

1533 - 9TH STREET RENOVATIONS

1533 - 9th STREET, NW

WASHINGTON, DC

SQUARE: 0397 - LOT: 031

DRAWING LIST

ARCHITECTURAL		MECHANICAL, ELECTRICAL & PLUMBING	
A000	Cover Sheet	M100	Basement & First Floor HVAC Plans
A001	Architectural Site Plan	M200	2nd Floor HVAC Plan & Mechanical Notes
A002	Partition Types & Code Analysis		
A100	Basement Floor Plan	P100	Basement & First Floor Plumbing Plans
A110	First & Second Floor Plans & Schedules	P200	2nd Floor Plumbing Plan & Plumbing Notes
A200	Exterior Elevations		
A300	Reflected Ceiling Plans	E100	Basmnt, First & Second Floor Electrical Plans
		E200	Electrical Panel Schedules & Riser Diagram

DESCRIPTION OF PROPOSED WORK

1. THE SUBJECT BUILDING 1533 - 9TH STREET, NW IS OWNED BY VICTORY VILLAGE DEVELOPMENT CORPORATION, A NON-PROFIT AGENCY OF SHILOH BAPTIST CHURCH. IN JULY 01, 2011, BUILDING PERMIT No. B0908078 WAS ISSUED TO RENOVATE THIS BUILDING AND BUILDING A NEW ADDITION ON A CLEARED SITE ADJACENT TO THE SOUTH OF 1533.
2. BZA No. 18059 TO ALLOW A COMMUNITY SERVICE CENTER AS HPO STAMPED PLANS DATED AUG. 08, 2009 WAS PART OF THE PERMIT CONDITIONS OF B0908078.
3. DURING THE CONSTRUCTION UNDER THE ISSUED PERMIT, INTERIOR DEMOLITION AND INTERIOR FRAMING WAS PERFORMED IN THE EXISTING BUILDING, BUT NO NEW CONSTRUCTION AS PART OF THE APPROVED ADDITION WAS PERFORMED. NO CONSTRUCTION HAS OCCURRED ON THE PROJECT FOR THE PAST 2 YEARS.
4. THE OWNER HAS DECIDED TO ABANDON THE NEW ADDITION PROPOSED IN THE ORIGINAL PERMITTED PROJECT.
5. THIS PROJECT PROPOSES TO COMPLETE THE CONSTRUCTION STARTED IN THE EXISTING 1533 BUILDING. THE PROJECT PROPOSES TO PROVIDE A COMMUNITY SERVICE CENTER TO PROVIDE RENTAL OFFICE SPACE FOR PROFESSIONAL, NON-PROFIT AND FOR PROFIT BUSINESS USES.
6. MOST INTERIOR PARTITIONS OF WOOD AND METAL STUD FRAMING CURRENTLY EXIST. THIS PROJECT PROPOSES TO PROVIDE MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS IN THE EXISTING BUILDING, AND COMPLETE THE INTERIOR FINISHES FOR FLOORS, WALLS AND CEILINGS WHICH WERE NOT COMPLETED IN THE PREVIOUSLY PERMITTED PROJECT.



ARCHITECT



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PROJECT NAME

1533-9th STREET NW
RENOVATIONS
1533 - 9th Street, NW
Washington, DC 20001
Square 0397 Lot 0031

CLIENT

Victory Village
Development Corporation
Shiloh Baptist Church
1500 - 9th Street, NW
Washington, DC 20001

PROJECT TEAM

MEP Engineers
George I. Worsley Associates
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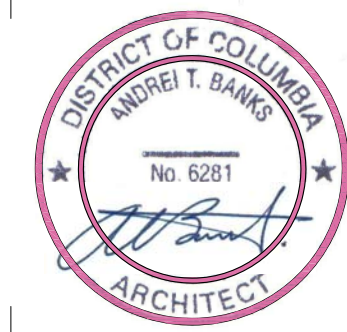
REVISIONS

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Cover Sheet

PROFESSIONAL SEAL



Jan 20, 2014

DATE OF ISSUE

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DESCRIPTION

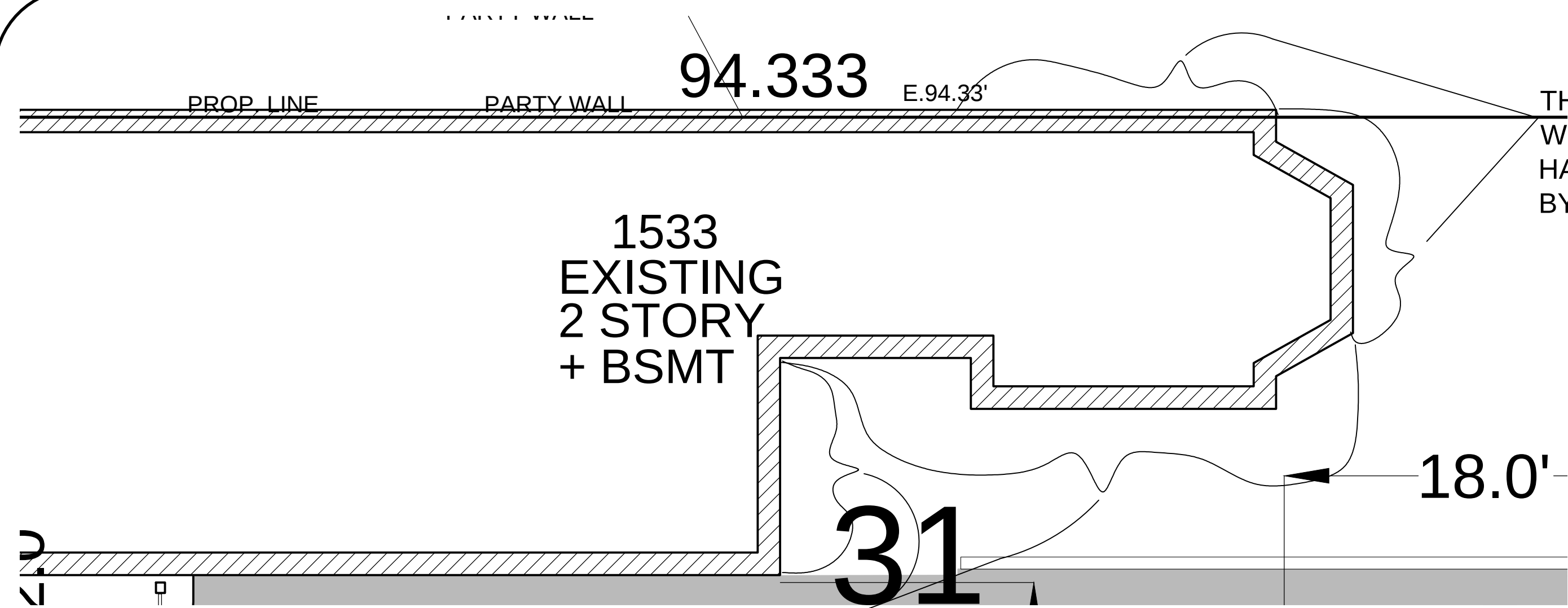
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SCALE	DRAWN BY
22-2014	A-000
PROJECT #	FILE NAME

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A000

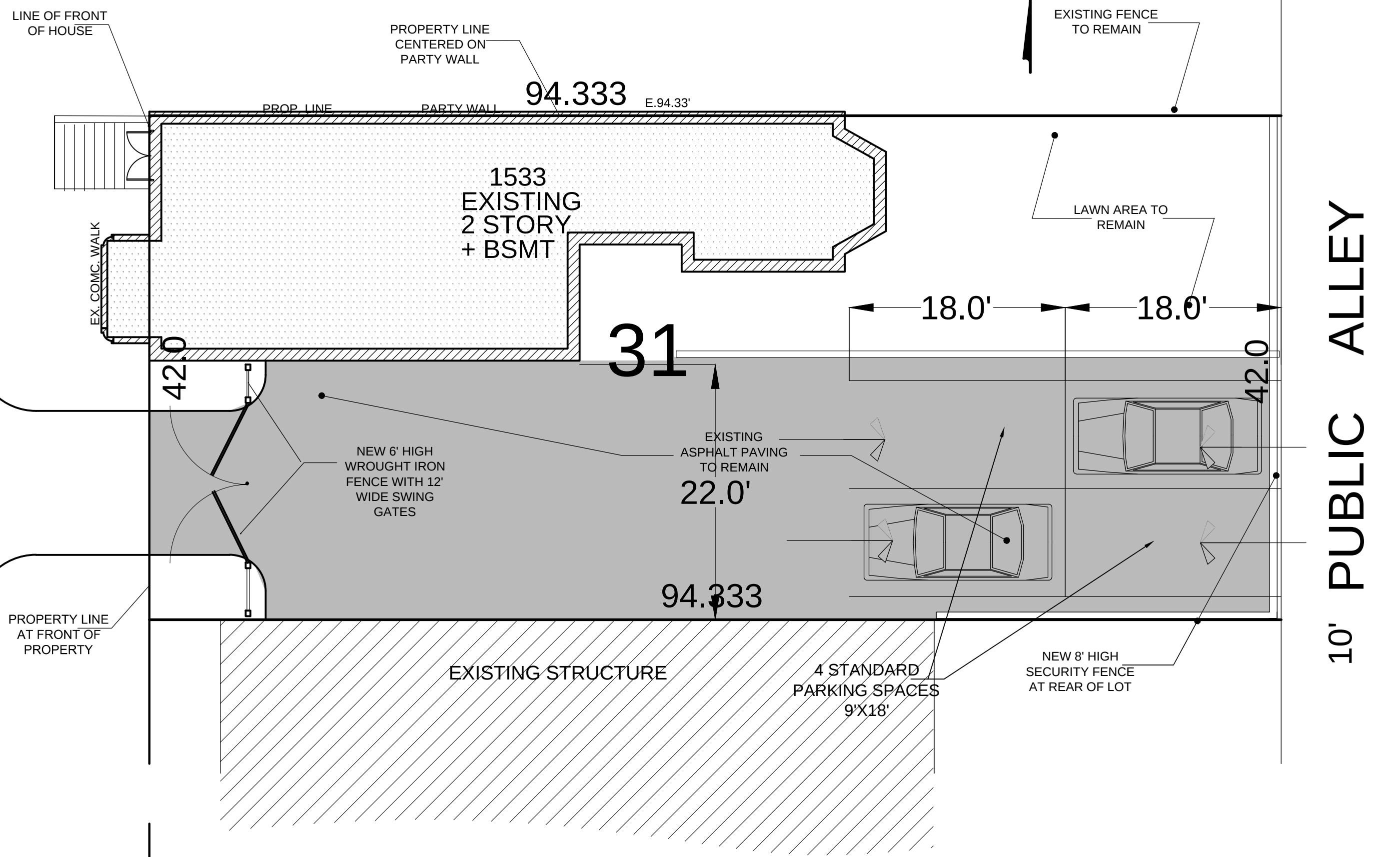
01 OF 13

Supplementing Adjustment
District of Columbia
CASE NO.19111
EXHIBIT NO.13



PLAN INDICATING MASONRY REPAIR ELEVATIONS
NTS

9th STREET, N.W.



SITE PLAN
FOR SQUARE 0773 LOT 0214

SCALE: 1/8" = 1'-0"

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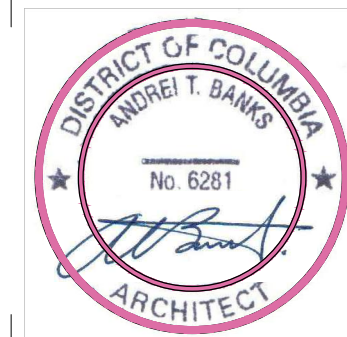
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REVISIONS	
1	7-19-15 PARKING MODS
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**ARCHITECTURAL
SITE PLAN**

PROFESSIONAL SEAL



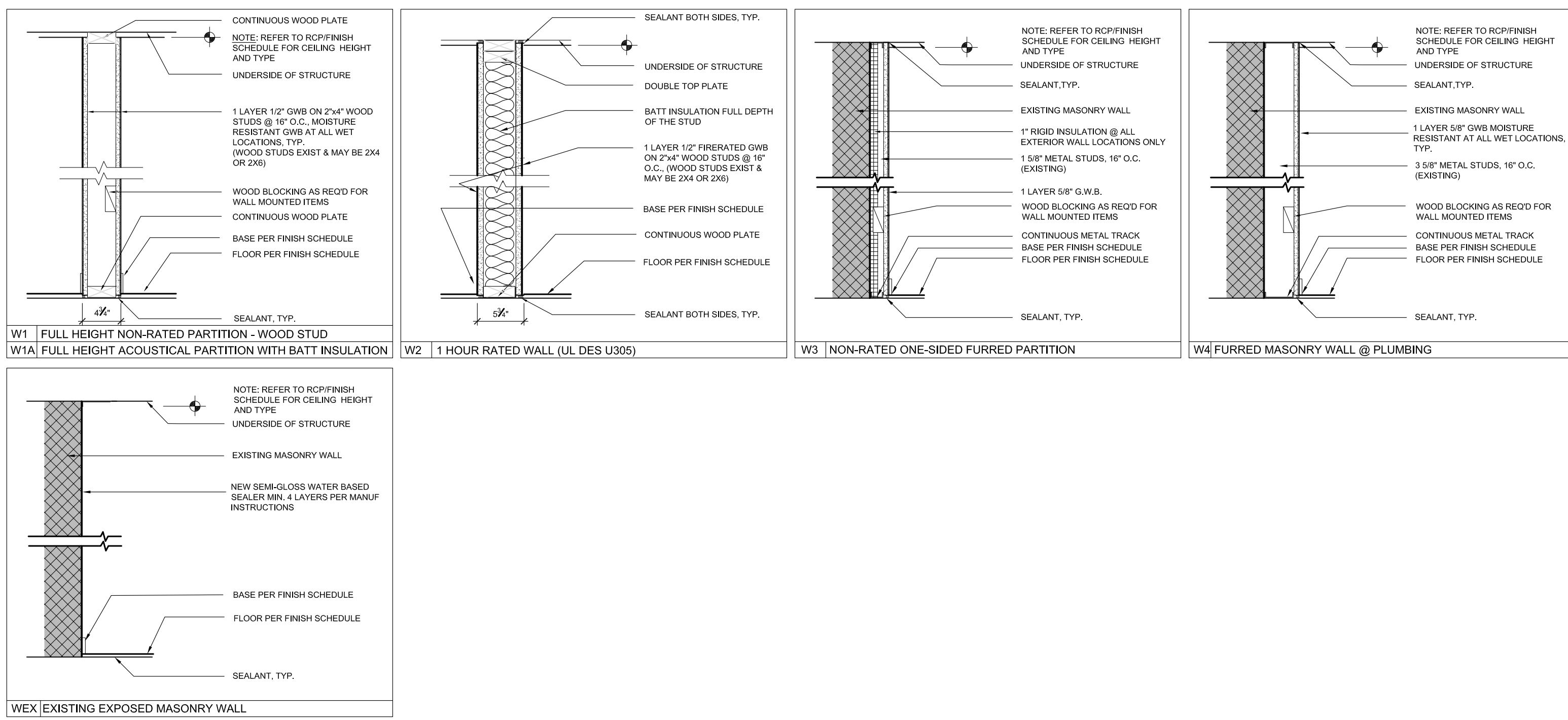
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DESCRIPTION

1/8"=1'-0" MWB
SCALE DRAWN BY
22-2014 A-002
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A001





WALL TYPES

- | | |
|---|---|
|  | Existing brick wall to be remain |
|  | New Wood Stud Wall |
|  | New Wood or Mtl Stud Wall
(Studs Existing) |
|  | Existing Wall to be Removed |

LEGEND

PLAN NOTES

- A. SHADED WALL INDICATE EXISTING MASONRY CONSTRUCTION TO REMAIN.
- B. EXISTING MASONRY WALLS ARE FURRED WITH METAL STUD FRAMING WHICH IS EXISTING.
- C. INTERIOR PARTITIONS SHOWN ARE EXISTING WOOD STUD FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
- D. EXCEPT IN A FEW SPECIFIC LOCATIONS, ALL INTERIOR FRAMING IS EXISTING, AND REQUIRES ONLY THE INSTALLATION OF GYPSUM WALLBOARD TO COMPLETE THE WALL CONSTRUCTION.

3 EXPOSED MASONRY

- A. WHERE EXPOSED MASONRY IS SHOWN, EXISTING MASONRY SHALL BE CLEANED, BRUSHED AND HAVE ALL LOOSE MATERIAL REMOVED. ONCE CLEAN AND DRY, APPLY MIN 4 COATS OF WATER-BASED BRICK SEALANT.
- B. WHERE EXPOSED MASONRY IS SHOWN, FILL ALL EXPOSED JOIST POCKETS WITH MASONRY TO MATCH EXISTING TO GREATEST EXTENT POSSIBLE, AND MORTAR JOINTS TO MATCH.

1. GENERAL CONTRACTOR MUST VISIT SITE PRIOR TO SUBMITTAL OF BIDS.
2. SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY FOR THEMSELVES EXISTING CONDITIONS AND THE NATURE AND EXTENT OF WORK TO BE DONE PRIOR TO BID.
3. DRAWINGS ARE BASED UPON THE BEST INFORMATION AVAILABLE AND ARE BELIEVED TO BE CORRECT. ANY VARIATIONS FROM INDICATED DIMENSIONS OR CONDITIONS SHALL BE BROUGHT TO THE ARCHITECTS IMMEDIATE ATTENTION. THE WORK IN THE PROBLEM AREA SHALL NOT PROCEED UNTIL APPROVED BY THE ARCHITECT.
4. ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF LOCAL CODES AND ANY OTHER STATE OR NATIONAL CODES HAVING JURISDICTION. THE REQUIREMENTS SHALL SUPERSEDE DRAWINGS AND SPECIFICATIONS.
5. THE CONTRACTOR SHALL TAKE OVER AND ASSUME RESPONSIBILITY FOR THE PREMISES AND SHALL PROVIDE AND MAINTAIN ALL PROTECTION REQUIRED BY THE GOVERNING LAWS, REGULATIONS, AND ORDINANCES. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY LOSS OR DAMAGE CAUSED BY HIM OR HIS WORKMEN TO THE PROPERTY OF THE LANDLORD OR TENANT OR TO THE WORK OR MATERIALS INSTALLED AND SHALL MAKE GOOD ANY LOSS, DAMAGE, OR INJURY WITHOUT COST TO THE OWNER OR EITHER PARTY.
6. THE CONTRACTOR SHALL ERECT TEMPORARY ENCLOSURES OVER OPENING'S WHEN SUCH ACTION IS NECESSARY FOR PROPER INSTALLATION OR PROTECTIONS OF ANY PORTION OF THE WORK. COST FOR SUCH BARRICADES SHALL PART OF THE WORK OF THIS GENERAL CONTRACT.
7. THE CONTRACTOR SHALL MAKE PROVISIONS AND COORDINATE WITH THE LANDLORD SUBS. TO PROVIDE ARRANGEMENTS FOR THE STORAGE AND REMOVAL OF CONSTRUCTION DEBRIS AND THE COSTS FOR SUCH PROVISIONS SHALL BE PART OF THIS WORK..
8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AND OTHER EQUIPMENT AS NECESSARY FOR LOSS FIRE PROTECTION DURING CONSTRUCTION.
9. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED AND PROTECTED AS RECOMMENDED BY THE MANUFACTURERS.
10. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER, WORKMANSHIP AND ALL MATERIALS SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM COMPLETION OF THE PROJECT AND BE SUBJECT TO THE ACCEPTANCE BY THE OWNER AS CERTIFIED BY THE ARCHITECT..
11. THE TENANT'S GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN AND THOROUGHLY FASHION DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH AND RUBBISH FROM THE JOB SITE DAILY.
12. CONTRACTOR AGREES TO ACCEPT ALL OWNER FURNISHED ITEMS AT THE JOB SITE AND UNLOAD AND TRANSPORT THESE ITEMS FROM THE TRUCK BED OF DELIVERY CARRIER TO THE INSTALLATION SPACE.
13. ALL EXTERIOR SITE WORK REQUIRED FOR ACCESSIBILITY REQUIREMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
15. PROVIDE MINIMUM R-19 INSULATION IN ALL EXTERIOR WALLS.

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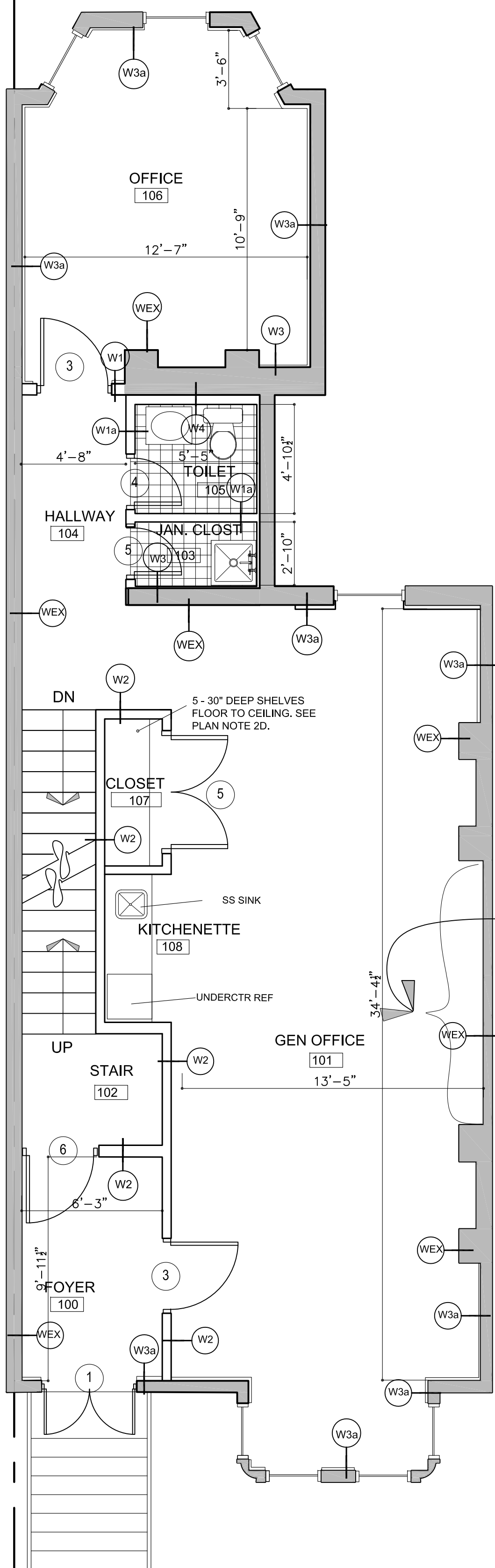
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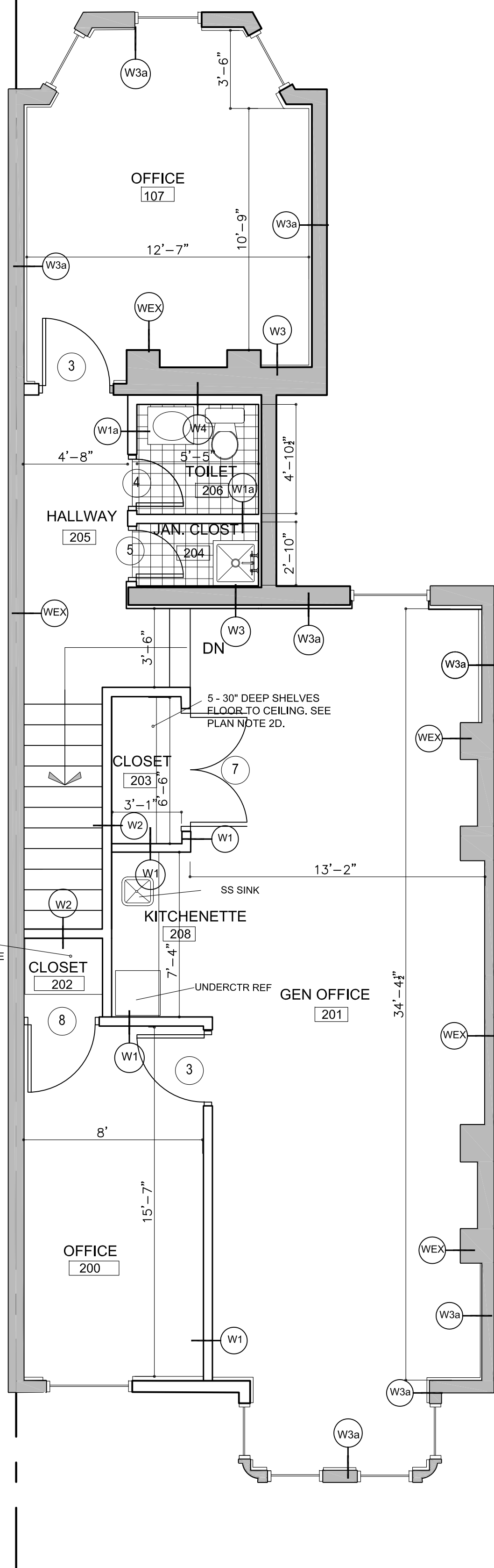
BASEMENT FLOOR PLAN

Jan 20, 2015	
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DESCRIPTION	
1/4"=1'-0"	MWB
SCALE	DRAWN BY
22-2014	A-100
PROJECT #	FILE NAME



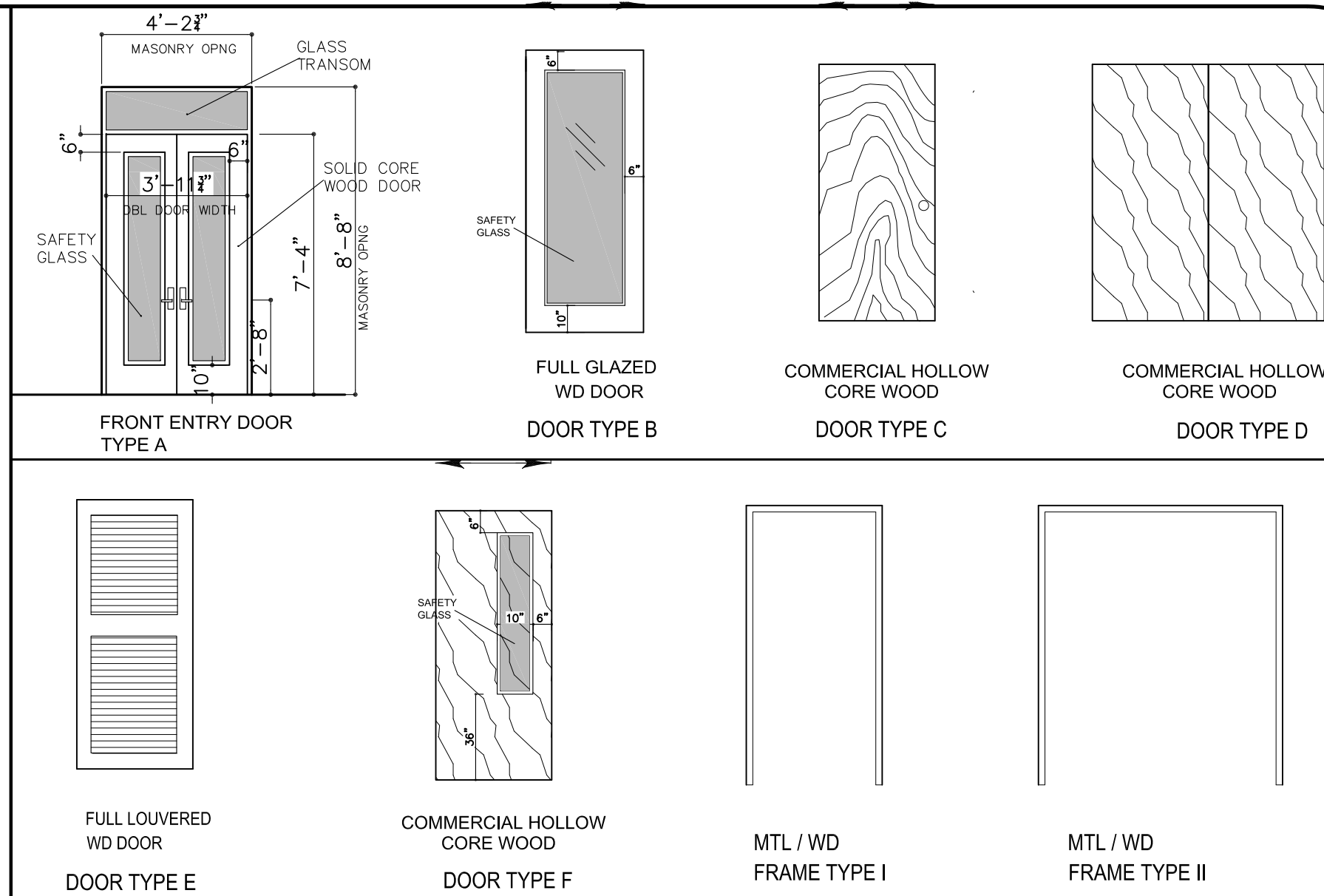
1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



DOOR SCHEDULE											
DOOR NUMBER	DOOR SIZE	TYPE	MAT.	FRAME MAT.	TYPE	RATING				HWDR.	REMARKS
1	(2) 1'-11" X 7'-0"	A	WD	WD	WD	2				A	FULL WEATHERSTRIPPING AND THRESHOLD
2	2'-8" X 6'-8"	F	HOL MTL	HOL MTL	1					A	FULL WEATHERSTRIPPING AND THRESHOLD
3	3'-0" X 6'-8"	B	WD	HOL MTL	1					A	FULL GLASS DOOR
4	2'-0" X 6'-8"	C	WD	WD	1					B	
5	2'-0" X 6'-8"	E	WD	WD	1					D	FULLY LOUVER DOOR
6	3'-0" X 6'-8"	F	WD	HOL MTL	1					D	EXIT HARDWARE
7	(2) 2'-0" X 6'-8"	D	WD	WD	2					D	DBL. CLOSET DOORS
8	3'-0" X 6'-8"	D	WD	WD	1					D	
9	3'-0" X 6'-8"	C	WD	WD	1					D	

DOOR SCHEDULE NOTES:

- HARDWARE GROUP "A" = ENTRANCE LOCK WITH SINGLE CYLINDER DEADBOLT LOCK - F-82 W/ DEAD BOLT.
- HARDWARE GROUP "B" = BATH/BEDROOM PRIVACY LOCK - F-76
- HARDWARE GROUP "C" = PASSAGE LOCK - F-75
- HARDWARE GROUP "D" = STORAGE LOCK - F-86

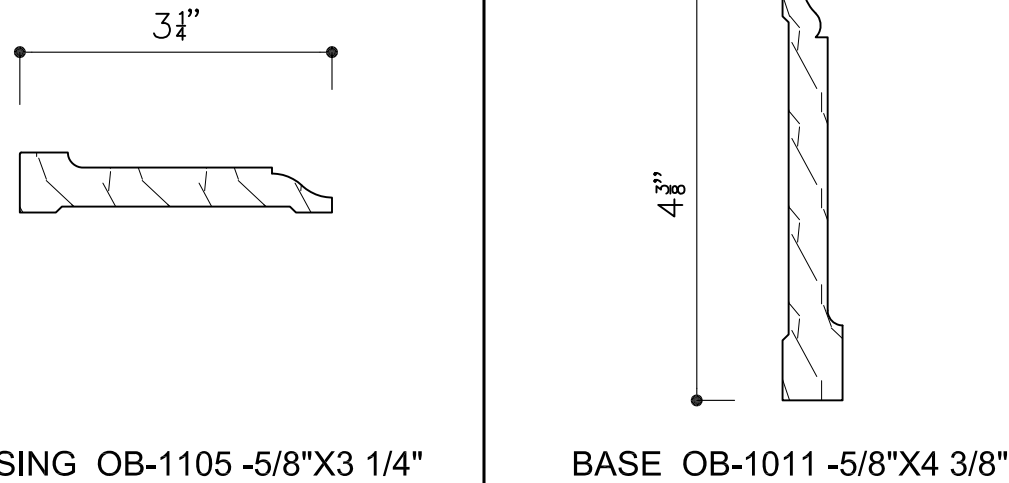
ROOM FINISH SCHEDULE																	
	ROOM NO.	ROOM NAME	FLOOR		WALLS								CEILING		REMARKS		
			MAT	FIN	BASE	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	HT			
BASEMENT	B-01	FOYER	WD	HD/TL	WD	GB/EB	PT	GB	PT	GB/EB	PT	GB	PT	ACT	9'-0"		
	B-02	GENERAL OFFICE	WD	CPT	WD	GB	PT	GB	PT	GB/EB	PT	GB	PT	ACT	10'-0"		
	B-03	COMMON AREA	WD	VCT	WD	GB/EB	PT	GB	PT	GB	PT	GB	PT	ACT	9'-0"		
	B-04	TOILET	WD	CER	CER	GB	CER	GB	CER	GB	CER	GB	CER	ACT	8'-0"	(WATER RESISTANT GYP.B.O.A.R.D.)	
	B-05	HALLWAY	WD	CPT	WD	EB	PT	GB	PT	GB	PT	GB	PT	ACT	9'-0"		
	B-06	TOILET	WD	CER	CER	GB	CER	GB	CER	GB	CER	GB	CER	ACT	8'-0"	(WATER RESISTANT GYP.B.O.A.R.D.)	
	B-07	OFFICE	WD	CPT	WD	GB	PT	GB	PT	GB	PT	GB	PT	ACT	10'-0"		
	B-08	JANITOR	WD	CER	CER	GB	CER	GB	CER	GB	CER	GB	CER	ACT	8'-0"	(WATER RESISTANT GYP.B.O.A.R.D.)	
FIRST FLOOR	100	FOYER	WD	HD/TL	WD	GB	PT	GB	PT	GB	PT	GB	PT	GB	PT	10'-0"	
	101	GENERAL OFFICE	WD	CPT	WD	GB	PT	GB	PT	GB/EB	PT	GB	PT	GB	PT	10'-0"	
	102	STAIR	WD	CPT	WD	GB	PT	GB	PT	GB	PT	GB	PT	GB	PT	10'-0"	
	103	JANITOR	WD	CER	CER	GB	CER	GB	CER	GB	CER	GB	CER	ACT	PT	8'-0"	(WATER RESISTANT GYP.B.O.A.R.D.)
	104	HALLWAY	WD	CPT	WD	GB/EB	PT	GB	PT	GB	PT	GB	PT	GB	PT	10'-0"	
	105	TOILET	WD	CER	CER	GB	CER	GB	CER	GB	CER	GB	CER	ACT	PT	8'-0"	(WATER RESISTANT GYP.B.O.A.R.D.)
	106	OFFICE	WD	CPT	WD	GB	PT	GB	PT	GB	PT	GB/EB	PT	ACT			
SECOND FLOOR	200	OFFICE	WD	CPT	WD	GB/EB	PT	GB	PT	GB/EB	PT	GB	PT	GB	PT	10'-0"	
	201	GENERAL OFFICE	WD	CPT	WD	GB	PT	GB	PT	GB/EB	PT	GB	PT	GB	PT	10'-0"	
	202	CLOSET	WD	CPT	WD	GB/EB	PT	GB	PT	GB	PT	GB	PT	GB	PT	8'-0"	
	203	STORAGE	WD	CPT	WD	GB	PT	GB	PT	GB	PT	GB	PT	GB	PT	8'-0"	
	204	JANITOR	WD	CER	CER	GB	CER	GB	CER	GB	CER	GB	CER	ACT	PT	8'-0"	(WATER RESISTANT GYP.B.O.A.R.D.)
	205	HALLWAY	WD	CPT	WD	GB/EB	PT	GB	PT	GB	PT	GB	PT	GB	PT	10'-0"	
	206	TOILET	WD	CER	CER	GB	CER	GB	CER	GB	CER	GB	CER	ACT	PT	8'-0"	(WATER RESISTANT GYP.B.O.A.R.D.)
	207	OFFICE	WD	CPT	WD	GB/EB	PT	GB	PT	GB	PT	GB	PT	ACT	PT	10'-0"	

CONC - SEALED CONCRETE
CPT - CARPET
GB - GYPSUM BOARD
VCT - VINYL COMPOSITION TILE
HD/TL - 12"X12" HARD TILE

PT - PAINT
CT - CERAMIC TILE
WD - WOOD
WRGB - WATER RESISTANT GYPSUM BOARD
EB - EXPOSED EXISTING BRICK - WITH SEALER

GENERAL NOTES - ROOM FINISH SCHEDULE

- ALL INTERIOR TRIM TO BE PAINTED WITH SEMI-GLOSS. COLOR TO BE SELECTED.
- RE-INTERIOR ELEVATIONS FOR LOCATIONS OF MIRRORS AND OTHER WALL TREATMENTS.
- GYPSUM BOARD TO HAVE EGGSHELL PAINT FINISH.
- ALL CERAMIC TILE TO BE INSTALLED IN THIN-SET MORTAR OVER APPROPRIATE SMOOTH UNDERLAYMENT.



1 WOOD TRIM SHAPES
Shape Designs are by OB Willms Company, Seattle, Washington

SCALE: 6"= 1'-0"

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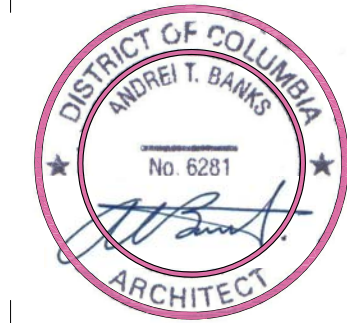
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REVISIONS
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SECOND FLOOR PLAN & SCHEDULES

PROFESSIONAL SEAL



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1/4"=1'-0" MWB
SCALE DRAWN BY
22-2014 A-110
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A-110

5 OF 13



Existing 9th Street Elevation
SCALE: NTS



Proposed 9th Street Elevation
SCALE: NTS



Existing 9th Street Elevation
SCALE: NTS

REPAIR EXISTING PARGED MASONRY WALL. REMOVE ALL LOOSE AND DAMAGE PARING (ESTIMATED AS 25% OF THE SURFACE) AND REPARGE SUR TO PROVIDE SMOOTH CLEAN SURFACE

EXISTING ASPHALT PAVING. PROVIDE NEW TOP COATING.



Existing North Side Elevation
SCALE: NTS

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