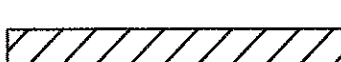


## LEGEND

|                                                                                       |                      |
|---------------------------------------------------------------------------------------|----------------------|
|    | WATER LINE           |
|    | TREE                 |
|    | SHRUB                |
|    | GAS METER            |
|   | STORMDRAIN MANHOLE   |
|  | SEWER MANHOLE        |
|  | SPT9                 |
|  | SPT10                |
|  | TRAVERSE POINT       |
|  | UTILITY POLE         |
|  | SEWER LINE           |
|  | PROPERTY LINE        |
|  | LIMIT OF DISTURBANCE |
|  | SILT FENCE           |
|  | WOOD FENCE           |
|  | CHAIN LINK FENCE     |
|  | REMOVE TREE          |
|  | DEMOLITION WORK      |

D.C BOUNDARY NOTE

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE DISTRICT OF COLUMBIA SURVEYOR'S OFFICE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. A "SURVEY TO MARK" PREPARED BY A DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR MAY BE REQUIRED TO ESTABLISH THE FINAL BOUNDARY LOCATION FOR THIS PROPERTY.

## UTILITY NOTE

THE UNDERGROUND UTILITY LOCATIONS SPECIFICALLY NOTED IN THE TABLE BELOW AND GRAPHICALLY SHOWN HEREON HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES GUARANTEE THAT THE LOCATION INDICATED FROM THE INFORMATION NOTED IN THE TABLE BELOW COMPRISES THE RECORD INFORMATION OBTAINED BY THE SURVEYOR. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, UNLESS SPECIFICALLY NOTED ON THE DRAWING. THE FOLLOWING UTILITY COMPANIES HAVE BEEN SOLICITED FOR THEIR PLANS AND RECORD UTILITY DRAWINGS, LISTED BELOW ARE SPECIFIC PLAN/SHEET NUMBERS OF DRAWINGS PROVIDED BY THE UTILITY COMPANY OR LACK OF RESPONSE IS NOTED.

WATER & SEWER PLANS: WAS-  
W.A.S. WATER & SEWER PLAN B-10-NE (WATER & SEWER)

THE OWNER/DEVELOPER OF THE SUBJECT PROPERTY IS RESPONSIBLE FOR OBTAINING INFORMATION AND COORDINATING WITH ALL OTHER UTILITIES NOT LISTED IN THE TABLE ABOVE. THE OWNER/DEVELOPER IS ALSO RESPONSIBLE FOR CONTACTING "MISS UTILITY" 48 HOURS PRIOR TO CONSTRUCTION.

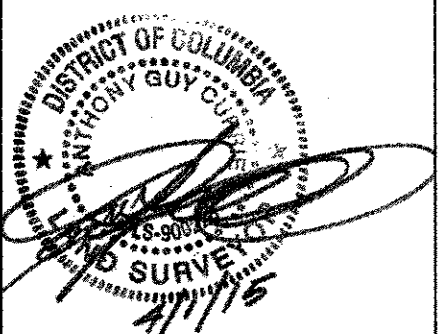
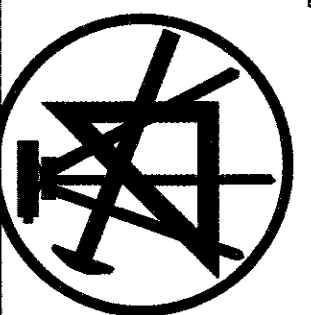
NOTES:

- 1) THE SUBJECT PROPERTY IS LOCATED AS TAX ASSESSMENT NO. 3118 0078. THE SITE ADDRESS IS 87 V STREET, NORTH WEST, WASHINGTON, DC
- 2) THE HORIZONTAL DATUM IS BASED ON PLAN FROM THE OFFICE OF THE SURVEYOR, DISTRICT OF COLUMBIA.
- 3) ON SITE BENCH MARK NONE
- 4) THE VERTICAL DATUM IS BASED ON DC SEWER MANHOLE
- 5) NO TITLE REPORT FURNISHED.

"MISS UTILITY" NOTE

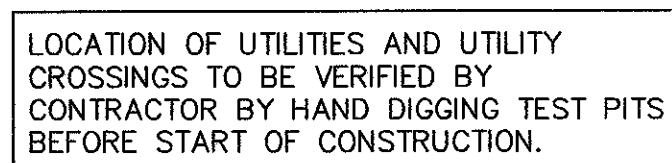
CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.

**CURRIE AND ASSOCIATES**  
CONSULTING  
ENGINEERS, SURVEYORS AND PLANNERS  
3331 TOLEDO TERRACE, SUITE 105



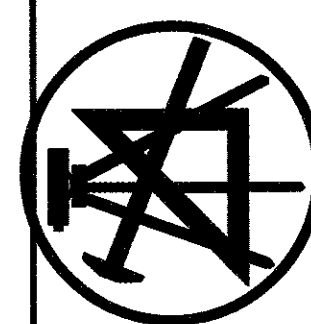
**EXISTING CONDITION &  
DEMOLITION PLAN**  
LOT # 78 SQUARE 3118  
67 V STREET, N.W.  
WASHINGTON, D.C.

SHEET NO. C0001 OF 5  
 FILE NO. 15-251



THE PROJECT IS LOCATED AT 67 V STREET, NORTH WEST, WASHINGTON D.C. THE PROPERTY AREA IS 2,880 SQUARE FEET, AND IS CURRENTLY A TWO STORY BUILDING. THE OWNER OF THE PROPERTY WISHES TO CONSTRUCT A THREE STORY BUILDING WITH BASEMENT AND ADD A NEW 1 1/2" DOMESTIC WATER LINE FROM EXISTING 6" WATER MAIN ON V STREET, NW. AFTER NEW 1 1/2" WATER LOCATION THERE IS ANOTHER 1 1/2" WATER LINE PROPOSED FOR THE FIRE CONNECTION TO THE BUILDING AS SHOWN ON THE UTILITY PLAN.

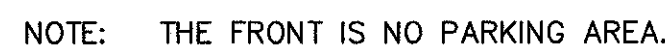
NOTE: THE FRONT IS NO PARKING AREA.



LOT # 78 SQUARE 3118  
67 V STREET, N.W.  
WASHINGTON, D.C.

SHEET NO. C0002 OF 5

FILE. NO. 15-251



### General Construction Notes

1. **Contact:** Notify the following DC Water departments prior to the commencement of utility construction:
  - a) Construction Inspection Section at 202-787-4024 at least two weeks prior to the commencement of utility construction to schedule pre-construction meeting.
  - b) Department of Water Services at 202-612-3490 or 3460 at least one week prior to the commencement of water utility construction.
  - c) Department of Sewer Services at 202-264-3824 or 3829 at least one week prior to the commencement of sewer utility construction.
2. **Standards:** All construction, materials, and appurtenances shall comply with the latest editions of the DC Water Project Design Manual, Standard Details & Design Guidelines, and Specifications.
3. **Lead Service Replacement:** If this project includes the replacement of a water main that has existing lead water service laterals, the Contractor is responsible for contacting the DC Water Construction Inspection Section at 202-787-4024 at least 90 days prior to construction to allow adequate time to initiate standard lead service replacement protocol. Lateral replacement includes the full length of pipe in public space.
4. **Owner Responsibility:** The Owner is responsible for all work and costs associated with excavation, installation, and restoration of public space to perform a water/sewer connection/abandonment. Once the Contractor has obtained a Public Space Permit he/she must then contact DC Water prior to performing the excavation to install/inspect the utility work. The Owner shall be held responsible for all damages to existing structures and utilities caused by construction activity.
5. **DC Water Responsibility:** DC Water is only responsible for installation of small water service taps (2" diameter and less) to the public main, small water service tap removals from the public main, furnishing & installing the meter in public space, and inspection of work performed on the public systems.
6. **Miss Utility:** Contact Miss Utility at 800-257-7777 48 hours before any digging.
7. **Plan Set:** A set of signed & sealed and DC Water stamped Plans shall be kept at all times at the job site on which all changes or variations in the work, including all existing utilities, are to be recorded and/or corrected daily.
8. **Abandonments:** The Owner must physically disconnect existing water, sewer, and storm laterals that are to be abandoned at their connection to the public main.
9. **Unmetered Water:** There shall be no unmetered connections to the City's water system, including connections bypassing meters for testing on-site plumbing or for obtaining construction water.
10. **Pressure Testing Against Valves:** Pressure testing against valves must not be allowed.
11. **Water Meter Installation:** To schedule the installation of a domestic water meter contact Permit Operations at 202-666-8600. DC Water will furnish and install the meter after the connection to the main has been made and the meter pit/vault has been installed.

Page 1



12. **Cross Contamination Control:** ASSE 1048 certified backflow prevention assemblies are required on all fire services and are to be located inside the building (unless an external location is necessary or required by DC Water) where it is supplied, ordered, operated, and maintained by the Owner. DC Water does not furnish nor install fire double check detector fire protection backflow prevention assemblies.
13. **Utility Service Disruptions:** Phase all utility work to maintain utility services to the surrounding area during all phases of construction. Limit required utility shut-downs in number and duration. Coordinate these shut downs with DC Water Construction Inspection staff.
14. **Water Valve Operation:** The Contractor is required to coordinate with DC Water for all necessary water main shut downs with adequate advanced notice. Only DC Water employees may shut down a public water main. A certified plumber is only authorized to turn off valves inside meter pits.
15. **Water Gate Valve Location:** Locate gate valves for domestic and fire services as close to the public water main tee as possible. However, if necessary adjustments are required due to conflicts, coordinate with a DC Water inspector.
16. **Material:** The Contractor is responsible for submitting shop cuts to the appropriate DC Water office for approval or obtaining a DC Water approval stamp for all work in public space in advance of installation. Only approved materials may be used.
17. **Temporary Conditions Minimum Cover:** A nominal four foot cover is required for all water mains at final grade. Cover of less than four feet requires DC Water approval.
18. **As-Built:** Developers, contractors and/or plumbers must submit final construction as-built information to the appropriate DC Water inspector(s) for review and approval, upon completion of installation of new services or abandonment of existing services. When the final as-built is approved all deposits will be returned to the applicant. See DC Water as-built requirements for additional information.
19. **Conflicts:** The Contractor shall field verify the location of existing underground utilities prior to installation of proposed utilities. A minimum of one foot vertical and five foot horizontal clearance shall be maintained from any utilities and public water and sewer mains.
20. **Fire Hydrant Use:** The use of a fire hydrant as a water source is prohibited unless a permit has been obtained from DC Water for use of a specific hydrant(s). Daily or extended use permits can be obtained from the DC Water Permit Operations Department 202-646-8600.
21. **Fire Hydrant Status:** The Contractor shall notify FEMS at 202-777-1889, prior to taking any fire hydrant out of service or rendering any hydrant inaccessible for any reason. FEMS is also to be provided with the location of any new installation of private fire hydrants.
22. **DC Water Safety Office:** The DC Water Safety Office can be contacted at 202-787-4350.
23. **Sewer Backwater Prevention:** The plumbing system must be in compliance with Section 715 of the 2006 International Plumbing Code which states a backwater valve is required for all plumbing fixtures below the elevation of the manhole cover of the next upstream manhole in the public sewer.

Page 2

### LEGEND

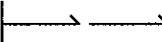
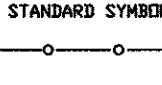
PROPOSED SPOT ELEV

91 +20

\_\_\_\_\_

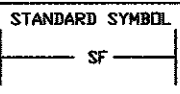
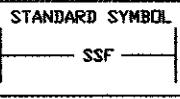
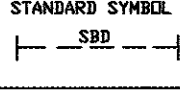
"MISS UTILITY" NOTE

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.

| <u>STANDARD SYMBOLS</u> |  |                                                                                                                                                                                                              |
|-------------------------|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DIVERSION _____         |  | <div style="border: 1px solid black; padding: 5px; margin: 0 auto; width: 100px;">           STANDARD SYMBOL<br/>  </div> |
| GRASSSED SWALE _____    |  | <div style="border: 1px solid black; padding: 5px; margin: 0 auto; width: 100px;">           STANDARD SYMBOL<br/>  </div> |
| LINED WATERWAY _____    |  | <div style="border: 1px solid black; padding: 5px; margin: 0 auto; width: 100px;">           STANDARD SYMBOL<br/>  </div> |
| SUBSURFACE DRAIN _____  |  | <div style="border: 1px solid black; padding: 5px; margin: 0 auto; width: 100px;">           STANDARD SYMBOL<br/>  </div> |

|                                                                         |                        |                                                                            |
|-------------------------------------------------------------------------|------------------------|----------------------------------------------------------------------------|
| U.S. DEPARTMENT OF AGRICULTURE<br>NATURAL RESOURCE CONSERVATION SERVICE | PAGE _____<br>S-60(11) | WATERBURY PROTECTION DIVISION<br>DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH |
|-------------------------------------------------------------------------|------------------------|----------------------------------------------------------------------------|

| STANDARD SYMBOLS       |       |                                                                                                        |
|------------------------|-------|--------------------------------------------------------------------------------------------------------|
| EARTH DIKE             | ----- | STANDARD SYMBOL<br>$A = \frac{2}{3} \quad B = \frac{3}{3}$                                             |
| SWALE                  | ----- | STANDARD SYMBOL<br>$A = \frac{2}{3} \quad B = \frac{3}{3}$                                             |
| PERIMETER DIKE/SWALE   | ----- | STANDARD SYMBOL<br>$\frac{PD}{S-L} \rightarrow$                                                        |
| PIPE SLOPE DRAIN       | ----- | STANDARD SYMBOL<br>$[PSD = 12]$                                                                        |
| ROCK OUTLET PROTECTION | ----- | STANDARD SYMBOL<br> |
| STONE CHECK DAM        | ----- | STANDARD SYMBOL<br> |
| STONE OUTLET STRUCTURE | ----- | STANDARD SYMBOL<br> |
| SILT FENCE             | ----- | STANDARD SYMBOL<br> |
| SUPER SILT FENCE       | ----- | STANDARD SYMBOL<br> |
| STRAW BALE DIKE        | ----- | STANDARD SYMBOL<br> |

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCE CONSERVATION SERVICE

PAGE 4 of 4

WATERSHED PROTECTION DIVISION  
DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH

| STANDARD SYMBOLS                 |       |  |
|----------------------------------|-------|--|
| STANDARD INLET PROTECTION        | ----- |  |
| AT GRADE INLET PROTECTION        | ----- |  |
| CURB INLET PROTECTION            | ----- |  |
| STANDARD INLET PROTECTION        | ----- |  |
| GABION INFLOW PROTECTION         | ----- |  |
| RIP-RAP INFLOW PROTECTION        | ----- |  |
| SUMP PIT                         | ----- |  |
| STABILIZED CONSTRUCTION ENTRANCE | ----- |  |
| PORTABLE PUMPING STATION         | ----- |  |
| REMOVABLE PUMPING STATION        | ----- |  |

|                                                                                 |           |                                                                            |
|---------------------------------------------------------------------------------|-----------|----------------------------------------------------------------------------|
| U.S. DEPARTMENT OF AGRICULTURE<br>NATIONAL SERVICE CENTER FOR NATURAL RESOURCES | PAGE<br>1 | WATERSHED PROTECTION DIVISION<br>DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH |
|---------------------------------------------------------------------------------|-----------|----------------------------------------------------------------------------|

### DESIGN CERTIFICATION

THE TOTAL ESTIMATED EXCAVATION FOR THE PROJECT IS DETERMINED TO BE 256 C.Y., AND THE TOTAL ESTIMATED FILL FOR THE PROJECT IS DETERMINED TO BE 0 C.Y.

THE TOTAL DISTURBED AREA IS 2,215 S.F.

SEDIMENT CONTROL APPROVAL

Plan Number \_\_\_\_\_

This approval is for grading and sediment control only. Permittee/Contractor is required to Construct the design features shown hereon. He shall notify this office at the number below at least 24 hrs before start of grading activity, and within two weeks after completion of project for final inspection.

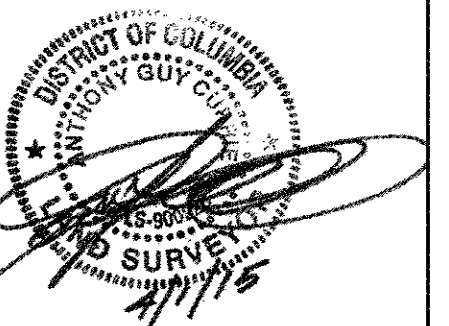
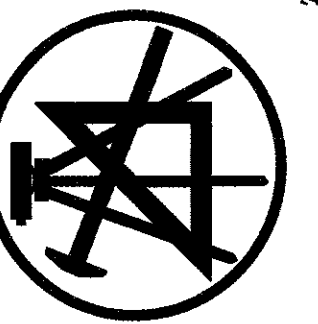
Date \_\_\_\_\_

Flood & Erosion Control Section  
(202) 727-7577

SEDIMENT CONTROL NARRATIVE:

THE PROJECT IS LOCATED AT 67 V STREET, NORTH WEST, WASHINGTON D.C. THE PROPERTY AREA IS 2,880 SQUARE FEET, AND IS CURRENTLY A TWO STORY BUILDING. THE OWNER OF THE PROPERTY WISHES TO CONSTRUCT A THREE STORY BUILDING WITH BASEMENT. A NEW STABILIZED CONSTRUCTION ENTRANCE SHOULD BE PLACED WHERE INDICATED ON THE APPROVED PLAN. SILT FENCE SHALL BE PLACED ALONG THE PERIMETER OF ALL EXCAVATIONS. SEQUENCE OF CONSTRUCTION SHOULD BE FOLLOWED FOR INSTALLATION OF SEDIMENT CONTROL DEVICES. INSTALL SILT FENCE AS SHOWN WHEN EXCAVATING AND MAINTAINED BY THE DISTRICT INSPECTOR. AFTER SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED, THE PROPOSED SITE AMENITIES CAN BE CONSTRUCTED. AFTER SITE WORK IS COMPLETED, SEED OR SOD DISTURBED AREAS AND REMOVE SEDIMENT CONTROL DEVICES WITH THE APPROVAL OF THE INSPECTOR.

**CURRIE AND ASSOCIATES  
CONSULTING  
ENGINEERS, SURVEYORS AND PLANNERS  
33331 TOLEDO TERRACE, SUITE 105**



# SEDIMENT CONTROL PLAN

LOT # 78 SQUARE 3118  
67 V STREET, N.W.  
WASHINGTON, D.C.

SHEET NO. C0003 OF 5

FILE. NO. 15-251

19.0 STANDARDS AND SPECIFICATIONS

FOR LAND GRADING

Definition

Reshaping of the EX. land surface in accordance with a plan as determined by engineering survey and layout.

Purpose

The purpose of a land grading specification is to provide for erosion control and vegetative establishment on those areas where the EX. land surface is to be reshaped by grading according to plan.

Design Criteria

The grading plan should be based upon the incorporation of building designs and street layouts that fit and utilize EX. topography and desirable natural surroundings to avoid extreme grade modifications. Information submitted must provide sufficient topographic surveys and soil investigations to determine limitations that must be imposed on the grading operation related to slope stability, effect on adjacent properties and drainage patterns, measures for drainage and water removal and vegetative treatment, etc.

Many counties have regulations and design procedures already established for land grading and cut and fill slopes. Where these requirements exist, they shall be followed. The plan must show EX. and proposed contours of the area(s) to be graded. The plan shall also include practices for erosion control, slope stabilization, safe disposal of runoff water and drainage, such as waterways, lined ditches, reverse slope benches (include grade and cross section), grade stabilization structures, retaining walls, and surface and subsurface drains. The plan shall also include phasing of these practices. The following shall be incorporated into the plan:

1. Provisions shall be made to safely conduct surface runoff to storm drains, protected outlets or to stable water courses to insure that surface runoff will not damage slopes or other graded areas.

2. Cut and fill slopes that are to be stabilized with grasses shall not be steeper than 2:1. (Where the slope is to be mowed the slope should be no steeper than 3:1; 4:1 is preferred because of safety factors related to mowing steep slopes) Slopes exceeding 2:1 shall require special design and stabilization considerations that shall be adequately shown on the plans.

3. Reverse benches shall be provided whenever the vertical interval (height) of any 2:1 slope exceeds 20 feet; for 3:1 slope it shall be increased to 30 feet and for 4:1 to 40 feet. Benches shall be located to divide the slope face as equally as possible and shall convey the water to a stable outlet. Sods, seeps, rock outcrops, etc., shall also be taken into consideration when designing benches.

a. Benches shall be a minimum of six-feet wide to provide for ease of maintenance

b. Benches shall be designed with a reverse slope of 6:1 or flatter to the top of the upper slope and with a minimum of one foot in depth. Bench gradient to the outlet shall be between 2 percent and 3 percent, unless accompanied by appropriate design and computations.

c. The flow length within a bench shall not exceed 800' unless accompanied by appropriate design and computations. For flow channel stabilization see temporary swale.

4. Surface water shall be diverted from the face of all cut and/or fill slopes by the use of earth dikes, ditches and swales or conveyed downslope by the use of a designed structure, except where:

a. The face of the slope is or shall be stabilized and the face of all graded slopes shall be protected from surface runoff until they are stabilized.

b. The face of the slope shall not be subject to any concentrated flows of surface water such as from natural drainageways, graded swales, downspouts, etc.

c. The face of the slope will be protected by special erosion control materials, to include, but not limited to: approved vegetative stabilization practices (see section G), rip-rap or other approved stabilization methods.

5. Cut slopes occurring in ripable rock shall be serrated as shown on the following diagram. These serrations shall be made with conventional equipment as the excavation is made. Each step or serration shall be constructed on the contour and will have steps out at nominal two-foot intervals with nominal break-out horizontal shelves. These steps will vary depending on the slope ratio or the cut slope. The nominal slope line is 1:1. These steps will weather and act to hold moisture, lime, fertilizer and seed thus producing a much quicker and longer lived vegetative cover and better slope stabilization. Overland flow shall be diverted from the top of all serrated cut slopes and carried to a suitable outlet.

6. Subsurface drainage shall be provided where necessary to intercept seepage that would otherwise adversely affect slope stability or create excessively wet site conditions.

7. Slopes shall not be created so close to property lines as to endanger adjoining properties without adequately protecting such properties against sedimentation, erosion, slippage, settlement, subsidence or other related damages.

8. Fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris, and other objectionable material. It should be free of stones over two (2) inches in diameter where compacted by hand or mechanical tampers or over eight (8) inches in diameter where compacted by rollers or other equipment. Frozen material shall not be placed in the fill nor shall the fill material be placed on a frozen foundation.

9. Stockpiles, borrow areas and spoil shall be shown on the plans and shall be subject to the provisions of this Standard and Specifications.

10. All disturbed areas shall be stabilized structurally or vegetatively in compliance with 20.0 Standards and Specifications for Vegetative Stabilization.

DETAIL 22 SILT FENCE

SILT FENCE DESIGN CRITERIA

| SLOPE             | STEEPNESS | MAX. SLOPE LENGTH | MAX. SILT FENCE LENGTH |
|-------------------|-----------|-------------------|------------------------|
| FLATTER THAN 50:1 |           | UNLIMITED         | UNLIMITED              |
| 50:1 TO 10:1      |           | 125 FEET          | 1,000 FEET             |
| 10:1 TO 5:1       |           | 100 FEET          | 750 FEET               |
| 5:1 TO 3:1        |           | 60 FEET           | 500 FEET               |
| 3:1 TO 2:1        |           | 40 FEET           | 250 FEET               |
| 2:1 AND STEEPER   |           | 20 FEET           | 125 FEET               |

NOTE:

IN AREAS OF LESS THAN 2% SLOPE SANDY SOIL (USDA GENERAL CLASSIFICATION SYSTEM, SOIL CLASS A) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.

SEQUENCE OF CONSTRUCTION

1. APPLICANT SHOULD SET UP A PRE-CONSTRUCTION MEETING WITH THE DISTRICT OF COLUMBIA HEALTH DEPARTMENT PRIOR TO ANY LAND DISTURBING ACTIVITIES.
2. NOTIFY "MISS UTILITY" AT LEAST 48 HOURS IN ADVANCE BEFORE BEGINNING CONSTRUCTION.
3. INSTALL ALL SEDIMENT CONTROL DEVICES. BEGIN WORK AFTER OBTAINING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR.
4. BEGIN EXCAVATION OF SITE.
5. INSTALL UTILITIES.
6. BEGIN CONSTRUCTION OF 3 STORY BUILDING W/ BASEMENT.
7. AFTER COMPLETION OF SITE WORK, STABILIZE SITE.
8. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES.

21.0 STANDARD AND SPECIFICATIONS

FOR TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

I. This practice is limited to areas having 2:1 or flatter slopes where:

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.

b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

c. The original soil to be vegetated contains material toxic to plant growth.

d. The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the EX. site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

I. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.

II. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

III. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 44 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

II. For sites having disturbed areas under \$ acres:

I. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

III. For sites having disturbed areas over 5 acres:

I. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.

b. Organic content of topsoil shall be not less than 1.5 percent by weight.

c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist approved by the appropriate approval authority, may be used in lieu of natural topsoil.

II. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

1. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins-

II. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

III. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

IV. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

V. Alternative for Permanent Seeding instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

I. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.

IV. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

STATEMENT BY PERSON RESPONSIBLE FOR MAINTENANCE

THE UNDERSIGNED AGREES TO MAINTAIN AND OPERATE THE DISCHARGE FACILITIES IN SUCH A MANNER AS TO COMPLY WITH THE PROVISIONS OF SECTION 526 THROUGH 535 OF DCMR-21, CHAPTER 5. RESPONSIBILITY FOR MAINTENANCE AND OPERATION MAY BE TRANSFERRED TO ANOTHER ENTITY UPON WRITTEN NOTICE TO THE WATERSHED PROTECTION DIVISION OF THE DEPARTMENT OF HEALTH FROM THE UNDERSIGNED AND THE ENTITY ASSUMING RESPONSIBILITY, CERTIFYING THAT THE TRANSFER OF RESPONSIBILITY FOR MAINTENANCE AND OPERATION IN COMPLIANCE WITH SECTION 526 THROUGH 535 OF DCMR-21, CHAPTER 5 HAS BEEN ACCEPTED.

STATEMENT BY PROFESSIONAL ENGINEER REGISTERED IN THE DISTRICT OF COLUMBIA

THIS IS TO CERTIFY THAT THE ENGINEERING FEATURES OF THIS STORMWATER DISCHARGE FACILITY HAVE BEEN DESIGNED/EXAMINED BY ME AND FOUND TO BE IN CONFORMITY WITH MODERN ENGINEERING PRINCIPLES APPLICABLE TO THE TREATMENT AND DISPOSAL OF STORMWATER POLLUTANTS. I FURTHER CERTIFY THAT THE FACILITY HAS BEEN DESIGNED IN ACCORDANCE WITH THE SPECIFICATION REQUIRED UNDER SECTION 526 THROUGH 535 OF DCMR-21, CHAPTER 5. IT IS ALSO STATED THAT THE UNDERSIGNED HAS FURNISHED THE APPLICANT WITH A SET OF INSTRUCTIONS FOR THE MAINTENANCE AND OPERATION OF THE STORMWATER DISCHARGE FACILITY.

STANDARD AND SPECIFICATION FOR DUST CONTROL

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.

2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.

3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.

4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.

5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:

A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE.

B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER.

C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.

6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:

A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK,PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES.

B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.

C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE BOUNDARIES.

VEGETATIVE STABILIZATION

PERMANENT AND TEMPORARY SEEDING, SODDING AND MULCHING

I. SITE PREPARATION

PERMANENT OR TEMPORARY VEGETATION SHALL BE ESTABLISHED WITHIN SEVEN (7) DAYS ON THE SURFACE OF ALL SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, WATERWAYS, SEDIMENT CONTROL BASINS, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND WITHIN 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. MULCHING MAY ONLY BE USED ON DISTURBED AREAS AS TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING CANNOT BE COMPLETED BECAUSE OF WEATHER.

II. SEEDBED PREPARATION AND SEEDING APPLICATION

LOOSEN THE TOP LAYER OF THE SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT SUCH AS DISC HARROWS, CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. INCORPORATE THE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF THE SOIL BY DISCING OR BY OTHER SUITABLE MEANS. ROUGH AREAS SHOULD NOT BE ROLLED OR DRAGGED SMOOTH, BUT LEFT IN A ROUGHENED CONDITION. STEEP SLOPES GREATER THAN 3:1 SHOULD BE TRACKED BY A DOZER, LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. THE TOP 1 TO 3 INCHES OF SOIL SHOULD BE LOOSE AND FRABLE. PERMANENT COVER MAY REQUIRE AN APPLICATION OF TOPSOIL IF SO, IT MUST MEET THE REQUIREMENTS SET FORTH IN SECTION 21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL FROM THE 1994 STANDARDS AND SPECIFICATIONS.

III. SOIL AMENDMENTS

SOIL TESTS SHALL BE MADE ON SITES OVER FIVE ACRES TO DETERMINE THE EXACT REQUIREMENTS FOR BOTH LIME AND FERTILIZER. FOR SITES UNDER 5 ACRES, IN LIEU OF A SOIL TEST, APPLY THE FOLLOWING:

FERTILIZER NITROGEN 2lbs/1000 s.f. (90 lbs/ac)  
P205 4lbs/1000 s.f. (175 lbs/ac)  
K20 4lbs/1000 s.f. (175 lbs/ac)

FOR LOW MAINTENANCE AREAS APPLY 150 lbs/ac UREAFORM FERTILIZER (38-0-0) AT 3.5 lbs/1000 sq. ft. IN ADDITION TO THE ABOVE FERTILIZER AT THE TIME OF SEEDING.

GROUND LIMESTONE 2 TONS/AC

IV. SEDIMENT CONTROL PRACTICE SEEDING

SELECT A SEEDING MIXTURE FROM TABLES 25 OR 26 IN SECTION G OF THE 1994 STANDARDS AND SPECIFICATIONS. DOCUMENT SEEDING ON THE EROSION AND SEDIMENT CONTROL PLAN USING APPROPRIATE CHART BELOW. NOTE: IF SEDIMENT CONTROL PRACTICES ARE IN FOR LONGER THAN 12 MONTHS, PERMANENT SEEDING IS REQUIRED.

V. TEMPORARY/PERMANENT SEEDING MIXTURES AND RATES

SELECT A SEEDING MIXTURE FROM APPROPRIATE TABLE 25 OR 26 IN SECTION G OF THE 1994 STANDARDS AND SPECIFICATIONS. DOCUMENT SEEDING ON THE EROSION AND SEDIMENT CONTROL PLAN USING APPROPRIATE CHART BELOW.

TEMPORARY SEEDING SUMMARY

| SEED MIXTURE (HARDINESS ZONE 7a )<br>(FROM TABLE 26) |                                         |                             |                        |                   | FERTILIZER<br>RATE<br>(10-10-10) | LIME RATE                     |
|------------------------------------------------------|-----------------------------------------|-----------------------------|------------------------|-------------------|----------------------------------|-------------------------------|
| NO.                                                  | SPECIES                                 | APPLICATION<br>RATE (lb/ac) | SEEDING<br>DATES       | SEEDING<br>DEPTHS |                                  |                               |
| 1                                                    | BARLEY OR<br>RYE PLUS<br>FOXTAIL MILLET | 150                         | 2/1-10/15<br>2/1-11/30 | 1"                |                                  |                               |
| 2                                                    | ANNUAL<br>RYEGRASS                      | 50                          | 2/1-4/30<br>8/15-11/1  | 1/4"-1/2"         | 600 lb/ac<br>(15 lb/1000 st)     | 2 tons/ac<br>(100 lb/1000 st) |
| 3                                                    | WEeping<br>LOVEGRASS                    | 4                           | 5/1-8/14               | 1/4"-1/2"         |                                  |                               |

"MISS UTILITY" NOTE

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.

PERMANENT SEEDING SUMMARY

| SEED MIXTURE (HARDINESS ZONE 7a )<br>(FROM TABLE 25) |                                                                        |                             |                        | FERTILIZER RATE<br>(10-20-20)    |                                 |                                 | LIME<br>RATE                      |
|------------------------------------------------------|------------------------------------------------------------------------|-----------------------------|------------------------|----------------------------------|---------------------------------|---------------------------------|-----------------------------------|
| MIX NO.                                              | SPECIES                                                                | APPLICATION<br>RATE (lb/ac) | SEEDING<br>DATES       | N                                | P205                            | K20                             |                                   |
| 3                                                    | TALL FESCUE(65%)<br>PERENNIAL RYEGRASS(10%)<br>KENTUCKY BLUEGRASS(25%) | 150                         | 3/1-5/15<br>8/15-11/15 |                                  |                                 |                                 |                                   |
| 6                                                    | WEeping LOVEGRASS(17%)<br>SEEDING LOVEGRASS(83%)                       | 4<br>20                     | 3/1-5/15<br>5/16-8/14  | 90 lb/ac<br>(2.0 lb/<br>1000 st) | 175 lb/ac<br>(4 lb/<br>1000 st) | 175 lb/ac<br>(4 lb/<br>1000 st) | 2 tons/ac<br>(100 lb/<br>1000 st) |
| 10                                                   | TALL FESCUE(80%)<br>HARD FESCUE(20%)                                   | 120<br>30                   | 3/1-5/15<br>8/15-11/15 |                                  |                                 |                                 |                                   |

VI. TURFGRASS ESTABLISHMENT

THIS INCLUDES LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. AREAS TO RECEIVE SEED SHALL BE TILLED BY DISCING OR BY OTHER ACCEPTED METHODS TO A DEPTH OF 3 TO 5 INCHES, LEVELED AND RAKED TO PREPARE A PROPER SEEDING. STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER SHALL BE REMOVED. THE RESULTING SEEDBED SHALL BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY. USE CERTIFIED MATERIAL AND CHOOSE A TURFGRASS MIXTURE FROM PAGE G-20 OF THE 1994 STANDARDS AND SPECIFICATIONS OR SELECT FROM THE LIST IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".

VII. MULCHING

ALL SEEDINGS REQUIRE MULCHING. ALSO MULCH DURING NON-SEEDING DATES UNTIL SEEDING CAN BE DONE.

MULCH SHALL BE UNROOTED, UNCHOPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS/ACRE OR 90 LBS/1000 S.F. (2 BALES). IF A MULCH ANCHORING TOOL IS USED, APPLY 2.5 TONS/ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS. SPREAD MULCH UNIFORMLEY, MECHANICALLY OR BY HAND, TO A DEPTH OF 1-2 INCHES. MULCH ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER MULCH PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY MULCH NETTINGS, MULCH ANCHORING TOOL, WOOD CELLULOSE FIBER OR LIQUID MULCH BINDERS.

APPLY WOOD CELLULOSE FIBER AT A DRY WEIGHT OF 1,500 LBS/ACRE. IF MIXED WITH WATER, USE 50 LBS. OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

LIQUID BINDER SHOULD BE APPLIED HEAVIER AT THE EDGE, WHERE WIND CATCHES THE MULCH IN VALLEYS, AND ON CREST BANKS. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION. APPLY RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR AND MULCH. STAPLE LIGHT WEIGHT, PLASTIC NETTING OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

VIII. SODDING

CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD IS TO BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR USING STAGGERED JOINTS WITH ALL ENDS TIGHTLY ABUTTED AND NOT OVER LAPPING. SOD SHALL BE ROLLED AND THOROUGHLY WATERED AFTER INSTALLATION. DAILY WATERING TO MAINTAIN 4 INCH DEPTH OF MOISTURE FOR THE FIRST WEEK IS REQUIRED IN THE ABSENCE OF RAINFALL. SOD IS NOT TO BE APPLIED ON FROZEN GROUND.

IX. MAINTENANCE

A. IRRIGATE- APPLY MINIMUM 1" OF WATER EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE. WHEN SOIL MOISTURE BECOMES DEFICIENT TO PREVENT LOSS OF STAND OF PROTECTIVE VEGETATION.

B. REPAIRS- IF STAND PROVIDES BETWEEN 40% AND 94% GROUND COVERAGE, OVERSEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY APPLIED. IF STAND PROVIDES LESS THAN 40% COVERAGE, REESTABLISH STAND FOLLOWING ORIGINAL RATES AND PROCEDURES.

NOTE: USE OF THIS INFORMATION DOES NOT PRECLUDE MEETING ALL OF THE REQUIREMENTS OF THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL VEGETATIVE PRACTICES.

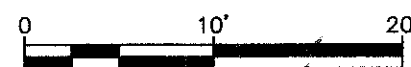
SEDIMENT CONTROL NOTES

LOT # 78 SQUARE 3118  
67 V STREET, N.W.  
WASHINGTON, D.C.

SHEET NO. C0004 OF 5

FILE NO. 15-251

Exhibit 1 - Page 5 of 45



|                                                                                       |                      |
|---------------------------------------------------------------------------------------|----------------------|
|    | WATER LINE           |
|    | TREE                 |
|    | SHRUB                |
|    | GAS METER            |
|    | STORMDRAIN MAN       |
|    | SEWER MANHOLE        |
|    | SPT9                 |
|    | SPT10                |
|  | TRAVERSE POINT       |
|  | UTILITY POLE         |
|  | SEWER LINE           |
|  | PROPERTY LINE        |
|  | LIMIT OF DISTURBANCE |
|  | SILT FENCE           |
|  | WOOD FENCE           |
|  | CHAIN LINK FENCE     |
|  | REMOVE TREE          |
|  | DEMOLITION WORK      |

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE DISTRICT OF COLUMBIA SURVEYOR'S OFFICE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. A "SURVEY TO MARK" PREPARED BY A DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR MAY BE REQUIRED TO ESTABLISH THE FINAL BOUNDARY LOCATION FOR THIS PROPERTY.

THE UNDERGROUND UTILITY LOCATIONS SPECIFICALLY NOTED IN THE TABLE BELOW AND GRAPHICALLY SHOWN HEREON HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE INDICATED IN THE GENERAL AREA NOTED IN THE TABLE BELOW. WHILE IT COMBINES INFORMATION OBTAINED BY THE SURVEYOR, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, UNLESS SPECIFICALLY NOTED ON THE DRAWING. THE FOLLOWING UTILITY COMPANIES HAVE BEEN SOLICITED FOR THEIR PLANS AND RECORD UTILITY DRAWINGS, LISTED BELOW ARE SPECIFIC PLAN/SHEET NUMBERS OF DRAWINGS PROVIDED BY THE UTILITY COMPANY OR LACK OF RESPONSE IS NOTED.

WATER & SEWER PLANS - WASA  
W.A.S.A. WATER & SEWER PLAN B-10-NE (WATER & SEWER)  
THE OWNER/DEVELOPER OF THE SUBJECT PROPERTY IS RESPONSIBLE FOR OBTAINING INFORMATION AND COORDINATING WITH ALL OTHER UTILITIES NOT LISTED IN THE TABLE ABOVE. THE OWNER/DEVELOPER IS ALSO RESPONSIBLE FOR CONTACTING "MISS UTILITY" 48 HOURS PRIOR TO CONSTRUCTION.

- 1) THE SUBJECT PROPERTY IS LOCATED AS TAX ASSESSMENT NO. 3118 0078. THE SITE ADDRESS IS 67 V STREET, NORTH WEST, WASHINGTON, DC
- 2) THE HORIZONTAL DATUM IS BASED ON PLAN FROM THE OFFICE OF THE SURVEYOR, DISTRICT OF COLUMBIA
- 3) ON SITE BENCH MARK NONE
- 4) THE VERTICAL DATUM IS BASED ON DC SEWER MANHOLE.
- 5) NO TITLE REPORT FURNISHED.

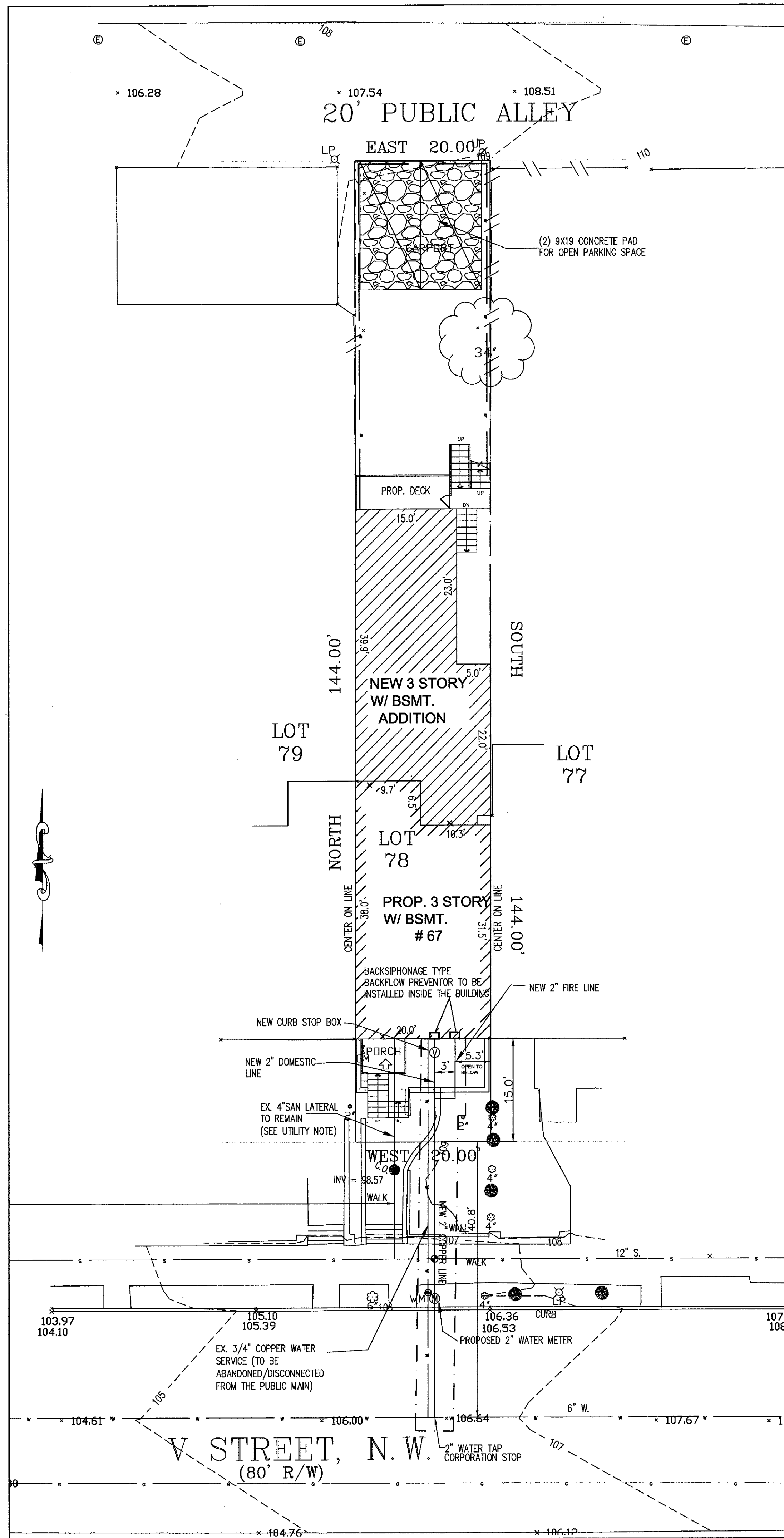
SHEET C0001. EX. CONDITIONS AND DEMOLITION PLAN  
SHEET C0002. SITE & UTILITY PLAN, DC WATER NOTES & DETAILS  
SHEET C0003. SEDIMENT CONTROL PLAN  
SHEET C0004. SEDIMENT CONTROL NOTES  
SHEET C0005. **SEDIMENT CONTROL, WATER NOTES & DETAILS**

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.

|                                                                                                                                                                                |                |                 |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|-----------------|
| CURRIE AND ASSOCIATES<br>CONSULTING<br>ENGINEERS, SURVEYORS AND PLANNERS<br>3831 TOLEDO TERRACE, SUITE 105<br>HYATTSVILLE, MD. 20762<br>TEL. (301) 559-0100 FAX (301) 559-1700 |                | DATE<br>2-13-15 |
| DESIGN BY:<br>KS                                                                                                                                                               | CHKD BY:<br>AC |                 |

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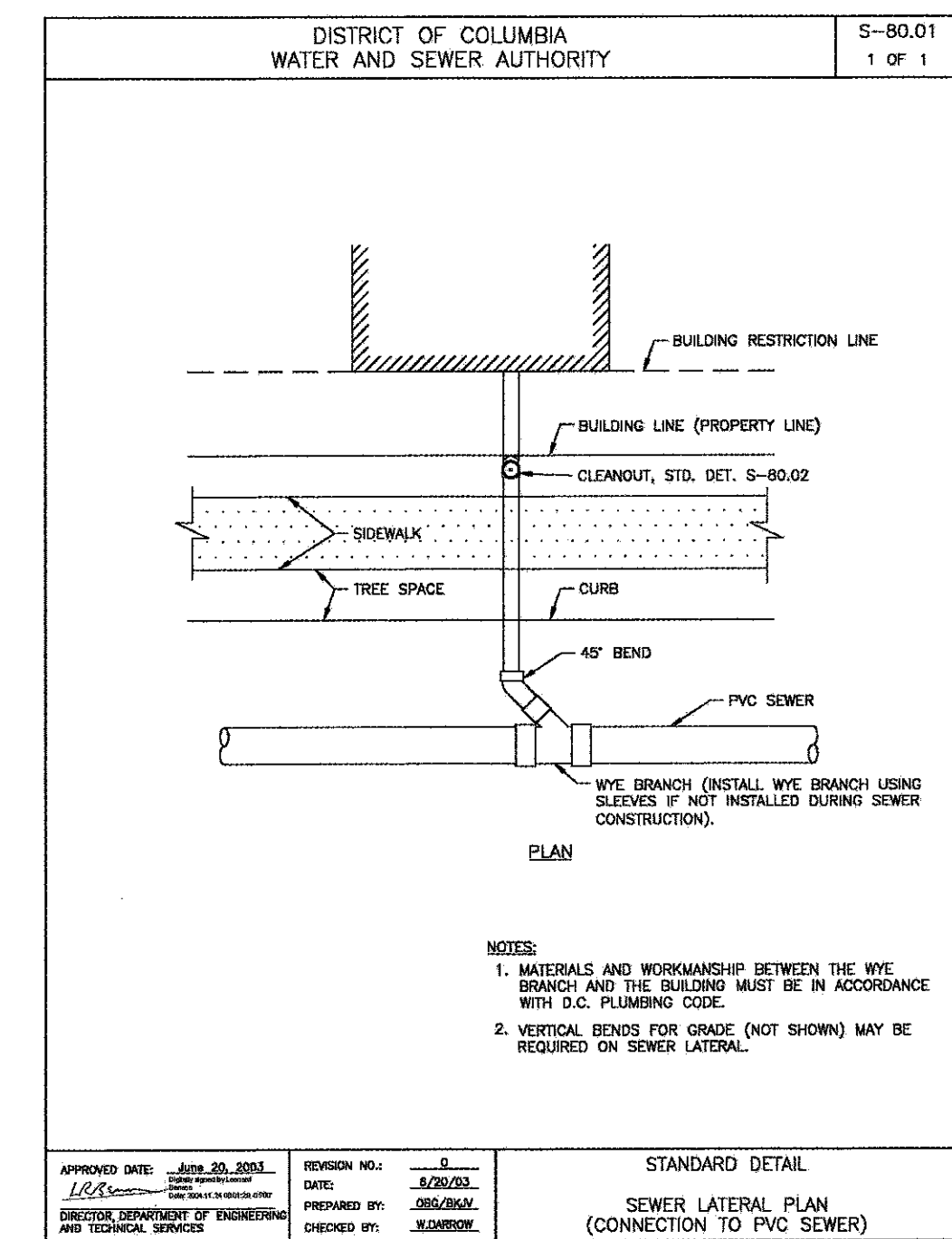
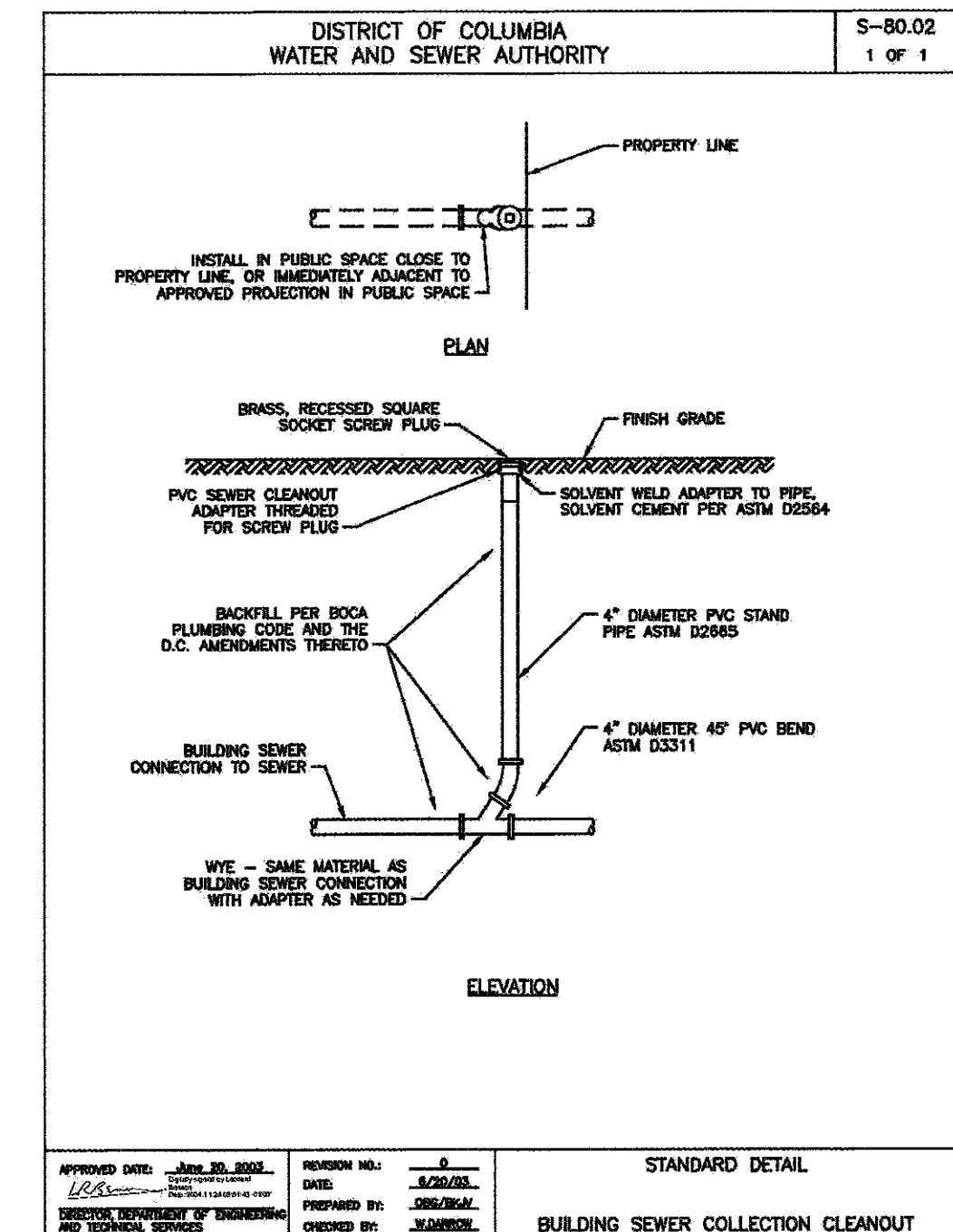
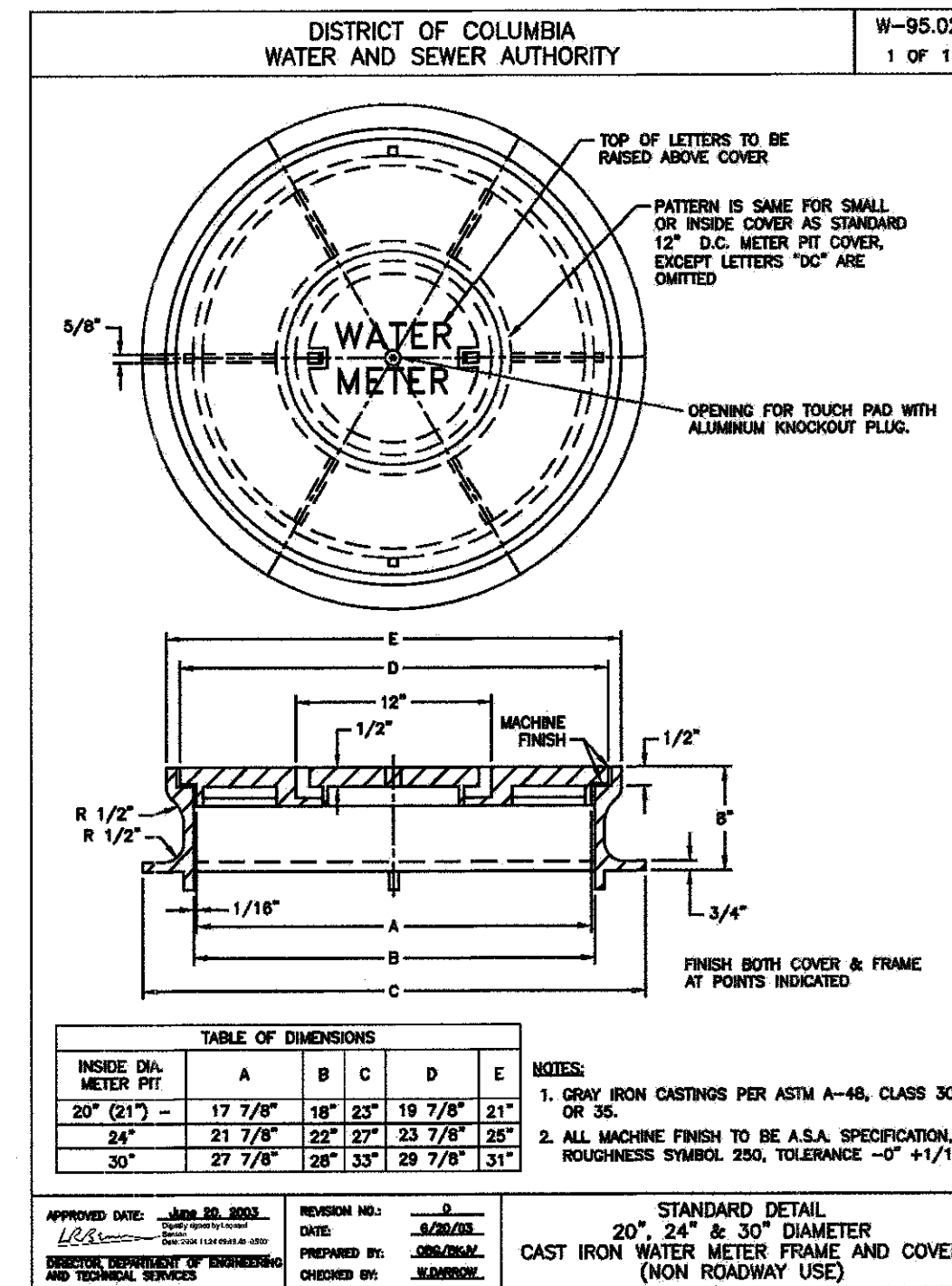
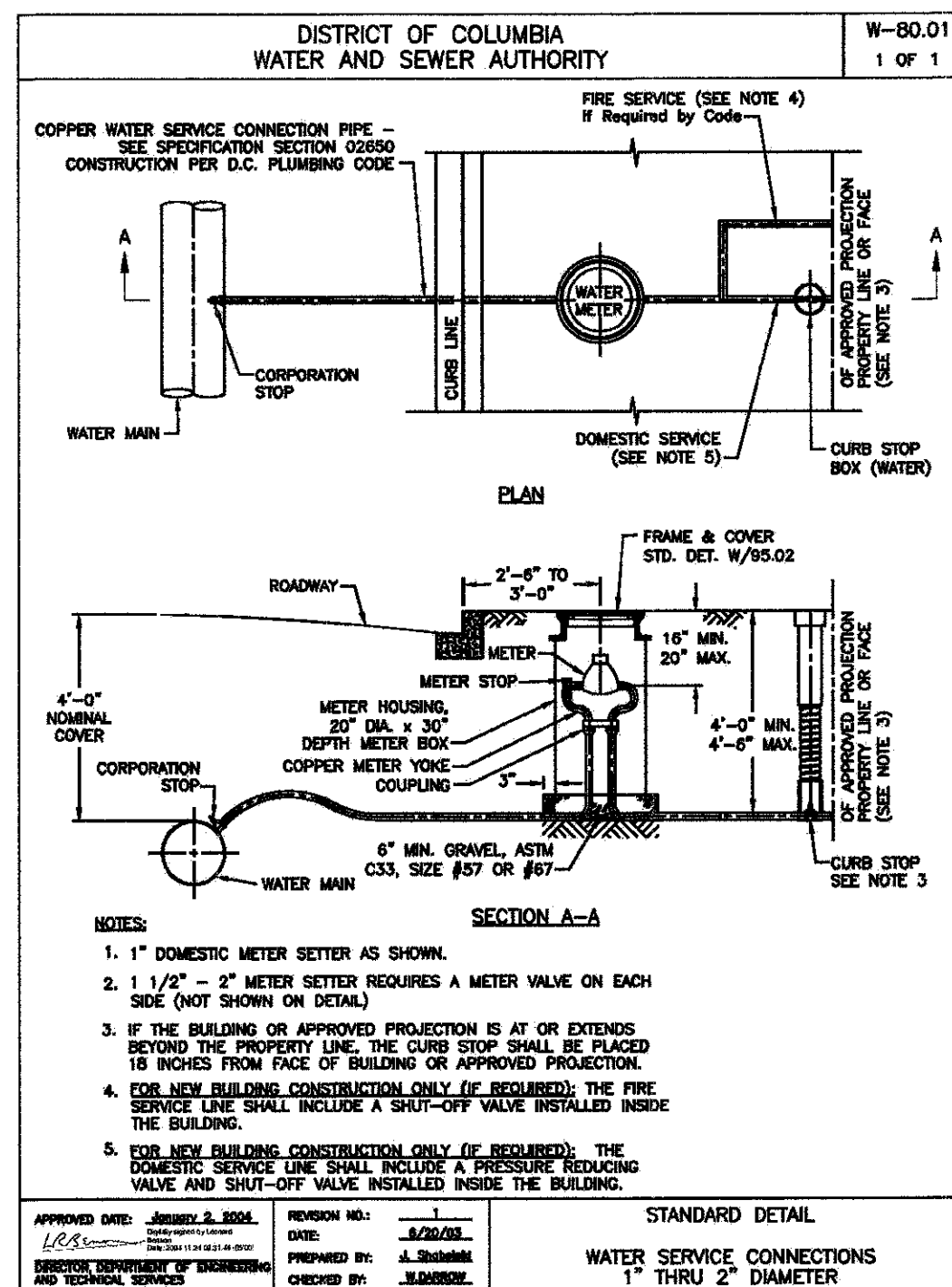
FILE NO. 15-251



LOCATION OF UTILITIES AND UTILITY CROSSINGS TO BE VERIFIED BY CONTRACTOR BY HAND DIGGING TEST PITS BEFORE START OF CONSTRUCTION.

PROJECT NARRATIVE:

THE PROJECT IS LOCATED AT 67 V STREET, NORTH WEST, WASHINGTON D.C. THE PROPERTY AREA IS 2,880 SQUARE FEET, AND IS CURRENTLY A TWO STORY BUILDING. THE OWNER OF THE PROPERTY WISHES TO CONSTRUCT A THREE STORY BUILDING WITH BASEMENT AND TO INSTALL A NEW 2" DOMESTIC WATER LINE FROM EXISTING 6" WATER MAIN ON V STREET, NW. AFTER NEW 2" METER LOCATION THERE IS ANOTHER 2" WATER LINE PROPOSED FOR THE FIRE CONNECTION TO THE BUILDING AS SHOWN ON THE UTILITY PLAN.



BUILDING NOTE:

FOR EXACT LOCATION OF PIERS, COLUMNS, WALLS AND OTHER FEATURES INCLUDING THE INTERNAL DIMENSIONS INSIDE THE BUILDING, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.

"MISS UTILITY" NOTE

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.

**CURRIE AND ASSOCIATES**  
CONSULTING ENGINEERS, SURVEYORS AND PLANNERS  
3331 TOLEDO TERRACE, SUITE 105  
HYATTSVILLE, MD., 20782  
TEL: (301) 559-0100 FAX: (301) 559-1700

**SITE & UTILITY PLAN, DC**  
**WATER NOTES & DETAILS**  
LOT # 78 SQUARE 3118  
67 V STREET, N.W.  
WASHINGTON, D.C.

**REVISION**

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**DATE** 2-13-15

**CHKD BY:** AC

**DESIGN BY:** KS

**SHEET NO.** C0002 OF 5

**FILE NO.** 15-251



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| 19.0 STANDARDS AND SPECIFICATIONS<br>FOR<br>LAND GRADING<br>Definition<br>Reshaping of the EX. land surface in accordance with a plan as determined by engineering survey and layout.<br>Purpose<br>The purpose of a land grading specification is to provide for erosion control and vegetative establishment on those areas where the EX. land surface is to be reshaped by grading according to plan. |
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| Design Criteria<br>The grading plan should be based upon the incorporation of building designs and street layouts that fit and utilize EX. topography and desirable natural surroundings to avoid extreme grade modifications. Information submitted must provide sufficient topographic survey and soil investigations to determine limitations that must be imposed on the grading operation related to slope stability, effect on adjacent properties and drainage patterns, measures for drainage and water removal and vegetative treatment, etc.<br>Many counties have regulations and design procedures already established for land grading and cut and fill slopes. Where these requirements exist, they shall be followed. The plan must show EX. and proposed contours of the area(s) to be graded. The plan shall also include practices for erosion control, slope stabilization, safe disposal of runoff water and drainage, such as waterways, lined ditches, reverse slope benches (include grade and cross section), grade stabilization structures, retaining walls, and surface and subsurface drains. The plan shall also include phasing of these practices. The following shall be incorporated into the plan:<br>1. Provisions shall be made to safely conduct surface runoff to storm drains, protected outlets or to stable water courses to insure that surface runoff will not damage slopes or other graded areas.<br>2. Cut and fill slopes that are to be stabilized with grasses shall not be steeper than 2:1. (Where the slope is to be moved the slope should be no steeper than 3:1; 4:1 is preferred because of safety factors related to moving steep slopes) Slopes exceeding 2:1 shall require special design and stabilization considerations that shall be adequately shown on the plans.<br>3. Reverse benches shall be provided whenever the vertical interval (height) of any 2:1 slope exceeds 20 feet; for 3:1 slope it shall be increased to 30 feet and for 4:1 to 40 feet. Benches shall be located to divide the slope face as equally as possible and shall convey the water to a stable outlet. Soils, seeps, rock outcrops, etc., shall also be taken into consideration when designing benches.<br>a. Benches shall be a minimum of six-feet wide to provide for ease of maintenance<br>b. Benches shall be designed with a reverse slope of 6:1 or flatter to the toe of the upper slope and with a minimum of one foot in depth. Bench gradient to the outlet shall be between 2 percent and 3 percent, unless accompanied by appropriate design and computations.<br>c. The flow length within a bench shall not exceed 800' unless accompanied by appropriate design and computations. For flow channel stabilization see temporary swale.<br>4. Surface water shall be diverted from the face of all cut and/or fill slopes by the use of earth dikes, ditches and swales or conveyed downslope by the use of a designed structure, except where:<br>a. The face of the slope is or shall be stabilized and the face of all graded slopes shall be protected from surface runoff until they are stabilized.<br>b. The face of the slope shall not be subject to any concentrated flows of surface water such as from natural drainageways, graded swales, downspouts, etc.<br>c. The face of the slope will be protected by special erosion control materials, to include, but not limited to: approved vegetative stabilization practices (see section G), rip-rap or other approved stabilization methods.<br>5. Cut slopes occurring in ripable rock shall be serrated as shown on the following diagram. These serrations shall be made with conventional equipment as the excavation is made. Each step or serration shall be constructed on the contour and will have steps cut at nominal two-foot intervals with nominal three-foot horizontal shelves. These steps will vary depending on the slope ratio or the cut slope. The nominal slope line is 1:1. These steps will weather and act to hold moisture, lime, fertilizer and seed thus producing a much quicker and longer lived vegetative cover and better slope stabilization. Overland flow shall be diverted from the top of all serrated cut slopes and carried to a suitable outlet.<br>6. Subsurface drainage shall be provided where necessary to intercept seepage that would otherwise adversely affect slope stability or create excessively wet site conditions.<br>7. Slopes shall not be created so close to property lines as to endanger adjoining properties without adequately protecting such properties against sedimentation, erosion, slippage, settlement, subsidence or other related damages.<br>8. Fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris, and other objectionable material. It shall be free of stones over two (2) inches in diameter where compacted by hand or mechanical tampers or over eight (8) inches in diameter where compacted by rollers or other equipment. Frozen material shall not be placed in the fill nor shall the fill material be placed on a frozen foundation.<br>9. Stockpiles, borrow areas and spoil shall be shown on the plans and shall be subject to the provisions of this Standard and Specifications.<br>10. All disturbed areas shall be stabilized structurally or vegetatively in compliance with 20.0 Standards and Specifications for Vegetative Stabilization. |
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| DETAIL 22 SILT FENCE                                                                                                                                                                                                                        |                   |                        |
| SILT FENCE DESIGN CRITERIA                                                                                                                                                                                                                  |                   |                        |
| SLOPE STEEPNESS                                                                                                                                                                                                                             | MAX. SLOPE LENGTH | MAX. SILT FENCE LENGTH |
| FLATTER THAN 50:1                                                                                                                                                                                                                           | UNLIMITED         | UNLIMITED              |
| 50:1 TO 10:1                                                                                                                                                                                                                                | 125 FEET          | 1,000 FEET             |
| 10:1 TO 5:1                                                                                                                                                                                                                                 | 100 FEET          | 750 FEET               |
| 5:1 TO 3:1                                                                                                                                                                                                                                  | 60 FEET           | 500 FEET               |
| 3:1 TO 2:1                                                                                                                                                                                                                                  | 40 FEET           | 250 FEET               |
| 2:1 AND STEEPER                                                                                                                                                                                                                             | 20 FEET           | 125 FEET               |
| NOTE:<br>IN AREAS OF LESS THAN 2% SLOPE SANDY SOIL (USDA GENERAL CLASSIFICATION SYSTEM, SOIL CLASS A) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED. |                   |                        |

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| SEQUENCE OF CONSTRUCTION                                                                                                                       |
| 1. APPLICANT SHOULD SET UP A PRE-CONSTRUCTION MEETING WITH THE DISTRICT OF COLUMBIA HEALTH DEPARTMENT PRIOR TO ANY LAND DISTURBING ACTIVITIES. |
| 2. NOTIFY "MISS UTILITY" AT LEAST 48 HOURS IN ADVANCE BEFORE BEGINNING CONSTRUCTION.                                                           |
| 3. INSTALL ALL SEDIMENT CONTROL DEVICES. BEGIN WORK AFTER OBTAINING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR.                              |
| 4. BEGIN EXCAVATION OF SITE.                                                                                                                   |
| 5. INSTALL UTILITIES.                                                                                                                          |
| 6. BEGIN CONSTRUCTION OF 3 STORY BUILDING W/ BASEMENT.                                                                                         |
| 7. AFTER COMPLETION OF SITE WORK, STABILIZE SITE.                                                                                              |
| 8. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES.                                                   |

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| 21.0 STANDARD AND SPECIFICATIONS<br>FOR<br>TOPSOIL<br>Definition<br>Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.<br>Purpose<br>To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.<br>Conditions Where Practice Applies<br>I. This practice is limited to areas having 2:1 or flatter slopes where:<br>a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.<br>b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.<br>c. The original soil to be vegetated contains material toxic to plant growth.<br>d. The soil is so acidic that treatment with limestone is not feasible.<br>II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.<br>Construction and Material Specifications<br>I. Topsoil salvaged from the EX. site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.<br>II. Topsoil Specifications - Soil to be used as topsoil must meet the following:<br>I. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.<br>II. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.<br>III. Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 44 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.<br>II. For sites having disturbed areas under 5 acres:<br>I. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.<br>III. For sites having disturbed areas over 5 acres:<br>I. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:<br>a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.<br>b. Organic content of topsoil shall be not less than 1.5 percent by weight.<br>c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.<br>d. No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.<br>Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.<br>II. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.<br>V. Topsoil Application<br>I. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.<br>II. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" - 8" higher in elevation.<br>III. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.<br>IV. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.<br>VI. Alternative for Permanent Seeding Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:<br>I. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:<br>a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.<br>b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.<br>c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.<br>IV. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate. |
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| References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes, Revised 1973. |
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| STATEMENT BY PERSON RESPONSIBLE FOR MAINTENANCE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| THE UNDERSIGNED AGREES TO MAINTAIN AND OPERATE THE DISCHARGE FACILITIES IN SUCH A MANNER AS TO COMPLY WITH THE PROVISIONS OF SECTION 526 THROUGH 535 OF DCMR-21, CHAPTER 5. RESPONSIBILITY FOR MAINTENANCE AND OPERATION MAY BE TRANSFERRED TO ANOTHER ENTITY UPON WRITTEN NOTICE TO THE WATERSHED PROTECTION DIVISION OF THE DEPARTMENT OF HEALTH FROM THE UNDERSIGNED AND THE ENTITY ASSUMING RESPONSIBILITY, CERTIFYING THAT THE TRANSFER OF RESPONSIBILITY FOR MAINTENANCE AND OPERATION IN COMPLIANCE WITH SECTION 526 THROUGH 535 OF DCMR-21, CHAPTER 5 HAS BEEN ACCEPTED. |

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| STATEMENT BY PROFESSIONAL ENGINEER REGISTERED IN THE DISTRICT OF COLUMBIA |
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| THIS IS TO CERTIFY THAT THE ENGINEERING FEATURES OF THIS STORMWATER DISCHARGE FACILITY HAVE BEEN DESIGNED/EXAMINED BY ME AND FOUND TO BE IN CONFORMITY WITH MODERN ENGINEERING PRINCIPLES APPLICABLE TO THE TREATMENT AND DISPOSAL OF STORMWATER POLLUTANTS. I FURTHER CERTIFY THAT THE FACILITY HAS BEEN DESIGNED IN ACCORDANCE WITH THE SPECIFICATION REQUIRED UNDER SECTION 526 THROUGH 535 OF DCMR-21, CHAPTER 5. IT IS ALSO STATED THAT THE UNDERSIGNED HAS FURNISHED THE APPLICANT WITH A SET OF INSTRUCTIONS FOR THE MAINTENANCE AND OPERATION OF THE STORMWATER DISCHARGE FACILITY. |
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STANDARD AND SPECIFICATION FOR DUST CONTROL

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| 1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:<br>A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE.<br>B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER.<br>C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.<br>6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:<br>A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK,PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES.<br>B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.<br>C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE BOUNDARIES. |

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| VEGETATIVE STABILIZATION<br>PERMANENT AND TEMPORARY SEEDING, SODDING AND MULCHING<br>I. SITE PREPARATION<br>PERMANENT OR TEMPORARY VEGETATION SHALL BE ESTABLISHED WITHIN SEVEN (7) DAYS ON THE SURFACE OF ALL SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, WATERWAYS, SEDIMENT CONTROL BASINS, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND WITHIN 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. MULCHING MAY ONLY BE USED ON DISTURBED AREAS AS TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING CANNOT BE COMPLETED BECAUSE OF WEATHER.<br>II. SEEDBED PREPARATION AND SEEDING APPLICATION<br>LOOSEN THE TOP LAYER OF THE SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT SUCH AS DISC HARROWS, CHISEL PLOWS, OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. INCORPORATE THE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF THE SOIL BY DISCING OR BY OTHER SUITABLE MEANS. ROUGH AREAS SHOULD NOT BE ROLLED OR DRAGGED SMOOTH, BUT LEFT IN A ROUGHENED CONDITION. STEEP SLOPES GREATER THAN 3:1 SHOULD BE TRACKED BY A DOZER, LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. THE TOP 1 TO 3 INCHES OF SOIL SHOULD BE LOOSE AND FRABLE. PERMANENT COVER MAY REQUIRE AN APPLICATION OF TOPSOIL IF SO, IT MUST MEET THE REQUIREMENTS SET FORTH IN SECTION 21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL FROM THE 1994 STANDARDS AND SPECIFICATIONS.<br>III. SOIL AMENDMENTS<br>SOIL TESTS SHALL BE MADE ON SITES OVER FIVE ACRES TO DETERMINE THE EXACT REQUIREMENTS FOR BOTH LIME AND FERTILIZER. FOR SITES UNDER 5 ACRES, IN LIEU OF A SOIL TEST, APPLY THE FOLLOWING:<br>FERTILIZER NITROGEN 2lbs/1000 s.f. (90 lbs/acre)<br>P205 4lbs/1000 s.f. (175 lbs/acre)<br>K20 4lbs/1000 s.f. (175 lbs/acre)<br>FOR LOW MAINTENANCE AREAS APPLY 150 lbs/acre UREA/FORM FERTILIZER (38-0-0) AT 3.5 lbs/1000 sq. ft. IN ADDITION TO THE ABOVE FERTILIZER AT THE TIME OF SEEDING.<br>GROUND LIMESTONE 2 TONS/AC<br>IV. SEDIMENT CONTROL PRACTICE SEEDING<br>SELECT A SEEDING MIXTURE FROM TABLES 25 OR 26 IN SECTION G OF THE 1994 STANDARDS AND SPECIFICATIONS. DOCUMENT SEEDING ON THE EROSION AND SEDIMENT CONTROL PLAN USING APPROPRIATE CHART BELOW. NOTE: IF SEDIMENT CONTROL PRACTICES ARE IN FOR LONGER THAN 12 MONTHS, PERMANENT SEEDING IS REQUIRED.<br>V. TEMPORARY/PERMANENT SEEDING MIXTURES AND RATES<br>SELECT A SEEDING MIXTURE FROM APPROPRIATE TABLE 25 OR 26 IN SECTION G OF THE 1994 STANDARDS AND SPECIFICATIONS. DOCUMENT SEEDING ON THE EROSION AND SEDIMENT CONTROL PLAN USING APPROPRIATE CHART BELOW. |
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| SEED MIXTURE (HARDINESS ZONE 7a )<br>(FROM TABLE 26) |                                   |                            |                        | FERTILIZER<br>RATE<br>(10-10-10) | LIME RATE                          |
| NO.                                                  | SPECIES                           | APPLICATION RATE (lb/acre) | SEEDING DATES          | SEEDING DEPTHS                   |                                    |
| 1                                                    | BARLEY OR RYE PLUS FOXTAIL MILLET | 150                        | 2/1-10/15<br>2/1-11/30 | 1"                               |                                    |
| 2                                                    | ANNUAL RYEGRASS                   | 50                         | 2/1-4/30<br>8/15-11/1  | 1/4"-1/2"                        | 600 lb/acre<br>(15 lb/1000 sq ft)  |
| 3                                                    | WEEPING LOVEGRASS                 | 4                          | 5/1-8/14               | 1/4"-1/2"                        | 2 tons/acre<br>(100 lb/1000 sq ft) |

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| "MISS UTILITY" NOTE<br>CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. |
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PERMANENT SEEDING SUMMARY

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| SEED MIXTURE (HARDINESS ZONE 7a )<br>(FROM TABLE 25) |                                                                       |                            |                        | FERTILIZER RATE<br>(10-20-20)  |                               |                               | LIME RATE                       |
| MIX NO.                                              | SPECIES                                                               | APPLICATION RATE (lb/acre) | SEEDING DATES          | N                              | P205                          | K20                           |                                 |
| 3                                                    | TALL FESCUE(65%)<br>PERENNIAL RYEGRASS(10%)<br>KENTUCKY BLUEGRASS(5%) | 150                        | 3/1-5/15<br>8/15-11/15 |                                |                               |                               |                                 |
| 6                                                    | WEEPING LOVEGRASS(17%)<br>SEROTICA LESPEDeza(83%)                     | 4<br>20                    | 3/1-5/15<br>5/16-8/14  | 90 lb/acre<br>(2.0 lb/1000 st) | 175 lb/acre<br>(4 lb/1000 st) | 175 lb/acre<br>(4 lb/1000 st) | 2 tons/acre<br>(100 lb/1000 st) |
| 10                                                   | TALL FESCUE(80%)<br>HARD FESCUE(20%)                                  | 120<br>30                  | 3/1-5/15<br>8/15-11/15 |                                |                               |                               |                                 |

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| VI. TURFGRASS ESTABLISHMENT<br>THIS INCLUDES LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. AREAS TO RECEIVE SEED SHALL BE TILLED BY DISCING OR BY OTHER ACCEPTED METHODS TO A DEPTH OF 3 TO 5 INCHES. LEVELED AND RAKED TO PREPARE A PROPER SEEDING. STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER SHALL BE REMOVED. THE RESULTING SEEDBED SHALL BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY. USE CERTIFIED MATERIAL AND CHOOSE A TURFGRASS MIXTURE FROM PAGE G-20 OF THE 1994 STANDARDS AND SPECIFICATIONS OR SELECT FROM THE LIST IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MIMCO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".<br>VII. MULCHING<br>ALL SEEDINGS REQUIRE MULCHING. ALSO MULCH DURING NON-SEEDING DATES UNTIL SEEDING CAN BE DONE.<br>MULCH SHALL BE UNROOTED, UNCHOPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS/ACRE OR 90 LBS/1000 S.F. (2 BALS). IF A MULCH ANCHORING TOOL IS USED, APPLY 2.5 TONS/ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS. SPREAD MULCH UNFORMELY, MECHANICALLY OR BY HAND, TO A DEPTH OF 1-2 INCHES. MULCH ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER MULCH PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY MULCH NETTINGS, MULCH ANCHORING TOOL, WOOD CELLULOSE FIBER OR LIQUID MULCH BINDERS.<br>APPLY WOOD CELLULOSE FIBER AT A DRY WEIGHT OF 1,500 LBS./ACRE. IF MIXED WITH WATER, USE 50 LBS. OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.<br>LIQUID BINDER SHOULD BE APPLIED HEAVIER AT THE EDGE, WHERE WIND CATCHES MULCH IN VALLEYS, AND ON CREST BANKS. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION. APPLY RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR AND MULCH. STAPLE LIGHT WEIGHT, PLASTIC NETTING OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.<br>VIII. SODDING<br>CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD IS TO BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR USING STAGGERED JOINTS WITH ALL ENDS TIGHTLY BUTTED AND NOT OVER LAPPING. SOD SHALL BE ROLLED AND THOROUGHLY WATERED AFTER INSTALLATION. DAILY WATERING TO MAINTAIN 4 INCH DEPTH OF MOISTURE FOR THE FIRST WEEK IS REQUIRED IN THE ABSENCE OF RAINFALL. SOD IS NOT TO BE APPLIED ON FROZEN GROUND.<br>IX. MAINTENANCE<br>A. IRRIGATE- APPLY MINIMUM 1" OF WATER EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE. WHEN SOIL MOISTURE BECOMES DEFICIENT TO PREVENT LOSS OF STAND OF PROTECTIVE VEGETATION.<br>B. REPAIRS- IF STAND PROVIDES BETWEEN 40% AND 84% GROUND COVERAGE, OVERSEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY APPLIED. IF STAND PROVIDES LESS THAN 40% COVERAGE, REESTABLISH STAND FOLLOWING ORIGINAL RATES AND PROCEDURES.<br>NOTE:<br>USE OF THIS INFORMATION DOES NOT PRECLUDE MEETING ALL OF THE REQUIREMENTS OF THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL VEGETATIVE PRACTICES. |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

REVISION

DATE

NO.

CURRIE AND ASSOCIATES  
CONSULTING ENGINEERS, SURVEYORS AND PLANNERS  
3831 TOLEDO TERRACE, SUITE 105  
HAYTTSVILLE, MD, 20782  
TEL: (301) 559-0000 FAX: (301) 559-1700

DESIGN BY: AC  
CHKD BY: KS  
DATE: 2-13-15

SEDIMENT CONTROL NOTES

LOT # 78 SQUARE 3118  
67 V STREET, N.W.  
WASHINGTON, D.C.

SHEET NO. C0004 OF 5

FILE NO. 15-251

[illegible]

DRAWING LIST

CIVIL

- C0001: EXISTING CONDITION & DEMOLITION PLAN
- C0002: SITE & UTILITY PLAN, DC WATER NOTES & DETAILS
- C0003: SEDIMENT CONTROL PLAN
- C0004: SEDIMENT CONTROL NOTES
- C0005: SEDIMENT CONTROL, WATER NOTES & DETAILS

ARCHITECTURE

- A0.01 COVER
- A1.01 SITE PLAN
- A1.02 GENERAL INFORMATION
- A1.03 PARTITION SCHEDULE
- A1.04 DOOR SCHEDULE
- A1.05 FINISH SCHEDULE
- A1.06 DEMOLITION PLANS & ELEVATIONS
- A2.01 BASEMENT & 1ST FLOOR PLANS
- A2.02 2ND & 3RD FLOOR PLANS
- A2.03 ROOF PLAN
- A3.01 FRONT & REAR ELEVATIONS
- A3.02 SIDE ELEVATION
- A3.03 SIDE ELEVATION
- A4.01 BUILDING SECTION
- A4.02 BUILDING SECTION
- A5.01 DETAILS

STRUCTURE

- S0001 STRUCTURAL NOTES
- S0002 FOUNDATION PLAN & 1ST FLOOR FRAMING PLANS
- S0003 2ND FLOOR & 3RD FLOOR FRAMING PLANS
- S0004 ROOF FRAMING PLAN
- S0005 DETAILS
- S0006 DETAILS
- S0007 DETAILS
- S0008 WIND BRACE DETAILS

MECHANICAL

- M1.0 MECHANICAL GENERAL NOTES, DETAILS AND SYMBOLS
- M2.0 MECHANICAL EXISTING AND DEMOLITION PLANS
- M3.0 MECHANICAL BASEMENT AND 1ST FLOOR PLANS
- M3.1 MECHANICAL 2ND & 3RD FLOOR PLANS
- M3.2 MECHANICAL ROOF PLAN
- M4.0 MECHANICAL SCHEDULES

ELECTRICAL

- E1.0 NOTES AND SYMBOLS
- E1.1 ELECTRICAL SCHEDULES
- E1.2 ELECTRICAL RISER DIAGRAMS
- E2.0 BASEMENT AND 1ST FLOOR LIGHTING PLAN
- E2.1 BASEMENT AND 1ST FLOOR POWER PLAN
- E3.0 2ND AND 3RD FLOOR LIGHTING PLAN
- E3.1 2ND AND 3RD FLOOR POWER PLAN
- E4.0 ROOF ELECTRICAL PLAN

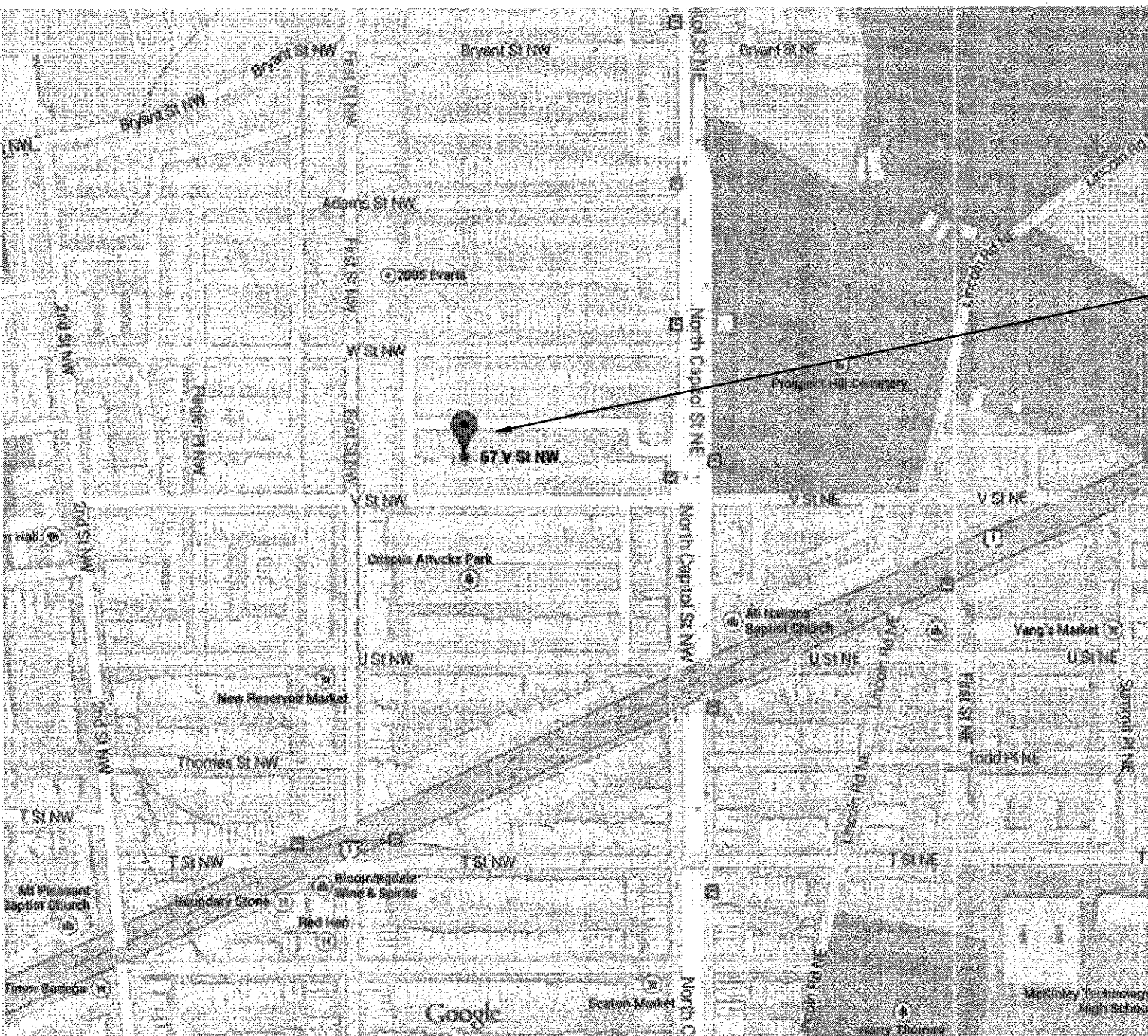
PLUMBING

- P1.0 GENERAL NOTES AND DETAILS
- P2.0 PLUMBING EXISTING AND DEMOLITION PLANS
- P3.0 PLUMBING SANITARY/ VENT PLANS - BASEMENT AND 1ST FLOOR FLOORS
- P3.1 PLUMBING SANITARY/ VENT PLANS - 2ND AND 3RD FLOOR FLOORS
- P3.2 PLUMBING STORM PLAN - ROOF
- P3.3 PLUMBING SANITARY / VENT RISER DIAGRAM
- P4.0 PLUMBING HOT / COLD WATER PLANS - BASEMENT AND 1ST FLOORS
- P4.1 PLUMBING HOT / COLD WATER PLANS -2ND AND 3RD FLOORS
- P4.2 PLUMBING HOT / COLD WATER RISER DIAGRAM
- P5.0 PLUMBING GAS PLAN AND RISER DIAGRAM

67 V STREET

67 V Street, NE, Washington DC

LOCATION MAP



PROJECT

SYMBOLS

- 98 COLUMN NUMBER
- 4 A&O1 DETAIL MARK
- 201 DOOR TYPE
- 1 A3.01 ELEVATION MARK
- 2 3 1 A4.02 INTERIOR ELEVATION MARK
- FINISH ELEVATION
- A GRID LINE
- 1002 KEYED NOTE
- 12 PARTITION TYPE
- 5 REVISION MARK
- 1 A7.01 SECTION MARK
- MAS-01 PRODUCT KEY (SEE SPEC 01 620)

LIST OF ABBREVIATIONS

|      |                       |      |                         |       |                        |
|------|-----------------------|------|-------------------------|-------|------------------------|
| &    | AND                   | EQ   | EQUAL                   | PLWID | PLYWOOD                |
| @    | AT                    | ETR  | EXISTING TO REMAIN      | PT    | PRESSURE TREATED       |
| AFF  | ABOVE FINISHED FLOOR  | EXTG | EXISTING                | PTD   | PAINTED                |
| APT  | APARTMENT             | FF   | FINISH FLOOR            | PR    | PAIR                   |
| BLDG | BUILDING              | FIN  | FINISH                  | R     | RISER                  |
| BSMT | BASEMENT              | FLR  | FLOOR                   | REF   | REFRIGERATOR           |
| CJ   | CONTROL JOINT         | GA   | GUAGE                   | RO    | ROUGH OPENING          |
| CAB  | CABINET               | GWB  | GYPSUM WALL BOARD       | ROD   | REQUIRED               |
| CL   | CENTER LINE           | HB   | HOSE BID                | RM    | ROOM                   |
| CLG  | CEILING               | HC   | HOLLOW CORE             | SC    | SOLID CORE             |
| CLR  | CLEAR                 | HT   | HEIGHT                  | SHT   | SHEET                  |
| CMU  | CONCRETE MASONRY UNIT | HDWR | HARDWARE                | SHWR  | SHOWER                 |
| COND | CONDITION             | JB   | JUNCTION BOX            | SIM   | SIMILAR                |
| CONT | CONCRETE              | LB   | POUND                   | SKVLT | SKYLIGHT               |
| D    | DOWN                  | LBW  | LOAD BEARING WALL       | SPEC  | SPECIFICATION          |
| DH   | DRYER                 | LVL  | LAMINATED VENEER LUMBER | SPRK  | SPRINKLER              |
| DIA  | DOUBLE HUNG           | MARB | MARBLE                  | STL   | STEEL                  |
| DIM  | DIAMETER              | MATL | MATERIAL                | TBD   | TO BE DETERMINED       |
| DN   | DOWN                  | MAX  | MAXIMUM                 | T&G   | TONGUE & GROOVE        |
| DR   | DOOR                  | MDO  | MEDIUM DENSITY OVERLAY  | TOO   | TOP OF SLAB            |
| DS   | DOWNSPOUT             | MIN  | MINIMUM                 | TYP   | TYPICAL                |
| DTL  | DETAIL                | MANU | MANUFACTURER            | UNO   | UNLESS NOTED OTHERWISE |
| DW   | DISHWASHER            | MTL  | METAL                   | VIF   | VERIFY IN FIELD        |
| DWG  | DRAWING               | MECH | MECHANICAL              | W     | WASHER                 |
| EIFS | EXTERIOR INSULATION   | NIC  | NOT IN CONTRACT         | W/    | WITH                   |
| EL   | ELEVATION             | NTS  | NOT TO SCALE            | WC    | TOILET/WATER CLOSET    |
| ELEC | ELECTRICAL            | OC   | ON CENTER               | WD    | WOOD                   |
| EX   | EXPANSION             | OH   | OPPOSITE HAND           | W/O   | WITHOUT                |
| PLAM | PLASTIC LAMINATE      | OSB  | ORIENTED STRAND BOARD   |       |                        |
|      |                       | WWM  | WELDED WIRE MESH        |       |                        |

DISTRICT OF COLUMBIA  
PERMIT PROCESSING DIVISION  
STRUCTURAL WORK IN GENERAL  
APPROVED FOR THE  
FURTHER PROCEEDING OF THE PROJECT  
MAY 19 2015  
Structural Engr. Section



DONG  
ARCHITECTS

8512 Frost Way  
Annandale VA 22003  
Tel: 703.828.5995

| No. | Issued For | Date     |
|-----|------------|----------|
| 1   | Permit Set | 03.05.15 |

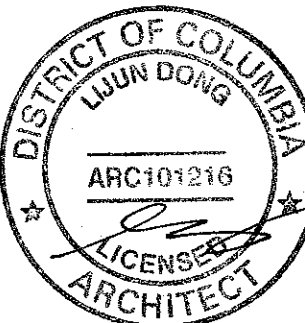
SCALE: As Shown

67 V Street  
67 V Street, NE, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal



Sheet Title

COVER

Sheet Number

A0.01



**DONG ARCHITECTS**

8512 Frost Way  
Annandale VA 22003  
Tel: 703.828.5995

| No. | Issued For      | Date     |
|-----|-----------------|----------|
| 1   | Permit Set      | 03.05.15 |
| 2   | Permit Revision | 04.09.15 |
| 3   | Permit Revision | 05.07.15 |

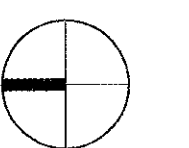
SCALE: As Shown

**67 V Street**  
67 V Street, NW, Washington DC 20001

Developer

**WS Homes**  
**67 V St LLC**

Professional Seal



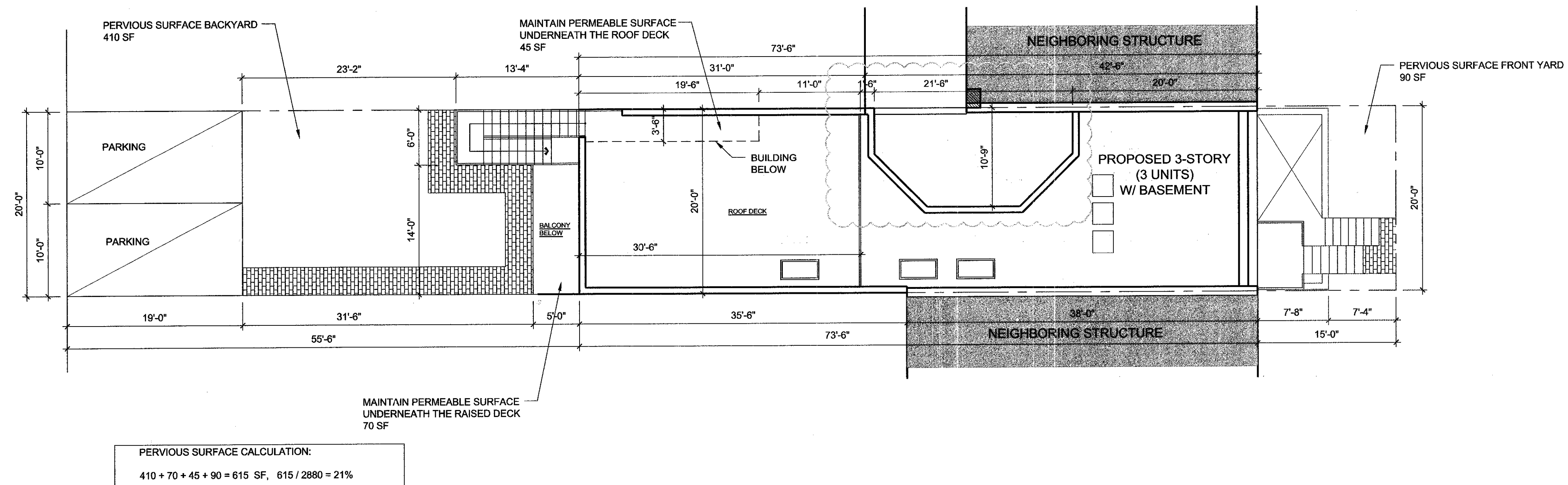
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**SITE PLAN**

Sheet Number

**A1.01**

20' PUBLIC ALLEY

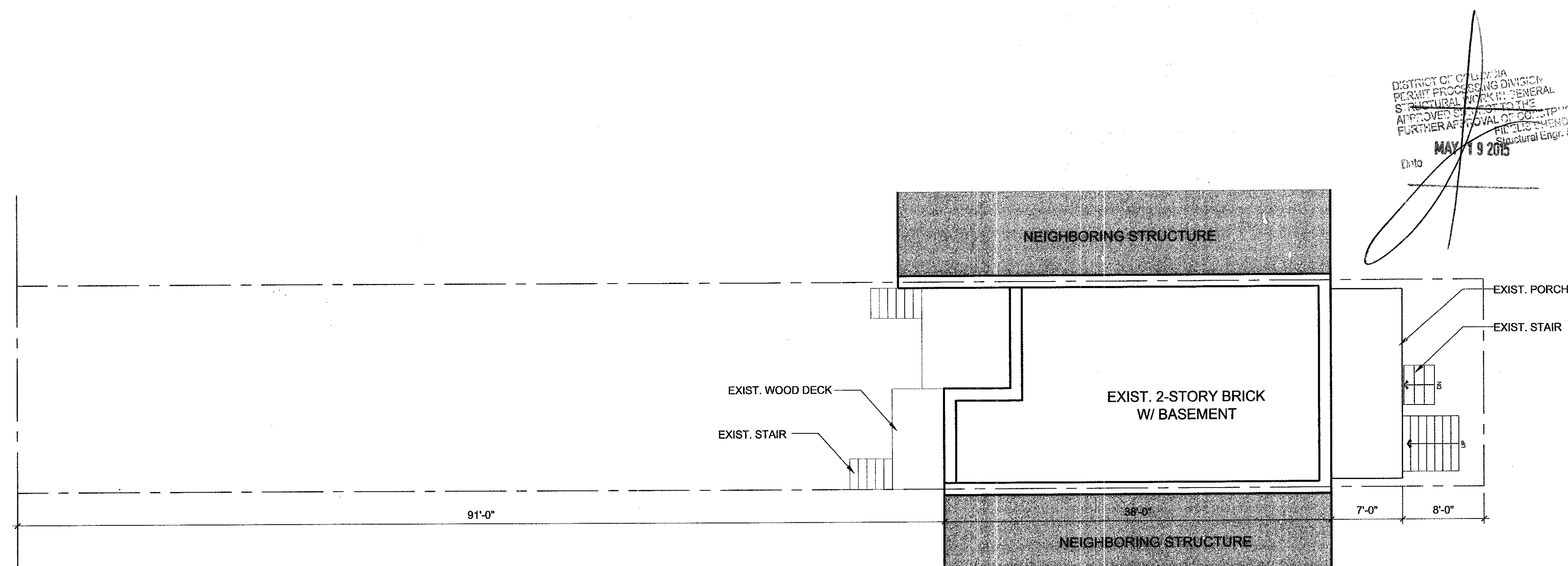


V STREET, N.W.

**2**

**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

20' PUBLIC ALLEY



V STREET, N.W.

**1**

**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"



Exhibit 1 - Page 14 of 45



**DONG  
ARCHITECTS**

8512 Frost Way  
Annandale VA 22003  
Tel: 703.828.5995

| No. | Issued For      | Date     |
|-----|-----------------|----------|
| 1   | Permit Set      | 03.05.15 |
| 2   | Permit Revision | 04.09.15 |

SCALE: As Shown

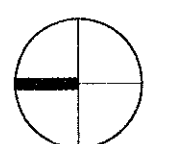
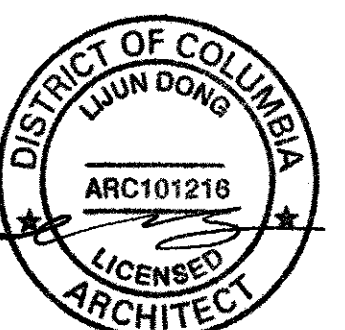
**67 V Street**

67 V Street, NW, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

Professional Seal



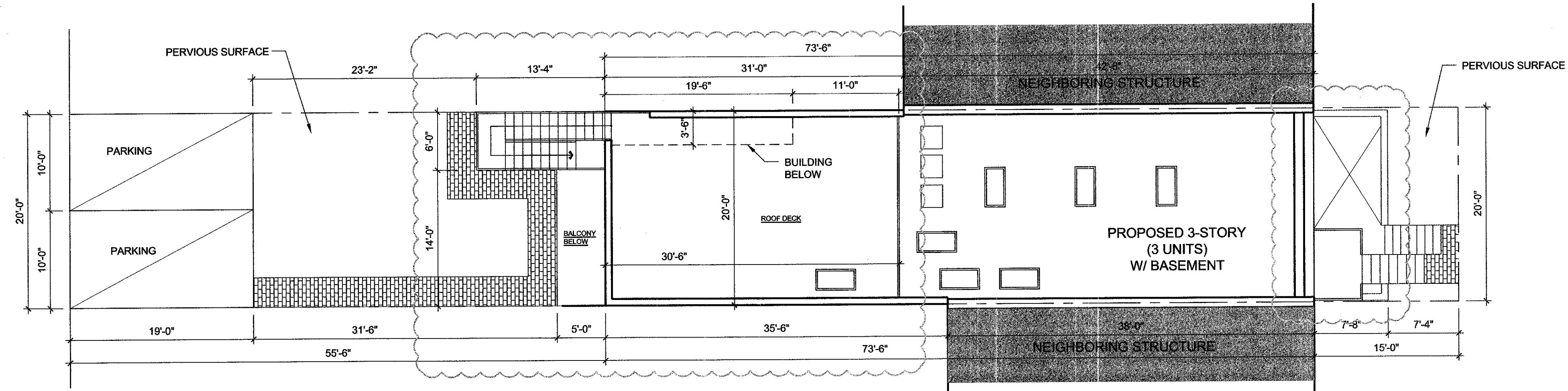
Sheet Title

**SITE PLAN**

Sheet Number

**A1.01**

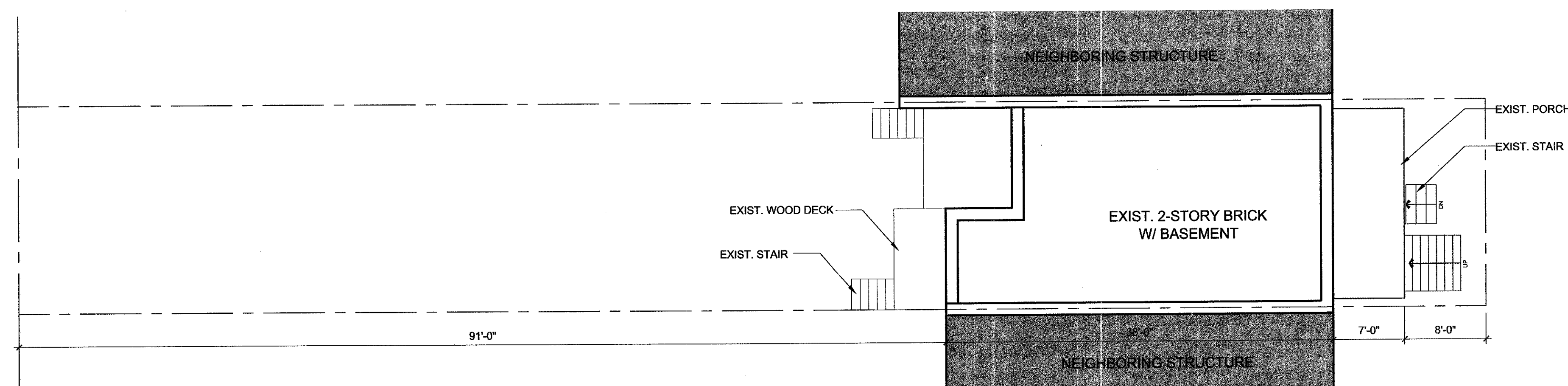
20' PUBLIC ALLEY



**2**

**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

20' PUBLIC ALLEY



**1**

**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"

ZONING & BUILDING CODE DATA:

BUILDING DATA:

PROJECT NAME: 67 V STREET  
PROJECT ADDRESS: 67 V STREET, NW, WASHINGTON DC 20001

PROJECT SCOPE:  
[SCOPE OF WORK AS DEFINED BY LOCAL BUILDING CODES DETAILING EXISTING STRUCTURE(S),BUILDING USE , AND NEW MULTIDISCIPLINARY WORK TO BE PERFORMED]

- APPLICABLE BUILDING CODES:  
2003 DC ZONING REGULATIONS (DCMR 11)  
2013 DC CONSTRUCTION CODES SUPPLEMENT (DCMR 12) WHICH AMENDS THE FOLLOWING:
- 2012 ICC INTERNATIONAL BUILDING CODE (DCMR 12A)
  - 2012 ICC INTERNATIONAL RESIDENTIAL CODE (DCMR 12B)
  - 2011 NFPA NATIONAL ELECTRIC CODE (DCMR 12C)
  - 2012 ICC INTERNATIONAL FUEL GAS CODE (DCMR 12D)
  - 2012 ICC INTERNATIONAL MECHANICAL CODE (DCMR 12E)
  - 2012 ICC INTERNATIONAL PLUMBING CODE (DCMR 12F)
  - 2012 ICC INTERNATIONAL PROPERTY MAINTENANCE CODE (DCMR 12G)
  - 2012 ICC INTERNATIONAL FIRE CODE (DCMR 12H)
  - 2012 ICC INTERNATIONAL ENERGY COSERVATION CODE (DCMR 12I)
  - 2012 ICC INTERNATIONAL EXISTING BUILDING CODE (DCMR 12J)
  - ICC/ANSI A117.1 - 2003

ZONING DATA:

SQUARE NO.: 3118  
LOT NO.: 0078  
ZONING DISTRICT: R-4  
OVERLAY DISTRICT: N  
HISTORIC DISTRICT: N

SITE AREA: 2,880 SF

| REGULATION (ZR)    | EXISTING                      | ALLOWED / REQUIRED            | PROVIDED                      |
|--------------------|-------------------------------|-------------------------------|-------------------------------|
| MAXIMUM UNITS      | SINGLE FAMILY                 | 3 UNITS                       | 3 UNITS                       |
| BUILDING HEIGHT    | 21'-0" / 2 STORIES + BASEMENT | 40'-0" / 3 STORIES + BASEMENT | 34'-0" / 3 STORIES + BASEMENT |
| FLOOR AREA RATIO   | N/A                           | NONE PRESCRIBED               |                               |
| LOT OCCUPANCY      | 35% (1,002 SF)                | 60% (2,880 SF) = 1,728 SF     | 59% (1,717 SF)                |
| REAR YARD          | 91'-0"                        | MINIMUM: 20'-0"               | 51'-0"                        |
| SIDE YARD          | 0                             | NONE PRESCRIBED               |                               |
| OFF-STREET PARKING | 0                             | 1 PER 3 DWELLING UNITS = 1    | 2 SPACES                      |

IBC CHAPTER 3 - USE & OCCUPANCY:

| USE GROUP | EXISTING | PROVIDED |
|-----------|----------|----------|
|           | R - 3    | R - 2    |

IBC CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS:

| CONST      | USE | ALLOWED            | PROVIDED                      |
|------------|-----|--------------------|-------------------------------|
| TYPE III-B | R-2 | 60'-0" (4 STORIES) | 34'-0" (3 STORIES + BASEMENT) |

IBC CHAPTER 6 - TYPES OF CONSTRUCTION:

- TYPE III-B

IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION:

| BUILDING ELEMENT                       | LOCALE   | RATING REQUIRED | RATING PROVIDED |
|----------------------------------------|----------|-----------------|-----------------|
| BEARING WALL                           | EXTERIOR | 2               | 2               |
|                                        | INTERIOR | -- --           | -- --           |
| NONBEARING EXTERIOR WALLS & PARTITIONS |          | 0               | 0               |
| FLOOR CONSTRUCTION                     |          | 0               | 0               |
| ROOF CONSTRUCTION                      |          | 0               | 0               |

| BUILDING ELEMENT                                     | RATING REQUIRED | RATING PROVIDED |
|------------------------------------------------------|-----------------|-----------------|
| SHAFT ENCLOSURES (IBC SECTION 713.4)                 | 1 HR            | 1 HR            |
| EXIT ENCLOSURES (IBC SECTION 1022.2)                 | 1 HR            | 1 HR            |
| CORRIDOR WALLS (IBC SECTION 708.3, IBC TABLE 1018.1) | -- --           | -- --           |
| SEPARATION WALLS BETWEEN DWELLING UNITS              | 1 / 2 HR        | 1 HR            |
| FLOOR ASSEMBLY BETWEEN UNITS                         | 1 / 2 HR        | 1 HR            |

OPENING PROTECTIVES: (IBC TABLES 715.4 & 715.5)

| BUILDING ELEMENT & ASSEMBLY LOCATION              | ASSEMBLY RATING REQUIRED | ELEMENT RATING REQUIRED | ELEMENT RATING PROVIDED |
|---------------------------------------------------|--------------------------|-------------------------|-------------------------|
| FIRE DOORS                                        |                          |                         |                         |
| @ FIRE BARRIERS (>1HR)                            | 2                        | 2                       | 1 ½                     |
| @ SHAFT, EXIT ENCLOSURES & EXIT PASSAGEWAYS (1HR) | 1                        | 1                       | 1                       |
| @ OTHER FIRE BARRIERS (1HR)                       | 1                        | 1                       | 1                       |
| @ CORRIDOR WALLS                                  | 1                        | 1                       | ½                       |
| @ OTHER FIRE PARTITIONS                           | 1                        | 1                       | ¾                       |
|                                                   |                          |                         |                         |

IBC CHAPTER 9 - FIRE PROTECTION SYSTEMS:

AUTOMATIC SPRINKLER SYSTEM: (IBC SECTION 903)  
SYSTEM PROVIDED: YES, DESIGNED PER NFPA 13R-2002

IBC CHAPTER 10 - MEANS OF EGRESS:

1. EGRESS WIDTH: (IBC SECTION 1005)

| BUILDING ELEMENT                | REQUIRED | PROVIDED |
|---------------------------------|----------|----------|
| COMMON STAIR AT THE ENTRY FOYER | 36"      | 36"      |
| CORRIDORS                       | 36"      | 36"      |
| DOORS                           | 36"      | 36"      |

IBC CHAPTER 13 - ENERGY EFFICIENCY:

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED BY THE DISTRICT OF COLUMBIA RESIDENTIAL ENERGY CODE (DCMR 12I):

- 1.THERMAL ENVELOPE INSULATION (DCMR 12I TABLE EC-402.1.1):
- GLAZING U=0.35  
SKYLIGHTS U=0.60  
ROOFS R-49  
FRAME WALLS R-20  
THERMAL MASS WALLS R-5 (CONTINUOUS)  
R-10 (FRAMING CAVITY)  
FLOORS OVER UNHEATED SPACE R-19  
BASEMENT & CRAWL SPACE WALLS R-10 (CONTINUOUS)  
R-13 (FRAMING CAVITY)  
SLAB PERIMETER R-10 FOR DEPTH 2'-0"

- 2.AIR INFILTRATION (DCMR 12I SECTIONS EC-402.4.4 & EC-403.2.2):
- A. WINDOWS, SKYLIGHTS & SLIDING DOORS NOT TO EXCEED 0.3 CFM PER SQUARE FOOT OF FENESTRATION.  
B. SWINGING DOORS NOT TO EXCEED 0.5 CFM PER SQUARE FOOT OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES.  
C. FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FOAM SEALER OR SIMILAR SEALANT.

BUILDING GFA:

1ST FLOOR: 1,445 SF

2ND FLOOR: 1,445 SF

3RD FLOOR: 1,445 SF

TOTAL: 4,335 SF

GENERAL NOTES:

1. SEE THIS DRAWING FOR GENERAL NOTES, ABBREVIATIONS, GRAPHIC SYMBOLS AND MATERIAL DESIGNATIONS.  
2. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS AND/OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ACCURACY OF DIMENSIONS. DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.  
3. ADDITIONAL PLAN INFORMATION IS SHOWN ON LARGE SCALE PLANS. FOR AREAS INDICATED, LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. DETAILS TAKE PRECEDENCE OVER PLANS.  
4. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATION AND SIZES OF CONCRETE PAD, DRAINS, FLOOR OPENINGS, ETC. COORDINATE WITH STRUCTURAL.  
5. G.C. TO COORDINATE PURCHASED MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.  
6. LOCATIONS OF ACCESS PANELS MUST BE APPROVED BY THE DESIGNER. ACCESS PANELS LOCATED IN WALLS OR CEILINGS MUST BE FINISHED TO MATCH THE ADJACENT SURFACES.  
7. THE CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHER CABINETS AS REQUIRED TO MEET APPLICABLE CODES.  
8. INTERIOR PLAN DIMENSIONS ARE TO FACE OF WALL FINISH UNLESS NOTED OTHERWISE.  
9. MAINTAIN A CONTINUOUS AIR BARRIER AT THE INSIDE FACE OF THE EXTERIOR WALL. THIS REQUIRES SEALING AND TAPING ALL JOINTS IN THE INSULATION AND PROVIDING SEALANT AT ALL JOINTS.  
10. FLOOR TO CEILING DIMENSIONS ARE FROM TOP OF SUBFLOOR TO CEILING.  
11. INTERIOR FINISHES SHALL COMPLY WITH IBC CHAPTER 9.  
12. DONG ARCHITECTS HAS MADE NO INVESTIGATION TO DETERMINE IF ASBESTOS OR OTHER HAZARDOUS MATERIAL IS PRESENT IN THE EXISTING WORK. DONG ARCHITECTS ASSUMES NO RESPONSIBILITY WITH REGARD TO ASBESTOS OR OTHER HAZARDOUS MATERIAL. NO WARRANTY OR REPRESENTATION, WITHER EXPRESSED OR IMPLIED, IS MADE BY THESE DRAWINGS AS TO THE SAFETY OR SUITABILITY OF REMOVING HAZARDOUS MATERIALS INCLUDING ASBESTOS. IF MATERIAL SUSPECTED OF BEING HAZARDOUS IS ENCOUNTERED DURING THE COURSE OF THE WORK, THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY.  
13. CONTRACTOR SHALL CARRY ALL NECESSARY LIABILITY AND WORKMAN'S COMPENSATION INSURANCE.  
14. THESE DRAWINGS NEITHER APPROVE OR IMPLY THE STRUCTURAL INTEGRITY OF THE EXISTING CONDITIONS. SUCH BEING THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INVESTIGATE THE STRUCTURAL INTEGRITY OF THE EXISTING WALL BEFORE PROCEEDING FORWARD WITH DEMOLITION.  
15. CONTRACTOR SHALL PATCH/REPAIR ALL DAMAGED SURFACES AT DEMOLISHED WORK AREAS WITH THE SAME MATERIAL.  
16. ALL DEMOLISHED ITEMS TO BE DISPOSED OF BY G.C. UNLESS NOTED TO BE RELOCATED, REINSTALLED OR SALVAGED & TURNED OVER TO OWNER.  
17. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT JOB SITE AND ADVISE THE DESIGNER OF ANY DISCREPANCIES IN ANY AND ALL CONDITIONS BEFORE PROCEEDING WITH ANY PHASE OF THE JOB.  
18. WHERE IT IS THE CLEAR INTENT OF THE DRAWING THAT NEW CONSTRUCTION ALIGN WITH EXISTING CONDITIONS. CONFLICTING DIMENSIONS SHALL BE SUBORDINATED TO THE ALIGNMENT.  
19. REMOVE EXISTING CEILING AND LIGHTS AS REQUIRED FOR NEW CEILING WORK.  
20. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND MISCELLANEOUS ITEMS INCLUDING BUT NOT LIMITED TO CLIPS, INSERTS, TIES, ANCHOR STRAPS, HANGERS, BOLTS AND OTHER FASTENERS REQUIRED TO COMPLETE THE WORK. VERIFY ALL FLOOR AND ROOF OPENINGS WITH THE DESIGN DRAWINGS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY, AND THE STABILITY OF ALL NEW, TEMPORARY AND EXISTING STRUCTURES, WALLS, SLABS.ETC. DURING CONSTRUCTION PHASE.  
21. EXISTING CONDITIONS: HAVE BEEN DOCUMENTED TO THE GREATEST EXTENT POSSIBLE. ALL DIMENSIONS INDICATED ON DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO SHOP FABRICATION OF ANY MATERIALS. ALL EXISTING CONDITIONS AND MEMBERS INDICATED ON DRAWINGS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNER ALL ENGINEER.  
22. CONTRACTOR SHALL PROVIDE SMOKE DETECTORS PER CODES.  
23. CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS AND APPROVALS REQUIRED BY THE DISTRICT.  
24. CONTRACTOR SHALL PROVIDE FIRESTOPPING/DRAFTSTOP PER CODE.

| No. | Issued For | Date     |
|-----|------------|----------|
| 1   | Permit Set | 03.05.15 |
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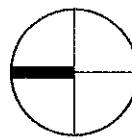
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67 V Street  
67 V Street, NE, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal



Sheet Title

GENERAL  
INFORMATION

Sheet Number

A1.02

ZONING & BUILDING CODE DATA:

BUILDING DATA:

PROJECT NAME: 67 V STREET  
PROJECT ADDRESS: 67 V STREET, NW, WASHINGTON DC 20001

PROJECT SCOPE:  
[SCOPE OF WORK AS DEFINED BY LOCAL BUILDING CODES DETAILING EXISTING STRUCTURE(S),BUILDING USE , AND NEW MULTIDISCIPLINARY WORK TO BE PERFORMED]

- APPLICABLE BUILDING CODES:  
2003 DC ZONING REGULATIONS (DCMR 11)  
2013 DC CONSTRUCTION CODES SUPPLEMENT (DCMR 12) WHICH AMENDS THE FOLLOWING:
- 2012 ICC INTERNATIONAL BUILDING CODE (DCMR 12A)
  - 2012 ICC INTERNATIONAL RESIDENTIAL CODE (DCMR 12B)
  - 2011 NFPA NATIONAL ELECTRIC CODE (DCMR 12C)
  - 2012 ICC INTERNATIONAL FUEL GAS CODE (DCMR 12D)
  - 2012 ICC INTERNATIONAL MECHANICAL CODE (DCMR 12E)
  - 2012 ICC INTERNATIONAL PLUMBING CODE (DCMR 12F)
  - 2012 ICC INTERNATIONAL PROPERTY MAINTENANCE CODE (DCMR 12G)
  - 2012 ICC INTERNATIONAL FIRE CODE (DCMR 12H)
  - 2012 ICC INTERNATIONAL ENERGY COSERVATION CODE (DCMR 12I)
  - 2012 ICC INTERNATIONAL EXISTING BUILDING CODE (DCMR 12J)
  - ICC/ANSI A117.1 - 2003

ZONING DATA:

SQUARE NO.: 3118  
LOT NO.: 0078  
ZONING DISTRICT: R-4  
OVERLAY DISTRICT: N  
HISTORIC DISTRICT: N

SITE AREA: 2,880 SF

| REGULATION (ZR)    | EXISTING                      | ALLOWED / REQUIRED            | PROVIDED                      |
|--------------------|-------------------------------|-------------------------------|-------------------------------|
| MAXIMUM UNITS      | SINGLE FAMILY                 | 3 UNITS                       | 3 UNITS                       |
| BUILDING HEIGHT    | 21'-0" / 2 STORIES + BASEMENT | 40'-0" / 3 STORIES + BASEMENT | 34'-0" / 3 STORIES + BASEMENT |
| FLOOR AREA RATIO   | N/A                           | NONE PRESCRIBED               |                               |
| LOT OCCUPANCY      | 35% (1,002 SF)                | 60% (2,880 SF) = 1,728 SF     | 56% (1,620 SF)                |
| REAR YARD          | 91'-0"                        | MINIMUM: 20'-0"               | 55'-6"                        |
| SIDE YARD          | 0                             | NONE PRESCRIBED               |                               |
| OFF-STREET PARKING | 0                             | 1 PER 3 DWELLING UNITS = 1    | 2 SPACES                      |
| PERVIOUS SURFACE   |                               | 20% ( 576 SF)                 | 21% ( 605 SF) 6'15 SF         |

IBC CHAPTER 3 - USE & OCCUPANCY:

| USE GROUP | EXISTING | PROVIDED |
|-----------|----------|----------|
|           | R - 3    | R - 2    |

IBC CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS:

| CONST      | USE | ALLOWED            | PROVIDED                      |
|------------|-----|--------------------|-------------------------------|
| TYPE III-B | R-2 | 60'-0" (4 STORIES) | 34'-0" (3 STORIES + BASEMENT) |

IBC CHAPTER 6 - TYPES OF CONSTRUCTION:

- TYPE III-B

IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION:

| BUILDING ELEMENT                       | LOCALE   | RATING REQUIRED | RATING PROVIDED |
|----------------------------------------|----------|-----------------|-----------------|
| BEARING WALL                           | EXTERIOR | 2               | 2               |
|                                        | INTERIOR | -- --           | -- --           |
| NONBEARING EXTERIOR WALLS & PARTITIONS |          | 0               | 0               |
| FLOOR CONSTRUCTION                     |          | 0               | 0               |
| ROOF CONSTRUCTION                      |          | 0               | 0               |

| BUILDING ELEMENT                                     | RATING REQUIRED | RATING PROVIDED |
|------------------------------------------------------|-----------------|-----------------|
| SHAFT ENCLOSURES (IBC SECTION 713.4)                 | 1 HR            | 1 HR            |
| EXIT ENCLOSURES (IBC SECTION 1022.2)                 | 1 HR            | 1 HR            |
| CORRIDOR WALLS (IBC SECTION 708.3, IBC TABLE 1018.1) | -- --           | -- --           |
| SEPARATION WALLS BETWEEN DWELLING UNITS              | 1 / 2 HR        | 1 HR            |
| FLOOR ASSEMBLY BETWEEN UNITS                         | 1 / 2 HR        | 1 HR            |

OPENING PROTECTIVES: (IBC TABLES 715.4 & 715.5)

| BUILDING ELEMENT & ASSEMBLY LOCATION              | ASSEMBLY RATING REQUIRED | ELEMENT RATING REQUIRED | ELEMENT RATING PROVIDED |
|---------------------------------------------------|--------------------------|-------------------------|-------------------------|
| FIRE DOORS                                        |                          |                         |                         |
| @ FIRE BARRIERS (>1HR)                            | 2                        | 2                       | 1 ½                     |
| @ SHAFT, EXIT ENCLOSURES & EXIT PASSAGEWAYS (1HR) | 1                        | 1                       | 1                       |
| @ OTHER FIRE BARRIERS (1HR)                       | 1                        | 1                       | 1                       |
| @ CORRIDOR WALLS                                  | 1                        | 1                       | ½                       |
| @ OTHER FIRE PARTITIONS                           | 1                        | 1                       | ¾                       |
|                                                   |                          |                         |                         |

IBC CHAPTER 9 - FIRE PROTECTION SYSTEMS:

AUTOMATIC SPRINKLER SYSTEM: (IBC SECTION 903)  
SYSTEM PROVIDED: YES, DESIGNED PER NFPA 13R-2002

IBC CHAPTER 10 - MEANS OF EGRESS:

1. EGRESS WIDTH: (IBC SECTION 1005)

| BUILDING ELEMENT                | REQUIRED | PROVIDED |
|---------------------------------|----------|----------|
| COMMON STAIR AT THE ENTRY FOYER | 36"      | 36"      |
| CORRIDORS                       | 36"      | 36"      |
| DOORS                           | 36"      | 36"      |

IBC CHAPTER 13 - ENERGY EFFICIENCY:

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED BY THE DISTRICT OF COLUMBIA RESIDENTIAL ENERGY CODE (DCMR 12I):

- 1.THERMAL ENVELOPE INSULATION (DCMR 12I TABLE EC-402.1.1):
- GLAZING U=0.35  
SKYLIGHTS U=0.60  
ROOFS R-49  
FRAME WALLS R-20  
THERMAL MASS WALLS R-5 (CONTINUOUS)  
R-10 (FRAMING CAVITY)  
FLOORS OVER UNHEATED SPACE R-19  
BASEMENT & CRAWL SPACE WALLS R-10 (CONTINUOUS)  
R-13 (FRAMING CAVITY)  
SLAB PERIMETER R-10 FOR DEPTH 2'-0"

- 2.AIR INFILTRATION (DCMR 12I SECTIONS EC-402.4.4 & EC-403.2.2):
- A. WINDOWS, SKYLIGHTS & SLIDING DOORS NOT TO EXCEED 0.3 CFM PER SQUARE FOOT OF FENESTRATION.  
B. SWINGING DOORS NOT TO EXCEED 0.5 CFM PER SQUARE FOOT OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES.  
C. FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FOAM SEALER OR SIMILAR SEALANT.

BUILDING GFA:

1ST FLOOR: 1,402SF  
2ND FLOOR: 1,402 SF  
3RD FLOOR: 1,402 SF  
TOTAL: 4,206 SF

GENERAL NOTES:

1. SEE THIS DRAWING FOR GENERAL NOTES, ABBREVIATIONS, GRAPHIC SYMBOLS AND MATERIAL DESIGNATIONS.
2. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS AND/OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ACCURACY OF DIMENSIONS. DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.
3. ADDITIONAL PLAN INFORMATION IS SHOWN ON LARGE SCALE PLANS. FOR AREAS INDICATED, LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. DETAILS TAKE PRECEDENCE OVER PLANS.
4. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATION AND SIZES OF CONCRETE PAD, DRAINS, FLOOR OPENINGS, ETC. COORDINATE WITH STRUCTURAL.
5. G.C. TO COORDINATE PURCHASED MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
6. LOCATIONS OF ACCESS PANELS MUST BE APPROVED BY THE DESIGNER. ACCESS PANELS LOCATED IN WALLS OR CEILINGS MUST BE FINISHED TO MATCH THE ADJACENT SURFACES.
7. THE CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHER CABINETS AS REQUIRED TO MEET APPLICABLE CODES.
8. INTERIOR PLAN DIMENSIONS ARE TO FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
9. MAINTAIN A CONTINUOUS AIR BARRIER AT THE INSIDE FACE OF THE EXTERIOR WALL. THIS REQUIRES SEALING AND TAPING ALL JOINTS IN THE INSULATION AND PROVIDING SEALANT AT ALL JOINTS.
10. FLOOR TO CEILING DIMENSIONS ARE FROM TOP OF SUBFLOOR TO CEILING.
11. INTERIOR FINISHES SHALL COMPLY WITH IBC CHAPTER 9.
12. DONG ARCHITECTS HAS MADE NO INVESTIGATION TO DETERMINE IF ASBESTOS OR OTHER HAZARDOUS MATERIAL IS PRESENT IN THE EXISTING WORK. DONG ARCHITECTS ASSUMES NO RESPONSIBILITY WITH REGARD TO ASBESTOS OR OTHER HAZARDOUS MATERIAL. NO WARRANTY OR REPRESENTATION, WITHER EXPRESSED OR IMPLIED, IS MADE BY THESE DRAWINGS AS TO THE SAFETY OR SUITABILITY OF REMOVING HAZARDOUS MATERIALS INCLUDING ASBESTOS. IF MATERIAL SUSPECTED OF BEING HAZARDOUS IS ENCOUNTERED DURING THE COURSE OF THE WORK, THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY.
13. CONTRACTOR SHALL CARRY ALL NECESSARY LIABILITY AND WORKMAN'S COMPENSATION INSURANCE.
14. THESE DRAWINGS NEITHER APPROVE OR IMPLY THE STRUCTURAL INTEGRITY OF THE EXISTING CONDITIONS. SUCH BEING THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INVESTIGATE THE STRUCTURAL INTEGRITY OF THE EXISTING WALL BEFORE PROCEEDING FORWARD WITH DEMOLITION.
15. CONTRACTOR SHALL PATCH/REPAIR ALL DAMAGED SURFACES AT DEMOLISHED WORK AREAS WITH THE SAME MATERIAL.
16. ALL DEMOLISHED ITEMS TO BE DISPOSED OF BY G.C. UNLESS NOTED TO BE RELOCATED, REINSTALLED OR SALVAGED & TURNED OVER TO OWNER.
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**DONG ARCHITECTS**

8512 Frost Way  
Annandale VA 22003  
Tel: 703.828.5995

| No. | Issued For      | Date     |
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| 1   | Permit Set      | 03.05.15 |
| 2   | Permit Revision | 04.09.15 |

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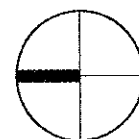
67 V Street

67 V Street, NW, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

Professional Seal

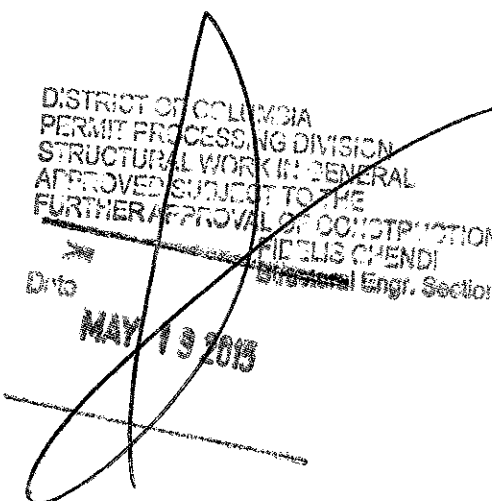


Sheet Title

**GENERAL INFORMATION**

Sheet Number

**A1.02**





## DOOR &amp; FRAME SCHEDULE

| DOOR      |                     |         |           |       |        |       |      | FRAME  |   |        |      | HARDWARE |      |                   |
|-----------|---------------------|---------|-----------|-------|--------|-------|------|--------|---|--------|------|----------|------|-------------------|
| LOCALE    | ROOM NAME           | DOOR NO | SIZE      |       |        |       |      | LOUVER |   | DETAIL |      |          |      | FIRE RATING LABEL |
|           |                     |         | W         | H     | THK    | MAT   | ELEV | W      | H | ELEV   | HEAD | JAMB     | SILL |                   |
| BASEMENT  | UNIT ENTRY          | 01      | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      |                   |
|           |                     |         |           |       |        |       |      |        |   |        |      |          |      |                   |
|           | HVAC CLOSET         | 03      | 2 (2'-3") | 6'-8" | 1 3/8" | WD.   | G    |        |   |        |      |          |      |                   |
|           | COAT CLOSET         | 04      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | BATHROOM            | 07      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
| 1ST FLOOR | UNIT ENTRY          | 01      | 3'-0"     | 7'-0" | 1 3/4" | WD.   | D    |        |   |        |      |          |      | 1 HR              |
|           | BEDROOM             | 02      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | WALK-IN-CLOSET      | 03      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | COAT CLOSET         | 04      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | BALCONY DOOR        | 05      | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      |                   |
|           | PANTRY              | 06      | 2 (2'-0") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | BATHROOM            | 07      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | LINEN CLOSET        | 09      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | WASHER/DRYER        | 08      | 2 (2'-6") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | FRONT MAIN ENTRANCE | 10      | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      |                   |
| 2ND FLOOR | UNIT ENTRY          | 01      | 3'-0"     | 7'-0" | 1 3/4" | WD.   | D    |        |   |        |      |          |      | 1 HR              |
|           | BEDROOM             | 02      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | WALK-IN-CLOSET      | 03      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | COAT CLOSET         | 04      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | BALCONY DOOR        | 05      | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      |                   |
|           | PANTRY              | 06      | 2 (2'-0") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | BATHROOM            | 07      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | LINEN CLOSET        | 09      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | WASHER/DRYER        | 08      | 2 (2'-6") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           |                     |         |           |       |        |       |      |        |   |        |      |          |      |                   |
| 3RD FLOOR | UNIT ENTRY          | 01      | 3'-0"     | 7'-0" | 1 3/4" | WD.   | D    |        |   |        |      |          |      | 1 HR              |
|           | BEDROOM             | 02      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | WALK-IN-CLOSET      | 03      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | COAT CLOSET         | 04      | 2 (1'-6") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | BALCONY DOOR        | 05      | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      |                   |
|           | PANTRY              | 06      | 2 (2'-0") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | BATHROOM            | 07      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | LINEN CLOSET        | 09      | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           | WASHER/DRYER        | 08      | 2 (2'-6") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      |                   |
|           |                     |         |           |       |        |       |      |        |   |        |      |          |      |                   |

|               |    |                  |
|---------------|----|------------------|
| ABBREVIATIONS | HM | HOLLOW METAL     |
|               | WD | HOLLOW CORE WOOD |

## HARDWARE SETS

HDW-1 - HARDWARE SET 01 (EXTERIOR ENTRY)  
BUTT HINGES, LOCKET & HANDLE, KICK PLATE, DOOR SEAL, SWEEP, THRESHOLD, CLOSER

HDW-2 - HARDWARE SET 04 (PRIVACY)  
BUTT HINGES, PRIVACY SET, DOOR STOP

HDW-3 - HARDWARE SET 05 (PASSAGE)  
BUTT HINGES, PASSAGE SET, DOOR STOP

HDW-4 - HARDWARE SET 06 (POCKET)  
HARDWARE PER MANUFACTURER

HDW-5 - HARDWARE SET 08 (BY-PASS)  
HARDWARE PER MANUFACTURER

HDW-6 - HARDWARE SET 09 (SLIDING)  
HARDWARE PER MANUFACTURER

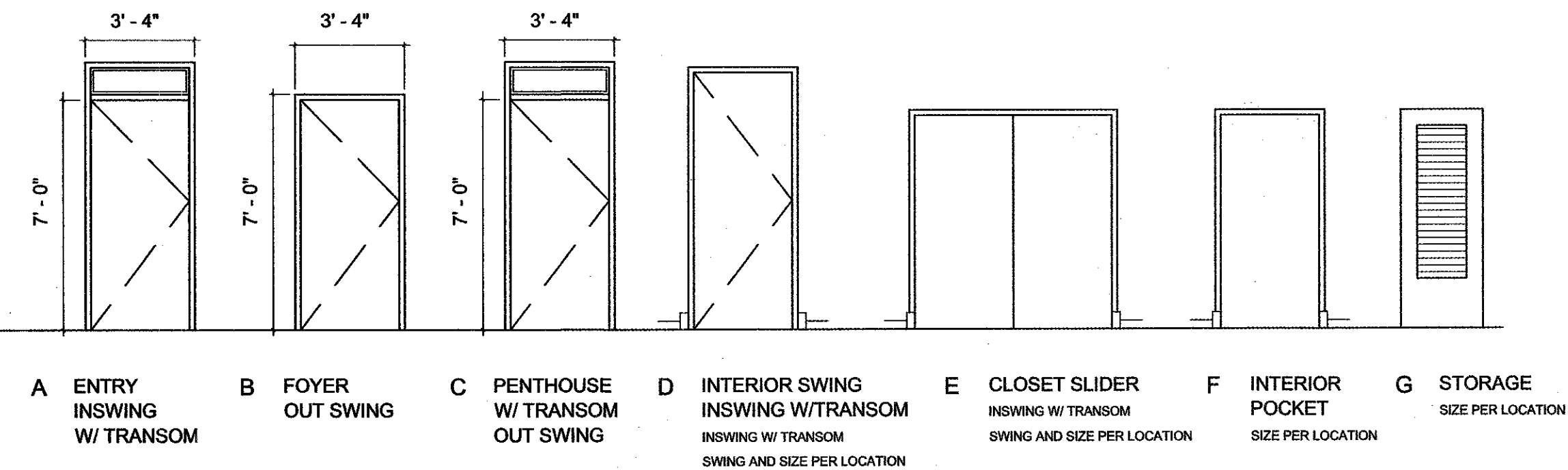
## DOOR NOTES:

1. VERIFY IN FIELD EXISTING OPENINGS.
2. SHIM & FINISH TO FILL EXISTING OPENINGS.
3. LABEL DOORS ARE TO HAVE LABEL DOOR FRAMES, LABEL FRAMES TO BE FILLED SOLID WITH:  
A. GROUT WHERE CONSTRUCTION IS MASONRY.  
B. MINERAL WOO, WHERE THE CONSTRUCTION IS DRYWALL ASSEMBLY. LABEL DOORS TO HAVE A MAXIMUM NET UNDERCUT OPENING OF 3/4".
4. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON HARDWARE, CONSTRUCTION OF DOORS & INSTALLATION METHODS.
5. VARIOUS WALL SIZES AND TYPES WILL FIT JAMBS SHOWN - SEE PARTITION SCHEDULE, DOOR SCHEDULE AND PLANS FOR COORDINATION.
6. UNDERCUT DOORS TO MATCH SCHEDULED SILL.

HDW-# - HARDWARE SET ## [USE]  
ITEM 1, ITEM 2, ITEM 3 ...

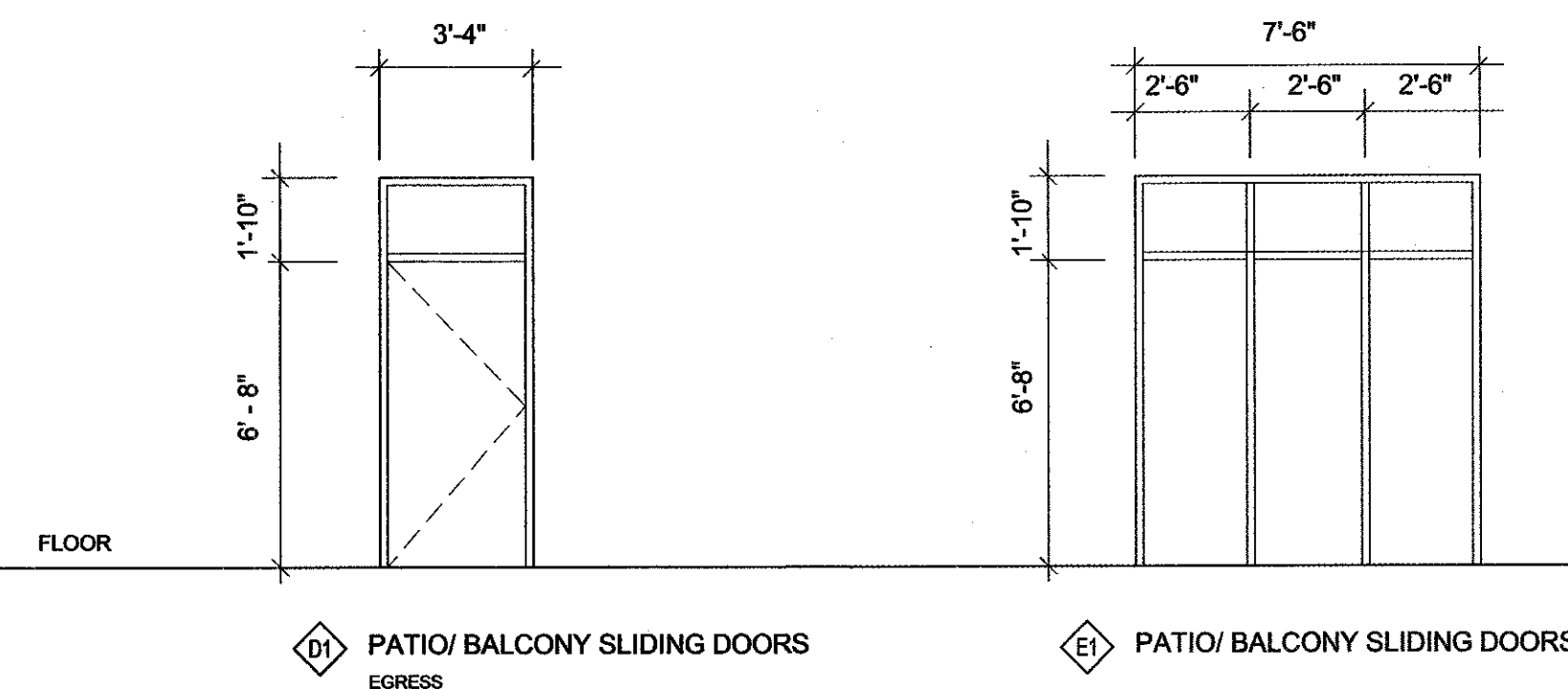
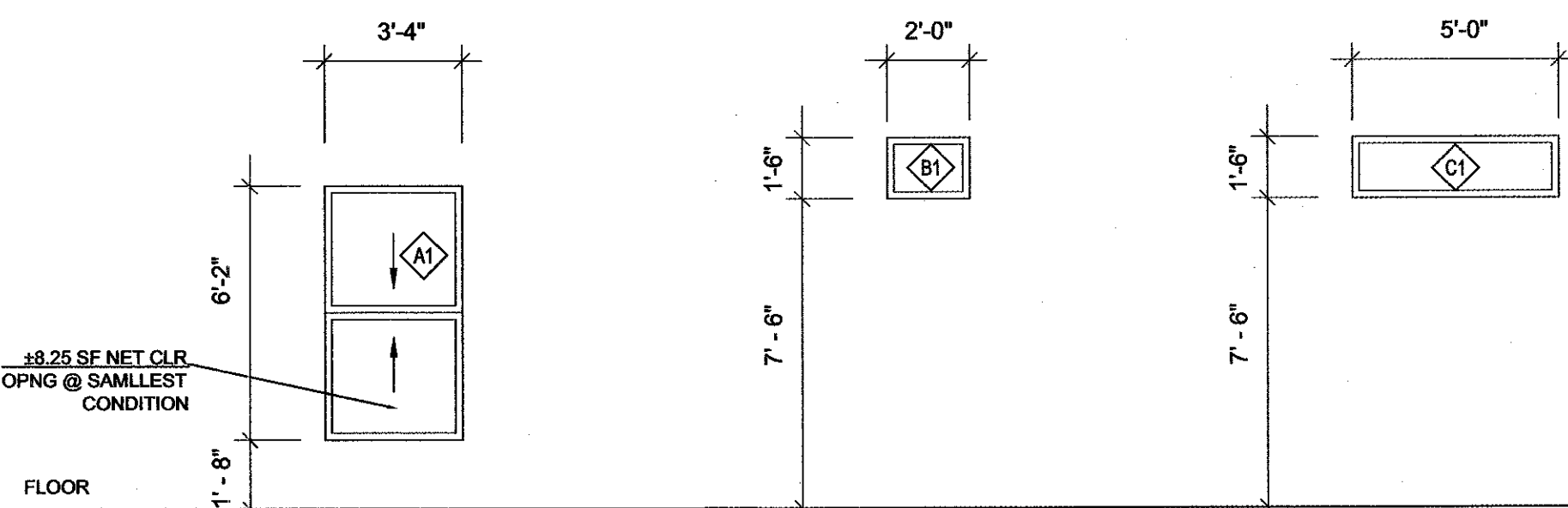
## WINDOW SCHEDULE

| MARK          | SIZE                 |       | TYPE | MATL  | GLAZ | FIRE RATING LABEL  | DETAIL |      |      |            |                             | REMARKS          |
|---------------|----------------------|-------|------|-------|------|--------------------|--------|------|------|------------|-----------------------------|------------------|
|               | W                    | HT    |      |       |      |                    | HEAD   | JAMB | SILL | HORIZ MULL | VERT MULL                   |                  |
| A1            | 3'-4"                | 6'-8" | DH   | AL-CL | G-1  |                    |        |      |      |            |                             | EMERGENCY ESCAPE |
| B1            | 2'-0"                | 1'-6" | FX   | AL-CL | G-1  |                    |        |      |      |            |                             |                  |
| C1            | 5'-0"                | 1'-6" | FX   | AL-CL | G-1  |                    |        |      |      |            |                             |                  |
| D1            | 3'-4"                | 8'-6" |      | AL-CL | G-2  |                    |        |      |      |            |                             |                  |
| E1            | 7'-6"                | 8'-6" | SL   | AL-CL | G-2  |                    |        |      |      |            |                             |                  |
| ABBREVIATIONS |                      |       |      |       |      |                    |        |      |      |            |                             |                  |
| DH            | DOUBLE HUNG          |       |      |       | FX   | FIXED              |        |      |      | G-1        | DOUBLE-PANE INSULATED GLASS |                  |
| CM            | CASEMENT             |       |      |       | G    | GARAGE             |        |      |      | G-2        | TEMPERED GLASS              |                  |
| SL            | SIDELIGHTS & TRANSOM |       |      |       | FG   | FIBERGLASS & GLASS |        |      |      |            |                             |                  |



## DOOR TYPES

SCALE: 1/4" = 1'-0"



## WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"



## DONG ARCHITECTS

8512 Frost Way  
Annandale VA 22003  
Tel: 703.828.5995

|     |            |          |
|-----|------------|----------|
| No. | Issued For | Date     |
| 1   | Permit Set | 03.05.15 |

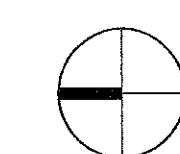
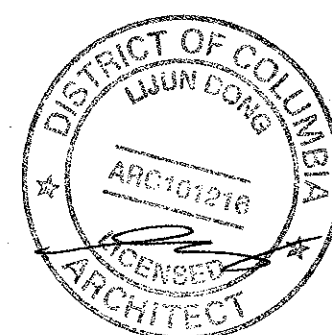
SCALE: As Shown

67 V Street  
67 V Street, NE, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal



Sheet Title

## DOOR SCHEDULE

Sheet Number

A1.04

## DOOR &amp; FRAME SCHEDULE

| DOOR          |                     |                  |           |       |        |       |      | FRAME  |   |        |      | HARDWARE |      |                                                              |
|---------------|---------------------|------------------|-----------|-------|--------|-------|------|--------|---|--------|------|----------|------|--------------------------------------------------------------|
| LOCALE        | ROOM NAME           | DOOR NO          | SIZE      |       |        |       |      | LOUVER |   | DETAIL |      |          |      | REMARKS                                                      |
|               |                     |                  | W         | H     | THK    | MAT   | ELEV | W      | H | ELEV   | HEAD | JAMB     | SILL |                                                              |
| BASEMENT      | UNIT ENTRY          | 01               | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      | HDW-1<br>EXTERIOR WEATHER STRIPPING<br>* SEE WINDOW SCHEDULE |
|               |                     |                  |           |       |        |       |      |        |   |        |      |          |      |                                                              |
|               | HVAC CLOSET         | 03               | 2 (2'-3") | 6'-8" | 1 3/8" | WD.   | G    |        |   |        |      |          |      | HDW-9                                                        |
|               | COAT CLOSET         | 04               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | BATHROOM            | 07               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-2                                                        |
| 1ST FLOOR     | UNIT ENTRY          | 01               | 3'-0"     | 7'-0" | 1 3/4" | WD.   | D    |        |   |        |      |          |      | 1 HR HDW-1                                                   |
|               | BEDROOM             | 02               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-2                                                        |
|               | WALK-IN-CLOSET      | 03               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | POCKET DOOR                                                  |
|               | COAT CLOSET         | 04               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | BALCONY DOOR        | 05               | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      | HDW-1<br>EXTERIOR WEATHER STRIPPING<br>* SEE WINDOW SCHEDULE |
|               | PANTRY              | 06               | 2 (2'-0") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | BATHROOM            | 07               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-2<br>POCKET DOOR                                         |
|               | LINEN CLOSET        | 09               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | WASHER/DRYER        | 08               | 2 (2'-6") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-3                                                        |
|               | FRONT MAIN ENTRANCE | 10               | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      | HDW-1<br>EXTERIOR WEATHER STRIPPING<br>* SEE WINDOW SCHEDULE |
| 2ND FLOOR     | UNIT ENTRY          | 01               | 3'-0"     | 7'-0" | 1 3/4" | WD.   | D    |        |   |        |      |          |      | 1 HR HDW-1                                                   |
|               | BEDROOM             | 02               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-2                                                        |
|               | WALK-IN-CLOSET      | 03               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | POCKET DOOR                                                  |
|               | COAT CLOSET         | 04               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | BALCONY DOOR        | 05               | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      | HDW-1<br>EXTERIOR WEATHER STRIPPING<br>* SEE WINDOW SCHEDULE |
|               | PANTRY              | 06               | 2 (2'-0") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | BATHROOM            | 07               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-2<br>POCKET DOOR                                         |
|               | LINEN CLOSET        | 09               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | WASHER/DRYER        | 08               | 2 (2'-6") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-3                                                        |
|               |                     |                  |           |       |        |       |      |        |   |        |      |          |      |                                                              |
| 3RD FLOOR     | UNIT ENTRY          | 01               | 3'-0"     | 7'-0" | 1 3/4" | WD.   | D    |        |   |        |      |          |      | 1 HR HDW-1                                                   |
|               | BEDROOM             | 02               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-2                                                        |
|               | WALK-IN-CLOSET      | 03               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | POCKET DOOR                                                  |
|               | COAT CLOSET         | 04               | 2 (1'-6") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | BALCONY DOOR        | 05               | 3'-0"     | 7'-0" | 1 3/4" | AL-CL | *    |        |   |        |      |          |      | HDW-1<br>EXTERIOR WEATHER STRIPPING<br>* SEE WINDOW SCHEDULE |
|               | PANTRY              | 06               | 2 (2'-0") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | BATHROOM            | 07               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-2<br>POCKET DOOR                                         |
|               | LINEN CLOSET        | 09               | 2'-6"     | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-9                                                        |
|               | WASHER/DRYER        | 08               | 2 (2'-6") | 6'-8" | 1 3/8" | WD.   | D    |        |   |        |      |          |      | HDW-3                                                        |
| ABBREVIATIONS | HM                  | HOLLOW METAL     |           |       |        |       |      |        |   |        |      |          |      |                                                              |
|               | WD                  | HOLLOW CORE WOOD |           |       |        |       |      |        |   |        |      |          |      |                                                              |

## HARDWARE SETS

HDW-1 - HARDWARE SET 01 (EXTERIOR ENTRY)  
BUTT HINGES, LOCKET & HANDLE, KICK PLATE, DOOR SEAL, SWEEP, THRESHOLD, CLOSER

HDW-2 - HARDWARE SET 04 (PRIVACY)  
BUTT HINGES, PRIVACY SET, DOOR STOP

HDW-3 - HARDWARE SET 05 (PASSAGE)  
BUTT HINGES, PASSAGE SET, DOOR STOP

HDW-4 - HARDWARE SET 06 (POCKET)  
HARDWARE PER MANUFACTURER

HDW-5 - HARDWARE SET 08 (BY-PASS)  
HARDWARE PER MANUFACTURER

HDW-6 - HARDWARE SET 09 (SLIDING)  
HARDWARE PER MANUFACTURER

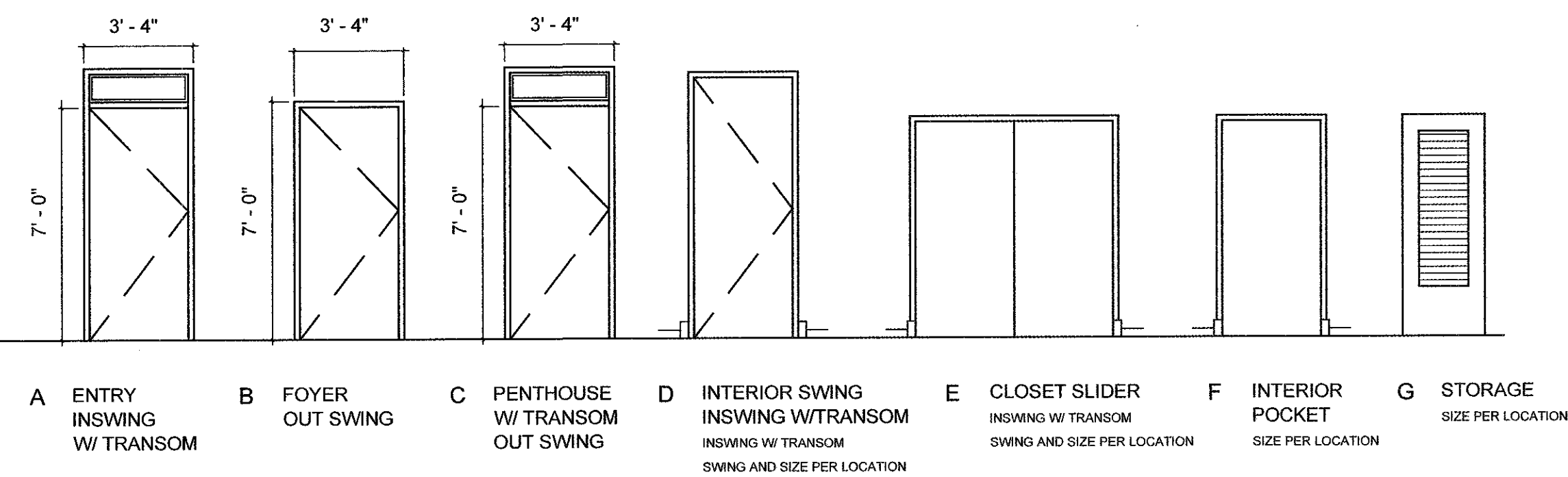
## DOOR NOTES:

1. VERIFY IN FIELD EXISTING OPENINGS.
2. SHIM & FINISH TO FILL EXISTING OPENINGS.
3. LABEL DOORS ARE TO HAVE LABEL DOOR FRAMES, LABEL FRAMES TO BE FILLED SOLID WITH:  
A. GROUT WHERE CONSTRUCTION IS MASONRY.  
B. MINERAL WOO, WHERE THE CONSTRUCTION IS DRYWALL ASSEMBLY. LABEL DOORS TO HAVE A MAXIMUM NET UNDERCUT OPENING OF 3/4".
4. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON HARDWARE, CONSTRUCTION OF DOORS & INSTALLATION METHODS.
5. VARIOUS WALL SIZES AND TYPES WILL FIT JAMBS SHOWN - SEE PARTITION SCHEDULE, DOOR SCHEDULE AND PLANS FOR COORDINATION.
6. UNDERCUT DOORS TO MATCH SCHEDULED SILL.

HDW-# - HARDWARE SET ## [USE]  
ITEM 1, ITEM 2, ITEM 3 ...

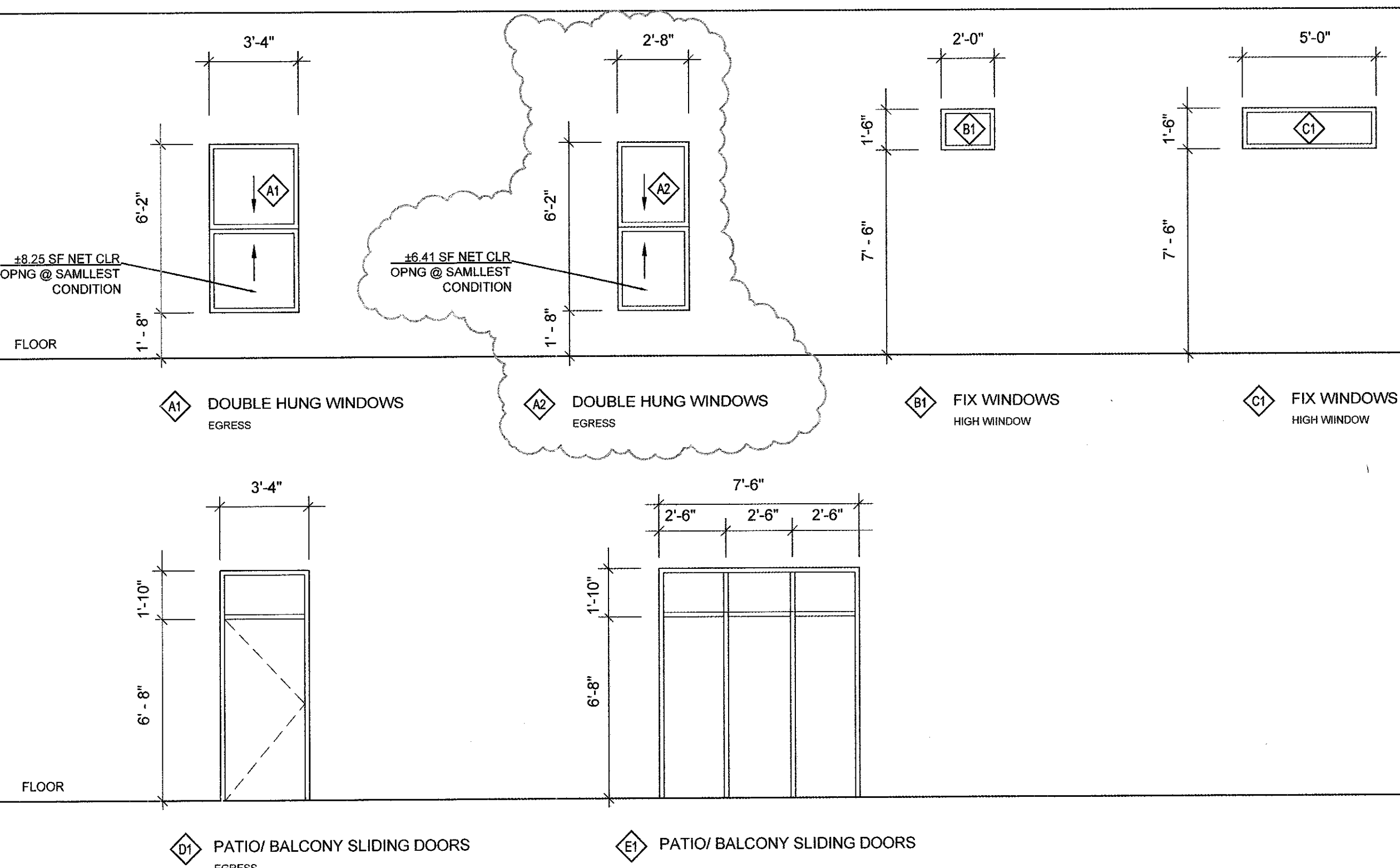
## WINDOW SCHEDULE

| MARK          | SIZE                 |       | TYPE | MATL  | GLAZ | FIRE RATING LABEL  | DETAIL |      |      |            |                             | REMARKS          |
|---------------|----------------------|-------|------|-------|------|--------------------|--------|------|------|------------|-----------------------------|------------------|
|               | W                    | HT    |      |       |      |                    | HEAD   | JAMB | SILL | HORIZ MULL | VERT MULL                   |                  |
| A1            | 3'-4"                | 6'-8" | DH   | AL-CL | G-1  |                    |        |      |      |            |                             | EMERGENCY ESCAPE |
| B1            | 2'-0"                | 1'-6" | FX   | AL-CL | G-1  |                    |        |      |      |            |                             |                  |
| C1            | 5'-0"                | 1'-6" | FX   | AL-CL | G-1  |                    |        |      |      |            |                             |                  |
| D1            | 3'-4"                | 8'-6" |      | AL-CL | G-2  |                    |        |      |      |            |                             |                  |
| E1            | 7'-6"                | 8'-6" | SL   | AL-CL | G-2  |                    |        |      |      |            |                             |                  |
| ABBREVIATIONS |                      |       |      |       |      |                    |        |      |      |            |                             |                  |
| DH            | DOUBLE HUNG          |       |      |       | FX   | FIXED              |        |      |      | G-1        | DOUBLE-PANE INSULATED GLASS |                  |
| CM            | CASEMENT             |       |      |       | G    | GARAGE             |        |      |      | G-2        | TEMPERED GLASS              |                  |
| SL            | SIDELIGHTS & TRANSOM |       |      |       | FG   | FIBERGLASS & GLASS |        |      |      |            |                             |                  |



## DOOR TYPES

SCALE: 1/4" = 1'-0"



## WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"



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| 2   | Permit Revision | 04.09.15 |

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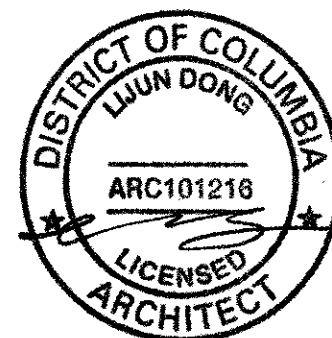
67 V Street

67 V Street, NW, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal



Sheet Title

DOOR  
SCHEDULE

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INTERIOR STAIRS:

- 1. INTERIOR STAIRS/HANDRAILS/RAILINGS: STAIRS COMPLETE WITH OAK TREADS AND PINE RISERS. SEE FLOOR COVERINGS.
- 2. HANDRAILS AND RAILINGS ARE OAK WITH PAINTED POPLAR BALUSTERS.
- 3. ALL STAIRS AND CORRIDORS HAVE MINIMUM 3'-0" CLEAR WIDTH.

KITCHEN:

- 1. KITCHEN CABINETS/RESTROOM VANITIES: AMERICAN WOODMARK CHARLOTTESVILLE SERIES, MAPLE
- 2. GRANITE COUNTERTOP: 45/SF MATERIAL RESERVE

APPLIANCES

- 1. KITCHEN APPLIANCES (MATERIAL): STAINLESS STEEL, LG OR SIMILAR;
- 2. REFRIGERATOR: FRENCH DOOR WITH ICE AND WATER DISPENSER;
- 3. STOVE: GAS; NEED TO HAVE ANTI TIPPING.
- 4. WASHER/DRYER: WHIRLPOOL OR SIMILAR, STACK-ABLE, WHITE EXTERIOR.

BATHROOMS:

- 1. TOILET: KOHLER "WELLWORTH", ELONGATED FRONT.
- 2. SHOWER FLOOR: TILES
- 3. SHOWER DOOR: FRAMELESS SWING DOOR
- 4. THE TUB DEPTH TO BE AT LEAST 17"
- 5. TILES: \$2000 RESERVE PER UNIT; TILES WILL BE INSTALLED IN SHOWER/BATH AREA UP TO THE CEILING, KITCHEN BACKSPLASH TILES WILL BE INSTALLED BETWEEN WALL AND BASE CABINETS (18" STANDARD), VANITY BACKSPLASH WILL BE 7-8" TALL.

EXHAUST VENTS:

- 1. ALL EXHAUST VENTS ARE ON THE ROOF.

ELECTRICAL:

- 1. LIGHT FIXTURE PACKAGE: \$1,800.00 ALLOWANCE.
- 2. RECESSED LIGHTS PER PLAN (LIVING, KITCHEN, FAMILY, BATHROOM, ETC)
- 3. EXTERIOR LIGHTS (POWER OUTLET ON THE ROOF DECK; LIGHTS FOR THE FRONT AND THE BACK PATIO).

MECHANICAL:

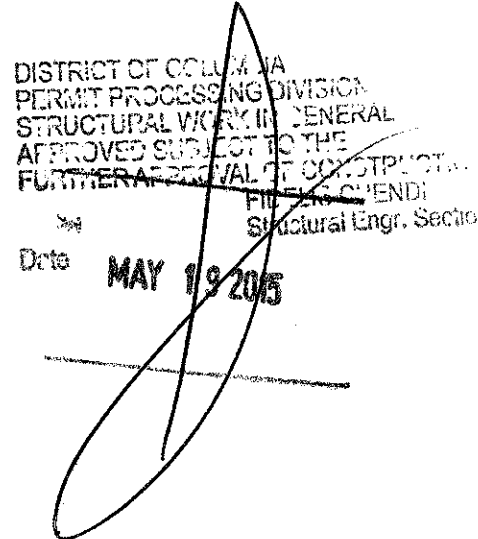
- 1. TWO AIR RETURNS PER UNIT.

PLUMBING:

- 1. EXTERIOR FAUCETS BOTH FRONT AND BACK FOR LOWER UNITS.

SOUNDPROOF:

- 1. INSULATION WRAP AROUND WATER/SEWER PIPES BETWEEN UNITS



FINISH NOTES ARE FOR INFORMATION ONLY, VERIFY WITH THE OWNER ABOUT FINAL MATERIAL SELECTIONS

FINISH NOTES

SITE:

- 1. SMOOTH SAND FINISH FOR THE FRONT AND BACK CONCRETE PATIO WALL; SMOOTH CEMENT FINISH FOR THE EXTERIOR OF THE ABOVE-GRADE FOUNDATION WALL.
- 2. THE REAR PATIO WILL ALL HAVE PRIVACY FENCE 6'-6" TALL, INCLUDING ALL THE DIVIDING ONES BETWEEN THE LOTS; THE FRONT PATIO WILL HAVE 3'-6" IRON FENCE AT THE PROPERTY LINE.
- 3. THE STAIRS ON THE FRONT AND BACK YARDS ARE STEEL.
- 4. ALL FINISHES, ALLEY REPAIR, ETC NEED TO BE INCLUDED.

BRICK:

- 1. STANDARD NORMAL MODULAR BRICK
- 2. COLOR: MEDIUM RED WIRECUT

PRECAST :

ARCHITECTURAL CAST STONE, COLOR TBD

SIDING:

- 1. HARDI PLANK - "CLAY" SAMPLE AND SUBMITTAL
- 6 ¼" SMOOTH SIDING FOR THE BACK SIDE, ALLEY SIDE, AND ROOFTOP PARAPET WALLS AT THE DECK LOCATION
- 2. HARDI PANEL, COLOR TBD
- 3. HARDI PANEL JOINTS: MODERATE CONTACT JOINT WITH JOINT FLASHING, PANELS ARE BUTTED TOGETHER LIGHTLY
- 4. VINYL SIDING "CLAY" SAMPLE AND SUBMITTAL
- VISION PRO TRADITIONAL 5" SIDING FOR THE SIDE OF THE BUILDING, ROOFTOP STAIR ENCLOSURE AND PRIVACY FENCE

WINDOWS & DOORS:

- 1. WINDOWS: JELD-WEN PREMIUM VINYL OR SIMILAR; COLOR IS BEIGE OR OTHER OFF WHITE
- 2. GLASS PATIO DOOR: JELD-WEN PREMIUM VINYL OR SIMILAR
- 3. FRONT EXTERIOR DOORS: FIR DOOR WITH LARGE RECTANGLE-SHAPED LITE
- 4. OTHER EXTERIOR DOORS: FIBERGLASS DOOR ACCORDING TO PLAN
- 5. INTERIOR DOORS: 2 OR 3 PANEL SOLID CORE DOOR
- 6. HARDWARE: BRUSH NICKEL
- 7. DOOR BELLS FOR ALL UNIT ENTRANCE DOORS

SKYLIGHTS:

- 1. VELUX MODEL FCM OR SIMILAR

FLOOR:

- 1. ½" ENGINEERED STAINED MAPLE HARDWOOD FLOORING WITH GLUED DOWN
- 2. SOUND PROOFING BETWEEN THE UNIT FLOOR: SEE ARCHITECTURAL DRAWING DETAIL 3/A-15
- 3. ADD SOUND INSULATION TO THE LOWER UNIT BEDROOM AREA BETWEEN 1ST FLOOR AND BASEMENT.
- 4. ¼" (6MM) CORK IN ADDITION TO ANY UNDERLAYMENT UNDER HARD WOOD FLOOR.

ROOFING:

ROOF PITCH PER PLAN  
7/16" ORIENTED STRAND BOARD (OSB)  
TPO MEMBRANE, ISOGARD HD COVER BOARD, SEPARATE PROTECTION SHEET ABOVE OBJECT DIRECTLY ON THE THE ROOF MEMBRANE (ROOF DECK, ETC.)  
SEAMLESS 6" ALUMINUM GUTTERS AND DOWNSPOUTS

INSULATION:

- 1. FLOOR: R-30 KRAFT FACED BATT INSULATION, SEE DETAIL 3/A-15
- 2. EXTERIOR FRAME WALLS TO HAVE R-20 INSULATION
- 3. ROOF AREAS TO HAVE R-49 INSULATION

EXTERIOR TRIM:

- 1. ALL EXTERIOR TRIM TO BE WOOD UNLESS NOTED OTHERWISE. PVC (AZEK OR EQUAL) IS ALSO ACCEPTABLE. 2. 5/4"X 6" FASCIA AND 5/4"X 6" RAKE
- 5/4"X 8" FRIEZE BOARD
- 5/4"X 4" WINDOW AND DOOR TRIM
- 5/4" X 4" CORNER BOARDS
- 3. ROOF FLASHING TO BE COPPER.
- 4. DECKING TO BE PRESSURE TREATED PINE.

INTERIOR TRIM:

- 1. CROWN MOLDING: FOR LIVING ROOM LEVEL ONLY; 6" WIDE, ONE PIECE
- 2. CASINGS: DC-99, 3 ¼" TRIM AROUND ALL WINDOWS AND DOORS. WINDOWS COMPLETE WITH SILLS AND STOOLS.
- BASE: 5 ½" WM-620 PAINT GRADE BASE TRIM THROUGHOUT.
- CROWN MOLDING: THREE PIECE CROWN MOLDING IN LIVING ROOM, DINING ROOM AND LIBRARY.
- CHAIR RAIL: PANEL MOLDING AND TWO-PIECE CHAIR RAILING IN DINING ROOM AND LIBRARY.
- CLOSET SHELIVING: WOOD SHELIVING WITH ROD IN ALL BEDROOM CLOSETS PER PLAN.

EXTERIOR PAINT:

TWO COLORS FOR THE HARDI PANEL; ONE COLOR FOR THE HARDI PLANK, ONE COLOR FOR THE TRIM, ONE COLOR FOR EXTERIOR DOOR, ONE COLOR FOR PATIO WALL.

INTERIOR PAINT:

ONE COLOR FOR CEILING; ONE COLOR FOR TRIM AND DOORS; THREE COLORS FOR WALL; ONE COLOR FOR HANDRAIL AND STAIR STEPS; ONE COLOR FOR BARRISTER



DONG ARCHITECTS

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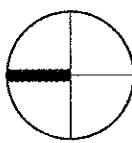
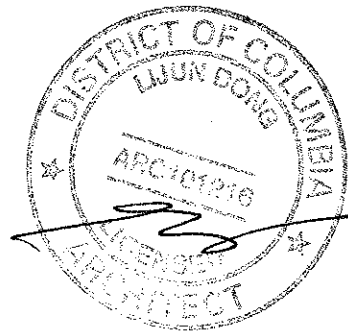
67 V Street

67 V Street, NE, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal



Sheet Title

FINISH  
SCHEDULE

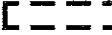
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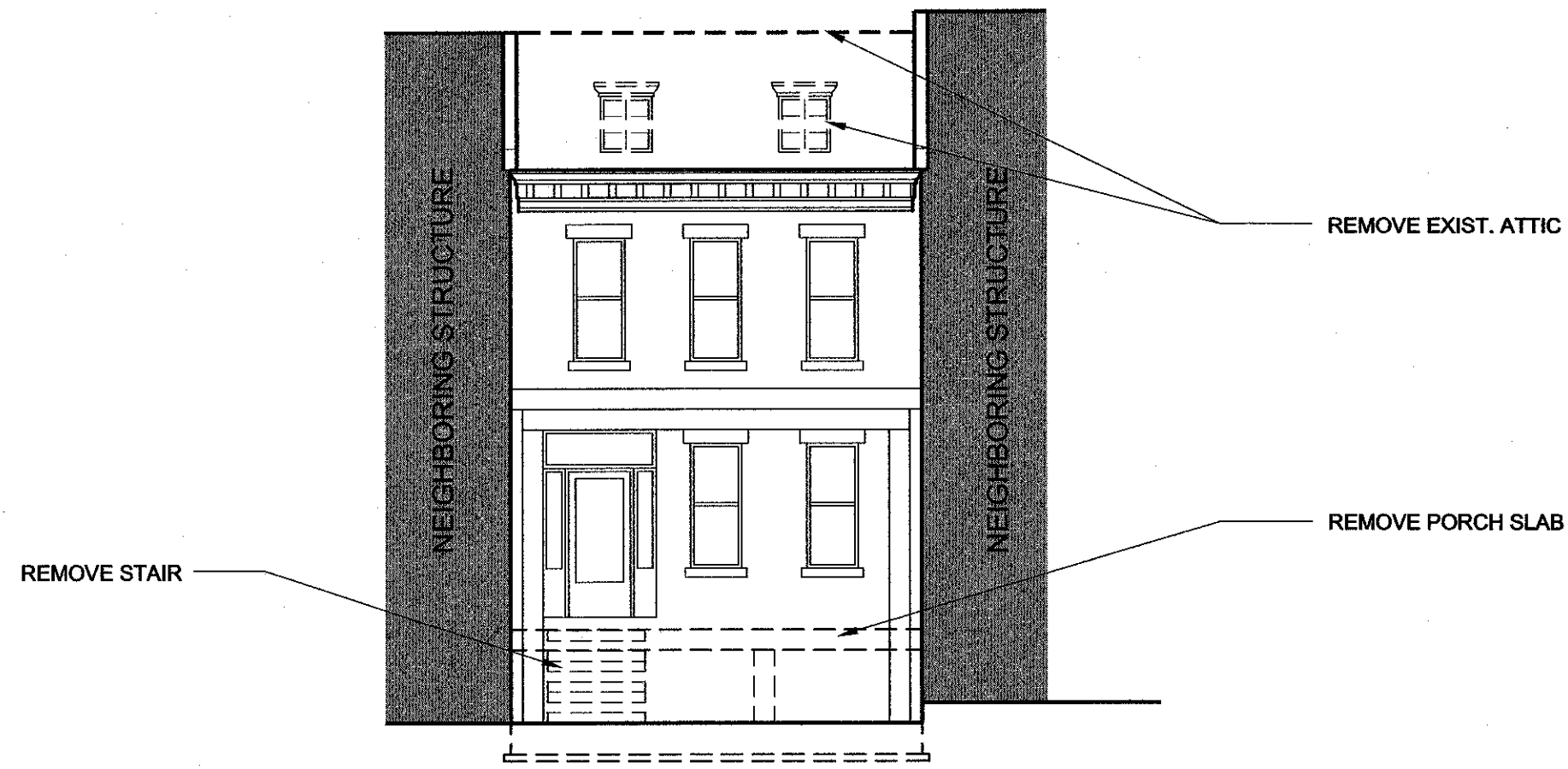
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DEMOLITION GENERAL NOTES

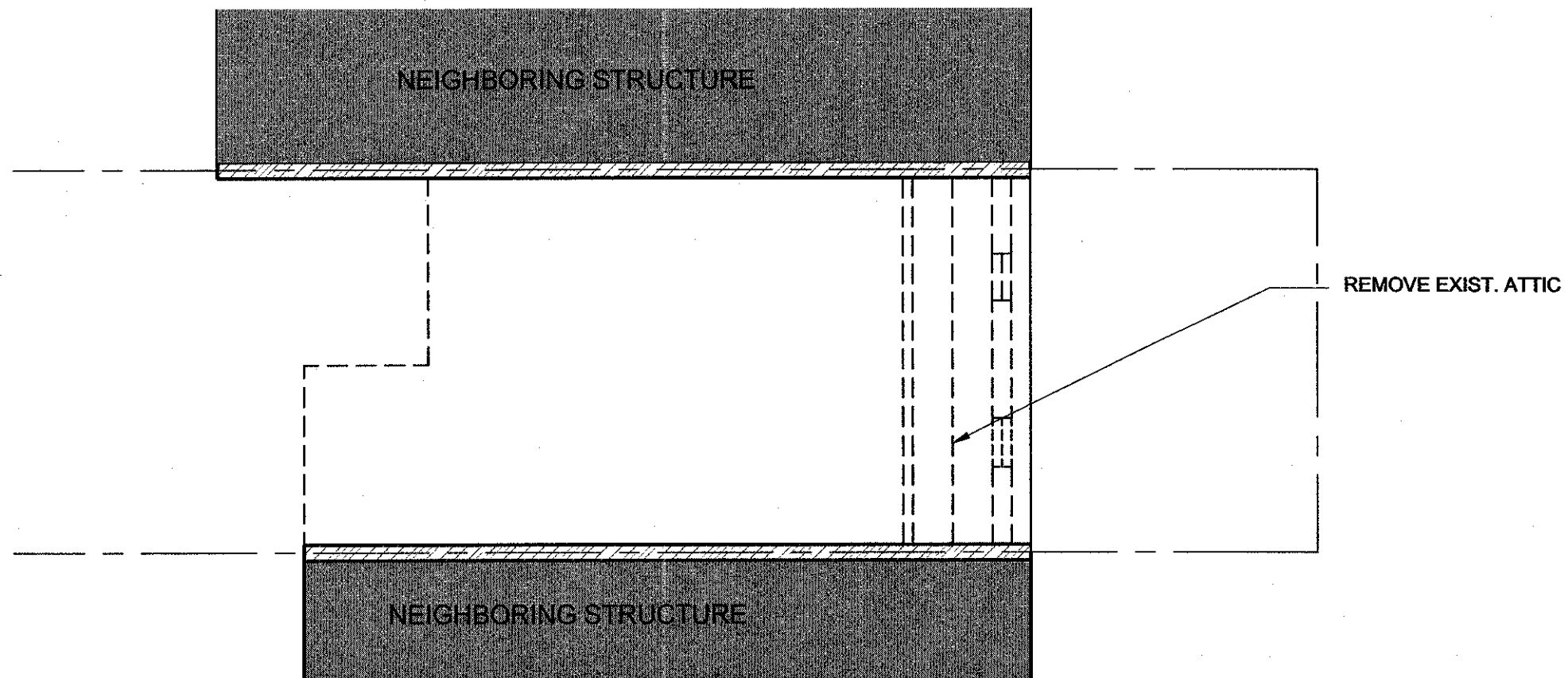
1. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF DEMOLITION DEBRIS. VERIFY THE HAULING ROUTE THROUGH THE BUILDING. THE DEMOLITION STAGING AREA, AND THE LOCATION OF THE DUMPSTERS WITH THE OWNER PRIOR TO THE START OF DEMOLITION. DISPOSAL OF DEBRIS SHALL BE DONE IN ACCORDANCE TO LOCAL LAW.
2. THE OWNER SHALL BE RESERVE THE RIGHT TO SALVAGE ANY DEMOLISHED ITEM. VERIFY ITEMS TO BE SALVAGED BY THE OWNER PRIOR TO DEMOLITION. REMOVE PROTECT, CLEAN, REPAIR FOR REUSE AND TURN OVER SUCH ITEMS AS DIRECTED BY THE OWNER.
3. PROJECT ADJACENT SPACES NOT SCHEDULED FOR DEMOLITION, PATCH AND REPAIR DAMAGED FINISHES, ITEMS AND FIXTURES TO REMAIN AND/ OR REPLACE IN KIND TO MATCH EXISTING FROM DAMAGE DURING THE PROGRESS OF THE WORK. PROVIDE TEMPORARY SAFETY BARRIERS REQUIRED BY CODE TO INSURE PUBLIC SAFETY AND TO ALLOW BUILDING OCCUPANCY. CONTRACTOR TO SUBMIT FOR APPROVAL, BARRIER LOCATIONS, AND METHOD OF CONSTRUCTION TO THE OWNER PRIOR TO INSTALLATION.
4. PROVIDE SHORING, BRACING, BARRICADES AND PROTECTIVE MEASURES AS REQUIRED TO SAFETY EXECUTE THE WORK. IN THE CONSTRUCTION AREA AND THE APPEARS ADJACENT TO THE CONSTRUCTION AREA. IF THE STRUCTURE APPEARS TO BE ENDANGERED, CEASE OPERATION AND NOTIFY THE OWNER IMMEDIATELY. DO NOT RESUME THAT PORTION OF THE WORK UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
5. THE CONTRACTOR SHALL MAINTAIN REQUIRED MEANS OF EGRESS AND ENSURE THAT EXIT ROUTES ARE SIGNED, LIGHTED AND PROTECTED AS REQUIRED BY CODE. RELOCATE EXISTING AND/ OR PROVIDE SMOKE PROTECTORS AND LIFE SAFETY EQUIPMENT FOR ADEQUATE COVERAGE.
6. CONTRACTOR IS RESPONSIBLE FOR BUILDING SECURITY DURING THE DEMOLITION PHASE AND IS TO PROTECT OPENINGS FROM WEATHER CONDITIONS AND SECURE THEM TO PREVENT VANDALISM.
7. DO NOT PERFORM WORK THAT WILL VOID WARRANTIES OF EXISTING WEATHER EXPOSED ON MOISTURE RESISTANT ELEMENT WITHOUT PRIOR APPROVAL FROM THE OWNER.
8. THE DESIGNER ASSUME NO RESPONSIBILITY RELATING TO TOXIC MATERIALS, INCLUDING ASBESTOS AND ASSUME NO RESPONSIBILITY TO ITS EXISTENCE OR REMOVAL. THE OWNER WILL TAKE ACTION FOR DIRECTLY CONTRACTING WITH A CONSULTANT OR SPECIALIST, LICENSED BY THE STATE, FOR SUCH SERVICES SHOULD THOSE SERVICES BE REQUIRED FOR THIS PROJECT.

GRAPHIC KEY

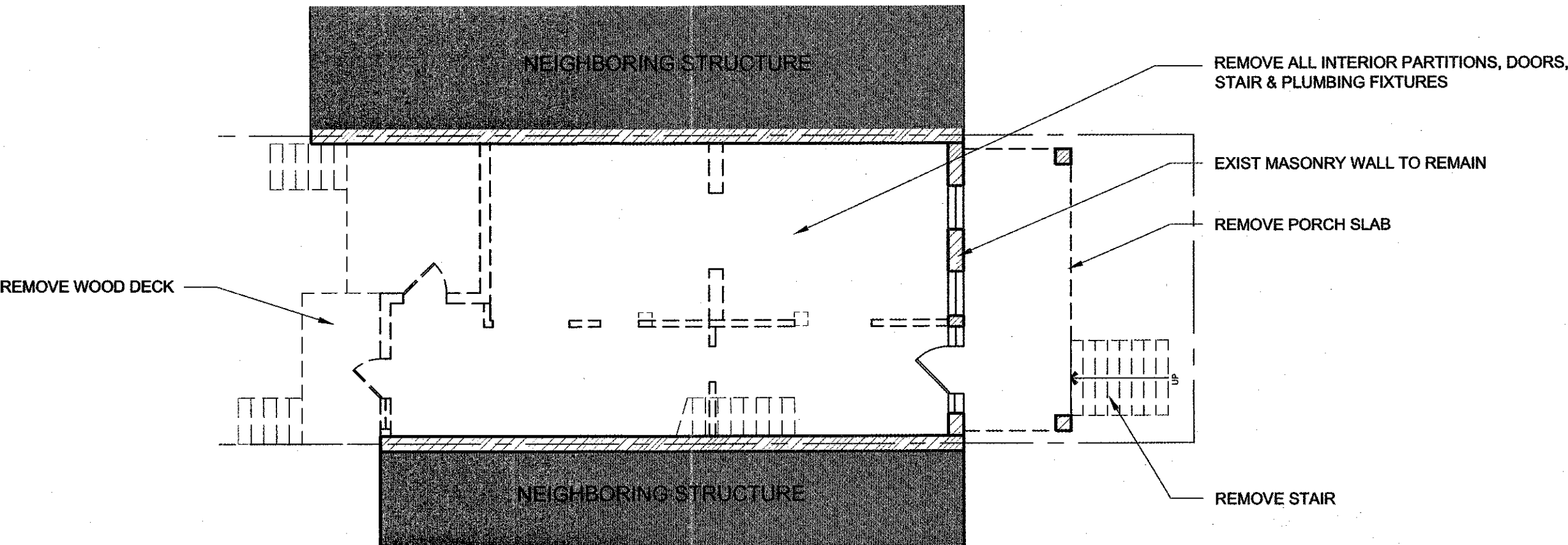
-  FULL HT MASONRY, ETR
-  FULL HT PARTITION, ETR
-  TO BE DEMOLISHED / REMOVED



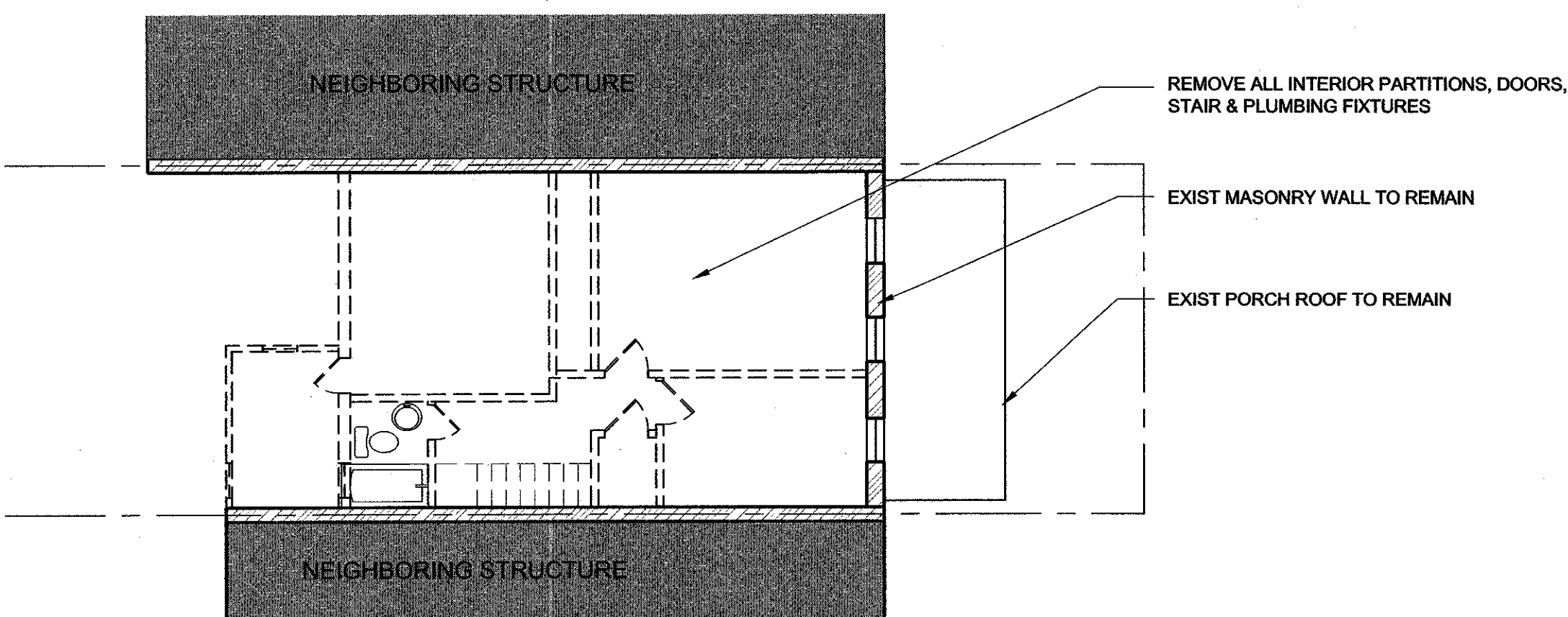
5 DEMOLITION ELEVATION: FRONT  
SCALE: 1/8" = 1'-0"



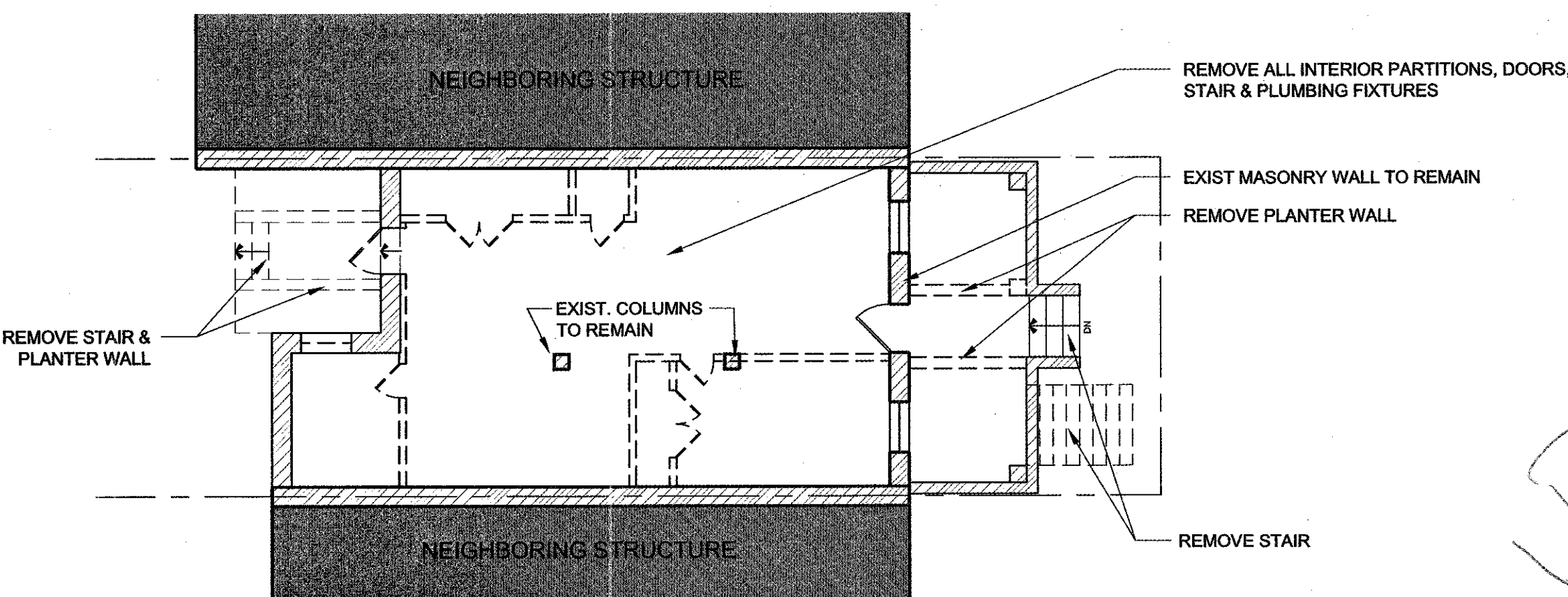
4 DEMOLITION PLAN: ATTIC  
SCALE: 1/8" = 1'-0"



2 DEMOLITION PLAN: 1ST FLOOR  
SCALE: 1/8" = 1'-0"



3 DEMOLITION PLAN: 2ND FLOOR  
SCALE: 1/8" = 1'-0"



1 DEMOLITION PLAN: BASEMENT  
SCALE: 1/8" = 1'-0"



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Tel: 703.828.5995

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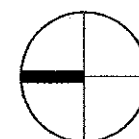
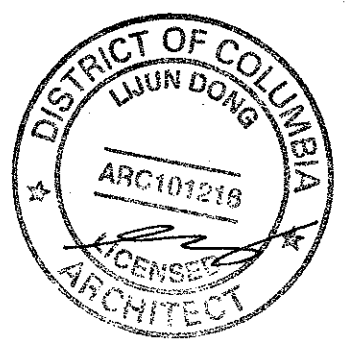
SCALE: As Shown

67 V Street  
67 V Street, NE, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal

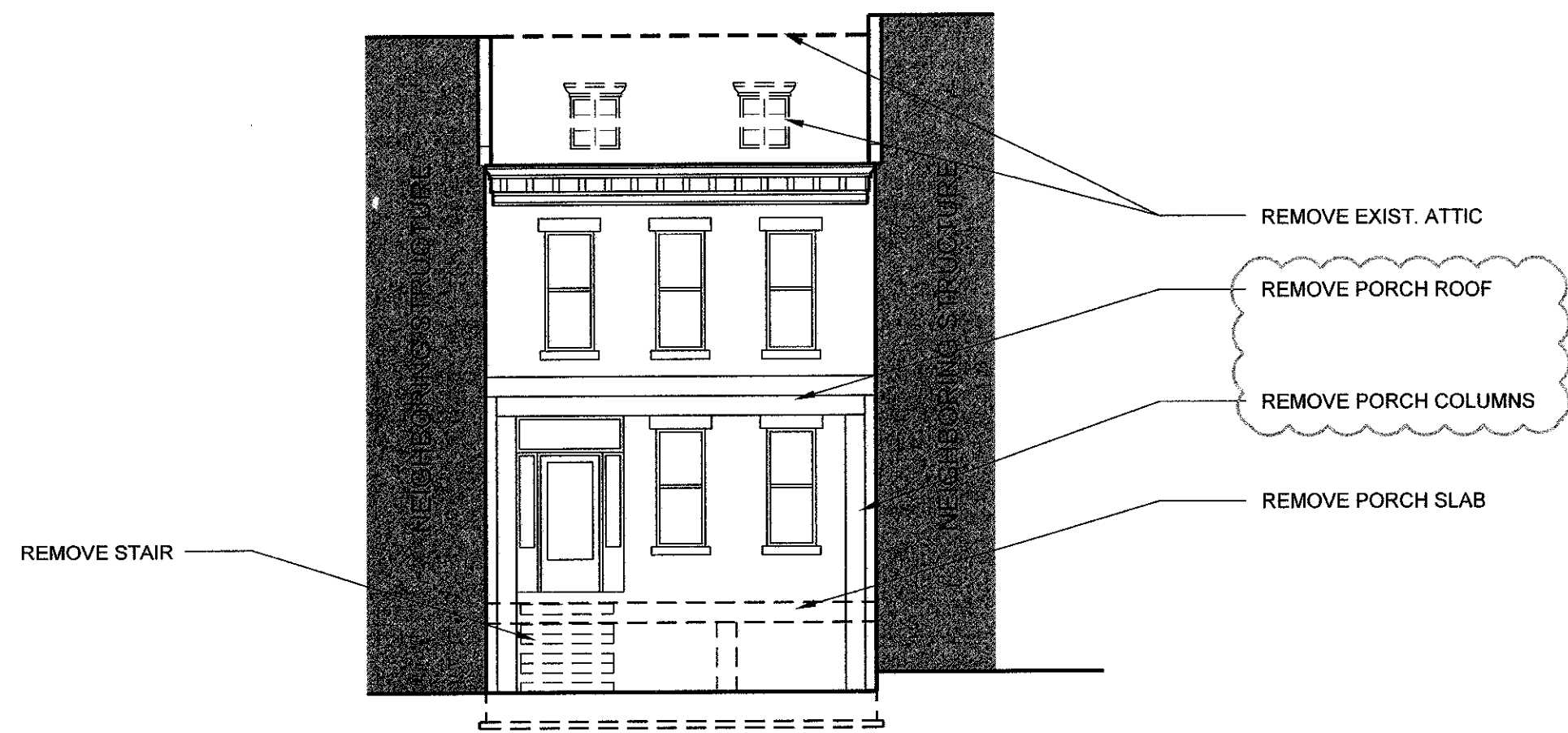


Sheet Title

DEMOLITION  
PLANS &  
ELEVATIONS

Sheet Number

A1.06



DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF DEMOLITION DEBRIS. VERIFY THE HAULING ROUTE THROUGH THE BUILDING. THE DEMOLITION STAGING AREA, AND THE LOCATION OF THE DUMPSTERS WITH THE OWNER PRIOR TO THE START OF DEMOLITION. DISPOSAL OF DEBRIS SHALL BE DONE IN ACCORDANCE TO LOCAL LAW.
2. THE OWNER SHALL BE RESERVE THE RIGHT TO SALVAGE ANY DEMOLISHED ITEM. VERIFY ITEMS TO BE SALVAGED BY THE OWNER PRIOR TO DEMOLITION. REMOVE PROTECT, CLEAN, REPAIR FOR REUSE AND TURN OVER SUCH ITEMS AS DIRECTED BY THE OWNER.
3. PROJECT ADJACENT SPACES NOT SCHEDULED FOR DEMOLITION, PATCH AND REPAIR DAMAGED FINISHES, ITEMS AND FIXTURES TO REMAIN AND/ OR REPLACE IN KIND TO MATCH EXISTING FROM DAMAGE DURING THE PROGRESS OF THE WORK. PROVIDE TEMPORARY SAFETY BARRIERS REQUIRED BY CODE TO INSURE PUBLIC SAFETY AND TO ALLOW BUILDING OCCUPANCY. CONTRACTOR TO SUBMIT FOR APPROVAL, BARRIER LOCATIONS, AND METHOD OF CONSTRUCTION TO THE OWNER PRIOR TO INSTALLATION.
4. PROVIDE SHORING, BRACING, BARRICADES AND PROTECTIVE MEASURES AS REQUIRED TO SAFETY EXECUTE THE WORK. IN THE CONSTRUCTION AREA AND THE APPEARS ADJACENT TO THE CONSTRUCTION AREA. IF THE STRUCTURE APPEARS TO BE ENDANGERED, CEASE OPERATION AND NOTIFY THE OWNER IMMEDIATELY. DO NOT RESUME THAT PORTION OF THE WORK UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
5. THE CONTRACTOR SHALL MAINTAIN REQUIRED MEANS OF EGRESS AND ENSURE THAT EXIT ROUTES ARE SIGNED, LIGHTED AND PROTECTED AS REQUIRED BY CODE. RELOCATE EXISTING AND/ OR PROVIDE SMOKE PROTECTORS AND LIFE SAFETY EQUIPMENT FOR ADEQUATE COVERAGE.
6. CONTRACTOR IS RESPONSIBLE FOR BUILDING SECURITY DURING THE DEMOLITION PHASE AND IS TO PROTECT OPENINGS FROM WEATHER CONDITIONS AND SECURE THEM TO PREVENT VANDALISM.
7. DO NOT PERFORM WORK THAT WILL VOID WARRANTIES OF EXISTING WEATHER EXPOSED ON MOISTURE RESISTANT ELEMENT WITHOUT PRIOR APPROVAL FROM THE OWNER.
8. THE DESIGNER ASSUME NO RESPONSIBILITY RELATING TO TOXIC MATERIALS, INCLUDING ASBESTOS AND ASSUME NO RESPONSIBILITY TO ITS EXISTENCE OR REMOVAL. THE OWNER WILL TAKE ACTION FOR DIRECTLY CONTRACTING WITH A CONSULTANT OR SPECIALIST, LICENSED BY THE STATE, FOR SUCH SERVICES SHOULD THOSE SERVICES BE REQUIRED FOR THIS PROJECT.

GRAPHIC KEY

- FULL HT MASONRY, ETR
- FULL HT PARTITION, ETR
- TO BE DEMOLISHED / REMOVED



**DONG  
ARCHITECTS**

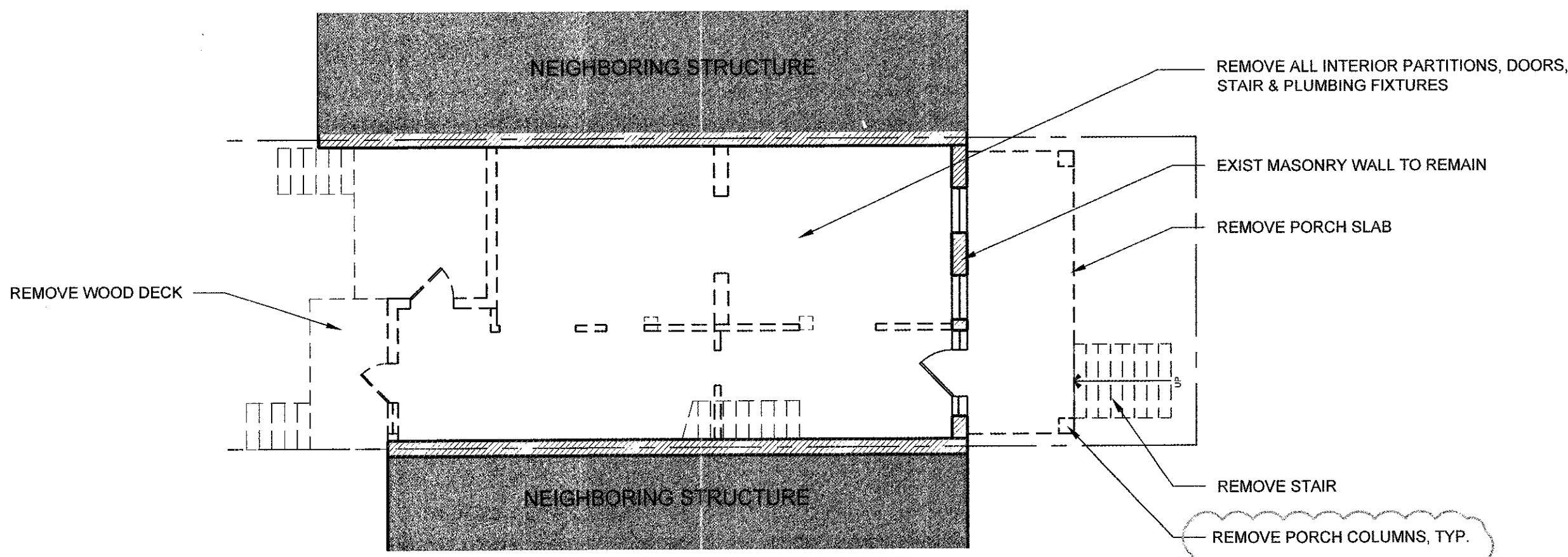
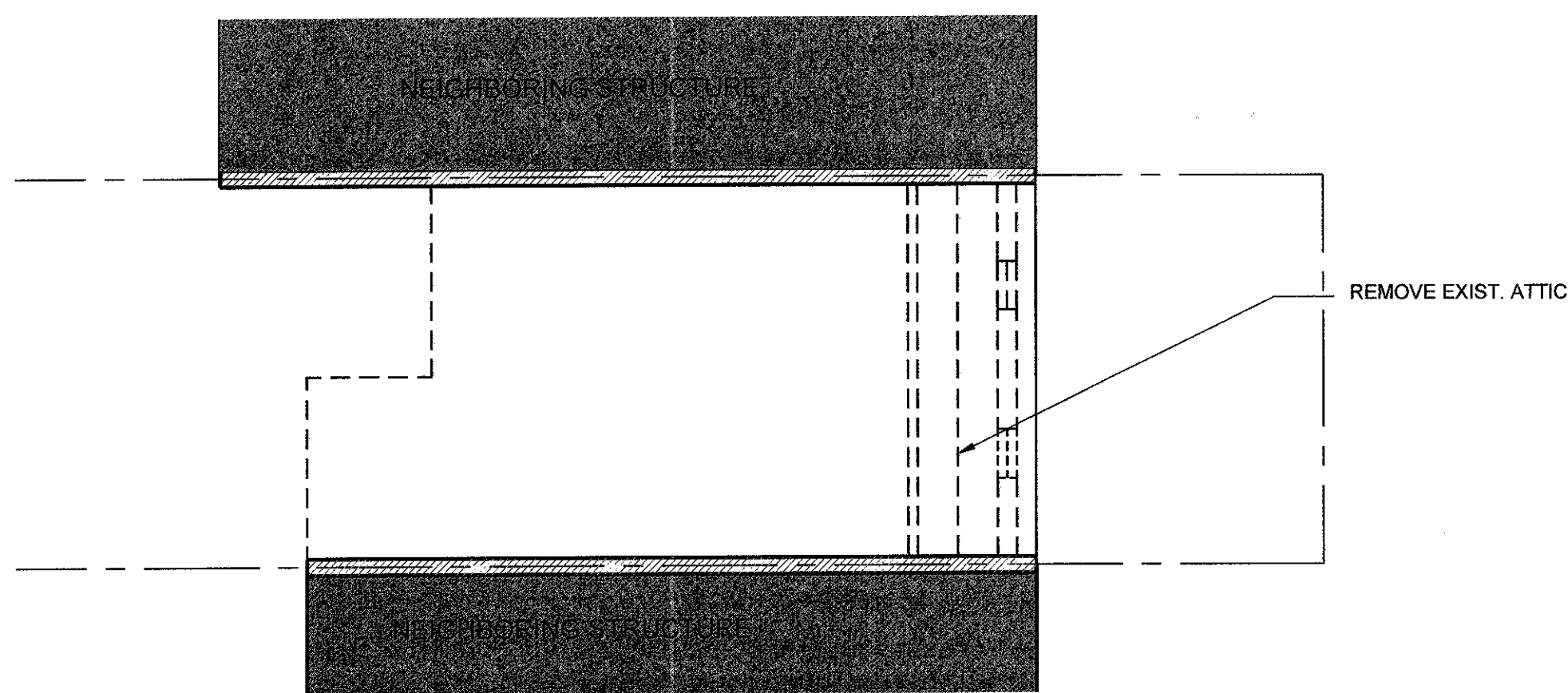
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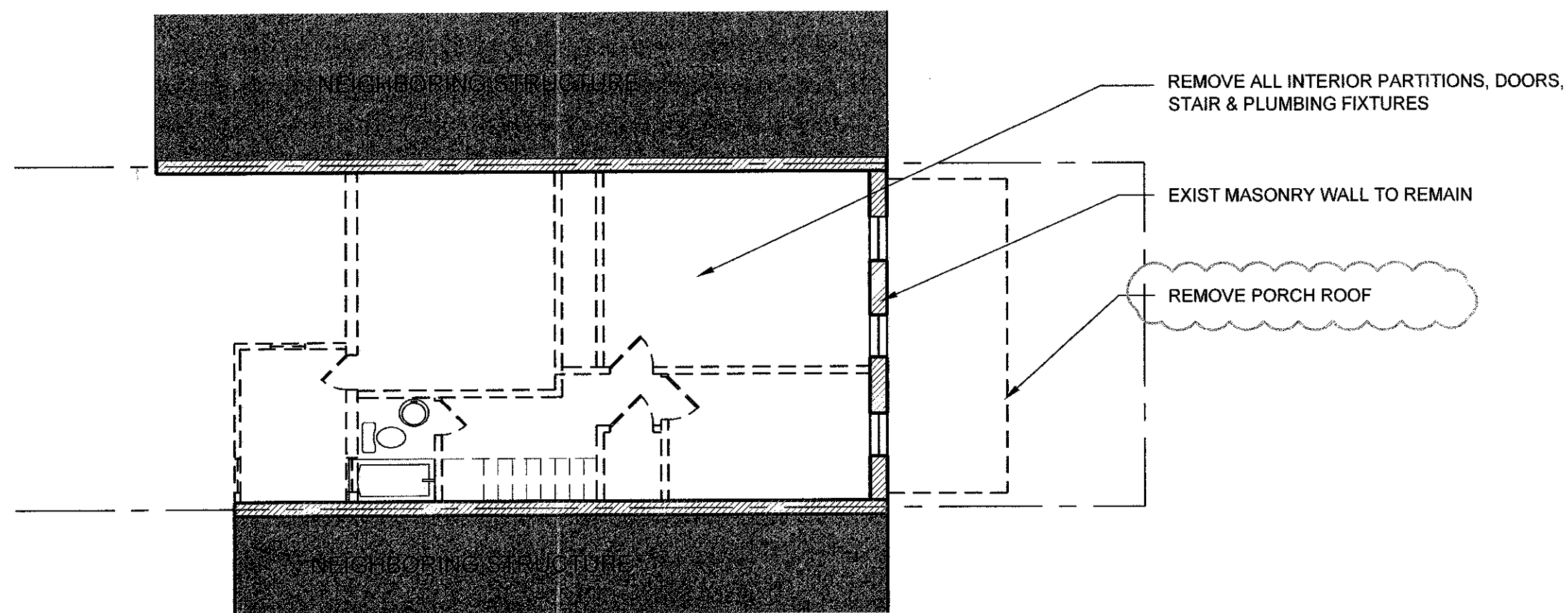
**5 DEMOLITION ELEVATION: FRONT**

SCALE: 1/8" = 1'-0"



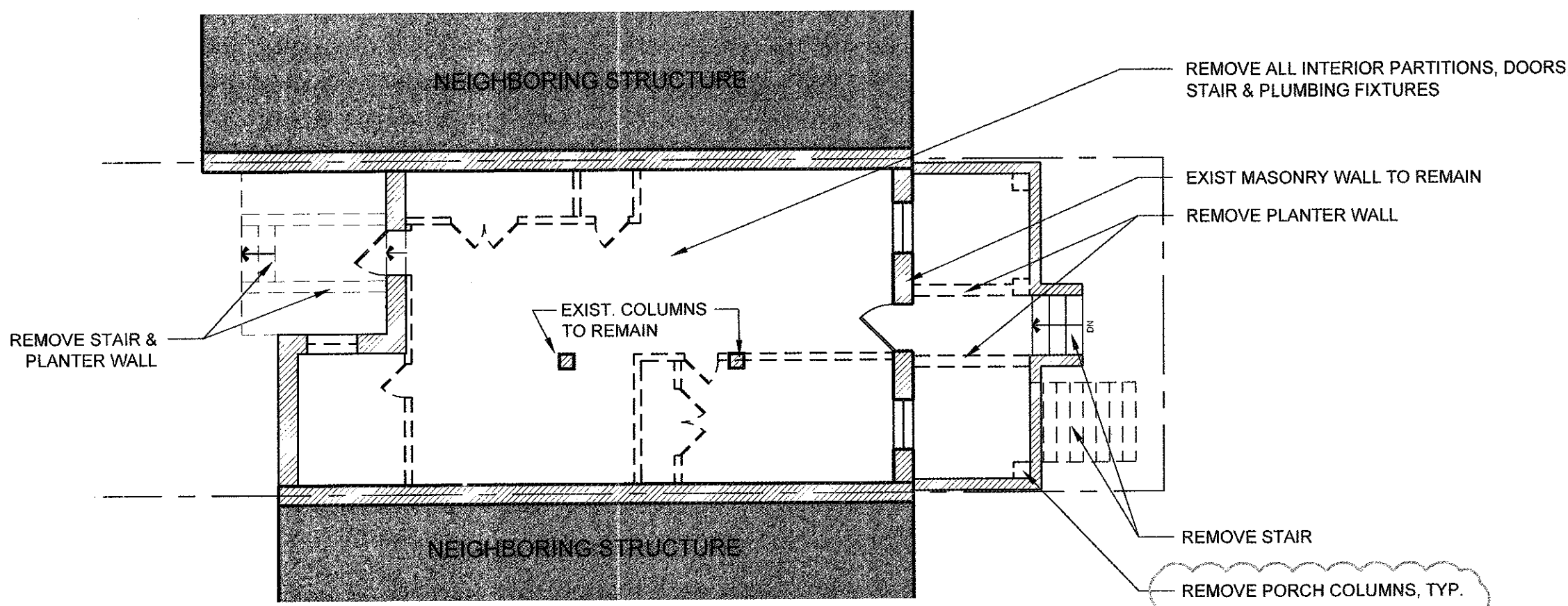
**4 DEMOLITION PLAN: ATTIC**

SCALE: 1/8" = 1'-0"



**2 DEMOLITION PLAN: 1ST FLOOR**

SCALE: 1/8" = 1'-0"



**3 DEMOLITION PLAN: 2ND FLOOR**

SCALE: 1/8" = 1'-0"

**1 DEMOLITION PLAN: BASEMENT**

SCALE: 1/8" = 1'-0"

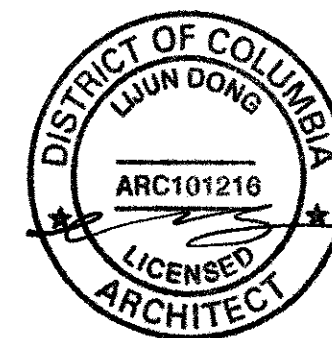
**67 V Street**

67 V Street, NW, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

Professional Seal

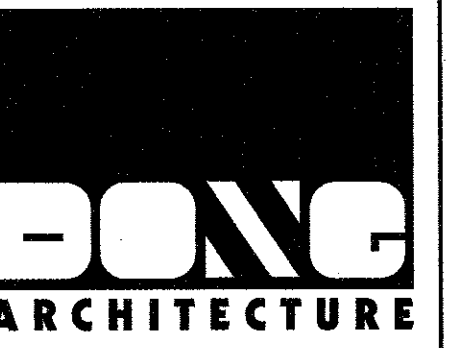


Sheet Title

**DEMOLITION  
PLANS &  
ELEVATIONS**

Sheet Number

**A1.06**



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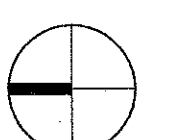
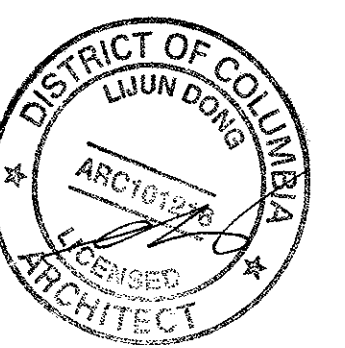
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**WS Homes  
67 V St LLC**

Professional Seal

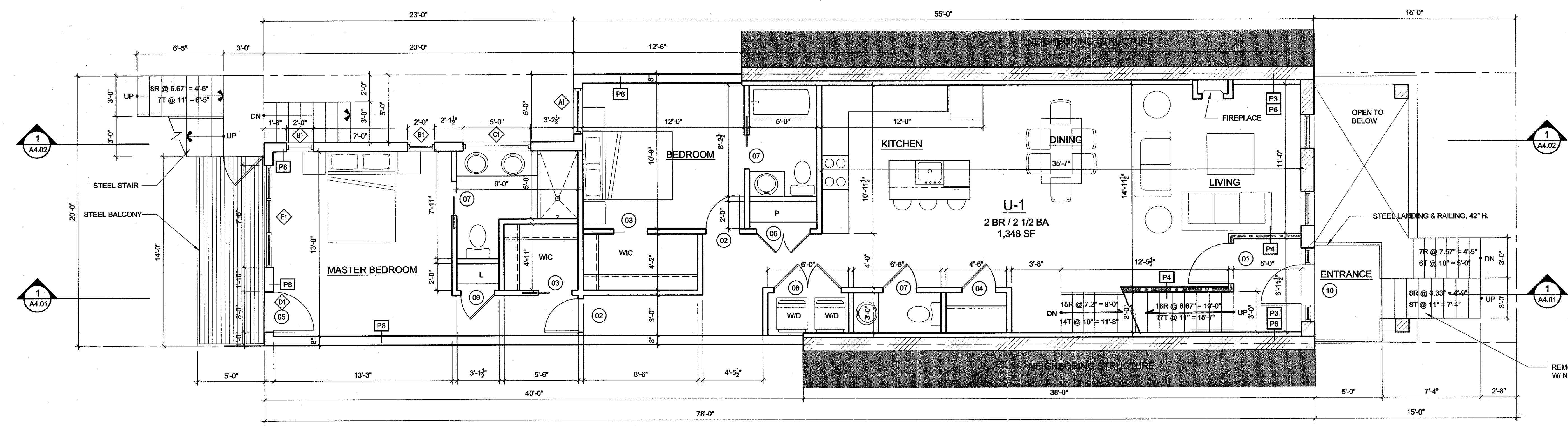


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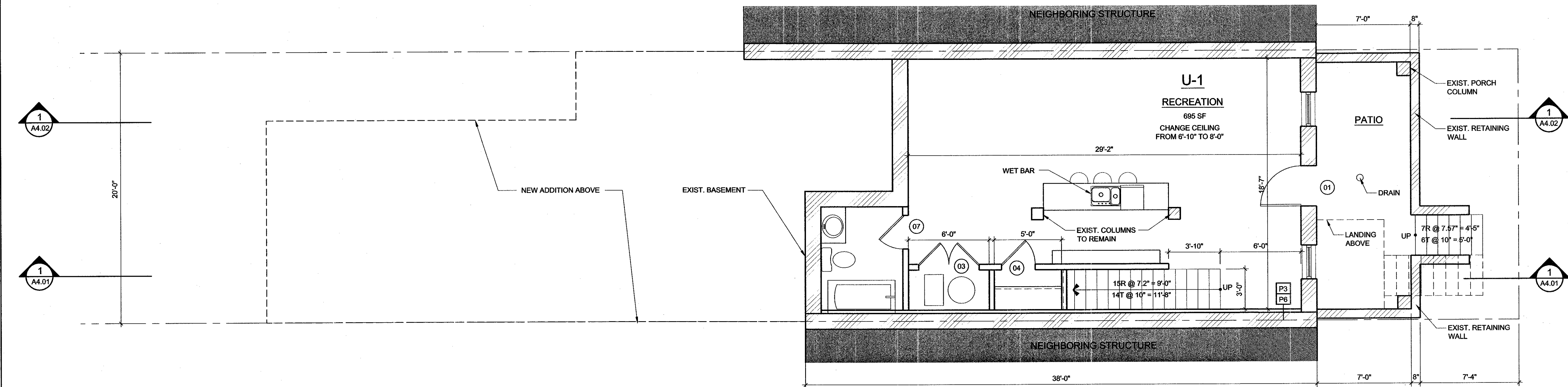
**BASEMENT &  
1ST FLOOR PLANS**

Sheet Number

**A2.01**



**2 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1 BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

**GRAPHIC KEY**

- EXIST FULL HT WALL
- NEW FULL HT CONC WALL
- NEW FULL HT WALL
- NEW FULL HT RATED WALL

**PLAN NOTES:**

- ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O.
- SHAFT PARTITION ARE TYPE "P3". OTHER PARTITIONS ARE TYPE "P1" U.N.O. SEE SHEET A1.03 FOR PARTITION TYPES.
- DOORS AT CORNERS TO BE FRAMED 4" FROM INSIDE CORNER TYP.
- PROVIDE BLOCKING FOR MILLWORK AS REQUESTED FOR PROPER SUPPORT.

**KEYNOTES:**

- 1 BULKHEAD
- 2 EXIST. BRICK CHIMNEY TO REMAIN



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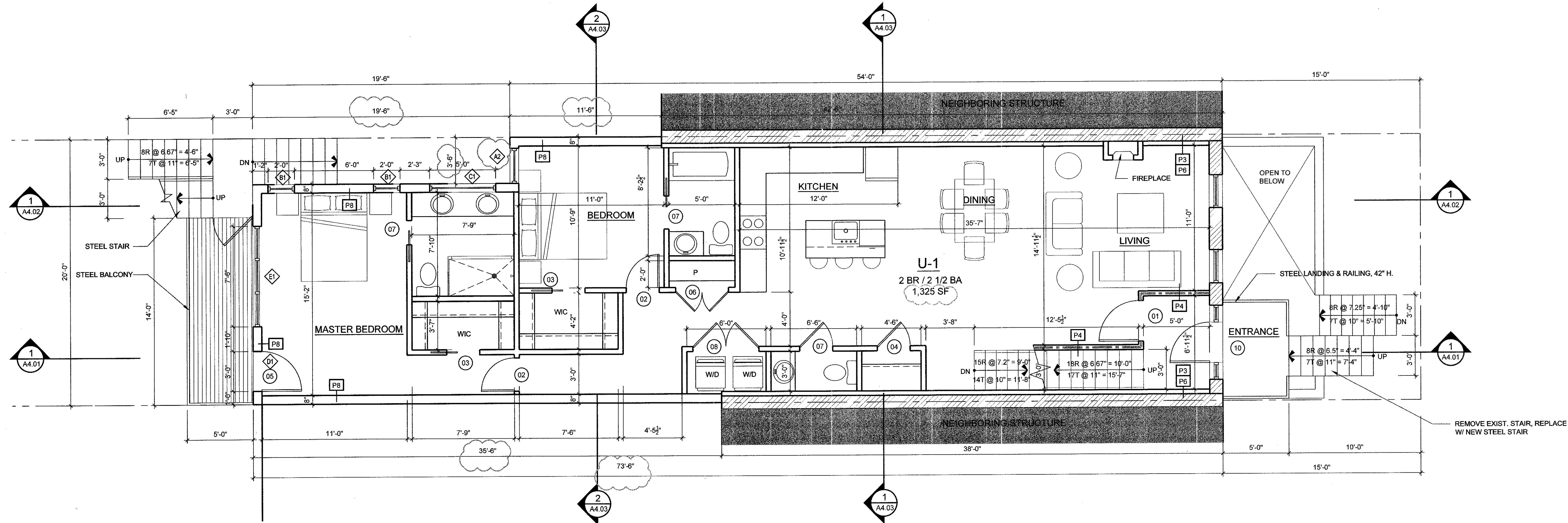


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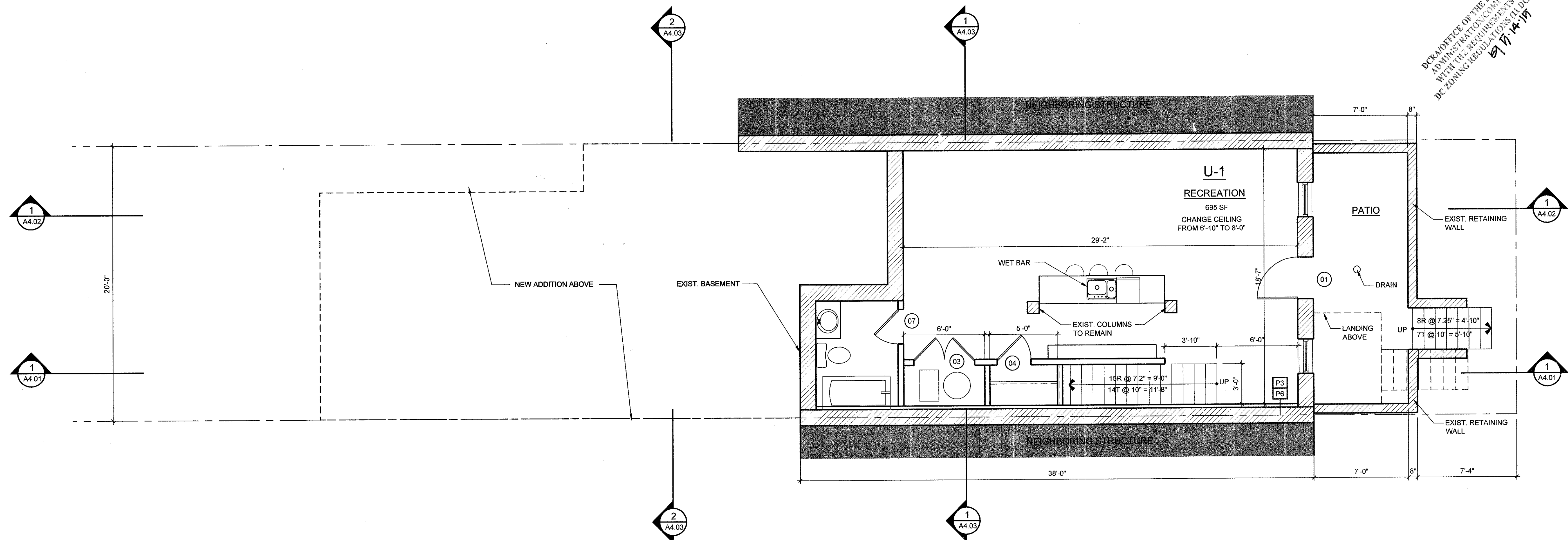
**BASEMENT &  
1ST FLOOR  
PLANS**

Sheet Number

**A2.01**



**2 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1 BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

**GRAPHIC KEY**

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- NEW FULL HT WALL
- NEW FULL HT RATED WALL

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- PROVIDE BLOCKING FOR MILLWORK AS REQUESTED FOR PROPER SUPPORT.

**KEYNOTES:**

- BULKHEAD
- EXIST. BRICK CHIMNEY TO REMAIN

DCR OFFICE OF THE ZONING  
ADMINISTRATIVE COMMISSION  
WITH THE REQUIREMENTS OF  
DC ZONING REGULATIONS (U-1, U-2, U-3)  
5/17/15

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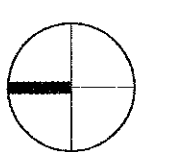
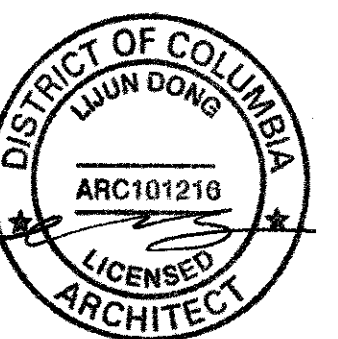
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**WS Homes**  
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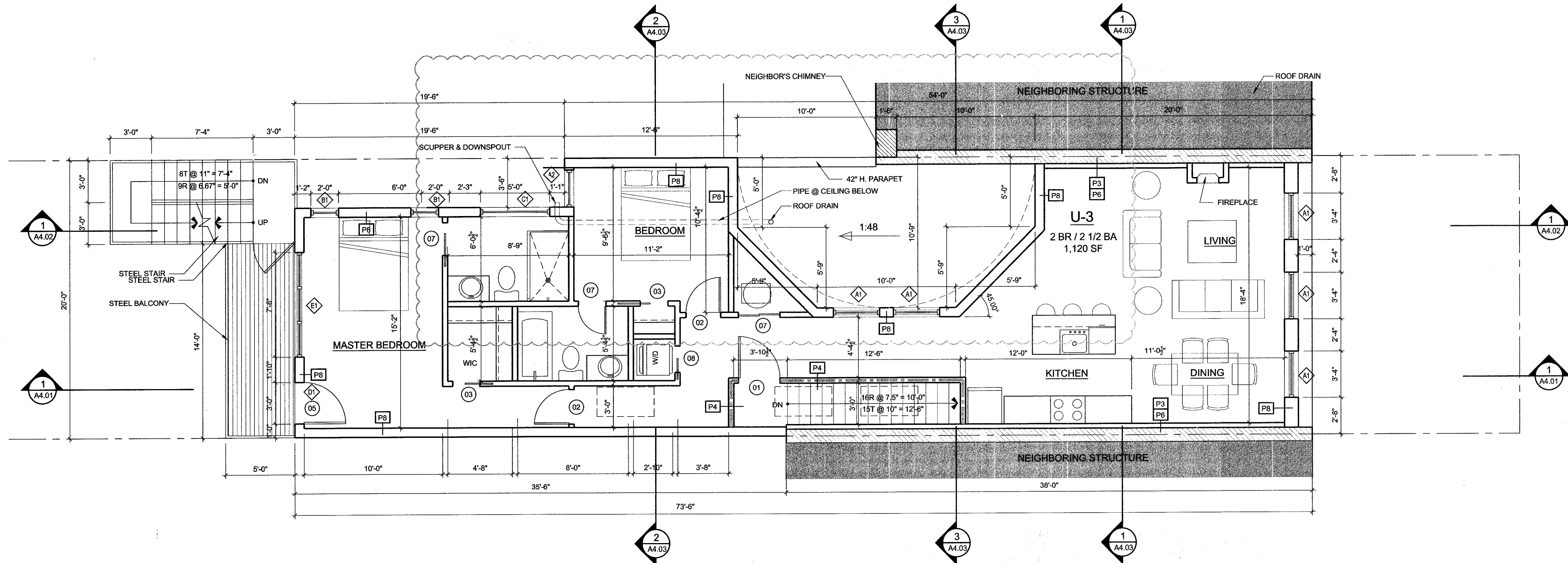


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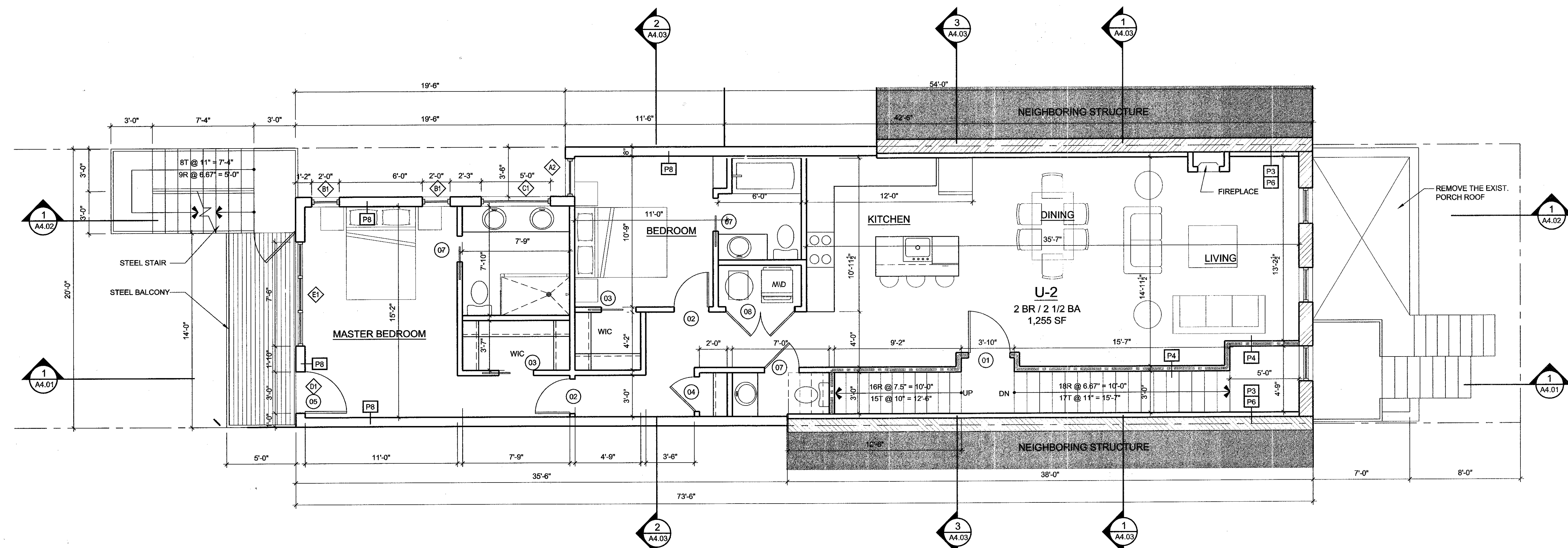
**2ND & 3RD  
FLOOR  
PLANS**

Sheet Number

**A2.02**



**2** 3RD FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**1** 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**GRAPHIC KEY**

- EXIST FULL HT WALL
- NEW FULL HT CONC WALL
- NEW FULL HT WALL
- NEW FULL HT RATED WALL

**PLAN NOTES:**

1. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O.
2. SHAFT PARTITION ARE TYPE "P3", OTHER PARTITIONS ARE TYPE "P1" U.N.O. SEE SHEET A1.03 FOR PARTITION TYPES.
3. DOORS AT CORNERS TO BE FRAMED 4" FROM INSIDE CORNER TYP.
4. PROVIDE BLOCKING FOR MILLWORK AS REQUESTED FOR PROPER SUPPORT.

**KEYNOTES:**

- BULKHEAD
- EXIST. BRICK CHIMNEY TO REMAIN



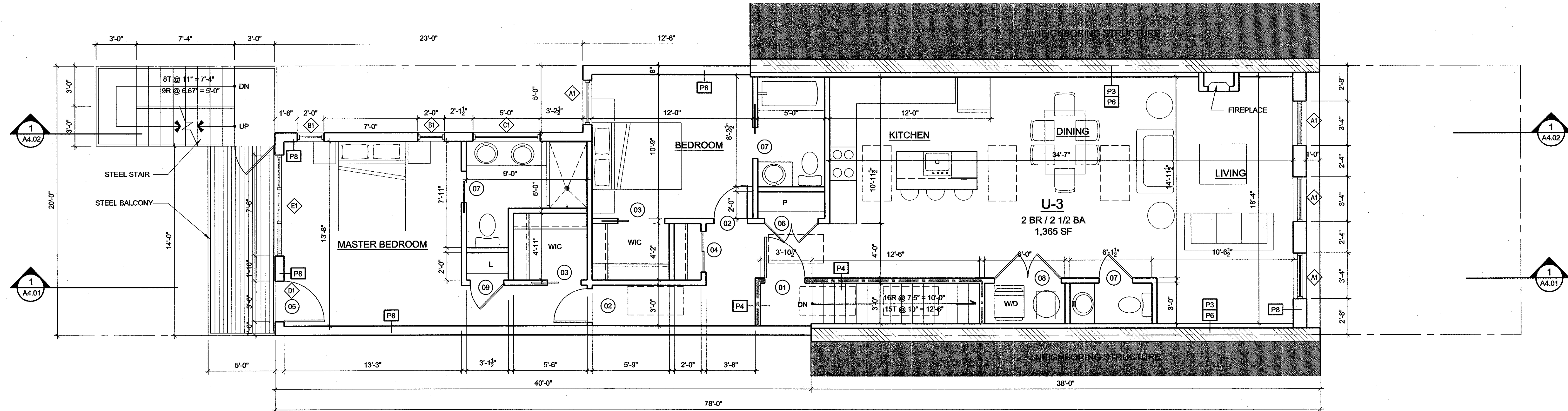
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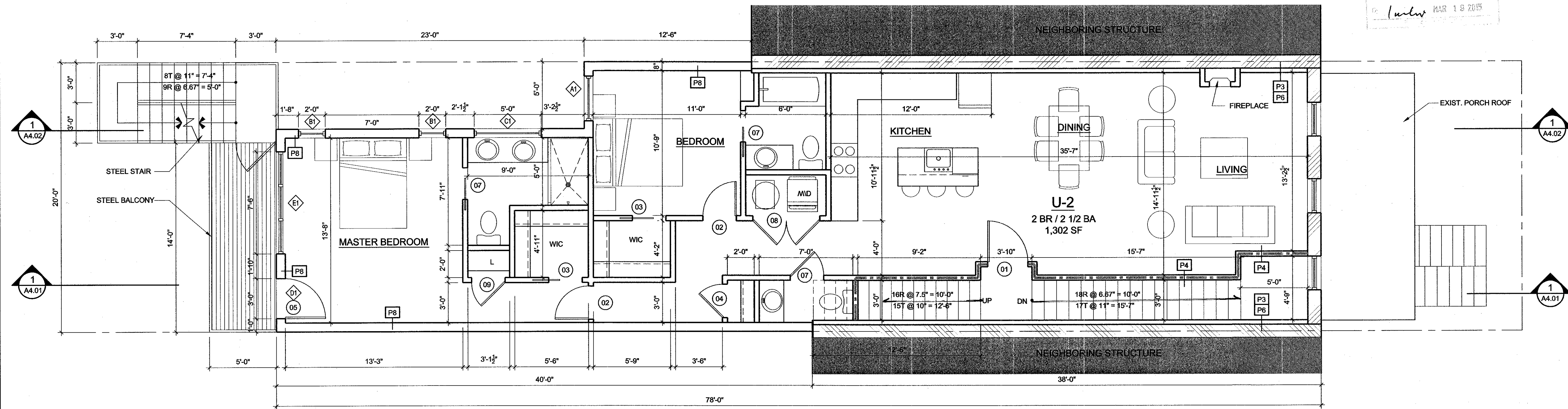
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**2 3RD FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1 2ND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**GRAPHIC KEY**

- EXIST FULL HT WALL
- NEW FULL HT CONC WALL
- NEW FULL HT WALL
- NEW FULL HT RATED WALL

**PLAN NOTES:**

1. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O.
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3. DOORS AT CORNERS TO BE FRAMED 4" FROM INSIDE CORNER TYP.
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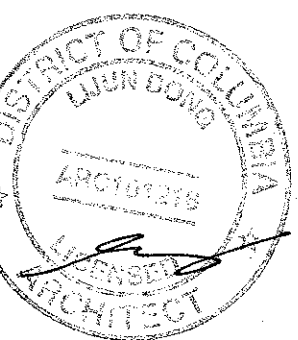
**KEYNOTES:**

- BULKHEAD
- EXIST. BRICK CHIMNEY TO REMAIN

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**WS Homes**  
**67 V St LLC**

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Sheet Title

**2ND & 3RD FLOOR PLANS**

Sheet Number

**A2.02**



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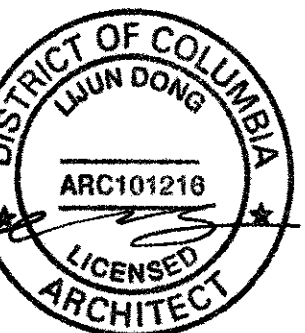
**67 V Street**

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Developer

**WS Homes  
67 V St LLC**

Professional Seal

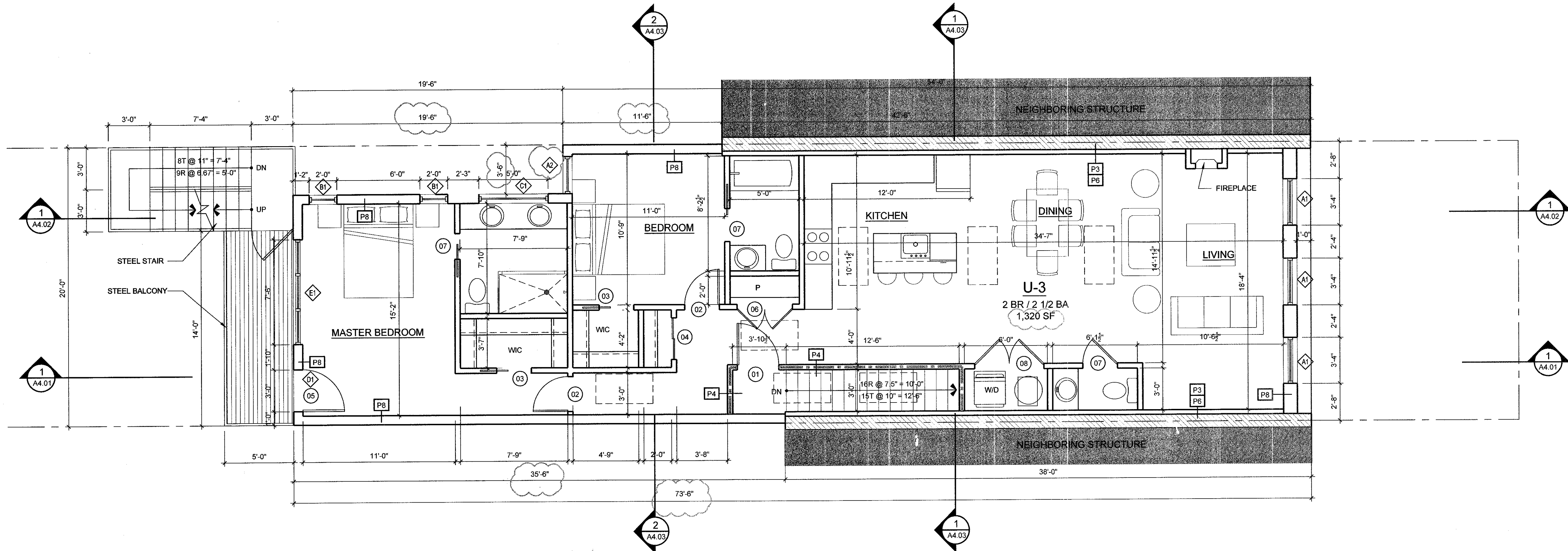


Sheet Title

**2ND & 3RD  
FLOOR PLANS**

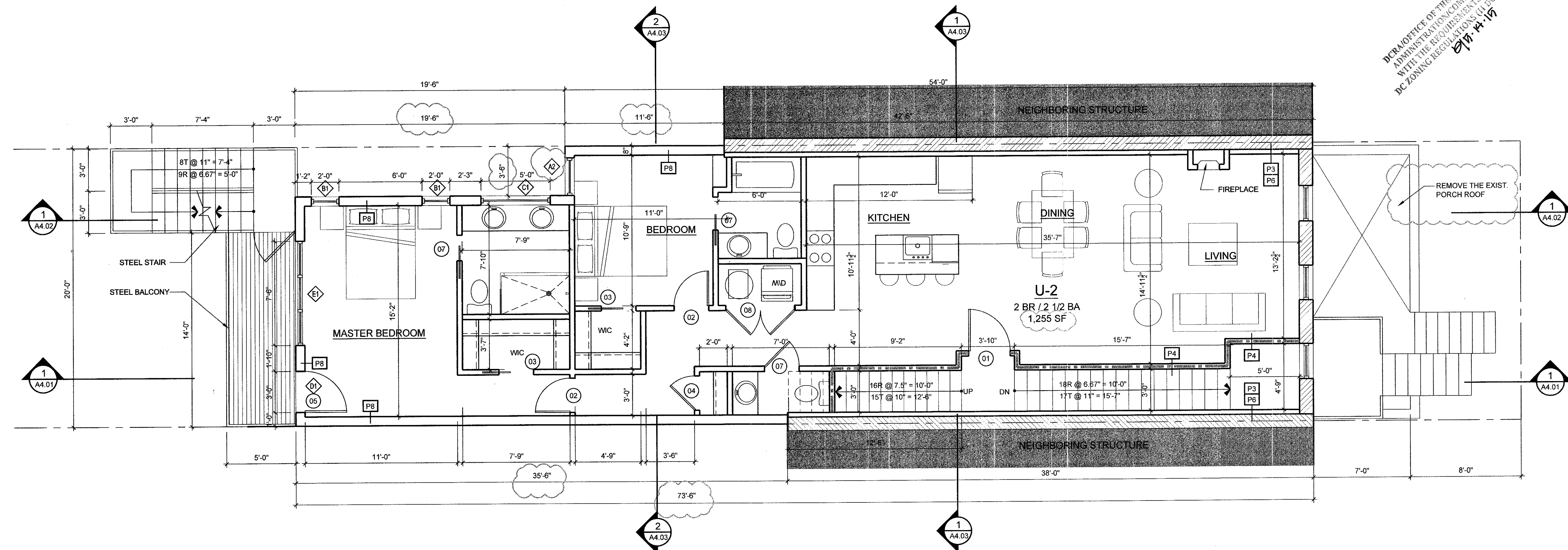
Sheet Number

**A2.02**



**2 3RD FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**1 2ND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**GRAPHIC KEY**

- EXIST FULL HT WALL
- NEW FULL HT CONC WALL
- NEW FULL HT WALL
- NEW FULL HT RATED WALL

**PLAN NOTES:**

1. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O.
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**KEYNOTES:**

- BULKHEAD
- EXIST. BRICK CHIMNEY TO REMAIN

FOR OFFICE OF THE ZONING  
ADMINISTRATION COMPLIES  
WITH THE REGULATIONS (11-2002)  
OF THE DC ZONING REGULATIONS (11-2002)  
9/17/15

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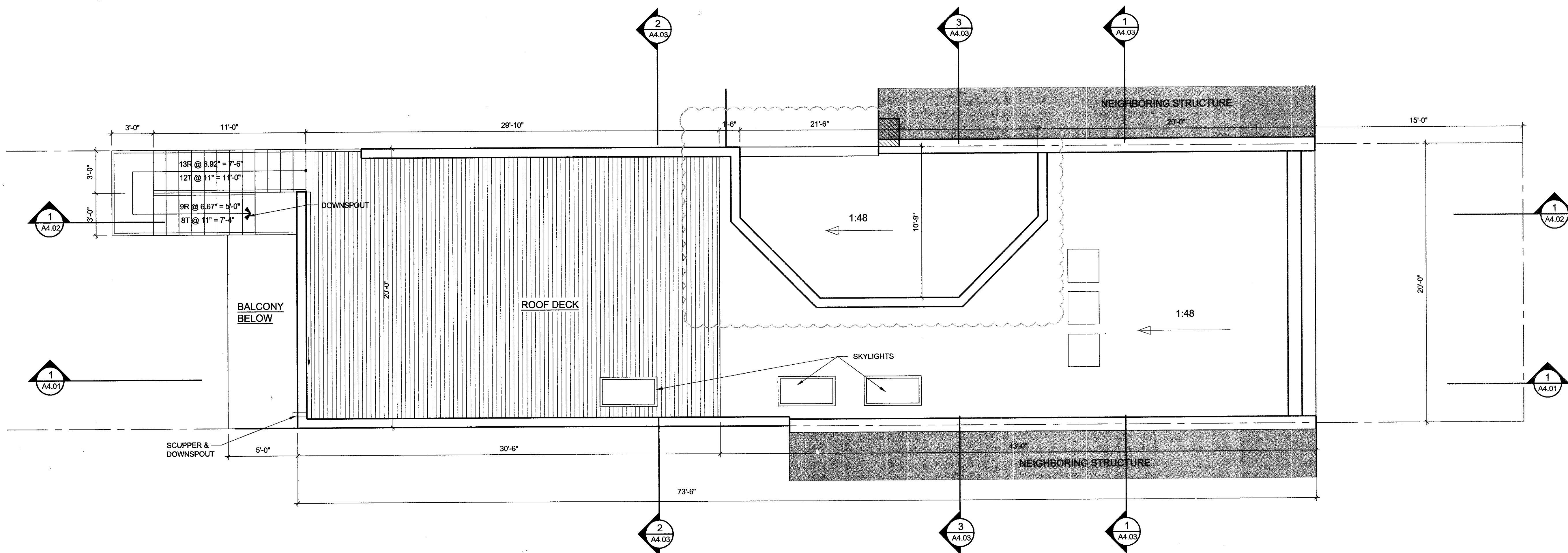
Developer  
WS Homes  
67 V St LLC

Professional Seal  

DISTRICT OF COLUMBIA  
LUAN DONG  
ARC101219  
LICENSED  
ARCHITECT

Sheet Title  
ROOF PLAN

Sheet Number  
A2.03



GRAPHIC KEY

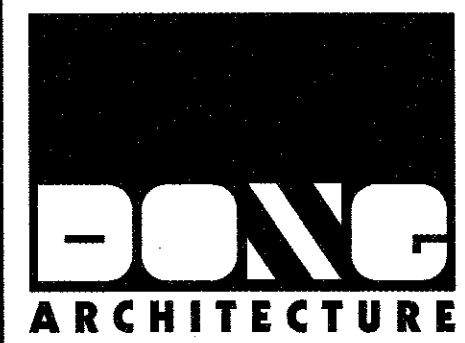
- EXIST FULL HT WALL
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PLAN NOTES:

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KEYNOTES:

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- 2 EXIST. BRICK CHIMNEY TO REMAIN



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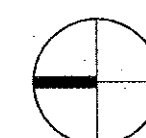
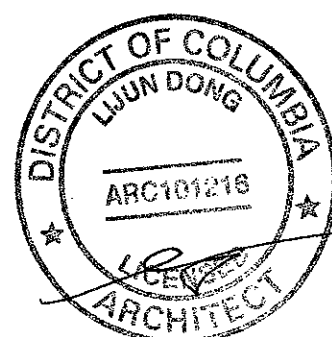
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Developer

**WS Homes  
67 V St LLC**

Professional Seal

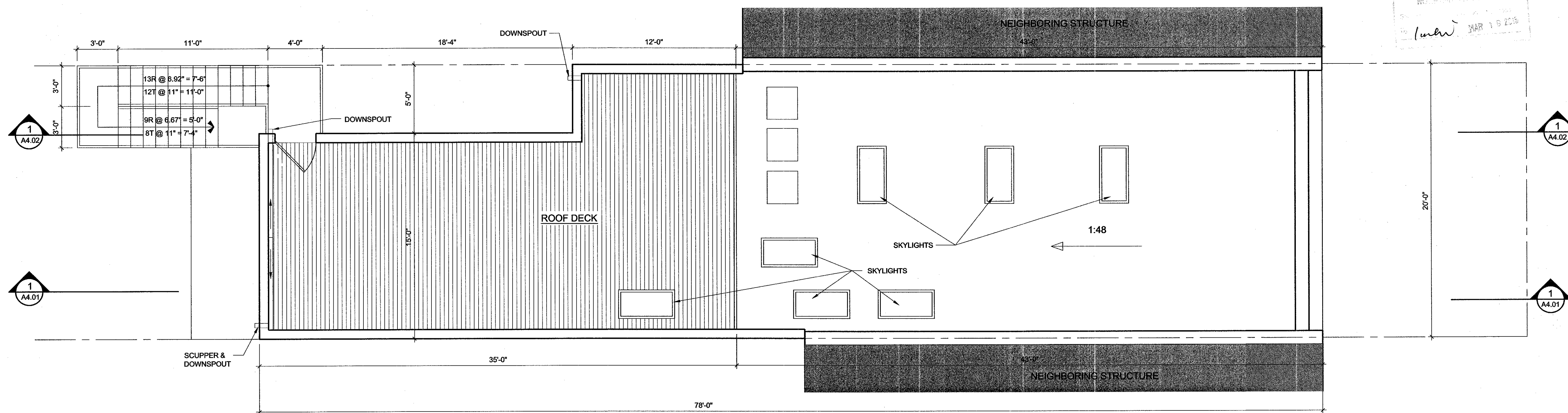


Sheet Title

**2ND & 3RD  
FLOOR  
PLANS**

Sheet Number

**A2.03**



**GRAPHIC KEY**

- EXIST FULL HT WALL
- NEW FULL HT CONC WALL
- NEW FULL HT WALL
- NEW FULL HT RATED WALL

**PLAN NOTES:**

- ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O.
- SHAFT PARTITION ARE TYPE "F3", OTHER PARTITIONS ARE TYPE "F11" U.N.O. SEE SHEET A1.03 FOR PARTITION TYPES.
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**KEYNOTES:**

- BULKHEAD
- EXIST. BRICK CHIMNEY TO REMAIN



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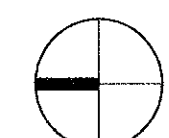
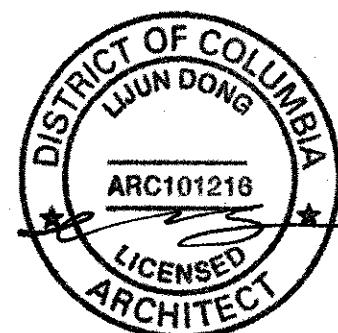
**67 V Street**

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Developer

**WS Homes  
67 V St LLC**

Professional Seal

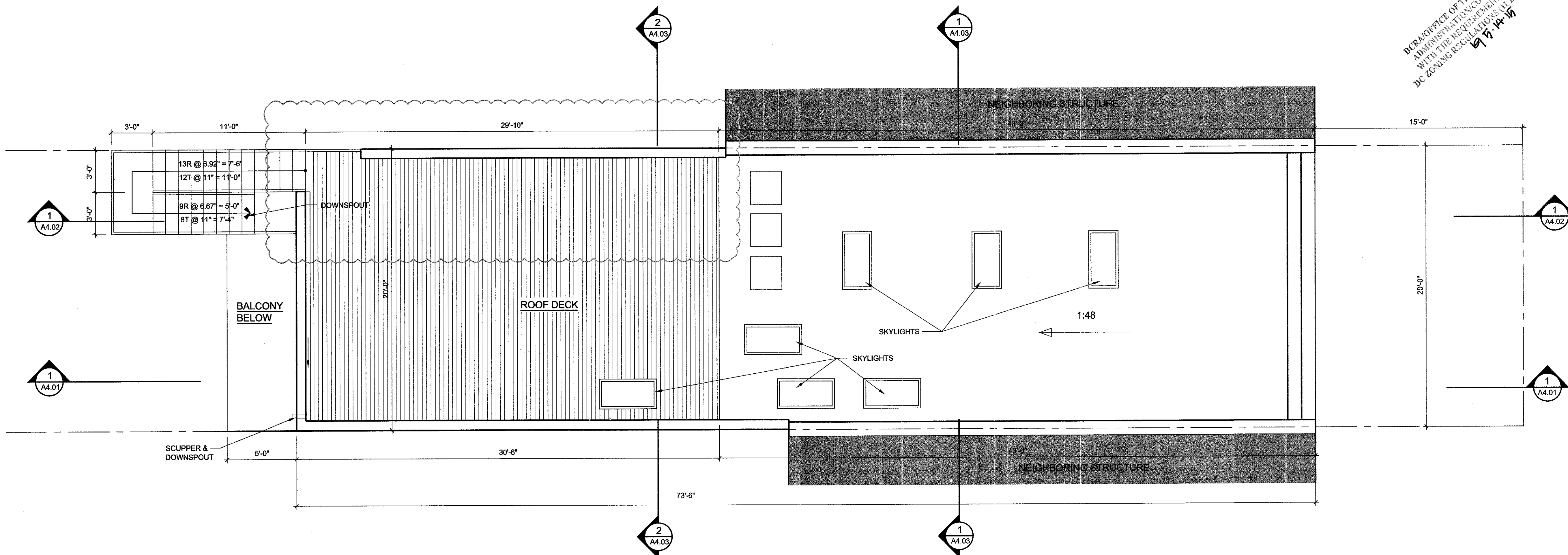


Sheet Title

**ROOF PLAN**

Sheet Number

**A2.03**



**1**

**ROOF PLAN**

SCALE: 1/4" = 1'-0"

- 7 BRICK VENEER OVER EXIST MASONRY WALL
- 8 BRICK VENEER OVER NEW STUD WALL

ELEVATION KEYNOTES:

- 1 EXTERIOR GRD PT WOOD DECK W/ STEEL CHANNEL FRAMING
- 2 MTL PANEL CANOPY
- 3 42" H GUARD RAIL MTL FINISH
- 4 REFINISHED MTL COPING
- 5 REFINISHED MTL GUTTER & DS
- 6 MTL CLADDING ON BEAM & STL COL

EXTERIOR FINISHES:

- MAS-01 EXIST. BRICK
- HAR-1 HARDIE PANEL 1: COLOR - TBD
- HAR-2 HARDIE PANEL 2: COLOR - TBD
- CON-1 CONC UNFINISHED



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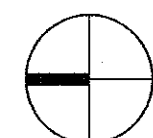
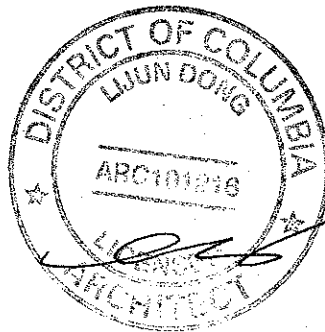
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67 V Street, NE, Washington DC 20001

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WS Homes  
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Professional Seal

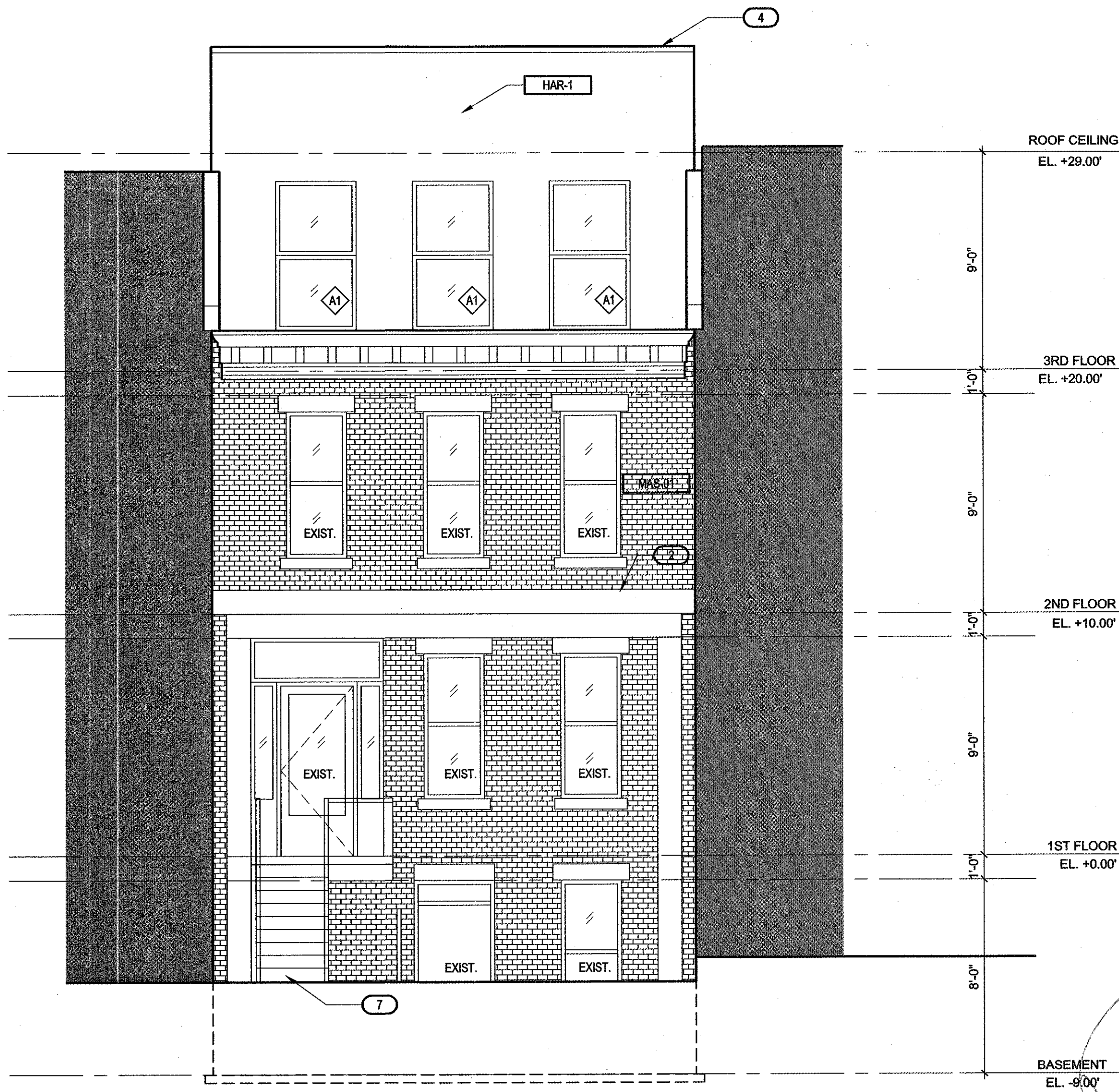
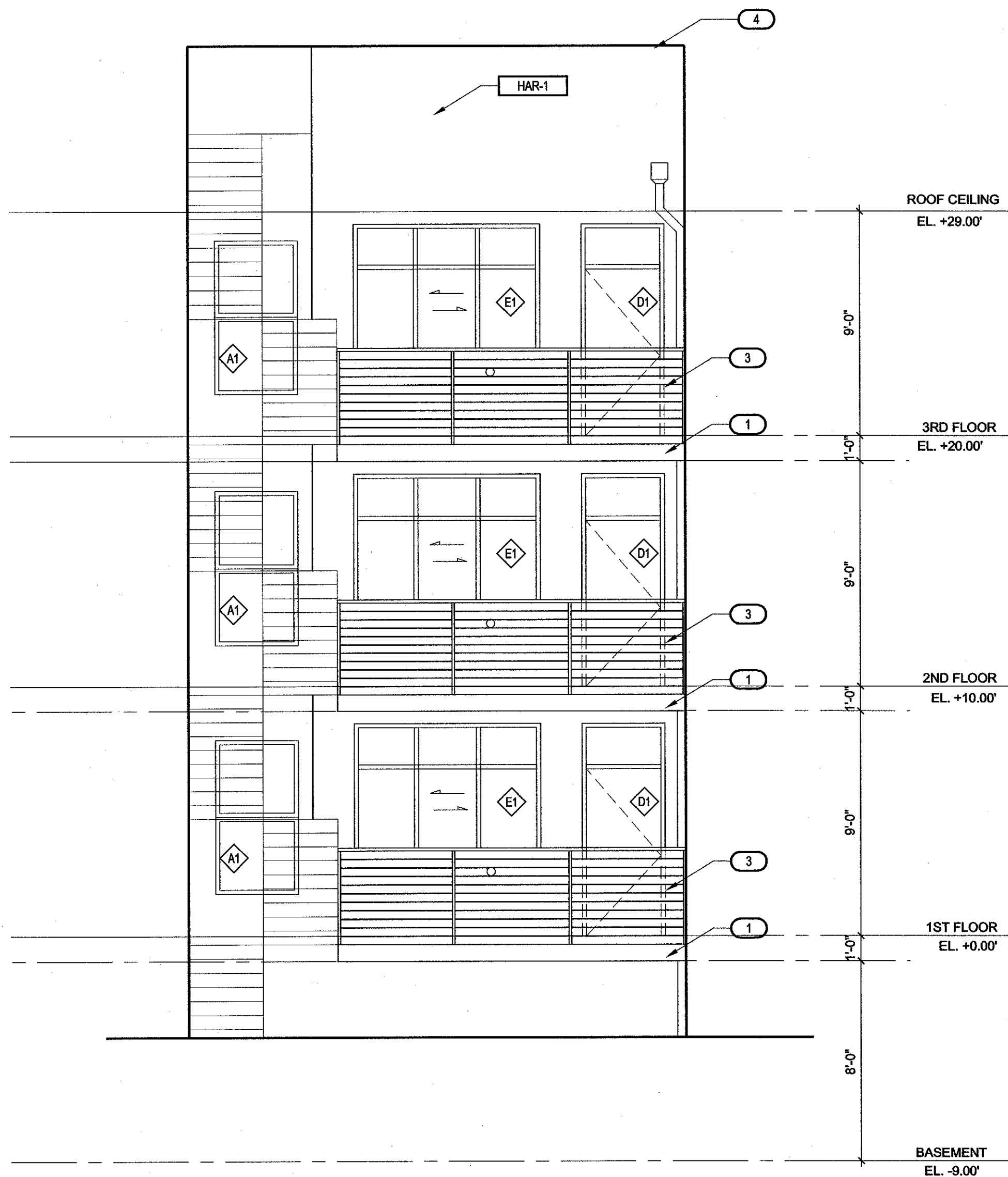


Sheet Title

FRONT &  
REAR  
ELEVATIONS

Sheet Number

A3.01



2 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

- 7 BRICK VENEER OVER EXIST  
MASONRY WALL
- 8 BRICK VENEER OVER NEW  
STUD WALL

ELEVATION KEYNOTES:

- 1 EXTERIOR GRD PT WOOD DECK  
W/ STEEL CHANNEL FRAMING
- 2 MTL PANEL CANOPY
- 3 42" H GUARD RAIL MTL FINISH
- 4 REFINISHED MTL COPING
- 5 REFINISHED MTL GUTTER & DS
- 6 MTL CLADDING ON BEAM & STL COL

EXTERIOR FINISHES:

- MAS-01 EXIST. BRICK
- HAR-1 HARDIE PANEL 1: COLOR - TBD
- HAR-2 HARDIE PANEL 2: COLOR - TBD
- CON-1 CONC UNFINISHED



DONG  
ARCHITECTS

8512 Frost Way  
Annandale VA 22003  
Tel: 703.828.5995

| No. | Issued For      | Date     |
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| 1   | Permit Set      | 03.05.15 |
| 2   | Permit Revision | 04.09.15 |
|     |                 |          |
|     |                 |          |
|     |                 |          |

SCALE: As Shown

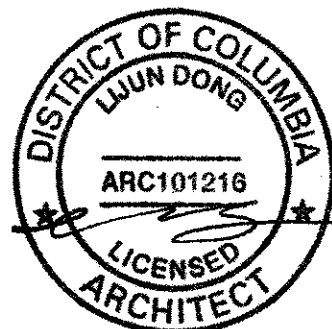
67 V Street

67 V Street, NW, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal

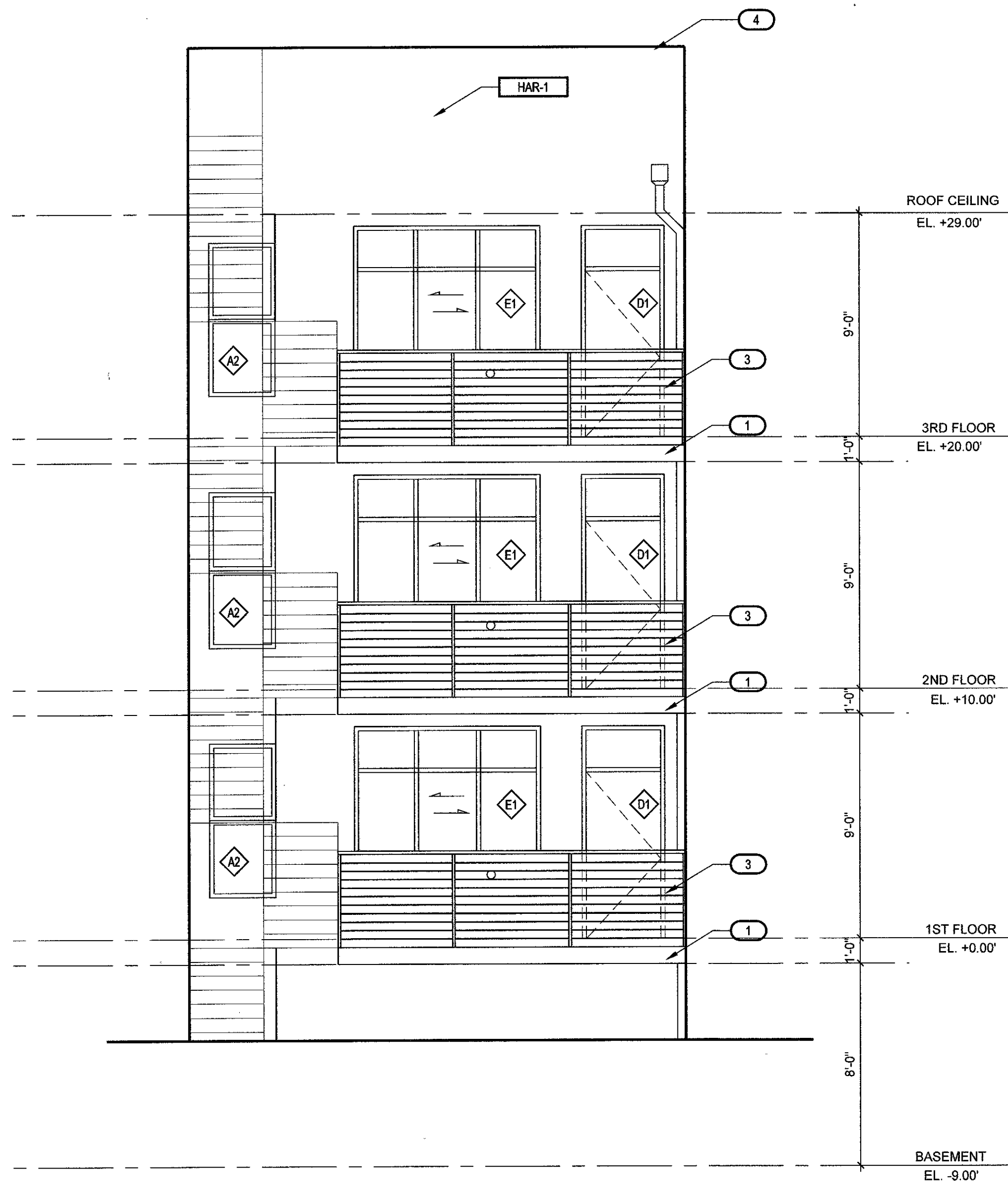


Sheet Title

FRONT &  
REAR  
ELEVATIONS

Sheet Number

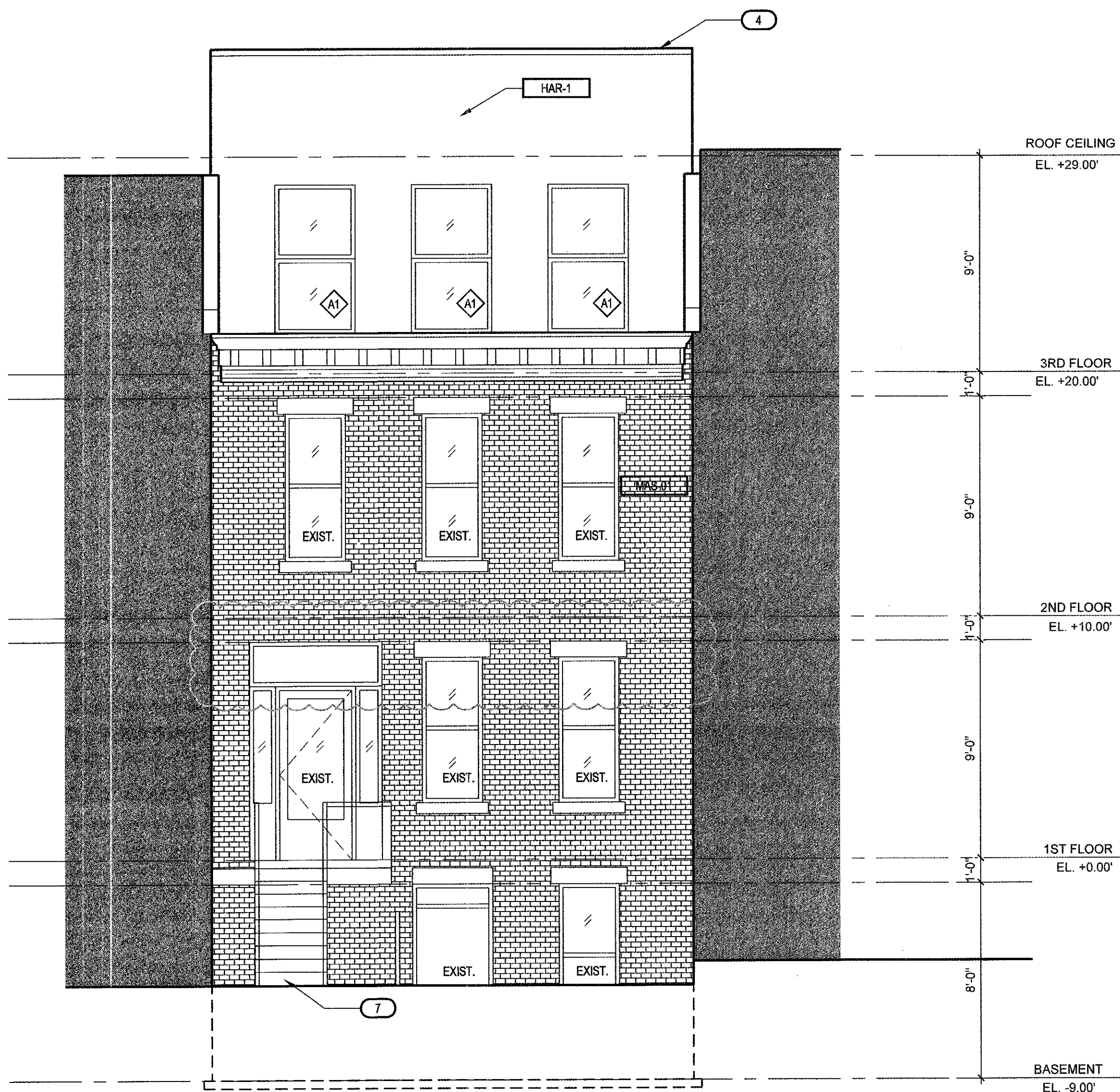
A3.01



2

REAR ELEVATION

SCALE: 1/4" = 1'-0"



1

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

Exhibit 1 - Page 33 of 45

DC DEPARTMENT OF THE ZONING  
ADMINISTRATION COMPLIES  
WITH THE REGULATIONS OF  
DC ZONING REGULATIONS (15-34-000)

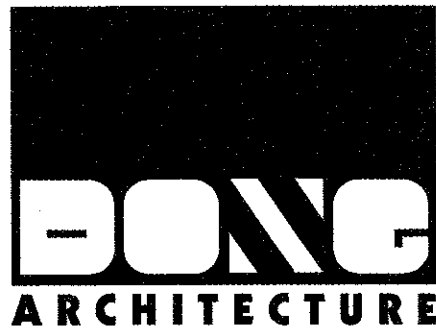
P-4  
6/17/15

ELEVATION KEYNOTES:

- 7 METAL STAIR & LANDING
- 8 STAIR RAIL MTL FINISH
- 1 EXTERIOR GRD PT WOOD DECK W/ STEEL CHANNEL FRAMING
- 2 EXIST. PORCH
- 3 42" H GUARD RAIL MTL FINISH
- 4 REFINISHED MTL COPING
- 5 REFINISHED MTL GUTTER & DS
- 6 MTL CLADDING ON BEAM & STL COL

EXTERIOR FINISHES:

- MAS-01 EXIST. BRICK
- HAR-1 HARDIE PANEL 1: COLOR - TBD
- HAR-2 HARDIE PANEL 2: COLOR - TBD
- CON-1 CONC UNFINISHED



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|     |            |          |

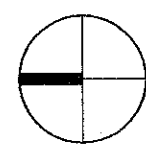
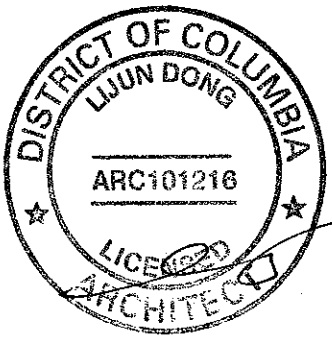
SCALE: As Shown

67 V Street  
67 V Street, NE, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal

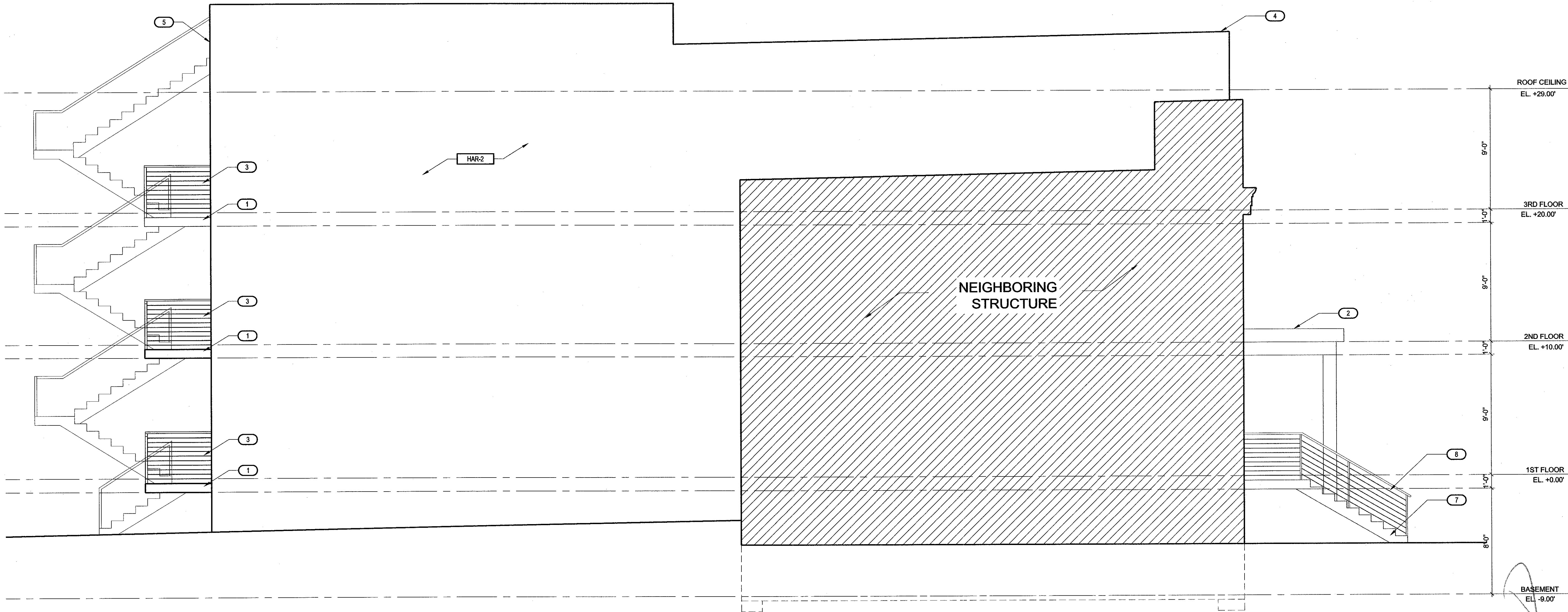


Sheet Title

SIDE ELEVATION

Sheet Number

A3.02



- 7 METAL STAIR & LANDING
- 8 STAIR RAIL MTL FINISH

ELEVATION KEYNOTES:

- 1 EXTERIOR GRD PT WOOD DECK W/ STEEL CHANNEL FRAMING
- 2 REMOVE EXIST. PORCH
- 3 42" H GUARD RAIL MTL FINISH
- 4 REFINISHED MTL COPING
- 5 REFINISHED MTL GUTTER & DS
- 6 MTL CLADDING ON BEAM & STL COL

EXTERIOR FINISHES:

- MAS-01 EXIST. BRICK
- HAR-1 HARDIE PANEL 1: COLOR - TBD
- HAR-2 HARDIE PANEL 2: COLOR - TBD
- CON-1 CONC UNFINISHED



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|     |            |          |
|     |            |          |
|     |            |          |

SCALE: As Shown

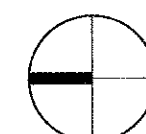
67 V Street

67 V Street, NW, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal

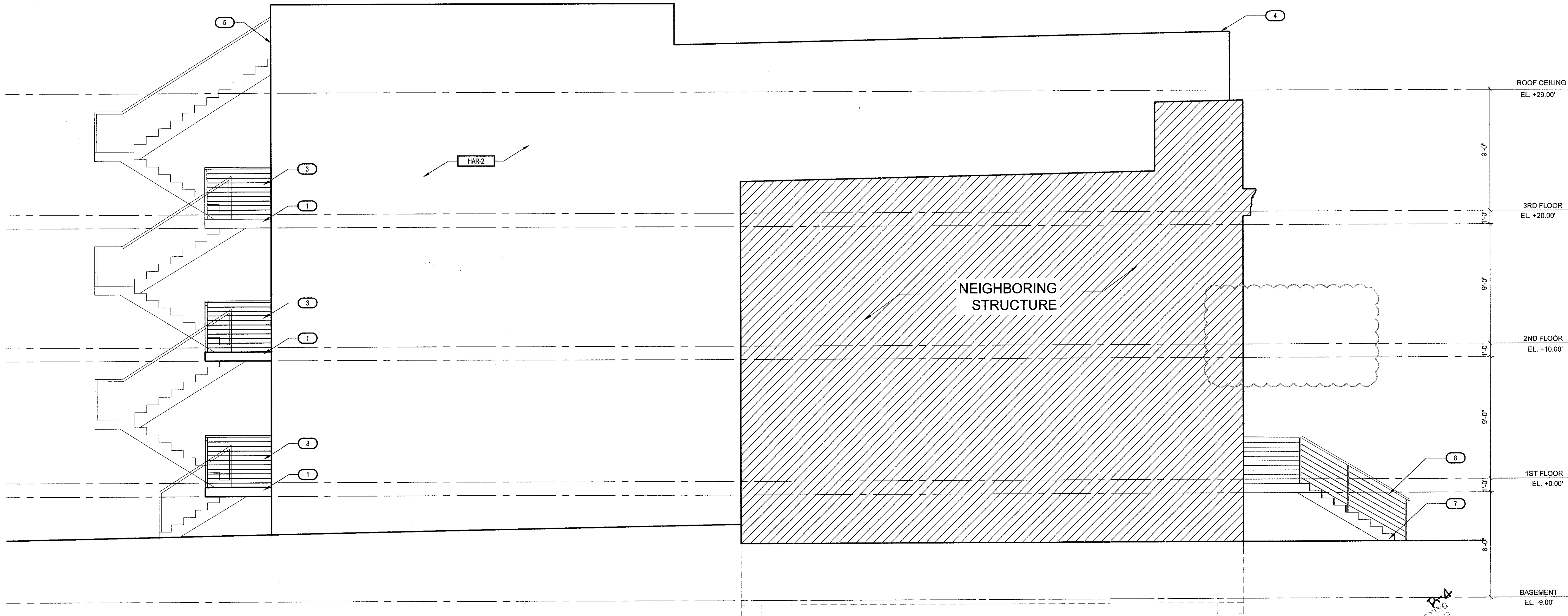


Sheet Title

SIDE  
ELEVATION

Sheet Number

A3.02



- 7 METAL STAIR & LANDING  
8 STAIR RAIL MTL FINISH

ELEVATION KEYNOTES:

- 1 EXTERIOR GRD PT WOOD DECK  
W/ STEEL CHANNEL FRAMING  
2 EXIST. PORCH  
3 42" H GUARD RAIL MTL FINISH  
4 REFINISHED MTL COPING  
5 REFINISHED MTL GUTTER & DS  
6 MTL CLADDING ON BEAM & STL COL

EXTERIOR FINISHES:

- MAS-01 EXIST. BRICK  
HAR-1 HARDIE PANEL 1: COLOR - TBD  
HAR-2 HARDIE PANEL 2: COLOR - TBD  
CON-1 CONC UNFINISHED



DONG  
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| 3   | Permit Revision | 05.07.15 |

SCALE: As Shown

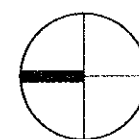
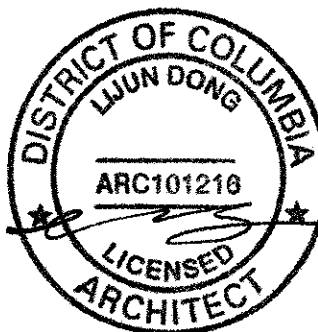
67 V Street

67 V Street, NW, Washington DC 20001

Developer

WS Homes  
67 V St LLC

Professional Seal

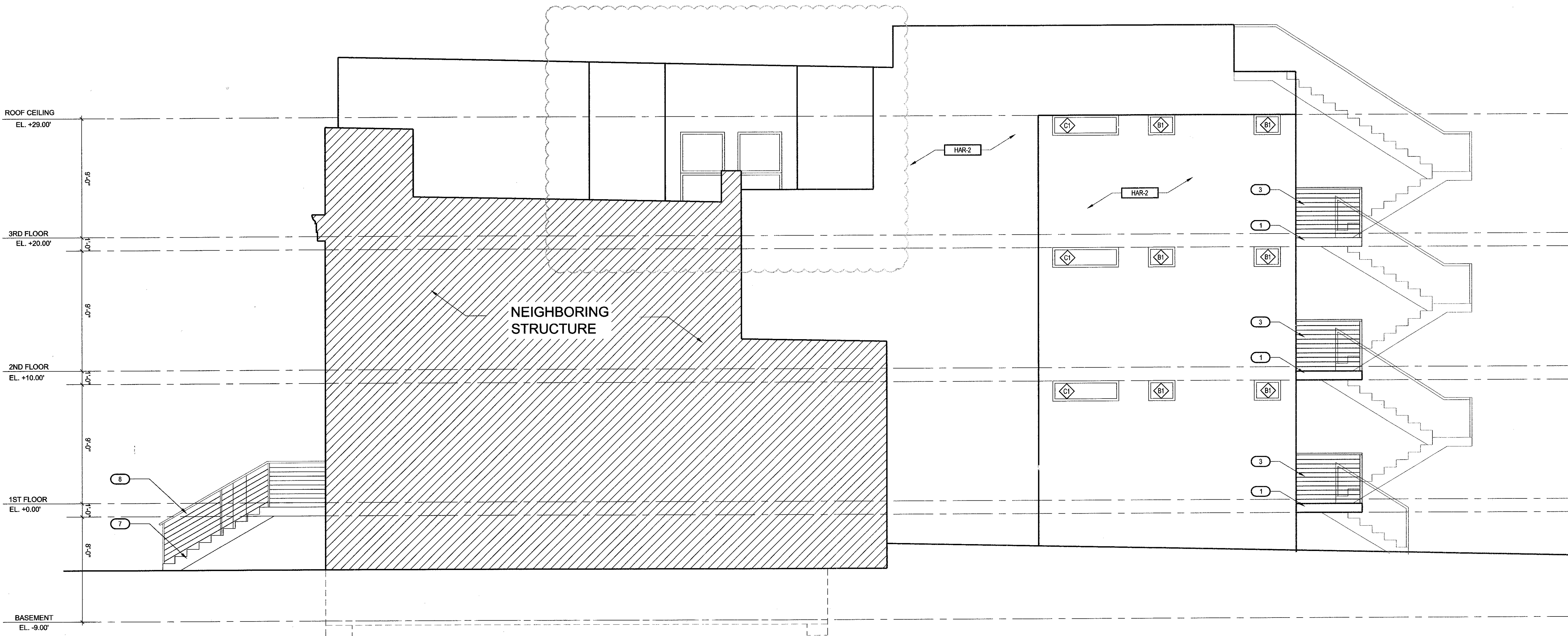


Sheet Title

SIDE  
ELEVATION

Sheet Number

A3.03



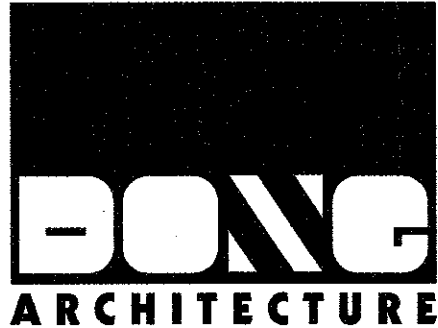
- (7) METAL STAIR & LANDING  
(8) STAIR RAIL MTL FINISH

ELEVATION KEYNOTES:

- (1) EXTERIOR GRD PT WOOD DECK  
W/ STEEL CHANNEL FRAMING  
(2) EXIST. PORCH  
(3) 42" H GUARD RAIL MTL FINISH  
(4) REFINISHED MTL COPING  
(5) REFINISHED MTL GUTTER & DS  
(6) MTL CLADDING ON BEAM & STL COL

EXTERIOR FINISHES:

- MAS-01 EXIST. BRICK  
HAR-1 HARDIE PANEL 1: COLOR - TBD  
HAR-2 HARDIE PANEL 2: COLOR - TBD  
CON-1 CONC UNFINISHED



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|     |            |          |
|     |            |          |

SCALE: As Shown

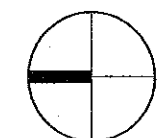
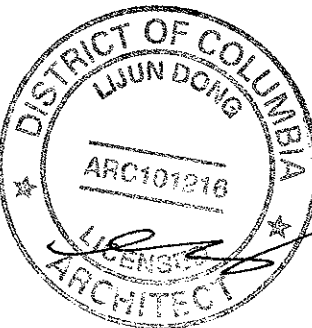
67 V Street

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Developer

WS Homes  
67 V St LLC

Professional Seal

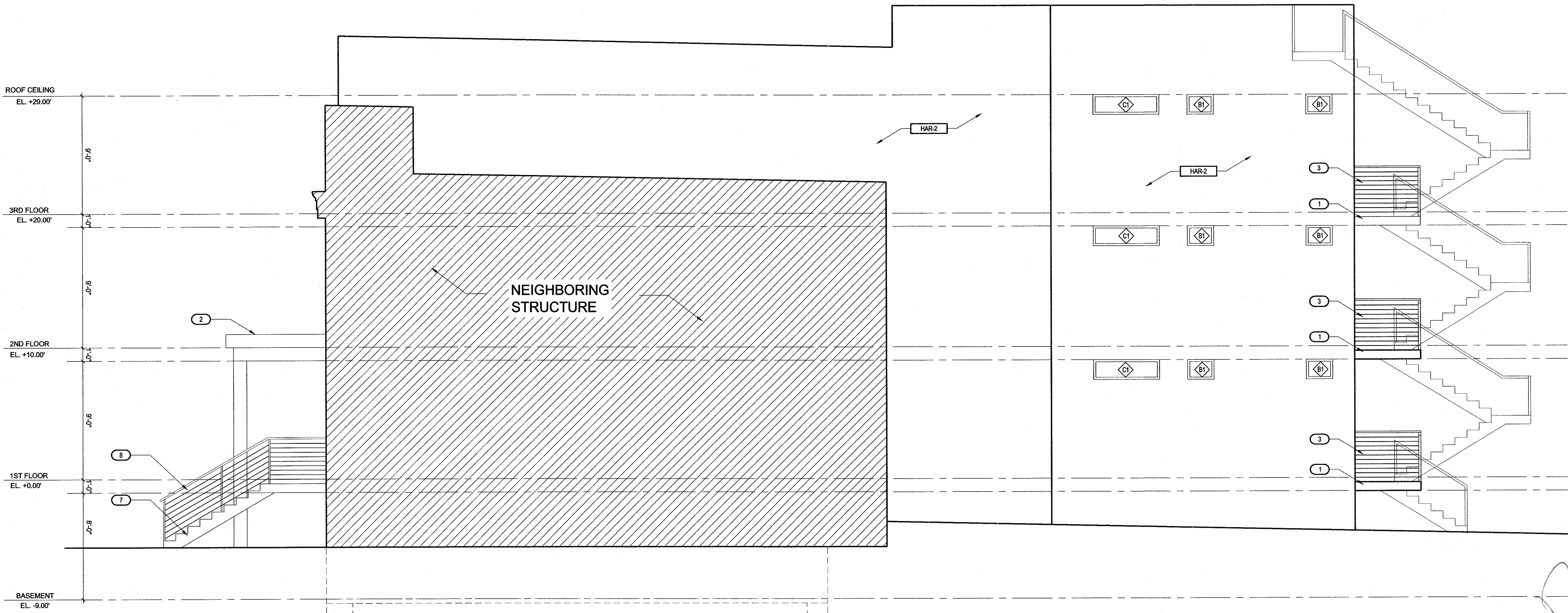


Sheet Title

SIDE  
ELEVATION

Sheet Number

A3.03



1

SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

- (7) METAL STAIR & LANDING  
(8) STAIR RAIL MTL FINISH

ELEVATION KEYNOTES:

- (1) EXTERIOR GRD PT WOOD DECK  
W/ STEEL CHANNEL FRAMING  
(2) EXIST. PORCH  
(3) 42" H GUARD RAIL MTL FINISH  
(4) REFINISHED MTL COPING  
(5) REFINISHED MTL GUTTER & DS  
(6) MTL CLADDING ON BEAM & STL COL

EXTERIOR FINISHES:

- MAS-01 EXIST. BRICK  
HAR-1 HARDIE PANEL 1: COLOR - TBD  
HAR-2 HARDIE PANEL 2: COLOR - TBD  
CON-1 CONC UNFINISHED



**DONG  
ARCHITECTS**

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|     |                 |          |

SCALE: As Shown

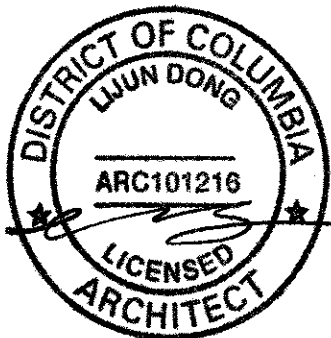
**67 V Street**

67 V Street, NW, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

Professional Seal

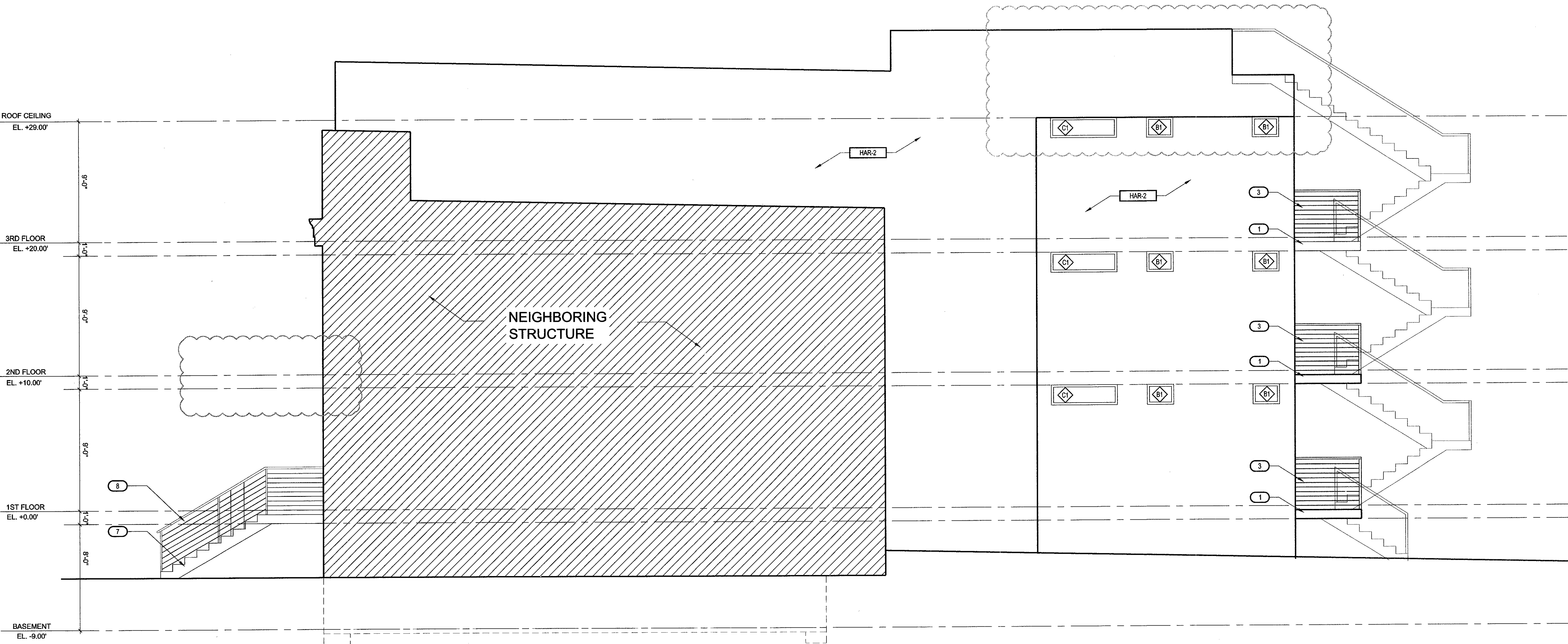


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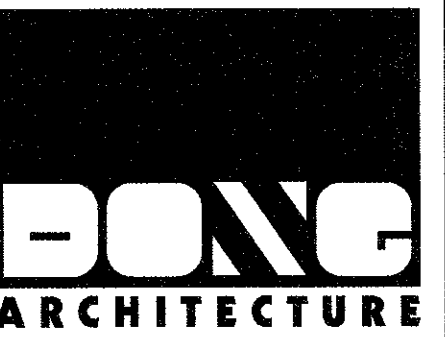
**SIDE  
ELEVATION**

Sheet Number

**A3.03**







**DONG  
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SCALE: As Shown

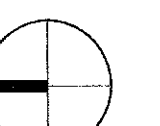
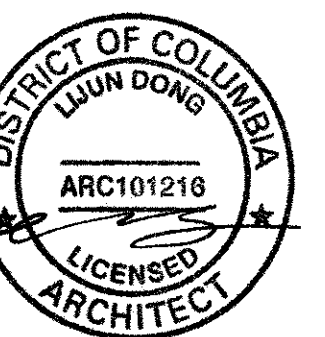
**67 V Street**

67 V Street, NW, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

Professional Seal

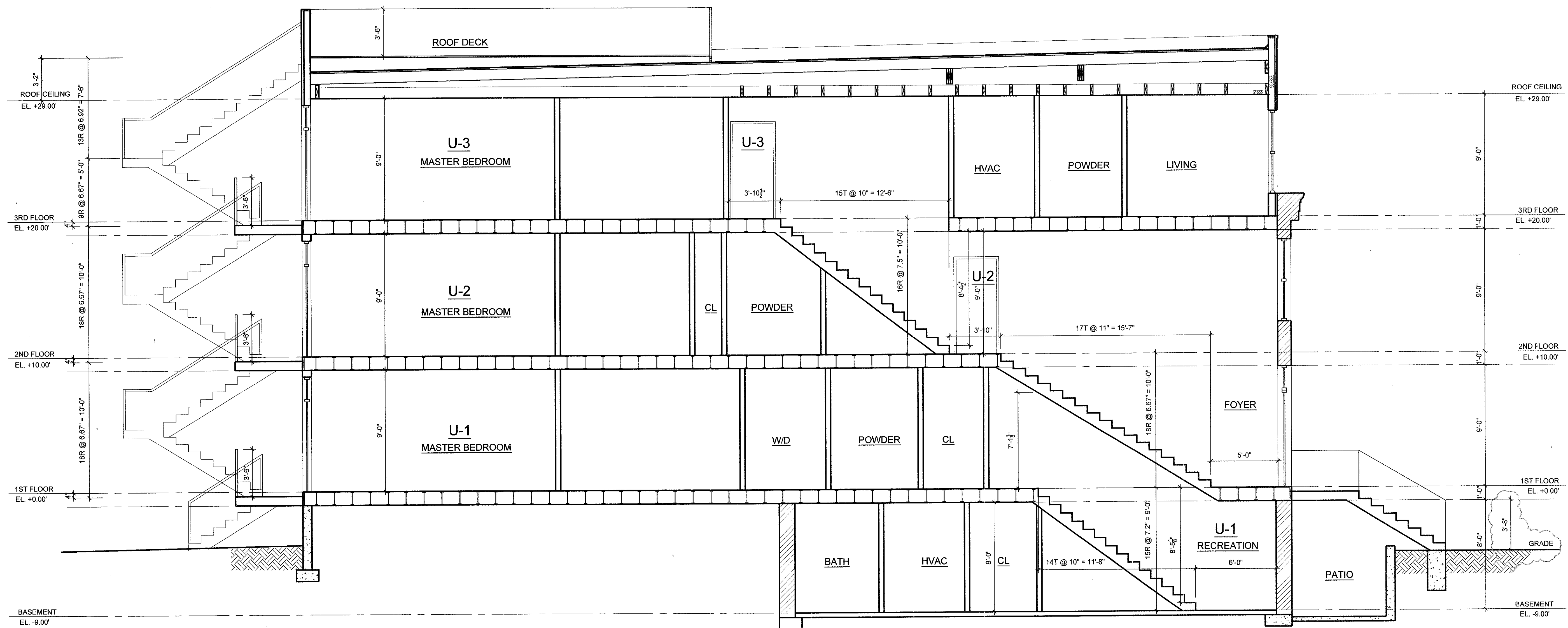


Sheet Title

**BUILDING  
SECTION**

Sheet Number

**A4.01**





**DONG ARCHITECTS**

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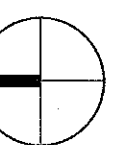
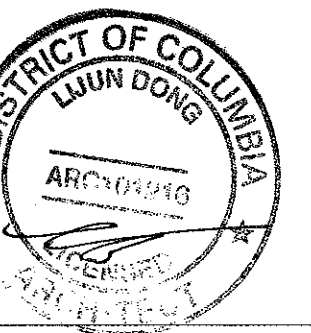
SCALE: As Shown

**67 V Street**  
67 V Street, NE, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

Professional Seal

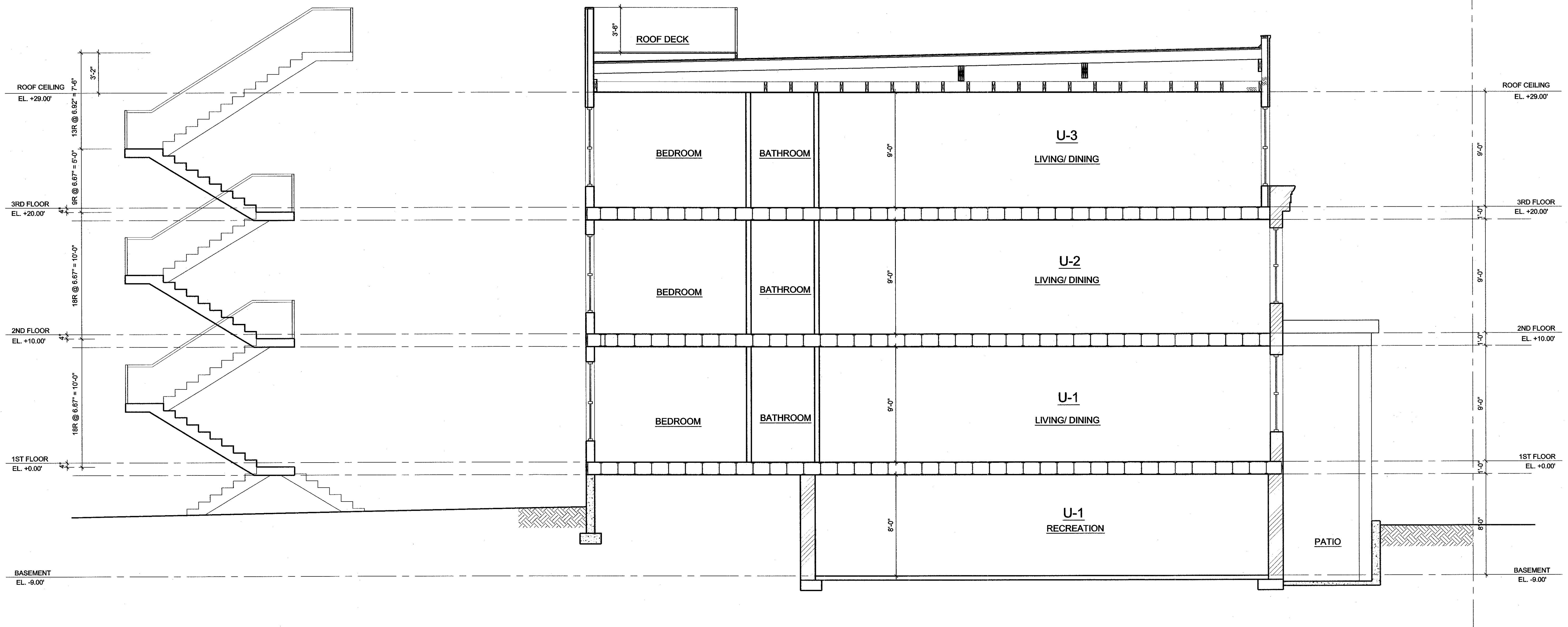


Sheet Title

**BUILDING  
SECTION**

Sheet Number

**A4.02**





**DONG ARCHITECTS**

8512 Frost Way  
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| 1   | Permit Set      | 03.05.15 |
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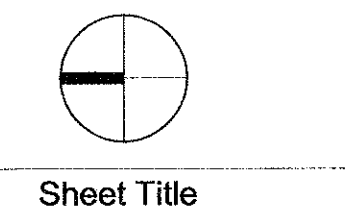
SCALE: As Shown

**67 V Street**  
67 V Street, NW, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

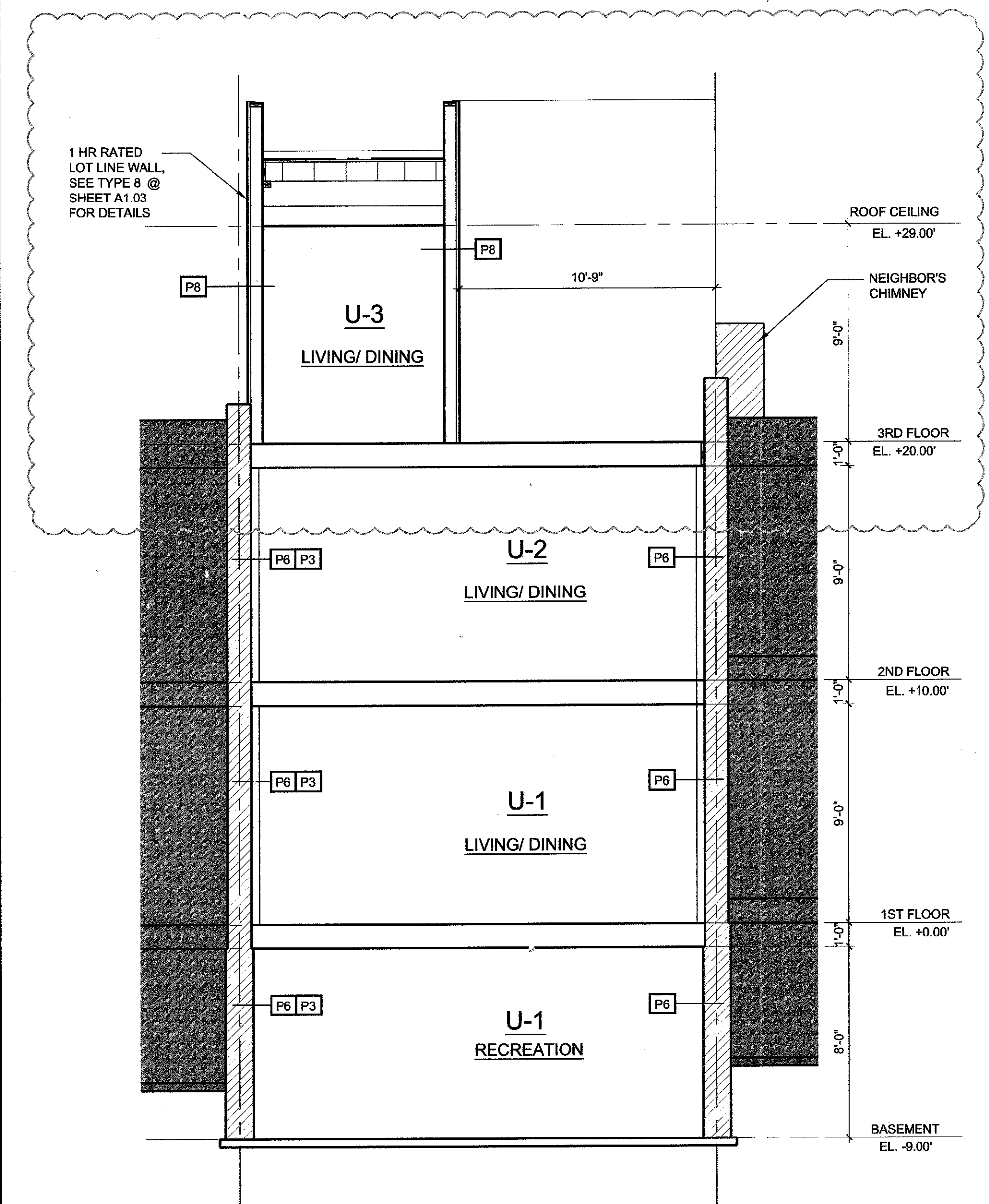
Professional Seal



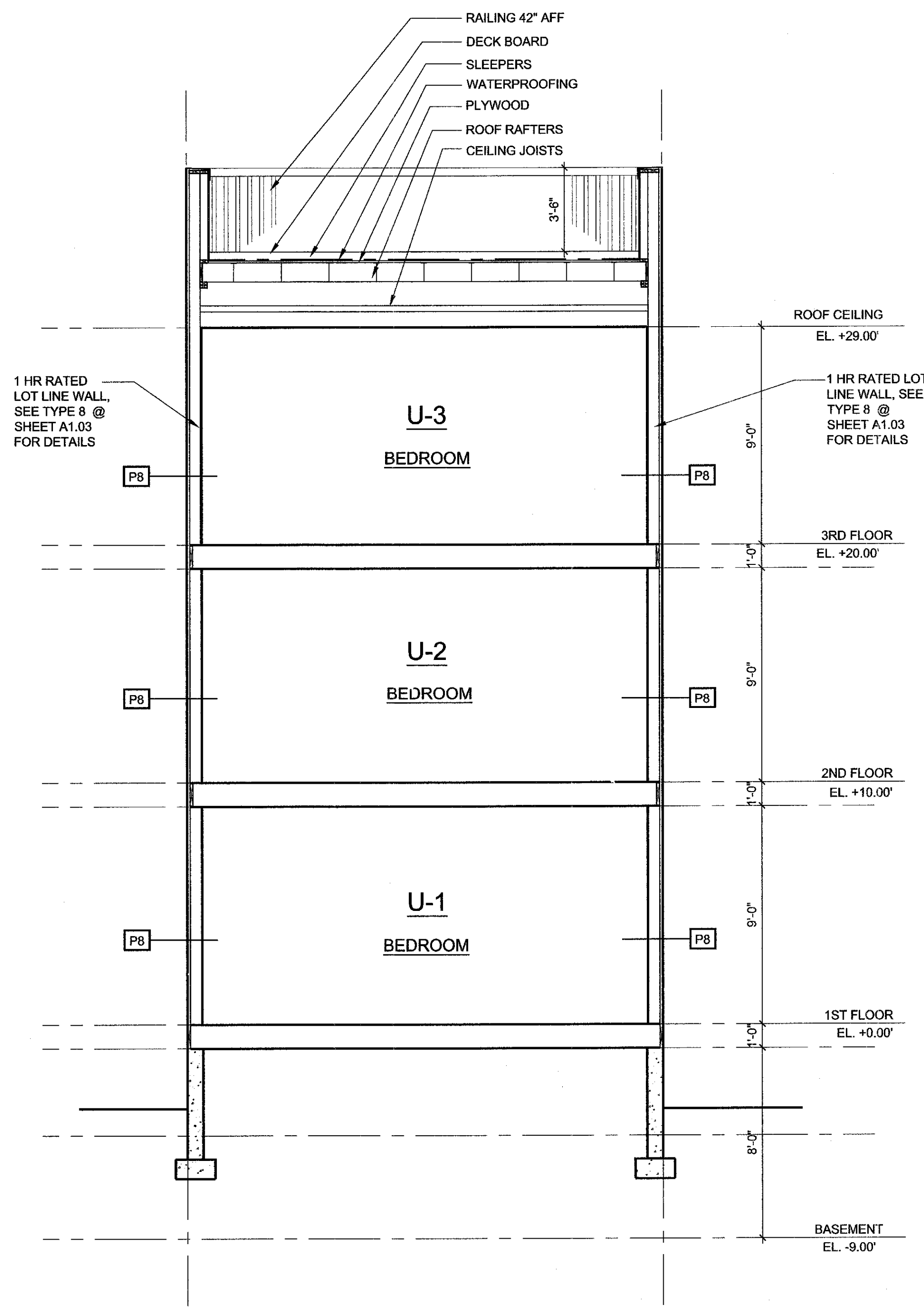
**BUILDING  
SECTION**

Sheet Number

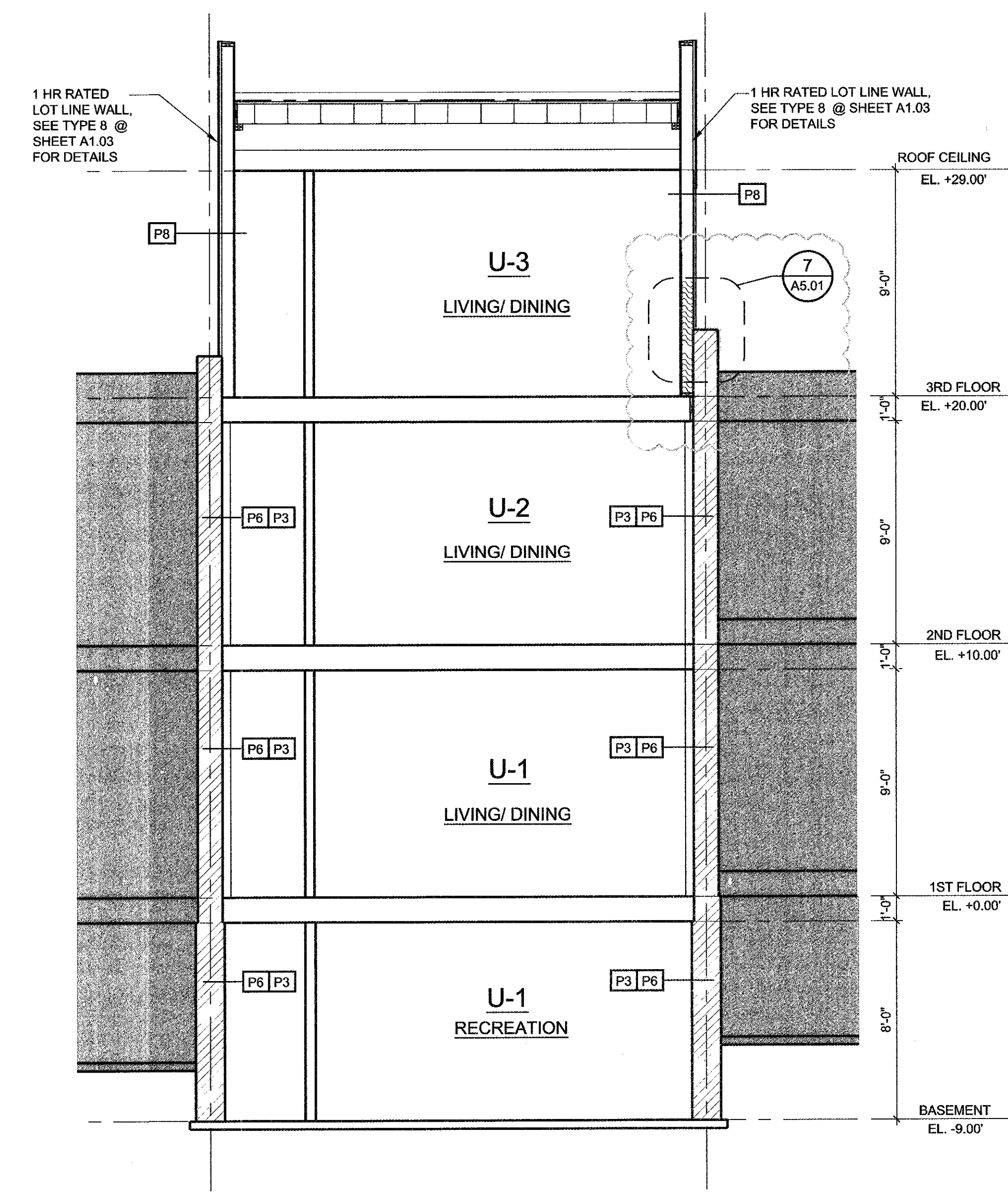
**A4.03**



**3 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**2 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



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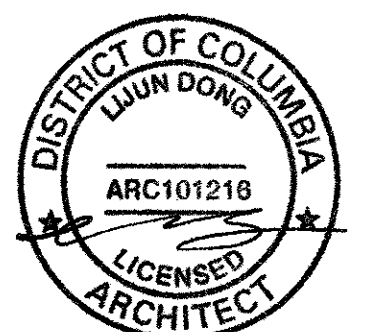
**67 V Street**

67 V Street, NW, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

Professional Seal

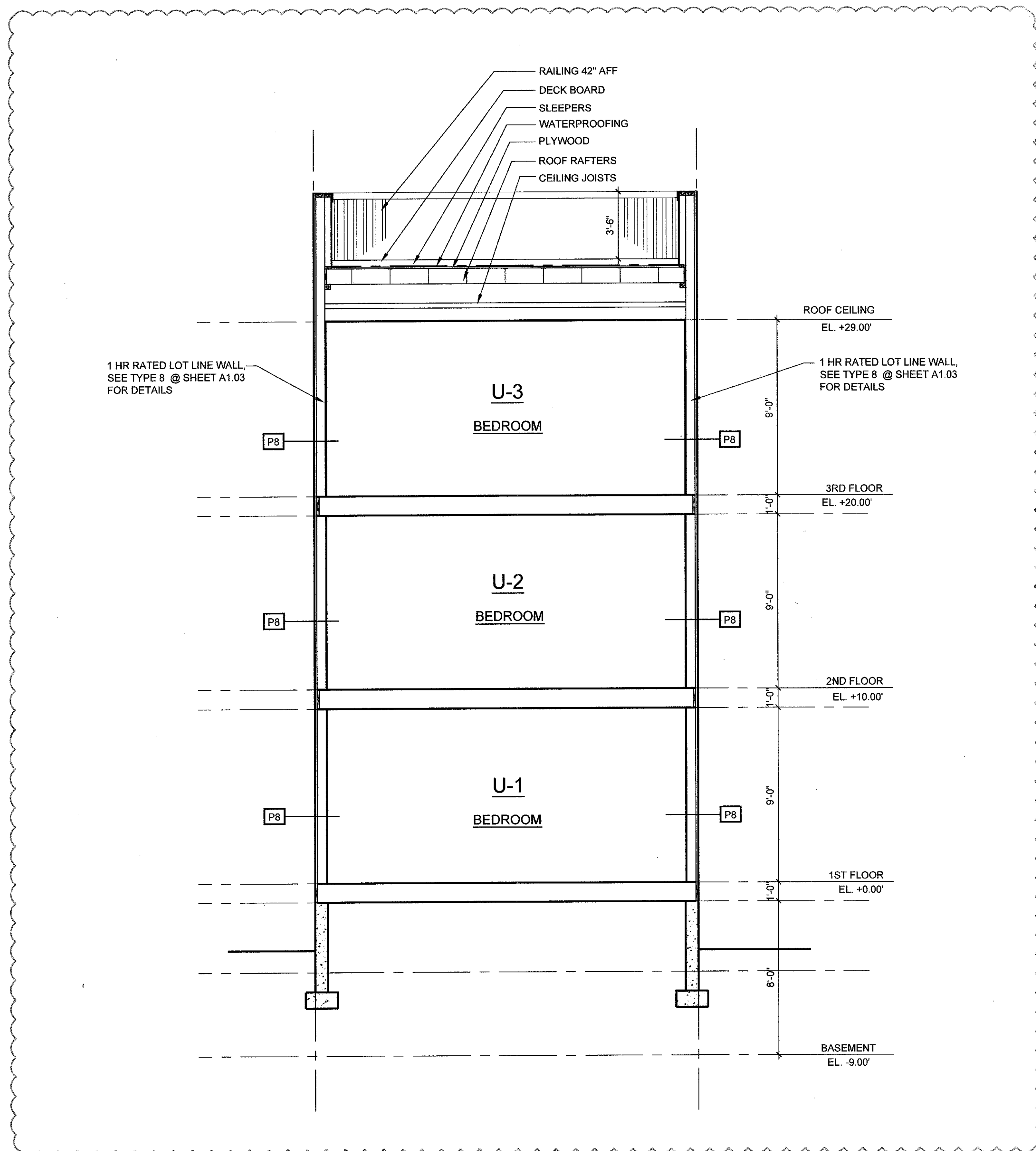


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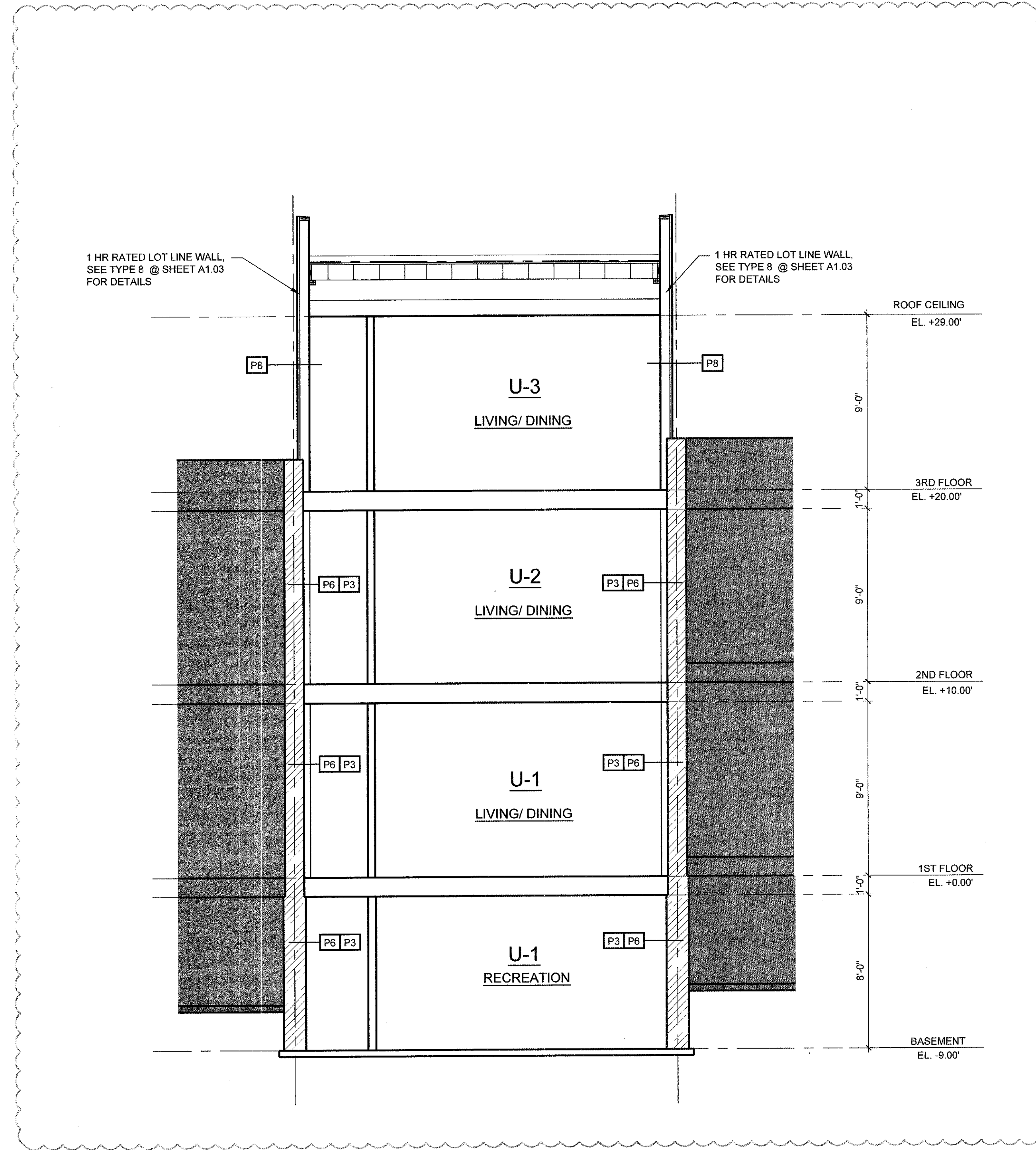
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SECTION**

Sheet Number

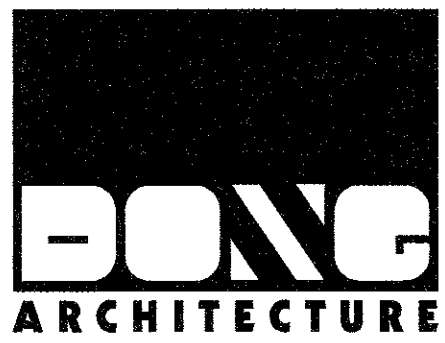
**A4.03**



**2 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



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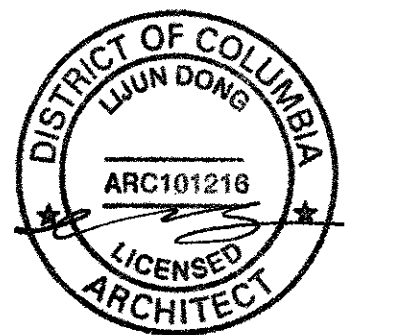
SCALE: As Shown

**67 V Street**  
67 V Street, NW, Washington DC 20001

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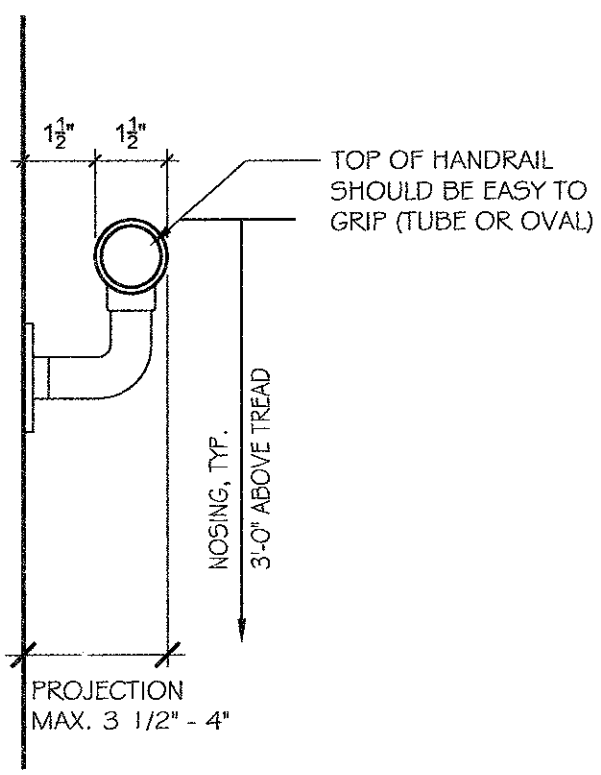


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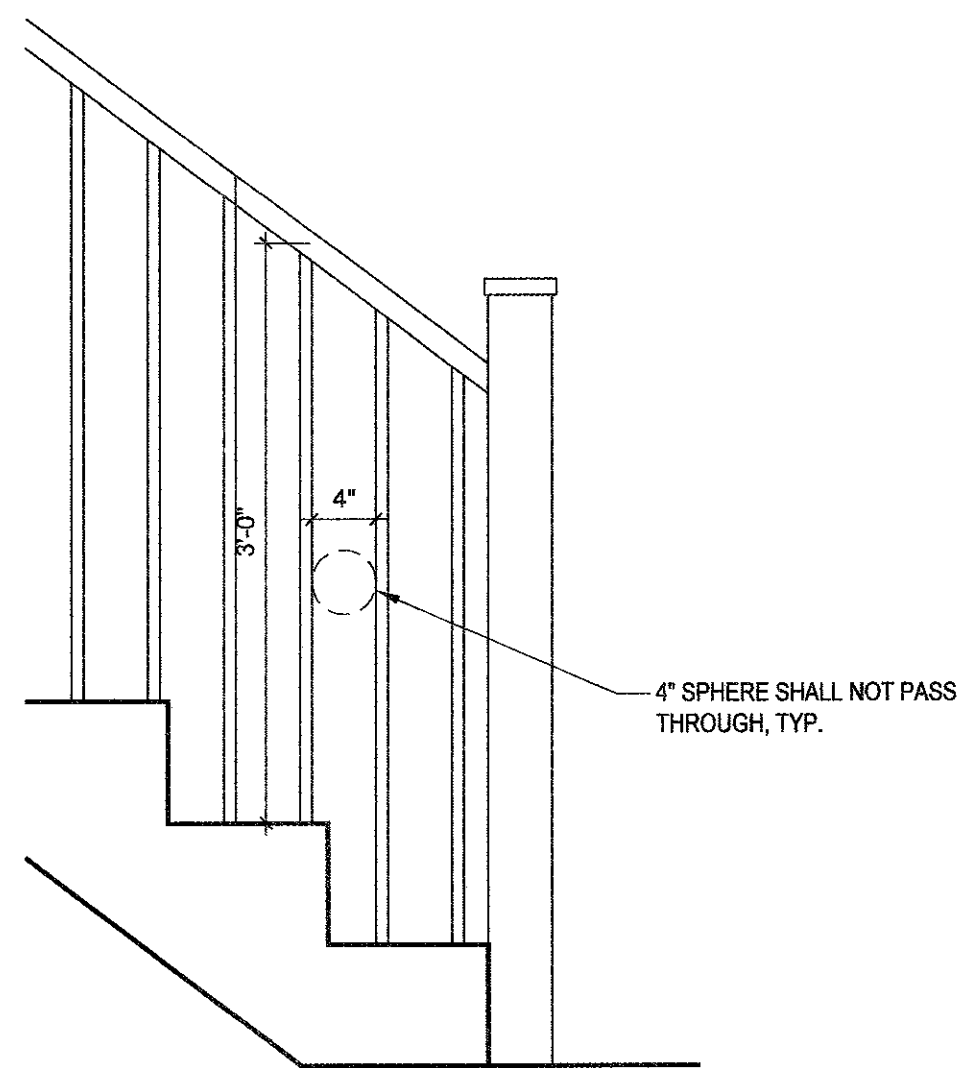
**DETAILS**

Sheet Number

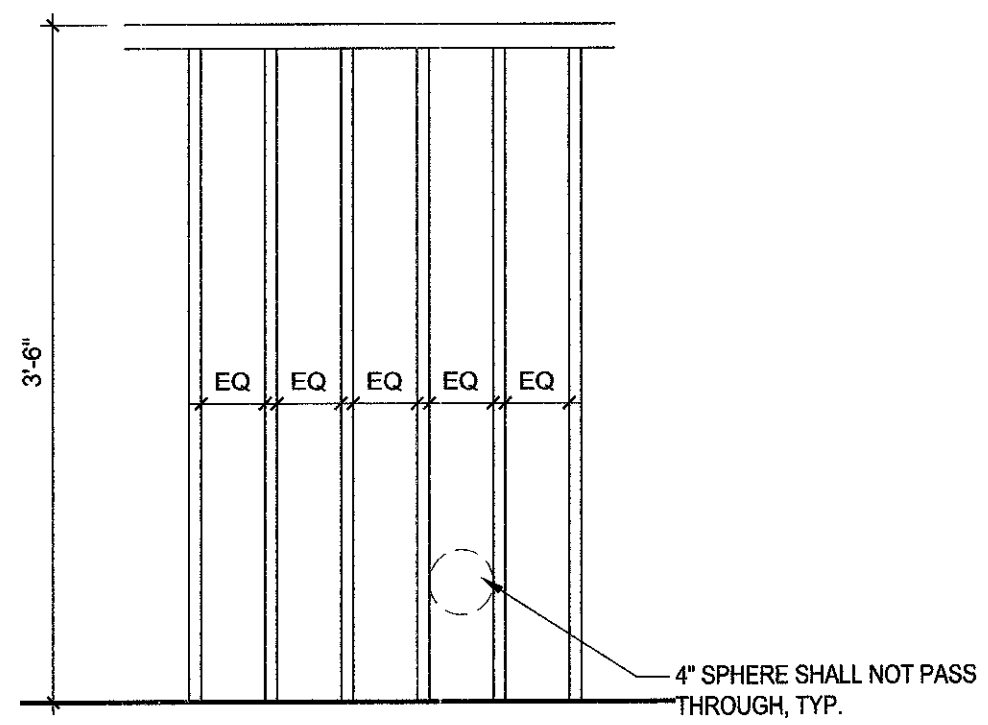
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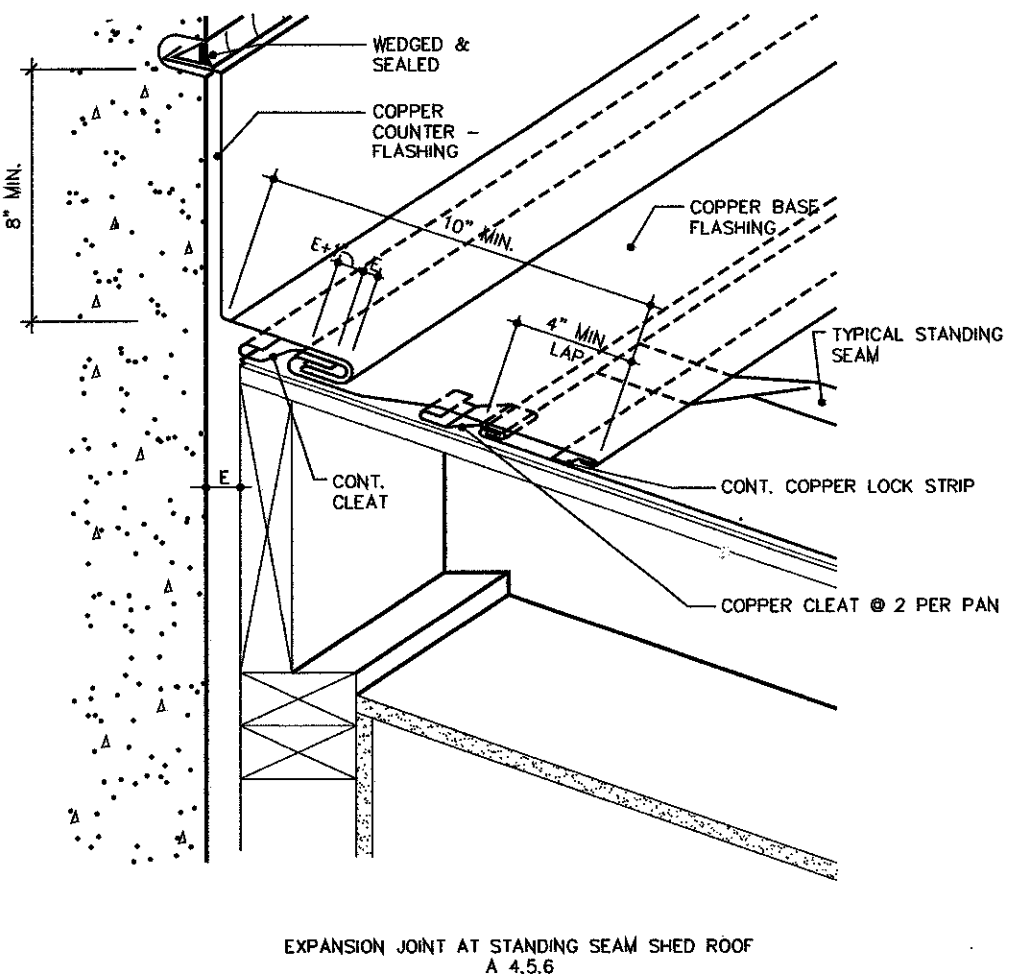
**4 HANDRAIL MOUNT DETAIL**  
SCALE: 3" = 1'-0"



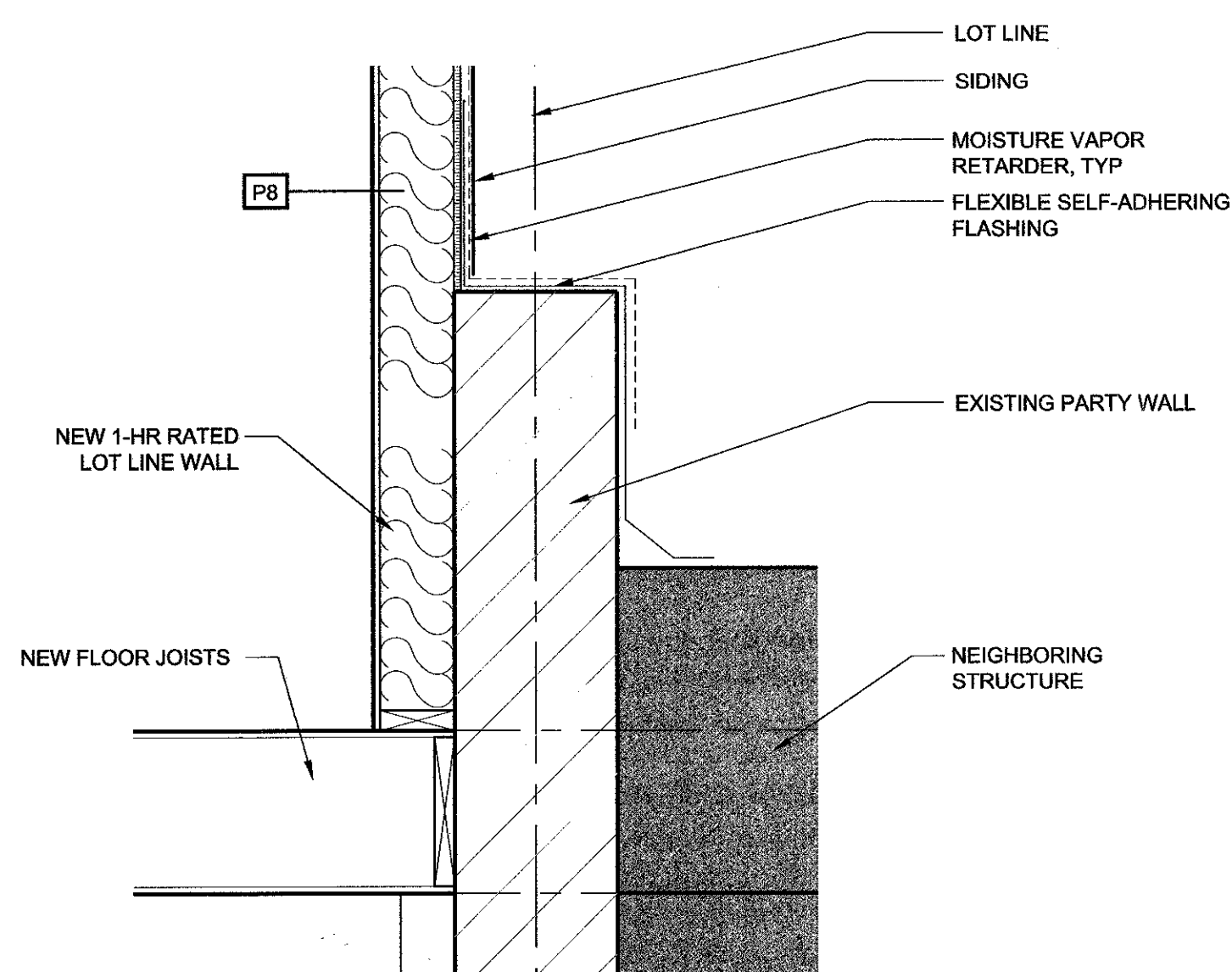
**2 STAIR HANDRAIL DETAIL**  
SCALE: 1" = 1'-0"



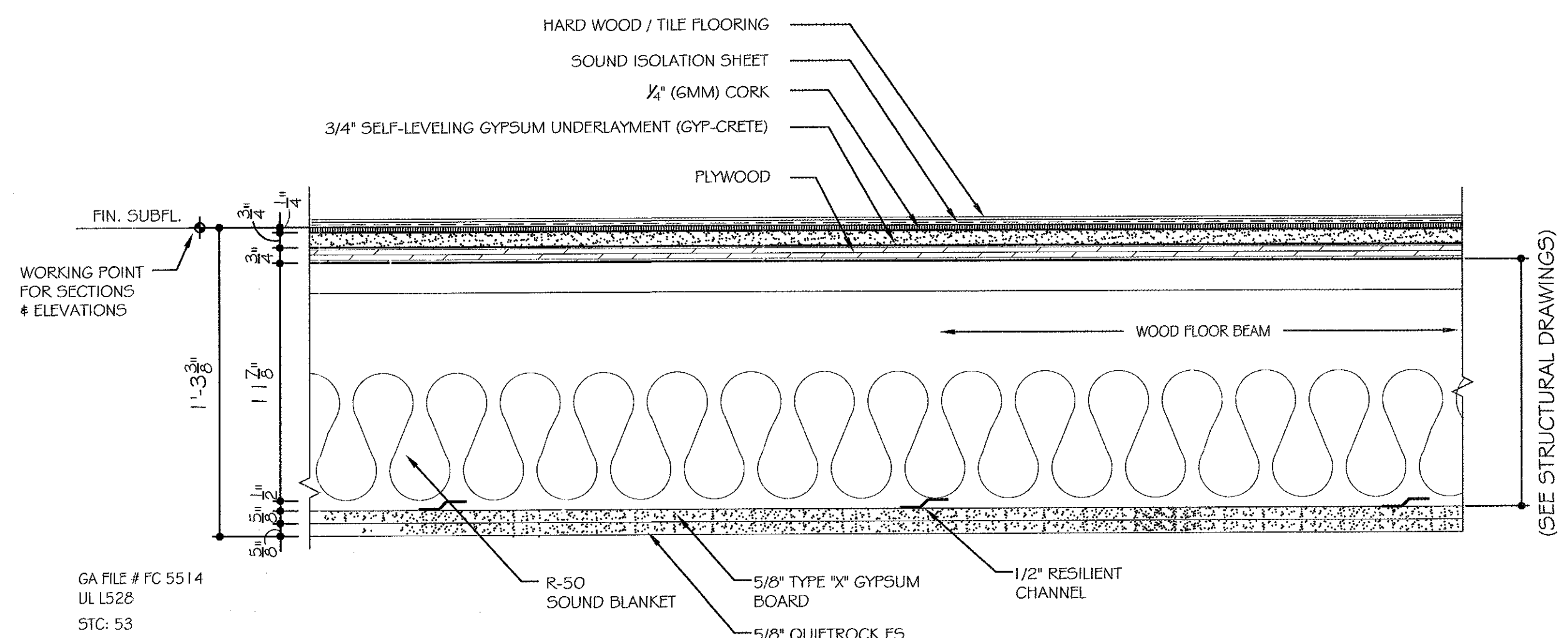
**3 GUARD DETAIL**  
SCALE: 1" = 1'-0"



**6 FLASHING @ EXIST. STRUCTURE ROOF**  
N.T.S.



**5 DETAIL @ EXIST. STRUCTURE PARAPET**  
1" = 1'-0"



**1 1-HR RATED FLOOR ASSEMBLY W/ SOUND PROOFING**  
SCALE: 1" = 1'-0"



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SCALE: As Shown

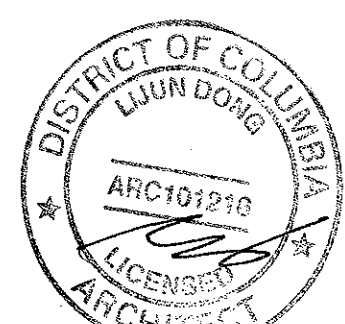
**67 V Street**

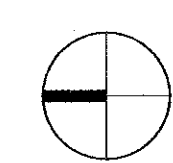
67 V Street, NE, Washington DC 20001

Developer

**WS Homes  
67 V St LLC**

Professional Seal



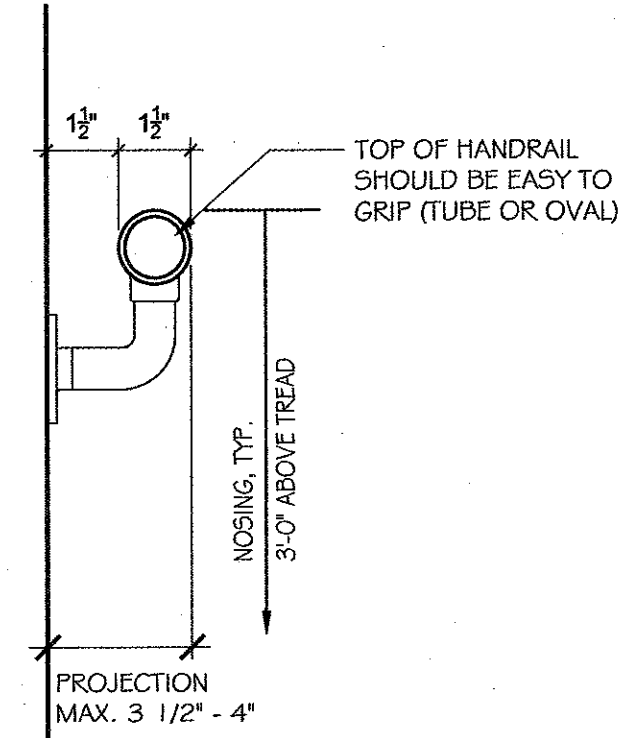


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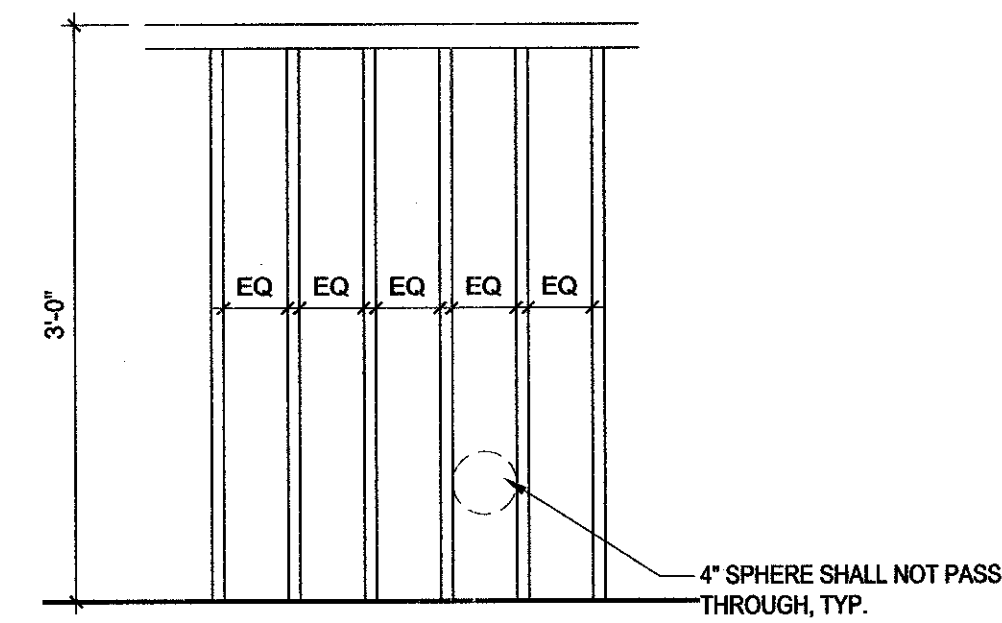
**DETAILS**

Sheet Number

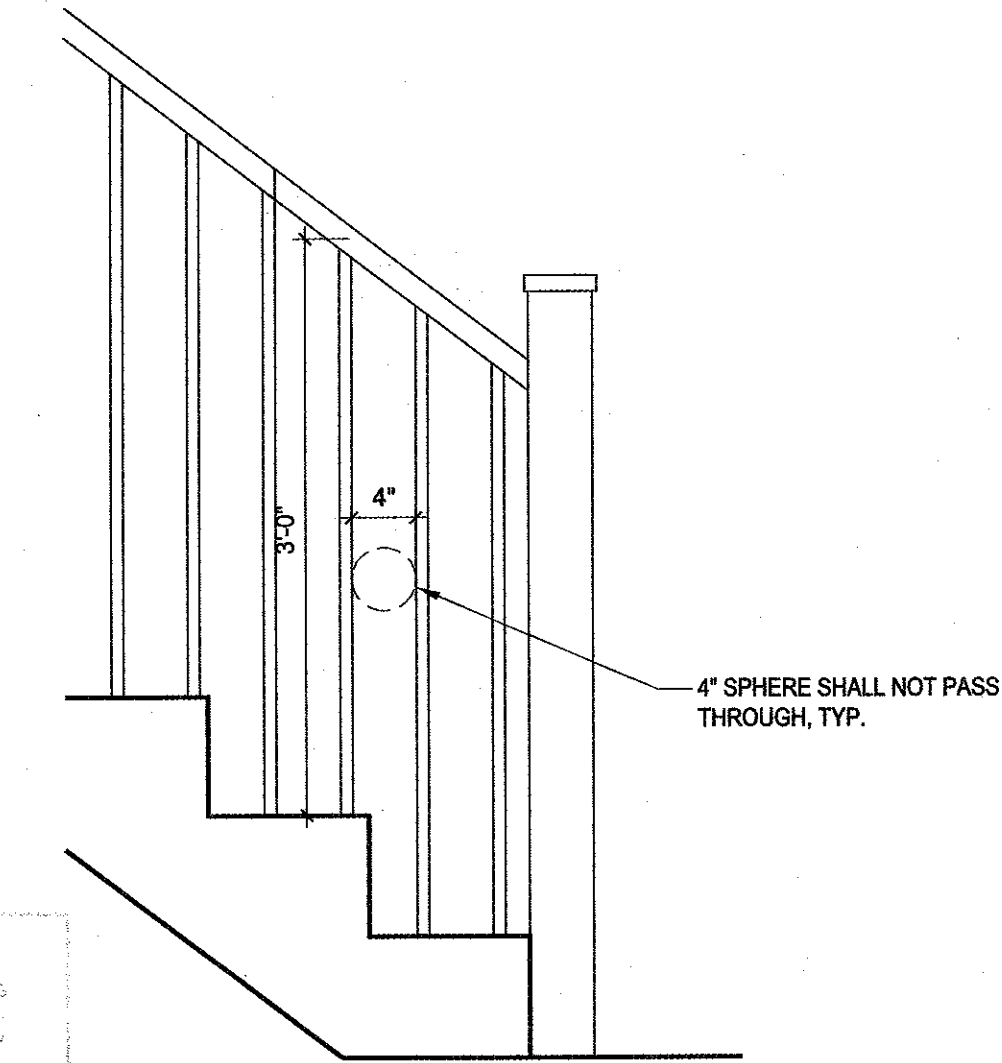
**A5.01**



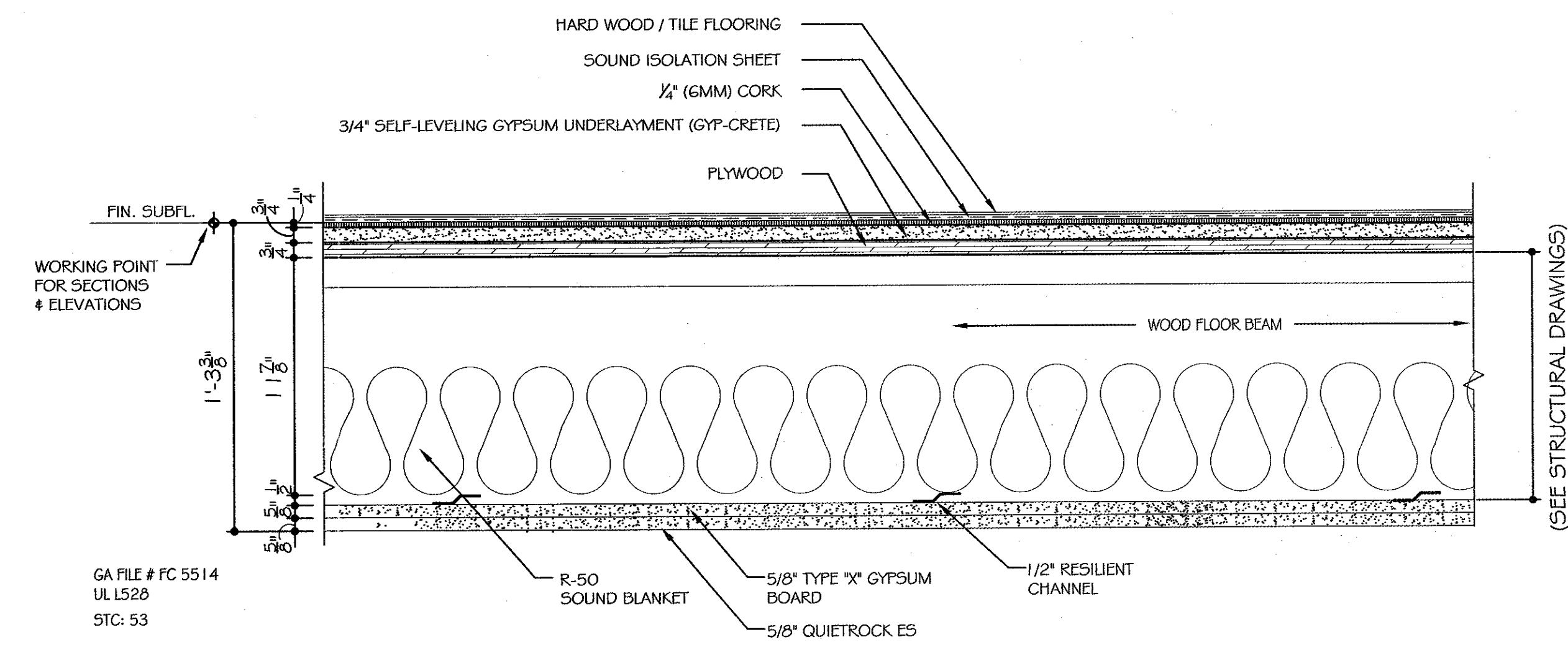
**4 HANDRAIL MOUNT DETAIL**  
SCALE: 3" = 1'-0"



**3 GUARD DETAIL**  
SCALE: 1" = 1'-0"



**2 STAIR HANDRAIL DETAIL**  
SCALE: 1" = 1'-0"



**1 1-HR RATED FLOOR ASSEMBLY W/ SOUND PROOFING**  
SCALE: 1" = 1'-0"