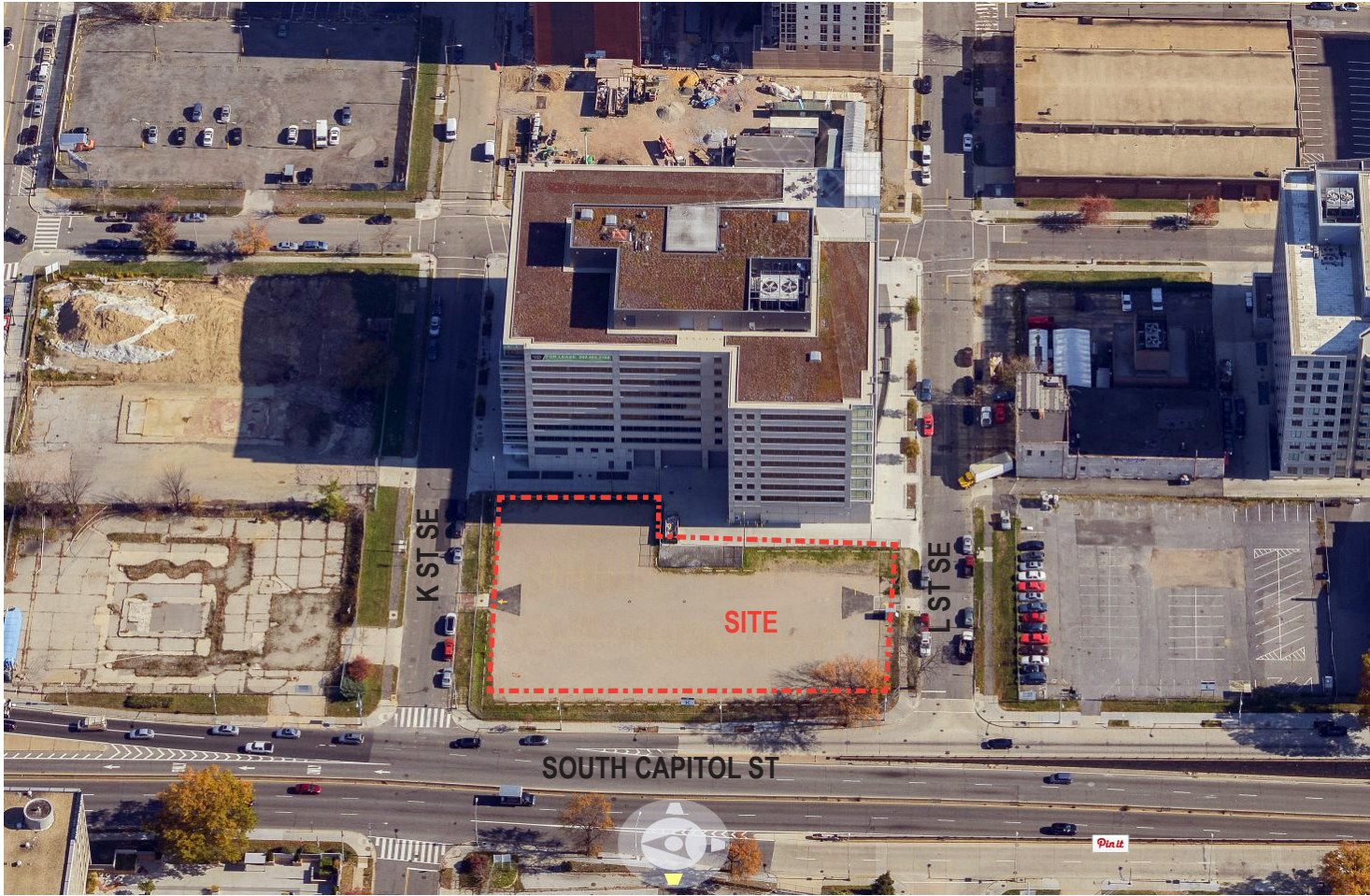




BIRDS EYE LOOKING EAST



BIRDS EYE LOOKING NORTH



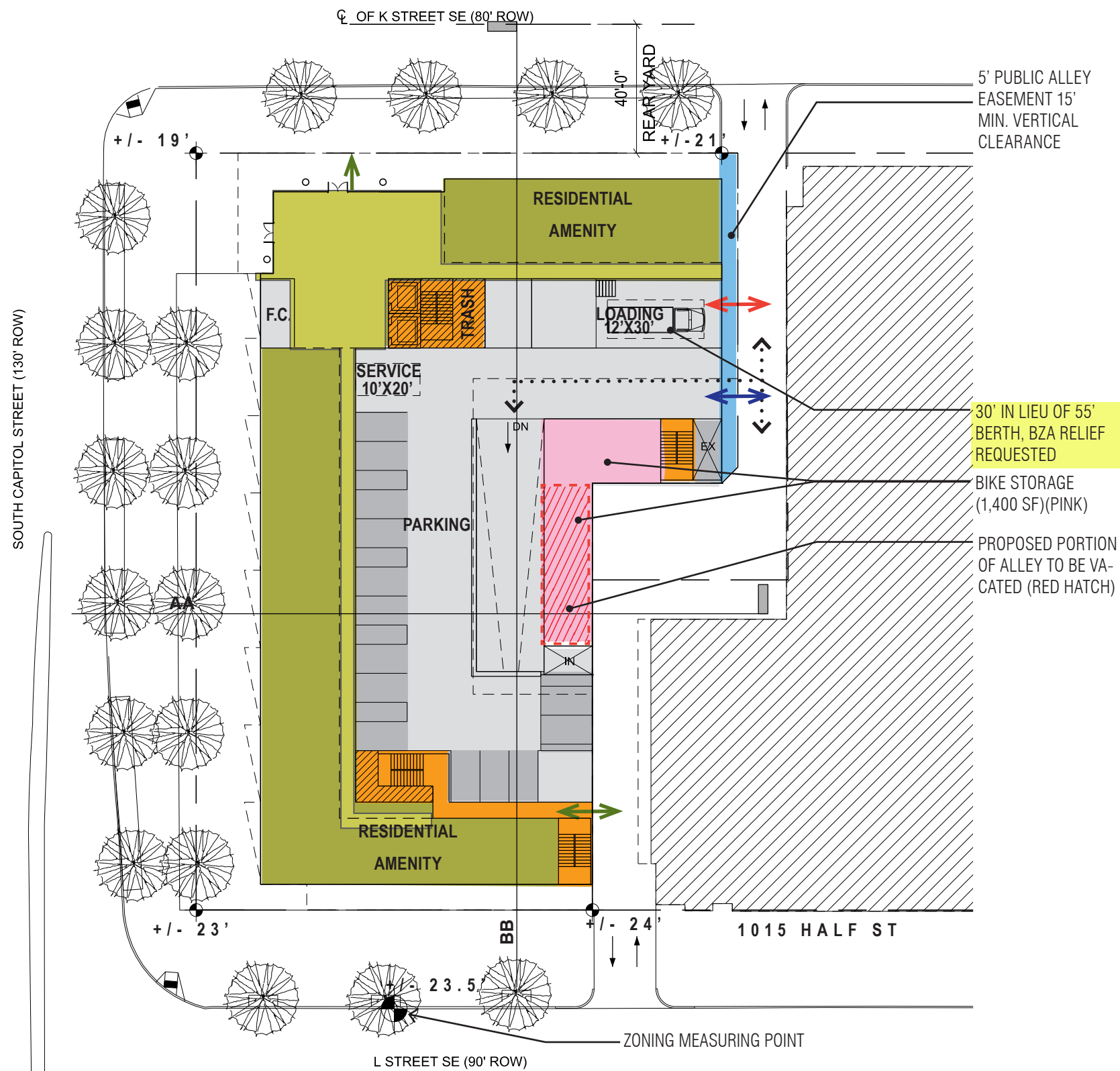
STREET VIEW LOOKING NORTH



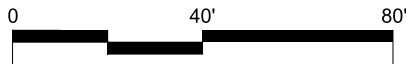
STREET VIEW LOOKING SOUTH



STREET VIEW LOOKING NORTHWEST



GROUND FLOOR



1000 S. CAPITOL STREET, SE

WASHINGTON, DC

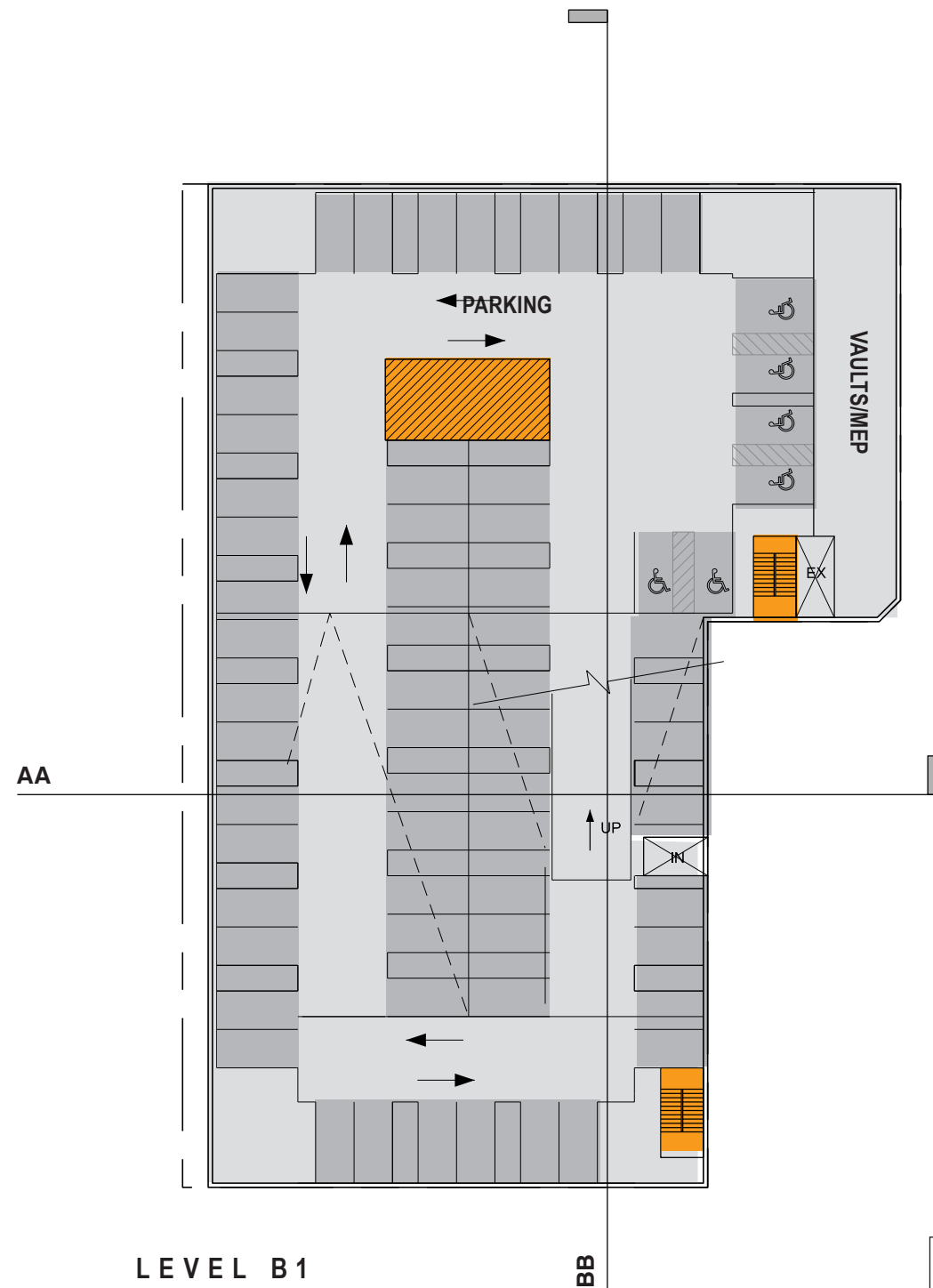
November 9, 2015 ©2015 Shalom Baranes Associates, PC



	GROSS FLOOR AREA	CELLAR FLOOR AREA
13	20,600	0
12	20,600	0
11	25,200	0
10	25,200	0
9	25,200	0
8	25,200	0
7	25,200	0
6	25,200	0
5	25,200	0
4	25,200	0
3	25,200	0
2	24,200	0
1	27,800	0
B1	0	32,100
B2	0	32,100
B3	0	32,100
TOTAL	320,000 (MAX)	96,300

NOTES:
SIZES AND LOCATIONS OF DOORS, WINDOWS, INTERIOR PARTITIONS, INTERIOR STAIRS, ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

STREETSCAPE DESIGN TO COMPLY WITH SOUTH CAPITOL STREET PLAN AND DDOT STANDARDS.

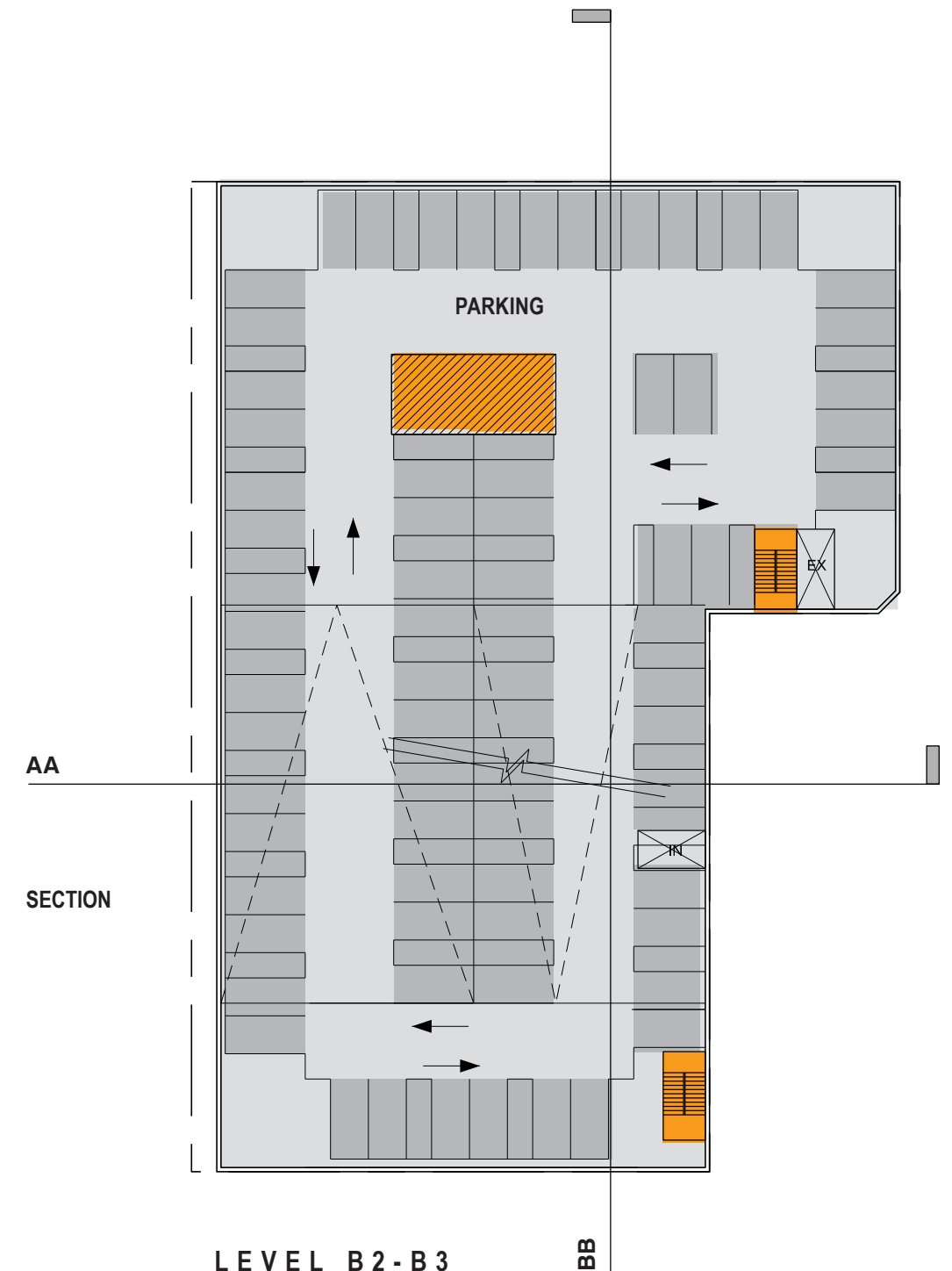
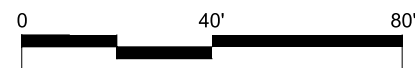


PARKING SPACES

GROUND	17
B1	66
B2	71
B3	71
TOTAL	225

MAX

NOTES:
PARKING COUNT BASED ON .6 SPACES/UNIT



NOTES:
SIZES AND LOCATIONS OF DOORS, WINDOWS, INTERIOR PARTITIONS, INTERIOR STAIRS, ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

PARKING SPACE LAYOUT IS ALSO SHOWN FOR ILLUSTRATIVE PURPOSES

ALL STANDARD SPACES (S) ARE SHOWN AS A MINIMUM SIZE OF 9' WIDE BY 19' DEEP

ALL DRIVE AISLES ARE SHOWN AS A MINIMUM OF 20' WIDE

FLEXIBILITY IS REQUESTED TO PROVIDE UP TO 40% COMPACT SPACES

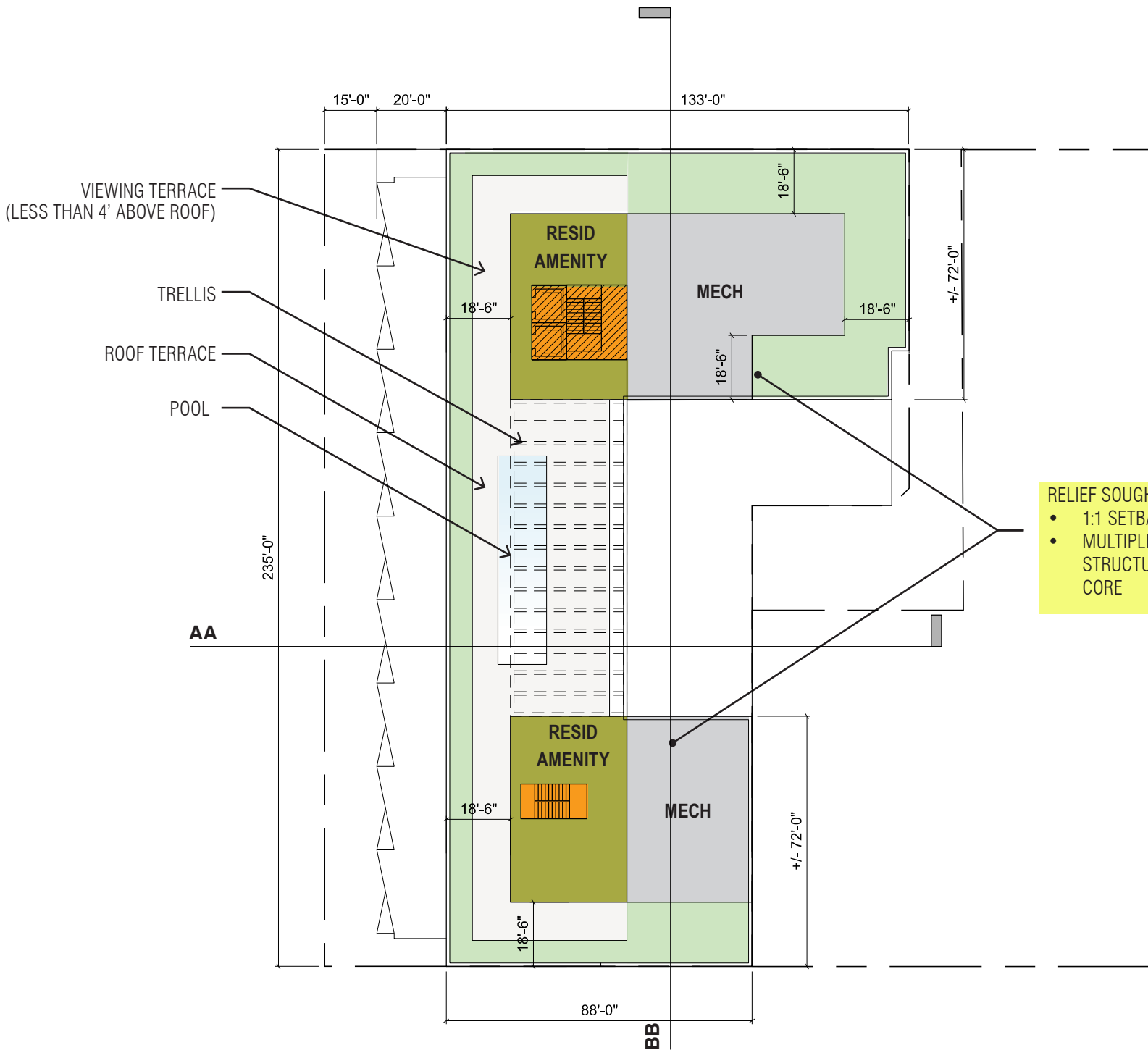


LEVEL 2-11



LEVELS 12-13

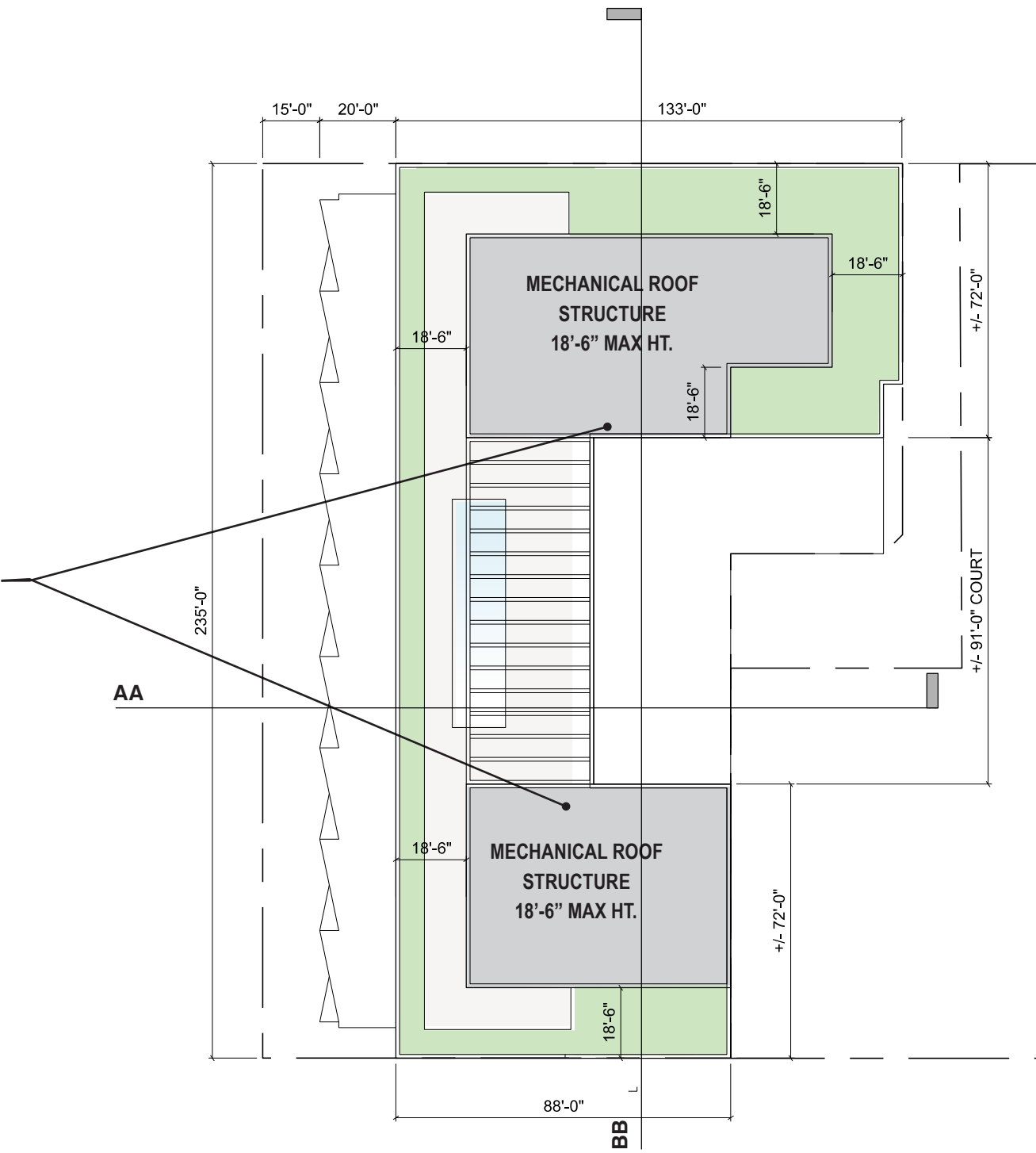
NOTES:
SIZES AND LOCATIONS OF DOORS, WINDOWS, INTERIOR PARTITIONS, INTERIOR STAIRS,
ELEVATORS ARE PRELIMINARY AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.



RELIEF SOUGHT:

- 1:1 SETBACK
- MULTIPLE ROOF STRUCTURES/1 ELEVATOR CORE

PENTHOUSE LEVEL



ROOF LEVEL

NOTES:
HOUSING FOR MECHANICAL EQUIPMENT SHALL BE SET BACK FROM ALL EXTERIOR WALLS A DISTANCE AT LEAST EQUAL TO ITS HEIGHT ABOVE THE ROOF UPON WHICH IT IS LOCATED (§770.6). ALL ROOF STRUCTURES WILL BE SET BACK A MINIMUM OF 1:1, FINAL DIMENSIONS MAY VARY.

