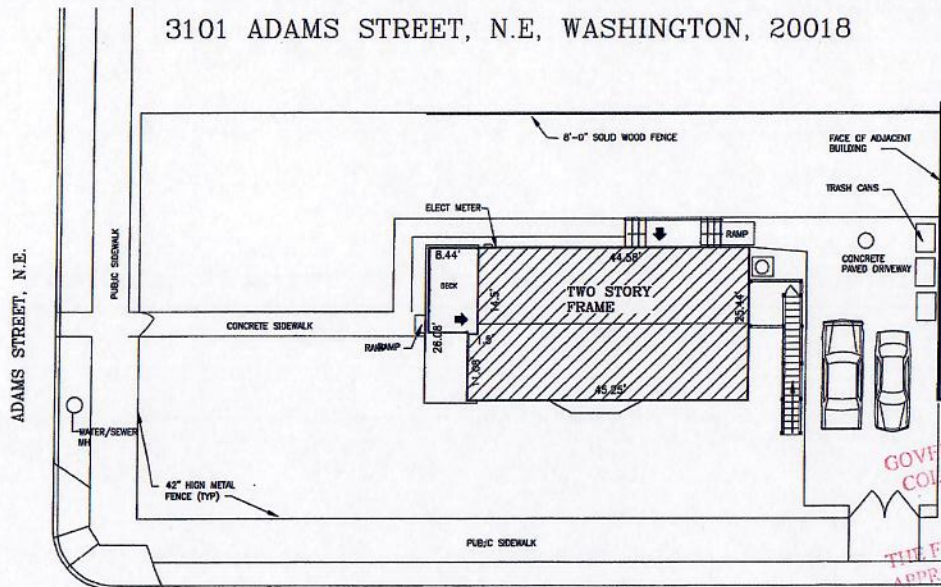


GROWTHSPURTS CHILD DEVELOPMENT CENTER

3101 ADAMS STREET, N.E., WASHINGTON, 20018



GENERAL NOTES:

1. The Contractor shall secure and pay for the electrical and plumbing building permit.
2. The Owner is to receive a copy of all receipts for materials and equipment purchased.
3. The Owner is to supply the Contractor the number of sets of drawings he needs. The Contractor is to have one set of the stamped Permit sets and the Owner the other set. The Owner is to make copies of all permits and post the original as required.
4. The Contractor shall pay particular attention to the dust caused by debris during demolition. Remove rejected materials promptly. Do not block the public sidewalks or streets with materials. Do not clutter the front yard with materials and debris for any length of time.
5. The Contractor shall not exceed the Contract budget without having first obtained the Owner's approval. The Owner is to be notified of any unforeseen or unexpected findings before action is taken.
6. The Contractor is responsible for abiding by the requirements of THE District of Columbia Codes. The Contractor is to call for the proper inspections as required by the jurisdiction. The Owner is to receive copies of all such inspection reports (including approvals and disapprovals.)
7. The Contractor is to provide all of the tools and equipment NEEDED TO PERFORM THE WORK, AND TO REMOVE DEBRIS ON HIS PART.
8. The Contractor is to arrange working hours, entry to the building, security, and the amount of time required to do the work.
9. A payment schedule is to be arranged with the Owner. The schedule shall not be changed without the approval of the work presently done and the need justified.
10. At the acceptance of the finished work, the Contractor shall provide the Owner a minimum one year warranty in writing covering his workmanship and materials. Also all manufacture's literature, manuals, warranties and extra parts
11. See SED drawing for sediment control.

31 ST STREET N.E.

EXISTING SITE
SCALE 1"=20'-0"

CALCULATIONS LOT: 0005 SQUARE 4364

EXISTING CONDITIONS	ZONE R-1B	ZONING REQUIREMENTS	SCOPE OF WORK
FOOT PRINT	1373.00 SF	LOT OCCUPANCY 40%	EXISTING CONDITIONS
LOT SIZE	5088.00 SF	THREE STORIES OR 40 FEET	
LOT OCCUPANCY	1373 SF OR 16%	REAR YARD 25'-0"	
		SIDE YARD 8'-0"	
FIRST FLOOR	995.00 GSF		
FRONT PORCH	179.00 GSF		
REAR PORCH	48.00 GSF		
TOTAL GROSS SF	1266.00 GSF		

CODES: INTERNATIONAL BUILDING CODE- 2012, NFPA 101- 1999, ICC
INTERNATIONAL BUILDING CODE-2012, NFPA-2003, ICC INTERNATIONAL
MECHANICAL CODE-2012

LIST OF DRAWINGS:

- A-1 SITE PLAN AND NOTES
- C-1 SITE PLAN & Duct Extinguishing System(s)
- F-1 EGRESS PLANS
- A-2 EXISTING FIRST FLOOR PLAN
- A-3 EXISTING SECOND FLOOR PLAN
- M-1 FIRST & SECOND FLOOR MECHANICAL PLANS
- M-2 MECHANICAL DETAILS
- E-1 FIRST & SECOND FLOOR ELECTRICAL PLANS

CODE IBC-2012	BUILDING EXISTING	ALTERATION PROPOSED
IBC 2012 OCCUPANCY CLASSIFICATION	A	BE
CONSTRUCTION TYPE (USE GROUP B)	III B	III B
NO. OF STORIES ABOVE GRADE	2	2
HIGH RISE (Y/N)	N	N
OCCUPANCY LOAD (MAX 35 SF PER PERSON)	38	38
FULLY SPRINKLERED & MONITORED (Y/N)	N	N
FLOOR AREA ADDITION	1266 SF	1266.00 SF
FIRE ALARM SYSTEM	NO	YES
EXTERIOR WALLS- 8" FRAME/BSMT. SOLID MASONRY	2 HOUR RATED	2 HOUR
NUMBER OF UNITS	1	1
STAIR ENCLOSURE	NONE	NONE



Board of Council Adjustment
District of Columbia
CASE NO.19107
EXHIBIT NO.10

Patrick Art Team

NO. REVISIONS

DATE

GROWTHSPURTS CHILD DEVEL CENTER
3101 ADAMS ST. N.E., WASH DC

Pat

DATE

25-201

NO. NO.

19107

19107

19107

19107

19107

19107

19107

19107

19107

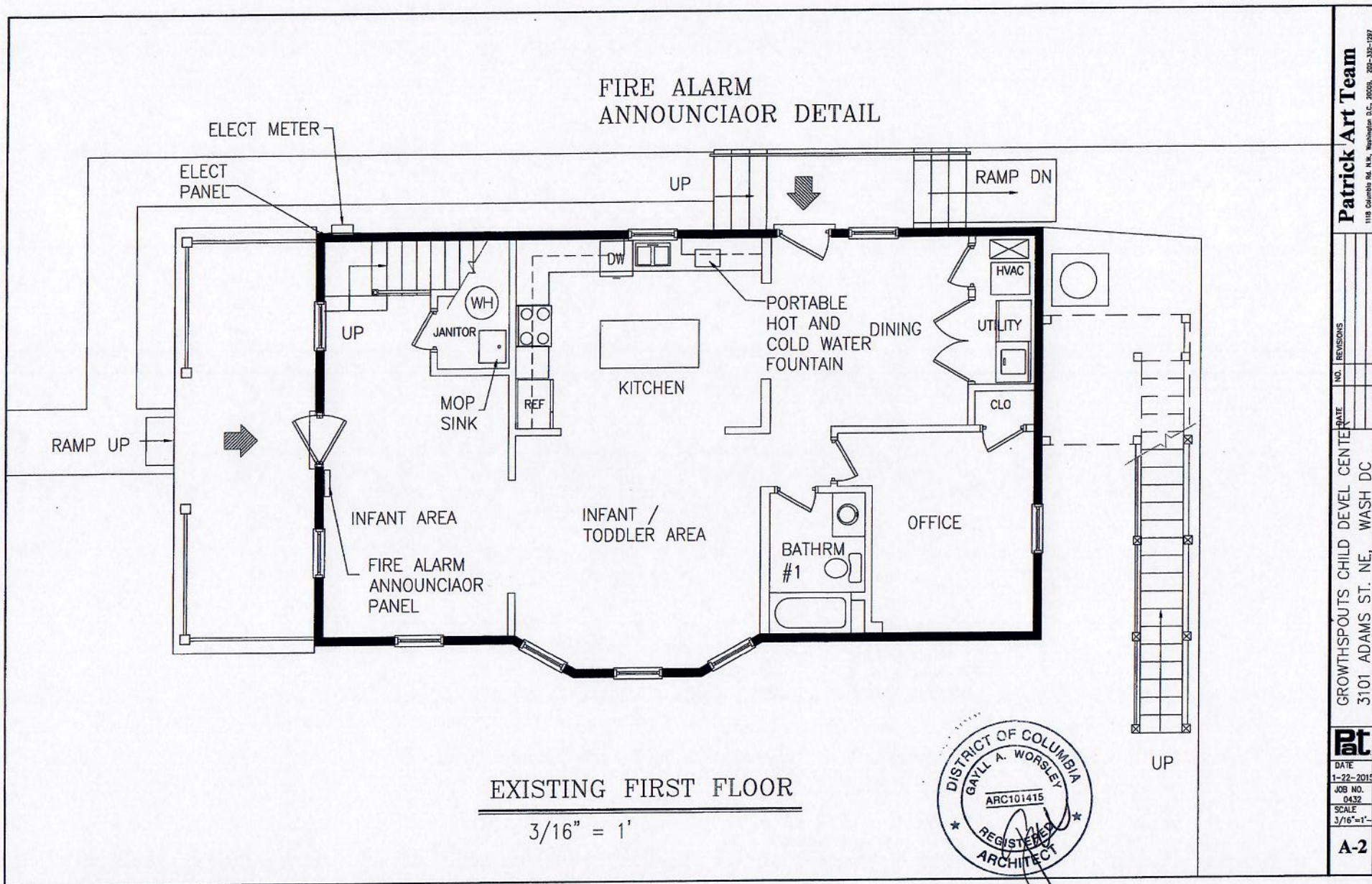
19107

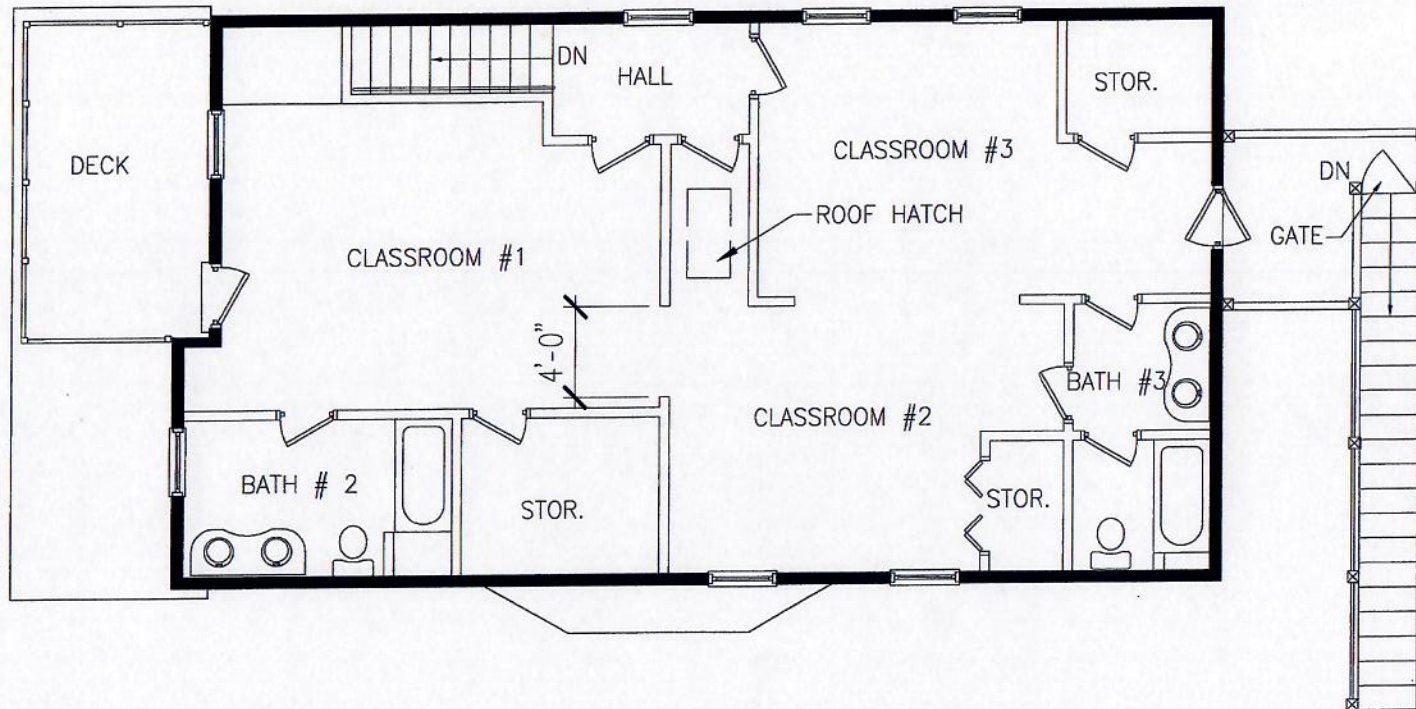
19107

19107

19107

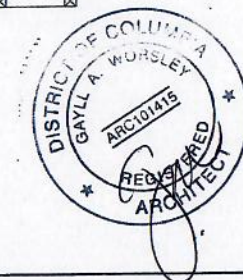
19107



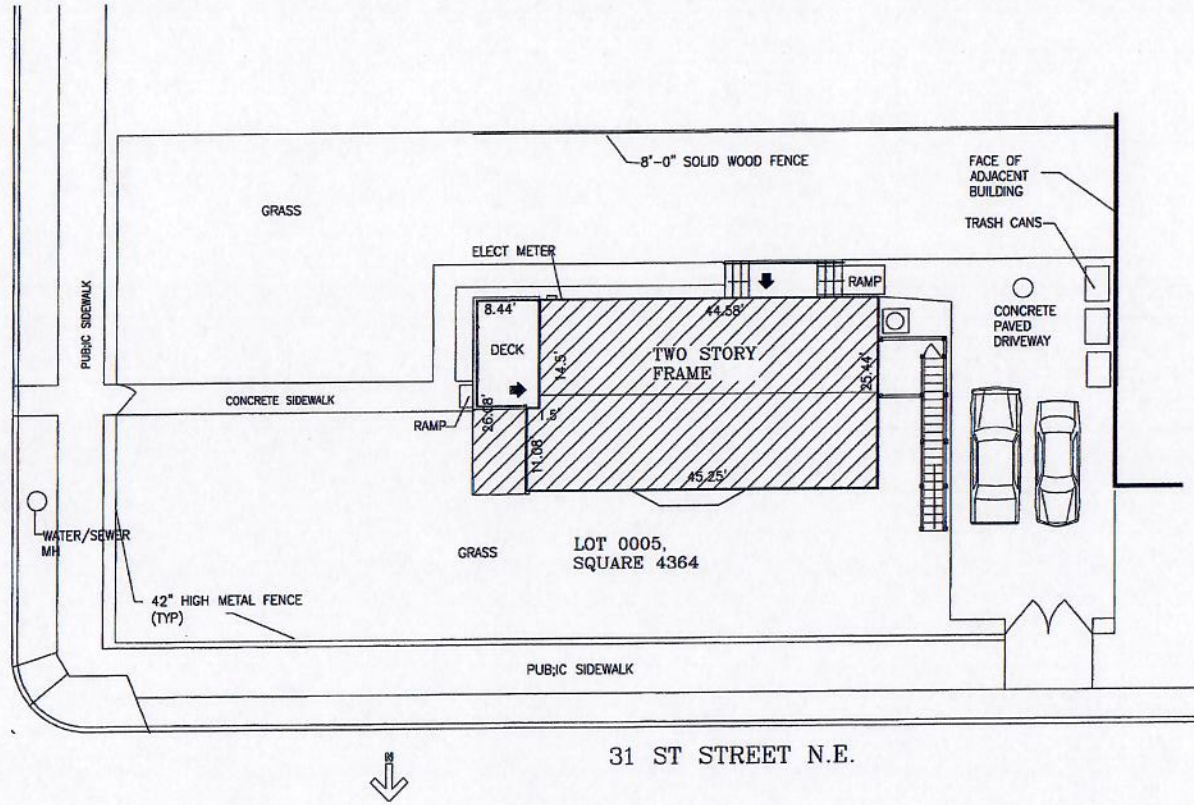


EXISTING SECOND FLOOR

3/16" = 1'



ADAMS STREET, N.E.



EXISTING SITE
SCALE $\frac{1}{16}'' = 1'-0''$

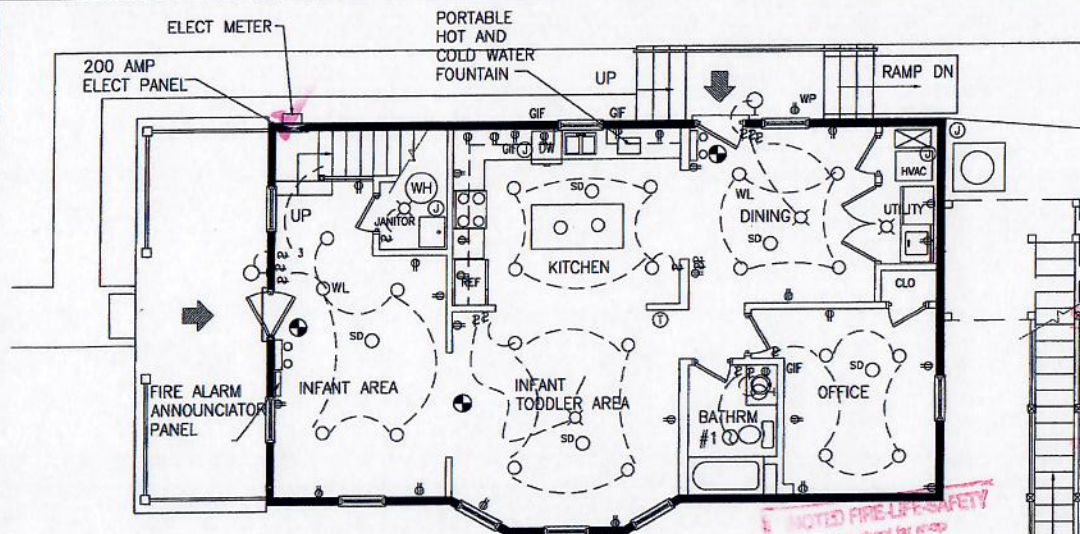


Patrick Art Team
1118 Columbia Rd. N.W. Washington D.C. 20009 202-332-1977

DATE	NO.	REVISIONS

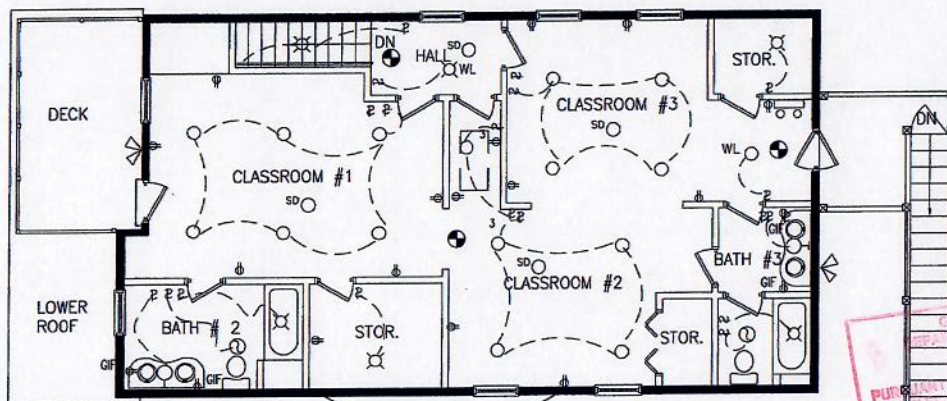
ARC
DATE
1-22-2015
JOB NO.
0432
SCALE
1/16"=1'-0"

C-1



EXISTING FIRST FLOOR ELECTRICAL

1/8" = 1'



EXISTING SECOND FLOOR ELECTRICAL

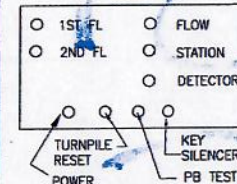
1/8" = 1'

LEGEND

SWITCH	GFI OUTLET	JUNCTION BOX	ELECTRICAL PANEL
3 WAY SWITCH	EXHAUST FAN	THERMOSTAT	WALL MOUNTED LIGHT
DUPLEX OUTLET	COMBINED SMOKE DETECTOR AND CARBON MONOXIDE, HARD WIRED	FIRE ALARM BELL	DOOR BELL
DEDICATED OUTLET	BATTERY PACK	FLOOR DRAIN	FIRE EXTINGUISHER
6" DIA RECESSED CAN LIGHT	WEATHER PROOF DUPLEX OUTLET	EXIT SIGN	PULL STATION
EMERGENCY WHITE LIGHT	STROBE LIGHT	24" X 48" SURFACE MOUNTED FLUORESCENT LIGHT	
INCANDESCENT LIGHT			

ELECTRICAL PANEL SCHEDULE

#	DESCR.	TRIP	POLES	VOLTS	#	TRIP	POLES	VOLTS	DESCR.
30	DISHWASHER/RECEPT	15	2	120	29	15	2	120	LIGHTS
28	RECPT	15	1	120	27	15	1	120	RECPT
26	JACUZZY TUB	20	1	100	25	15	1	120	RECPT
24	WASHING MACH	20	1	100	23	15	2	120	SMOKE DET./ZEL LIGHTS
22	BATH / RECPT	20	1	100	21	15	1	100	RECPT
20	LIGHTS GFCS	20	1	100	19	20	1	100	MICROWAVE
18	KIT-WM-GFCI	20	1	100	17	15	1	120	LIGHTS
16	D/R	30	1	100	15	15	1	120	LIGHTS
14	D/R	30	1	100	13	20	1	100	RECPT
12	RANGE/HOOD	50	1	100	11	20	1	100	RECPT
10	RANGE/HOOD	50	1	100	9	20	1	100	REFRIGERATOR
8	WATER HEATER	30	1	100	7	40	1	100	AIR CONDITION
6	WATER HEATER	30	1	100	5	40	1	100	AIR CONDITION
4	HVAC	30	1	100	3	60	1	100	HVAC
2	HVAC	30	1	100	1	60	1	100	HVAC



FIRE ALARM ANNUNCIATOR DETAIL

- ELECTRICAL NOTES: (PROVIDE 1 YEAR WARRANTY FOR NEW WORK)
1. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA ELECTRICAL CODES.
 2. ALL EXTERIOR ELECTRICAL WORK SHALL BE WATER PROOF. ALL WIRING TO BE COPPER.
 3. OUTLETS IN THE KITCHEN LOCATED ABOVE COUNTER TOPS SHALL BE 3'-6" ABOVE THE FLOOR AND GFI
 4. OUTLETS IN THE TOILETS, KITCHEN AND UTILITY CLOSET SHALL BE GFI.
 5. ALL ELECTRICAL WIRING SHALL BE CONCEALED IN WALLS, CEILINGS AND FLOORS.
 6. ALL SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACKUP.
 7. TIE ALL ELECTRICAL WORK INTO THE EXISTING ELECTRICAL PANEL.
 8. METERS SHALL BE LOCATED OUTSIDE WHERE SHOWN.
 9. ALL BEDROOM OUTLETS SHALL BE AFCI (NEC 2005 210-12).

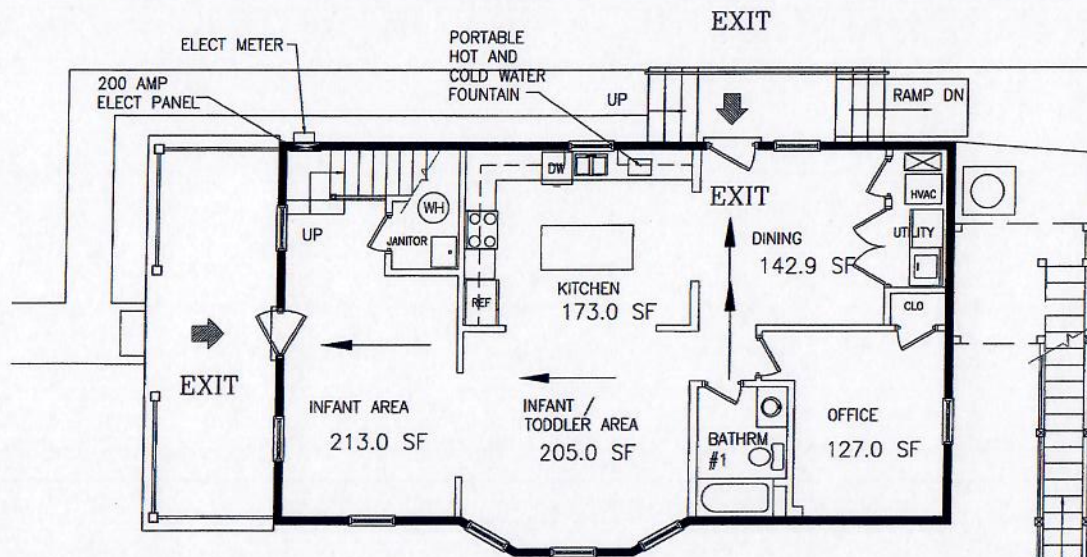
Patrick Art Team

GROWTHSPOUTS CHILD DEVELOPMENT CENTER
3101 ADAMS ST. NE, WASH DC

DATE

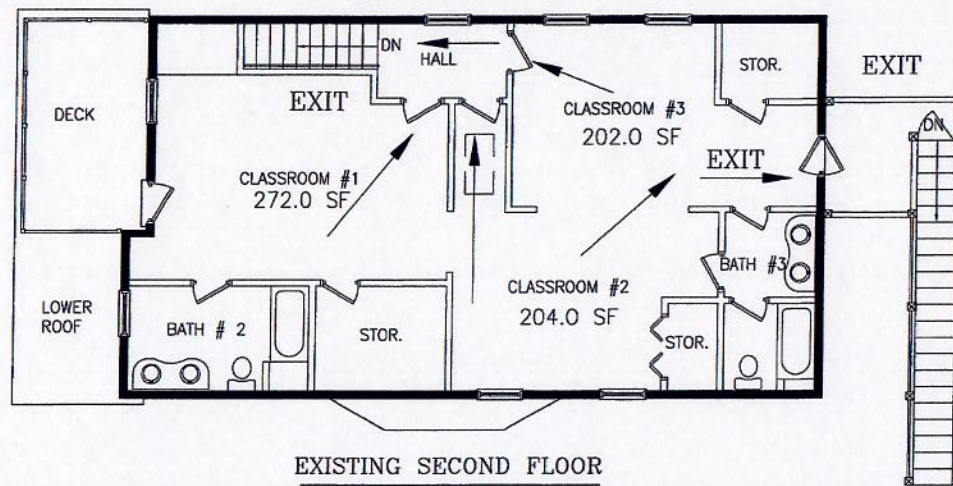
11-22-2015
SHEET NO. 0432
SCALE 1/8"=1'-0"

E-1



EXISTING FIRST FLOOR

1/8" = 1'



EXISTING SECOND FLOOR

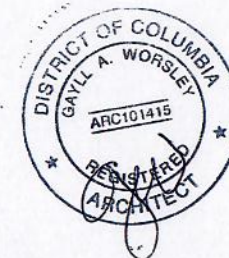
1/8" = 1'

OCCUPANT LOAD CHART
(35 SF PER PERSON)

SPACE	NET SQ. FEET.	CHILD 0-2.5 YEARS	OVER 2.5 YEARS	STAFF	TOTAL
FIRST FLOOR					
TODDLER	205.0	5	0	3	8
INFANT AREA		5	0	2	7
SECOND FL					
CLASSRM #1	272.0	0	8	1	9
CLASSRM #2	204.0		6	1	7
CLASSRM #3	202.0	0	6	1	7
TOTAL	2113	10	20	8	38

BUILDING DATA

USE GROUP: E
CONSTRUCTION TYPE : 3B
ZONE R-1B
SQUARE 4364, LOT 0005



Patrick Art Team

1116 Columbia Rd., N.W., Washington, D.C., 20006, 202-332-1287

NO. REVISIONS

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

GROWTHSPOUTS CHILD DEVEL CENTE
3101 ADAMS ST. NE, WASH DC

Pat

DATE

1-22-2015

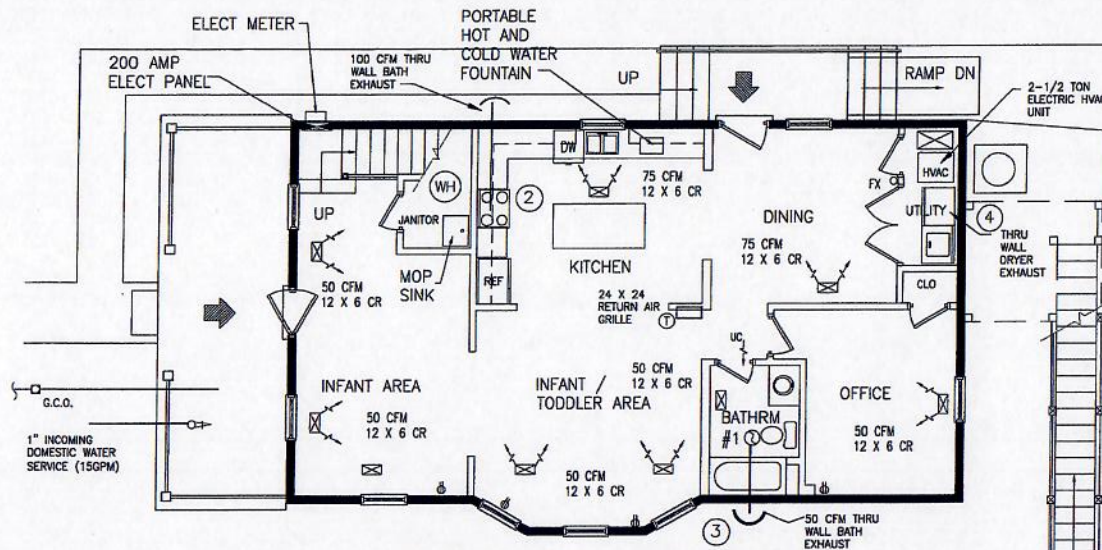
JOB NO.

0432

SCALE

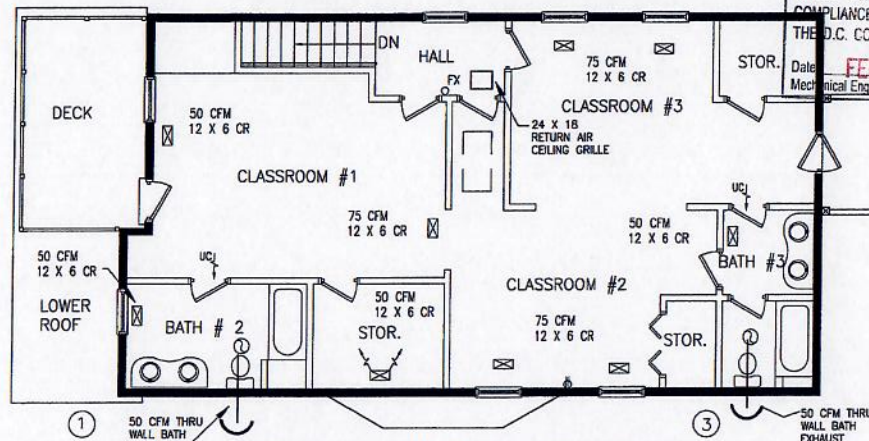
1/8"=1'-0"

F-1



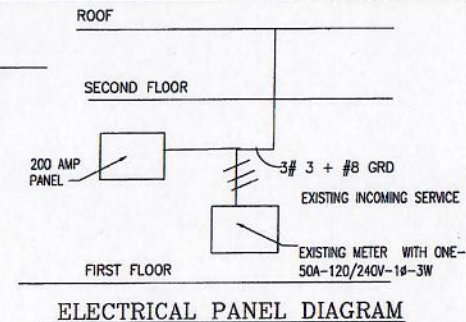
EXISTING FIRST FLOOR MECHANICAL

1/8" = 1'



EXISTING SECOND FLOOR MECHANICAL

1/8" = 1'



MECHANICAL LEGEND

- SPRINKLER HEAD AND LINE
- DUCTS
- UC DOOR UNDERCUT
- F.D. FIRE DAMPER
- REGISTER
- DUCTWORK
- T.G. TRANSFER GRILLE
- V.D. VOLUME DAMPER
- O.E. ONE EXTINGUISHER
- F.R. FLOOR REGISTER
- O.A.I. OUTSIDE AIR INTAKE
- CEILING, WALL OR FLOOR REGISTER
- EXHAUST FAN
- THERMOSTAT

THE GENERAL LAYOUT OF THE MECHANICAL SYSTEMS AND OR THE MECHANICAL EQUIPMENT SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.

Date: **FEB 09 2015**
Mechanical Engineering Section

MECHANICAL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES OF THE DISTRICT OF COLUMBIA.
2. PROVIDE A MOP SINK IN THE JANITOR CLOSET
3. INSULATE ALL SUPPLY AIR DUCTWORK WITH 1" FIBERGLASS INSULATION.
4. INSULATE THE REFRIGERANT LINES WITH 1/2" RUBBER INSULATION.
5. COORDINATE ALL DUCTWORK WITH STRUCTURAL AND INSTALL TO FIT BETWEEN THE JOIST OR BELOW THE JOIST AS REQUIRED.
6. ALL COLD WATER, HOT WATER AND VENT PIPING SHALL RUN IN THE CEILING OF IN WALLS. ALL SANITARY SEWER PIPING SHALL RUN UNDER THE FLOOR.
7. ALL COLD AND HOT WATER PIPING SHALL BE INSULATED WITH 1" THICK FIBERGLASS INSULATION.
8. HOSE BIBS SHALL BE INSTALLED ON OUTSIDE WALL 4'-0" HIGH FROM THE GROUND LEVEL AND HOSE BIB SHALL BE FREEZE-FREE MODEL.
9. COLD AND HOT WATER PIPING SHALL BE PROVIDED WITH COPPER PIPE, TYPE K (COPPER-ASTM B88)
10. PROVIDE CUT OFF VALVES FOR ALL PLUMBING FIXTURES, INCLUDING WASHER, WATER HEATER AND TUBS ACCESSIBLE THRU ACCESS PANELS WHERE REQUIRED

Patrick Art Team

NO. REVISIONS

DATE

DATE

GROWTHSPOTS CHILD DEVELOPMENT CENTER
3101 ADAMS ST. NE, WASH DC

Pat

DATE

2-22-2015

JOB NO.

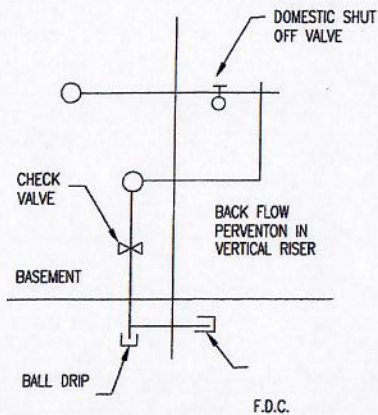
10412

DATE

2/18/15

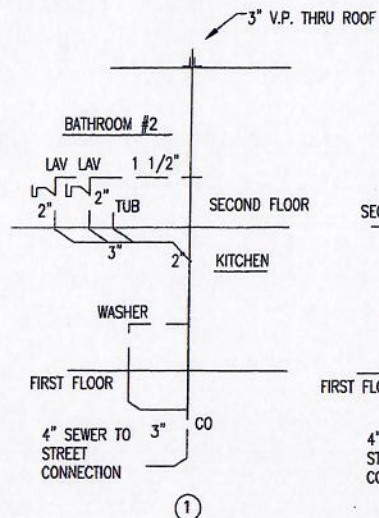
1/8" = 1'-0"

M-1



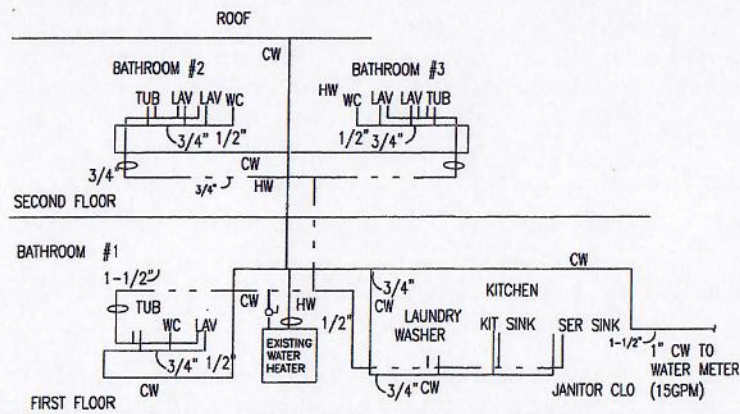
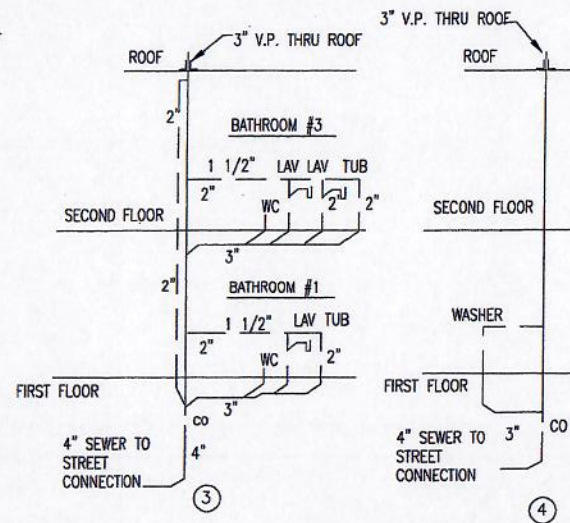
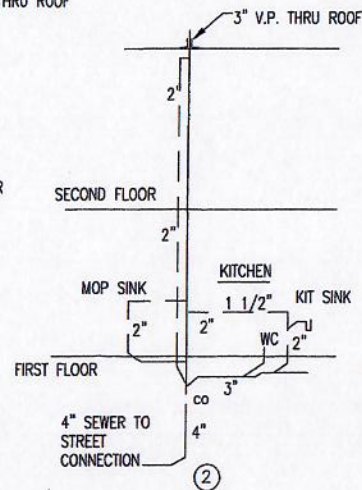
WATER SERVICE

NO SCALE



PLUMBING RISER DIAGRAMS

NO SCALE



WATER RISER DIAGRAM

PLUMBING SCHEDULE									
MARK	FIXTURE	PIPE CONNECTION							
		VENT	WASTE	DFU	HW	CW			
WC	WATER CLOSET	—	3"	4	—	1/2"	4		
LAV	LAVATORY	2"	2"	1	1/2"	1/2"	4		
K. S.	KITCHEN SINK W/DISPOSAL	1-1/2"	2"	2	1/2"	1/2"	2		
HB	HOSE BIBB	—	—	—	—	1/2"	2		

RETURN AIR GRILLE = LIMA SERIES 1911 (R40)
KITCHEN DIFFUSER = WR-1

SUPPLY REGISTER SCHEDULE					
CFM	NECK SIZE	ROUND DUCT SIZE	OVERALL SIZE	MFG AND MODEL NO.	REMARKS
0-60	NA	5" ø	8" x 6"	LIMA (RESIDENTIAL MODEL FOR CEILING AND FLOOR REGISTERS)	COLOR SELECTION BY ARCH. SUBMIT FOR APPROVAL
61-100	NA	6" ø	10" x 6"		
101-150	NA	7" ø	12" x 6"		
151-200	NA	8" ø	14" x 6"		

THE GENERAL LAYOUT OF GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date **FEB 03 2015**
Mechanical Engineering Section

SEPARATE ELECTRICAL, PLUMBING AND MECHANICAL INSTALLATION PERMITS ARE REQUIRED.



Patrick Art Team
1118 Columbia Rd. N.W., Washington D.C., 20009, 202-332-1377

GROWTHPOUTS CHILD DEVEL CENTER
3101 ADAMS ST. NE, WASH DC

PE
DATE 1-22-2015
JOB NO. 0432
SCALE 1/8"=1'-0"

M-2