

AN APPLICATION TO THE BOARD OF ZONING ADJUSTMENT FOR:
1000 S. CAPITOL STREET, SE

9 NOVEMBER 2015

PROJECT LOCATION:

1000 S. CAPITOL ST, SE
WASHINGTON DC 20003
SQUARE: 697 LOT: 46

OWNER:

LERNER SOUTH CAPITOL STREET J.V.
2000 TOWER OAKS BLVD, 8TH FLOOR
ROCKVILLE, MD 20852

ARCHITECT:

SHALOM BARANES ASSOCIATES
1010 WISCONSIN AVE NW, SUITE 900
WASHINGTON, DC 20007

LAND USE COUNSEL:

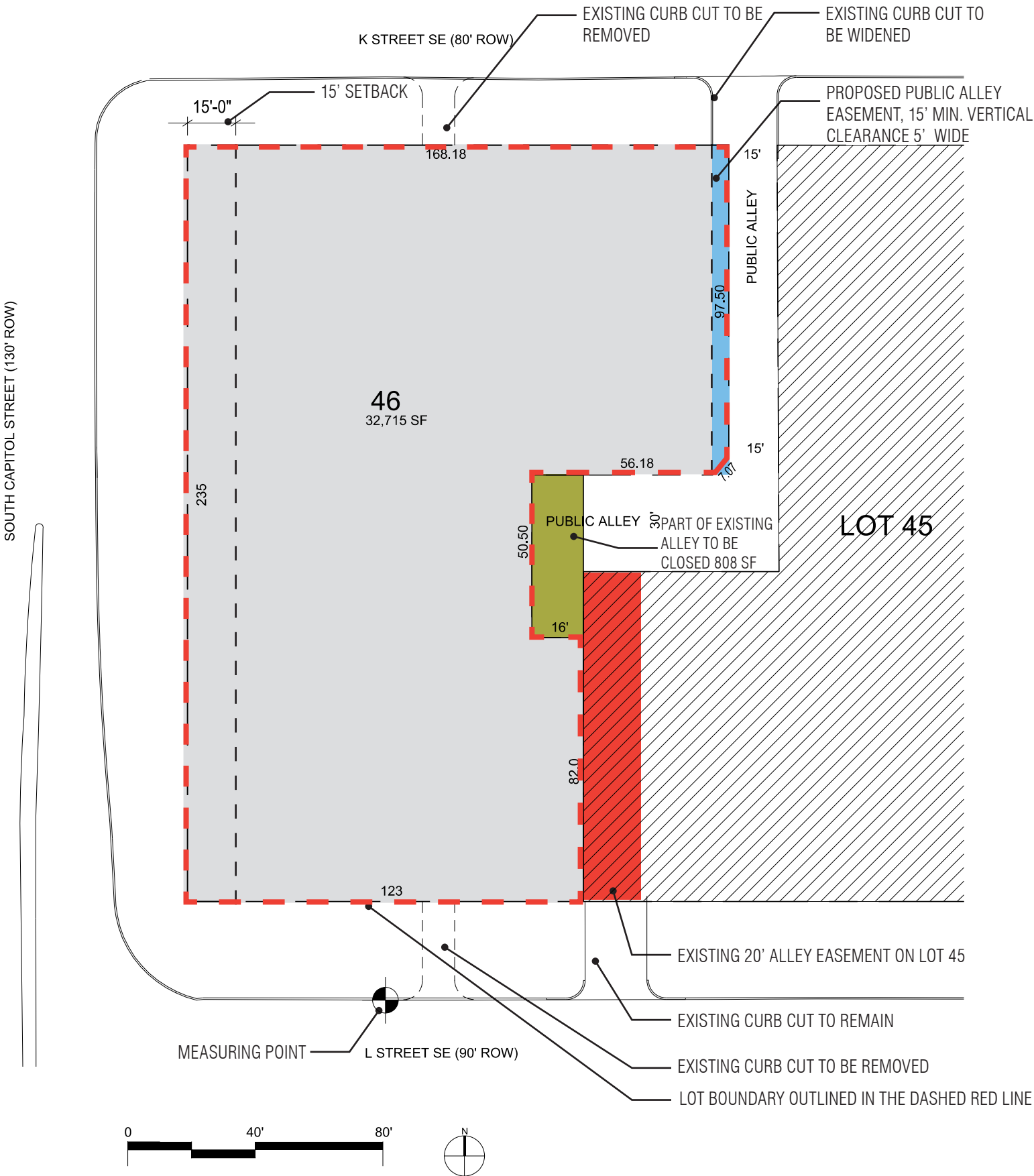
HOLLAND + KNIGHT LLC
800 17TH ST NW, SUITE 1100
WASHINGTON DC 20006

LIST OF SHEETS:

ZONING SUMMARY	A.2
BUILDING RENDERING	A.3
MASSING & ROOF PLAN	A.4
SITE IMAGES	A.5
GROUND FLOOR PLAN	A.6
BELOW GRADE PARKING	A.7
RESIDENTIAL FLOORS	A.8
ROOF PLAN	A.9
SECTIONS	A.10
ELEVATIONS	A.11
RENDERINGS	A.12-14
PLAT DRAWING	A.15







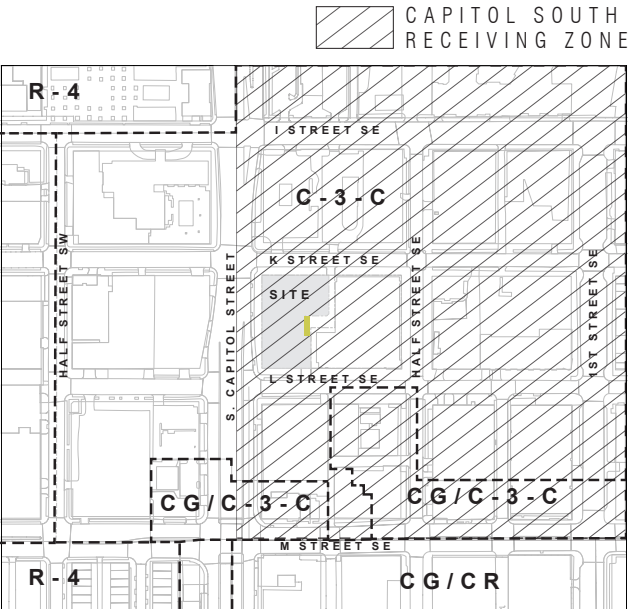
SQUARE:	697	
LOT:	46	
ZONE:	C-3-C / CAPITOL SOUTH RECEIVING ZONE	
	Lot 46	32,715
	Alley	808
SITE AREA:	33,523	
STREET WIDTHS:		
	SOUTH CAPITOL STREET	130'
	L STREET, SE	90'
	K STREET, SE	80'
		(USED FOR HEIGHT ACT COMPLIANCE)
		(USED FOR MEASURING POINT LOCATION)
		(USED FOR REAR YARD MEASUREMENT)
VERTICAL HEIGHTS:		
	MEASURING POINT:	23.5'
	MAIN ROOF PARAPET:	153.5'
	ROOF STRUCTURE PARAPET:	171.5'
		(ASSUME BASED ON DC GIS INFORMATION)
		(130' ABOVE THE MEASURING POINT)
		(18.5' ABOVE THE MAIN ROOF)

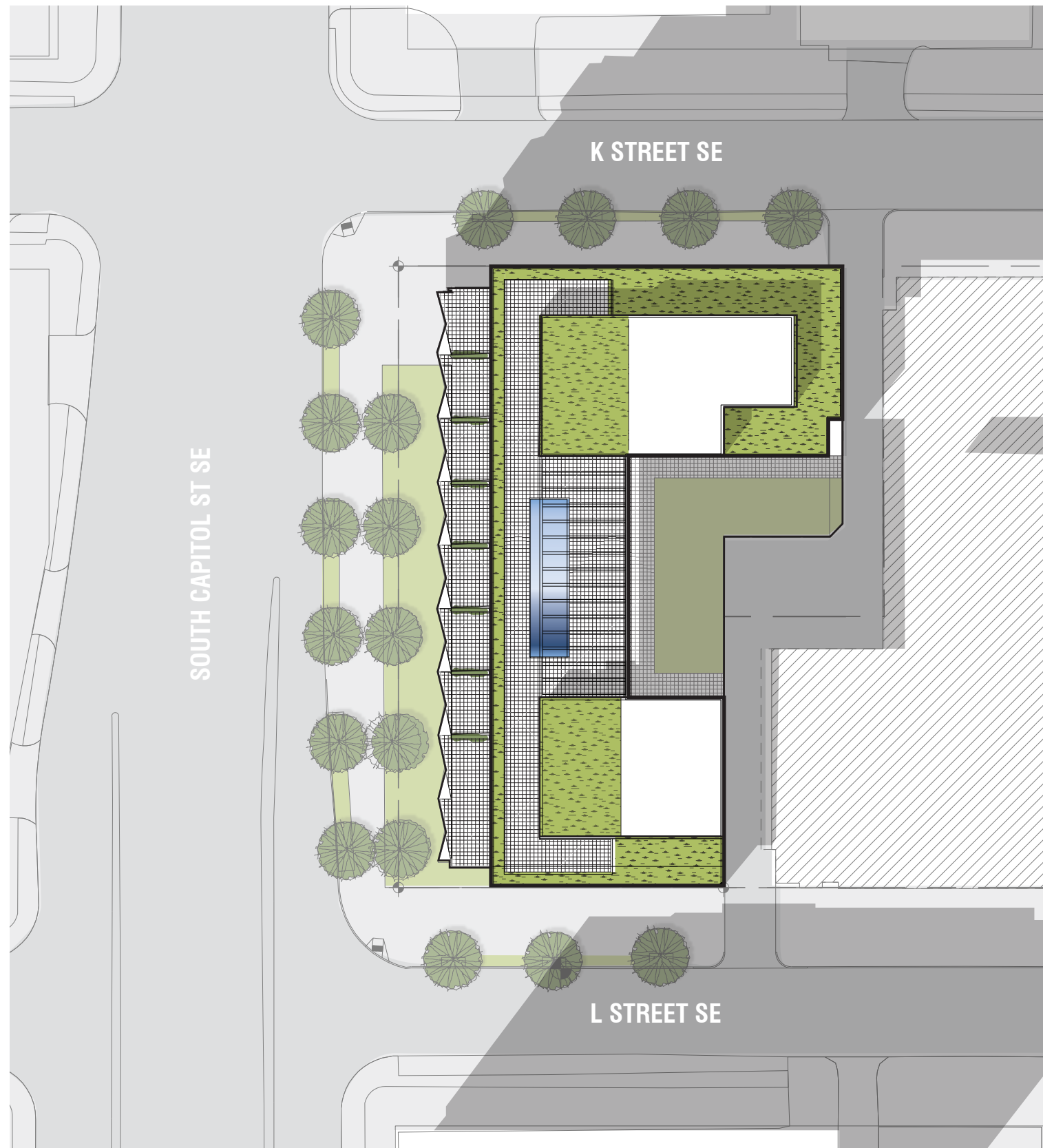
	C-3-C ALLOWABLE		PROVIDED
	MATTER OF RIGHT	WITH TRANSFER DEVELOPMENT RIGHTS (TDR's)	
FAR:	6.5	10.0	9.55
GROSS FLOOR AREA:	217,900	335,230	320,000
LOT OCCUPANCY %	100%	100%	90%
BUILDING HEIGHT:	90'	130'	130'
REQUIRED SETBACKS:*	REAR YARD= 2.5"/FT OF BUILDING HEIGHT	REAR YARD= 2.5"/FT OF BUILDING HEIGHT	REAR YARD MEASURED OFF OF THE CENTER OF K STREET, SE = 40'
ROOF STRUCTURE HEIGHT:	18.5'	18.5'	18.5'
ROOF STRUCTURE NUMBER:	1 PER ELEVATOR CORE	1 PER ELEVATOR CORE	2 WITH 1 ELEVATOR CORE (BZA RELIEF REQUESTED)
ROOF STRUCTURE SETBACK:	1:1	1:1	LESS THAN 1:1 NOT FRONTING A PUBLIC WAY (BZA RELIEF REQUESTED)
PARKING**:	RESIDENTIAL: 1 FOR EACH 4 DWELLING UNITS RETAIL: LESS 3,000 SF, 1 PER 750 SF	RESIDENTIAL: 1 FOR EACH 4 DWELLING UNITS RETAIL: LESS 3,000 SF, 1 PER 750 SF	RESIDENTIAL: 225 Max
RESIDENTIAL LOADING:	1 BERTH @ 55' 1 SERVICE @ 20'	1 BERTH @ 55' 1 SERVICE @ 20'	1 BERTH @ 30' IN LIEU OF 55' (BZA RELIEF REQUESTED) 1 SERVICE @ 20'
COURTS:	39'-8" WIDTH REQUIRED	39'-8" WIDTH REQUIRED	91'
UNITS:			330 Units +/- 10%

* WHILE NOT CURRENTLY A ZONING REQUIREMENT, SETBACKS ALONG SOUTH CAPITOL STREET, CONSISTENT WITH CAPITOL GATEWAY OVERLAY REQUIREMENTS ARE ASSUMED. THE BUILDING IS SETBACK 15' FROM THE SOUTH CAPITOL STREET PROPERTY LINE, AND AN ADDITIONAL 1:1 SETBACK OCCURS ABOVE 110' IN BUILDING HEIGHT

** PARKING MAY BE REDUCED TO NO LESS THAN THE ZONING REQUIREMENT.

- PROPOSED BUILDING SITE ON LOT 46
- PROPOSED PUBLIC ALLEY EASEMENT
- PROPOSED ALLEY CLOSING
- EXISTING ALLEY EASEMENT ON LOT 45





ROOF PLAN



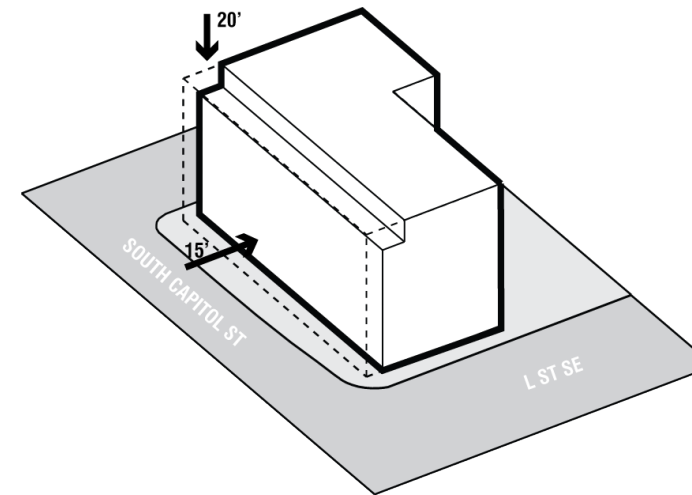
LERNER

1000 S. CAPITOL STREET, SE

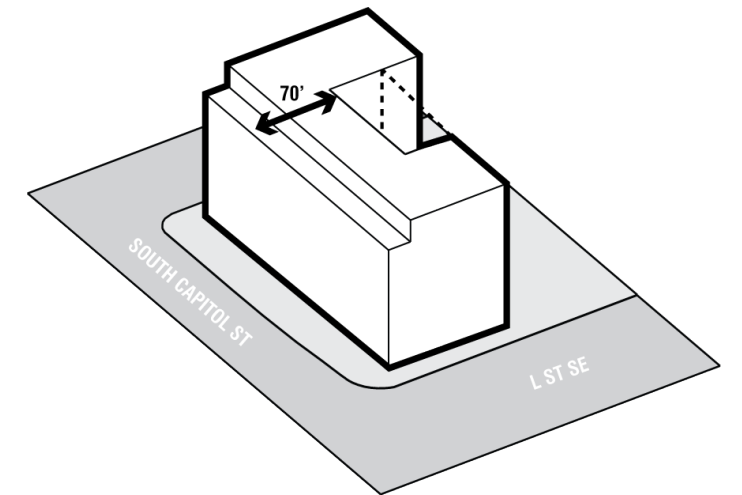
WASHINGTON, DC

November 9, 2015

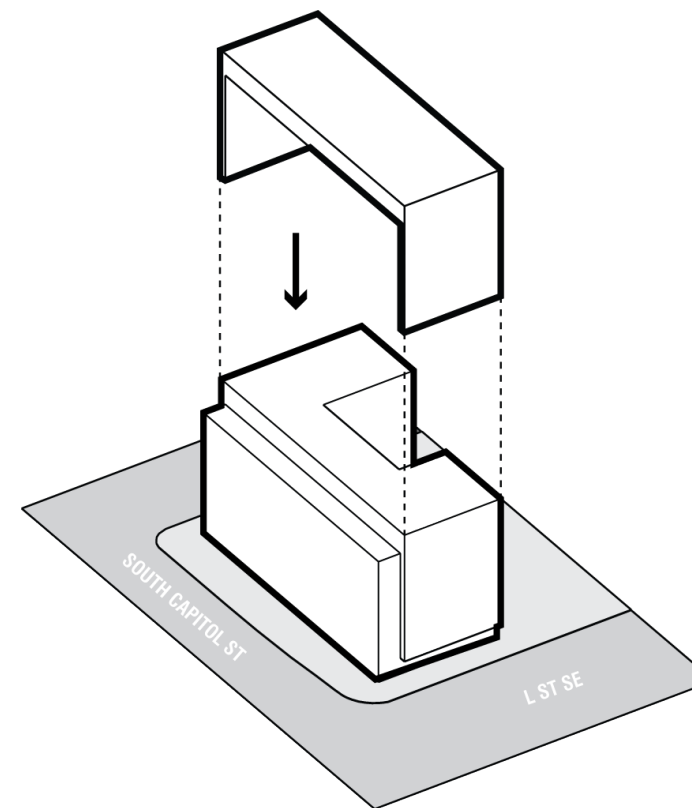
©2015 Shalom Baranes Associates, PC



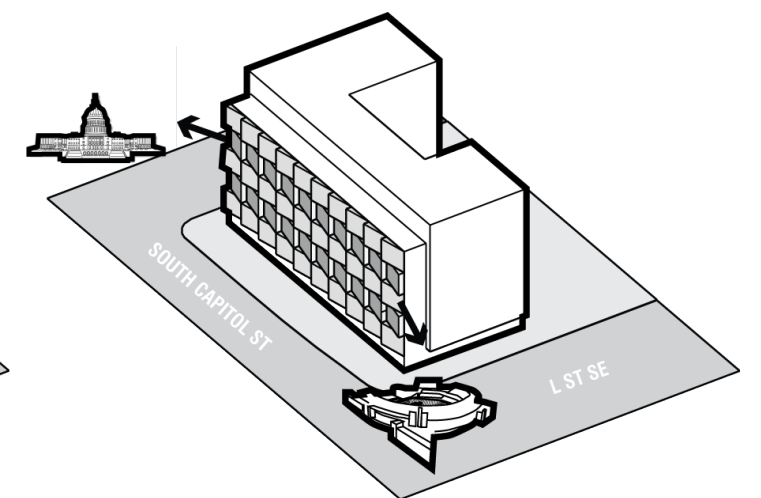
MASSING SETBACKS DUE TO ZONING



ADJUSTING MASSING FOR RESIDENTIAL FLOOR PLATE



LAYERING OF MASSING TO INCORPORATE SETBACKS



ANGLED BAYS LOOKING TOWARDS THE STADIUM & CAPITOL