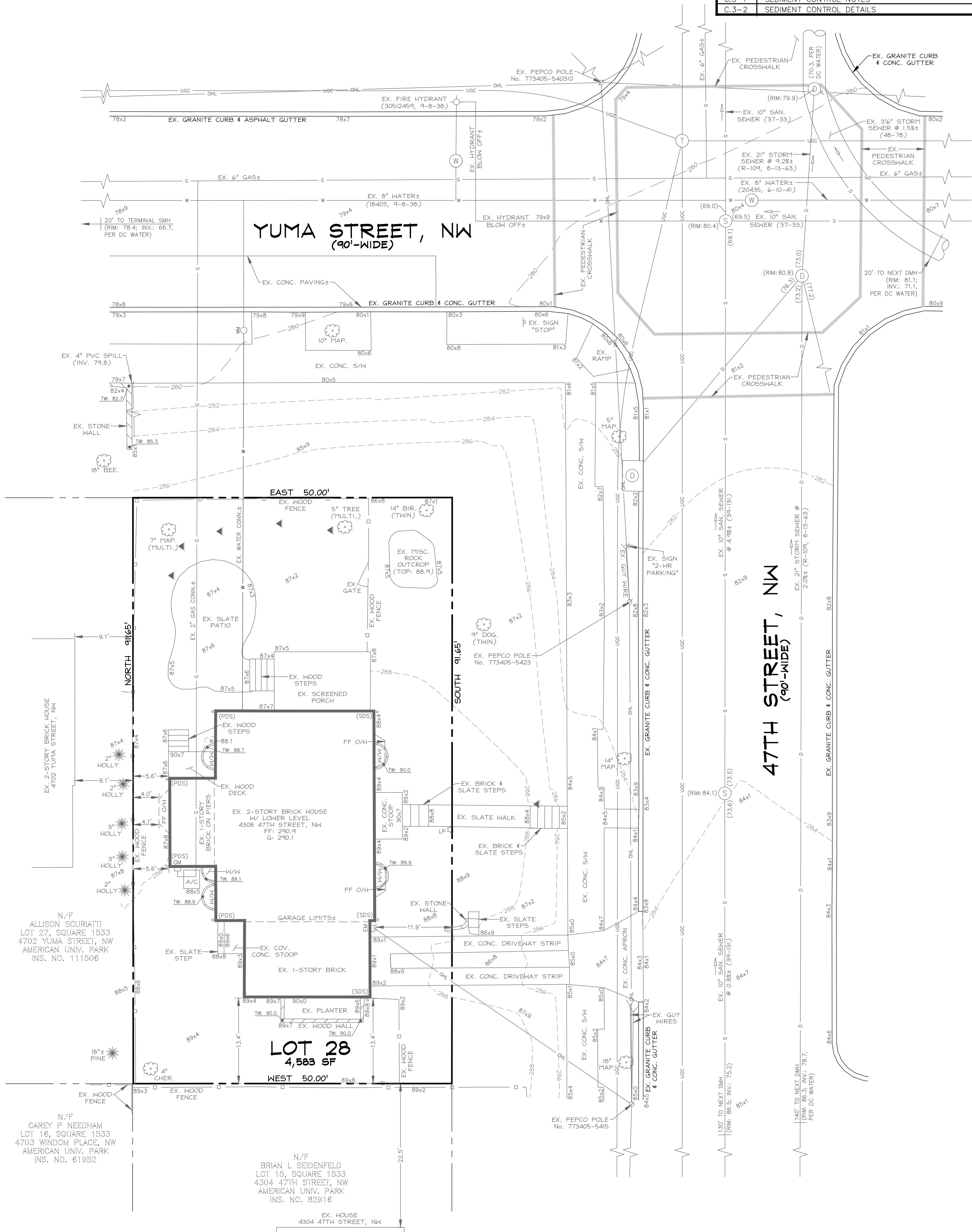
INDEX OF CIVIL DRAWINGS

NO.	TITLE
C.1	EXISTING CONDITIONS PLAN
C.2	BUILDING PERMIT SITE, GRADING, PUBLIC SPACE AND STORMWATER MANAGEMENT PLAN
C.2-1	BUILDING PERMIT SITE AND STORMWATER MANAGEMENT DETAILS
C.2-2	STORMWATER MANAGEMENT COMPUTATIONS AND DETAILS
C.2-3	STORMWATER MANAGEMENT COMPUTATIONS AND DETAILS
C.3	SEDIMENT CONTROL PLAN
C.3-1	SEDIMENT CONTROL NOTES
C.3-2	SEDIMENT CONTROL DETAILS



VICINITY MAP

ADC MAP 5407, GRID F-9
SCALE: 1" = 2000'



LEGEND

EXISTING FEATURES

S	(69.3)	EX. SANITARY MANHOLE AND INVERT
D	(73.0)	EX. STORM MANHOLE AND INVERT
W	(W)	EX. WATER LINE WITH MANHOLE
G	(G)	EX. GAS LINE
UG	(T)	EX. UNDERGROUND UTILITY LINE
OHL	(OHL)	EX. OVERHEAD UTILITY WITH POLE
202	280	EX. TWO- AND TEN-FOOT CONTOURS
80x5		EX. SPOT ELEVATION
LP		EX. WOOD FENCE
LP		EX. LIGHT POLE
LP		EX. GROUND LIGHT
LP		EX. SIGN
LP		EX. PIPED DOWNSPOUT
LP		EX. SPILLED DOWNSPOUT
LP		EX. TREE
LP		EX. WALL

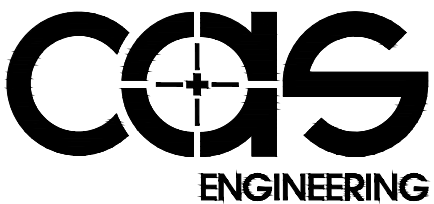
UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

UTILITY	REQUEST DATE	BY	INFO RECEIVED	PLAN REVISED	BY
AT&T	03/19/2015	MSL	04/14/2015	NO FACILITIES	-
COMCAST	03/19/2015	MSL	PENDING	-	-
WC/WORLDCOM	03/19/2015	MSL	PENDING	-	-
PEPCO	03/19/2015	MSL	PENDING	-	-
VERIZON	03/19/2015	MSL	04/02/2015	04/10/2015	MSL
WASH. GAS	03/19/2015	MSL	03/23/2015	04/10/2015	MSL
DC SEWER	N/A	-	ON FILE	04/10/2015	MSL
DC WATER	N/A	-	ON FILE	04/10/2015	MSL

MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/111C 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.



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CIVIL • SURVEYING • LAND PLANNING

OWNER/CLIENT

WM CALDMIRIS COMPANY, LLC
ATTN: GEORGE CALDMIRIS, AA
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(202) 457-1200 PHONE
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george@caldmiris.com

ARCHITECT

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(703) 882-7880 PHONE
(703) 882-2400 FAX
ATTN: ALTAIRA SQUANIN

LOT 28, SQUARE 1533
AMERICAN
UNIV. PARK

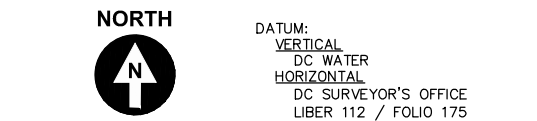
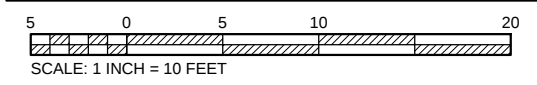
4308 47TH
STREET, NW

N.W. WASHINGTON,
DISTRICT OF COLUMBIA

BASE SHEET ISSUED	04.13.2015
PROGRESS VARIANCE SITE PLAN	06.05.2015
PROGRESS VARIANCE SITE PLAN	06.08.2015
ISSUED FOR VARIANCE APPLICATION	06.11.2015
RETAINING WALL PERMIT SET	06.23.2015
TRAFFIC CONTROL PLAN ISSUED	06.30.2015

REVISION	DATE
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CAS PROJECT	15-115
DATE	06/2015
DRAWN BY	MSL
CHECKED BY	DCL
APPROVAL	CAS
SCALE	1"=10'



SHEET TITLE

EXISTING
CONDITIONS
PLAN

Board of Zoning Adjustment
District of Columbia
CASE NO.19120
DRAWN BY: CAS