

Burden of Proof

The purpose of this exhibit is to demonstrate how similar properties in the neighborhood converted their basement into an accessory apartment. And how an accessory apartment on this property would be in harmony with the neighborhood and will not put additional burden on the neighborhood.

Similar Structures with Accessory Apartments in the Area

Around the end of 1890's the architectural firm of Francis & Schneider designed six houses for the 2100 block of Bancroft place (including the subject property 2113 on Bancroft Place) and five houses for the 2100 block of S street. All these houses were designed with similar floor plans. They included three finished floors and an unfinished basement.

According to city records, all eleven houses were built and occupied by 1898. To this date, more than half of the eleven houses have turned their cellar into an accessory apartment, a condo unit or finished space.

Bancroft Place

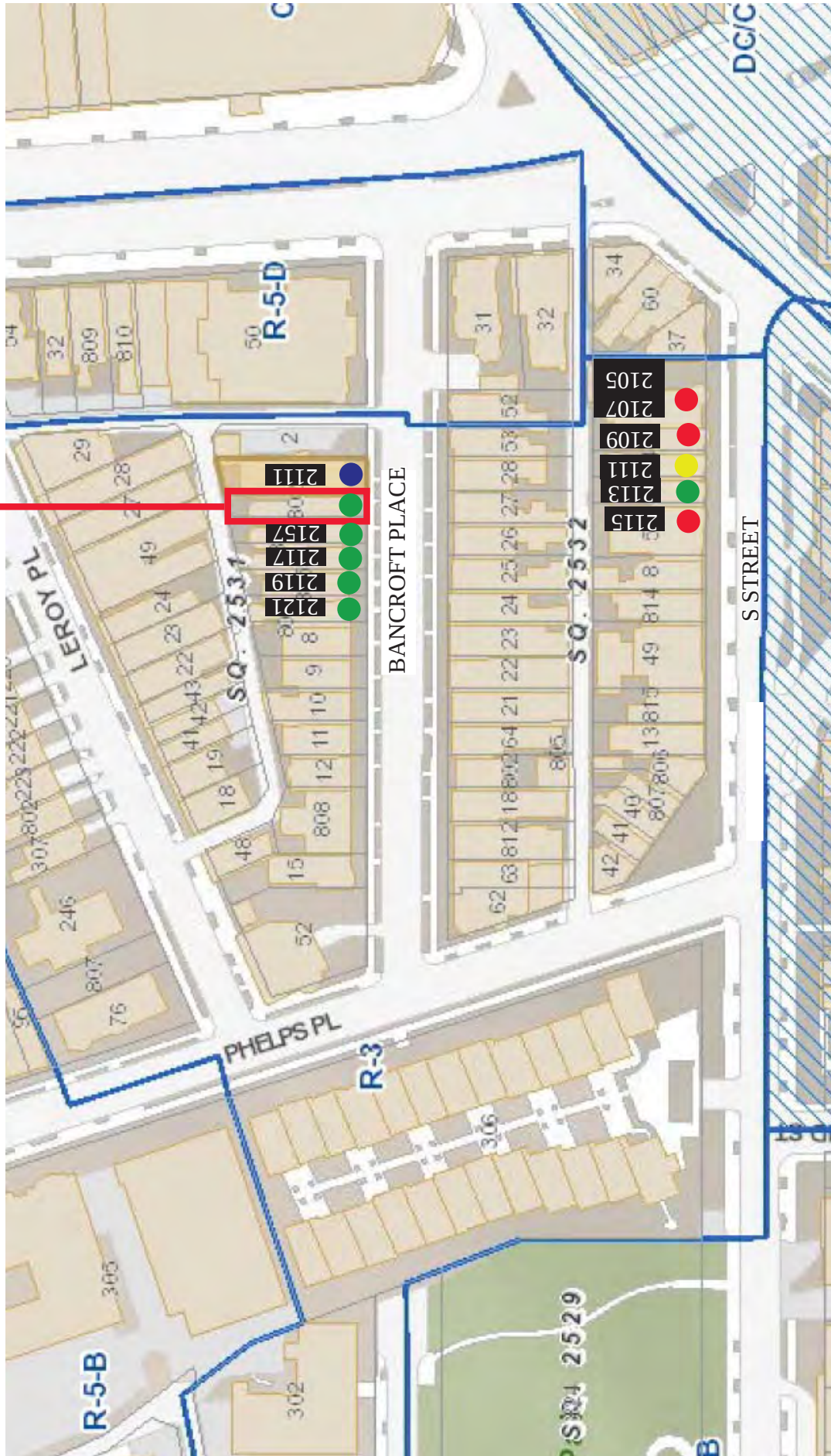
Property Address	Code	Description
2111 Bancroft Place NW	24	Residential-Conversions-Less than 5
2113 Bancroft Place NW	11	Residential-Row-Single-Family – Project Location
2115 Bancroft Place NW	11	Residential-Row-Single-Family
2117 Bancroft Place NW	11	Residential-Row-Single-Family
2119 Bancroft Place NW	11	Residential-Row-Single-Family
2121 Bancroft Place NW	11	Residential-Row-Single-Family

S Street

Property Address	Code	Description
2107-05 S Street NW	16	Residential-Condo-Horizontal
2109 S Street NW	16	Residential-Condo-Horizontal
2111 S Street NW	25	Residential-Conversion-5 Units
2113 S Street NW	11	Residential-Row-Single-Family
2115 S Street NW	16	Residential-Condo-Horizontal

As we can see on the chart above, six of the eleven houses already added a separate unit below. We believe that this is clear evidence that the approval of this exception is feasible and will not create any adverse impact to the neighborhood.

Project Location
2113 Bancroft Pl



Use Code	Description
11	Residential-Row-Single-Family
16	Residential-Row-Single-Family
24	Residential-Row-Single-Family
25	Residential-Row-Single-Family

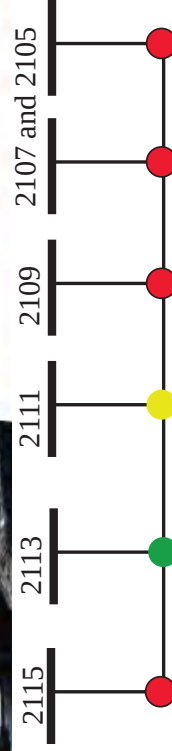
2100 Block of Bancroft Place NW- North Side

Project Location

2113



2100 Block of S street NW- North Side



Use Code

- 11
- 16
- 24
- 25

Description

- Residential-Row-Single-Family
- Residential-Condo-Horizontal
- Residential-Conversions-Less than 5
- Residential-Conversion-5 Units

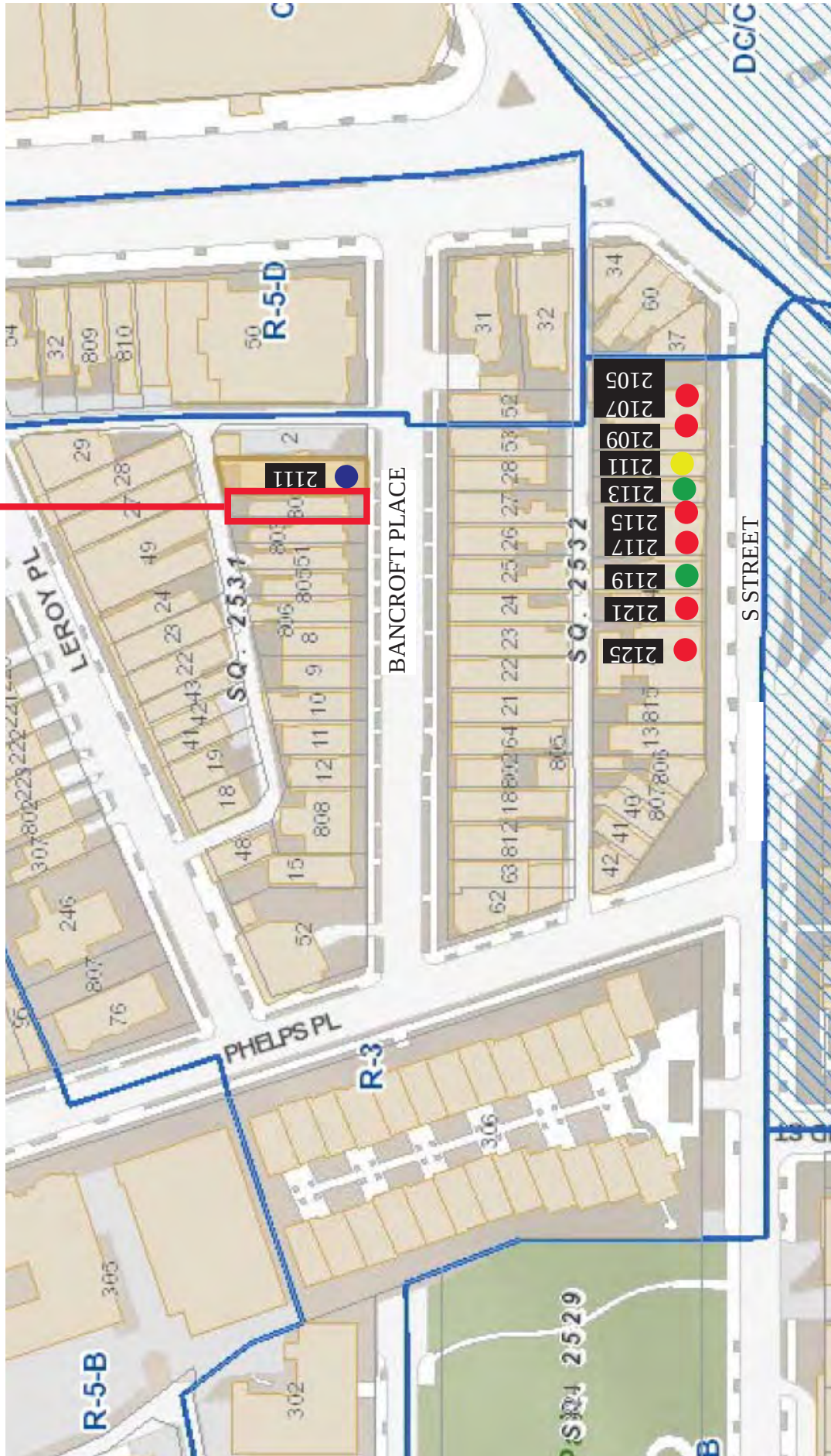
Burden of Proof

The purpose of Exhibit B is to demonstrate how other properties in the area have residential unit densities much greater than what the proposed density will be on the Property, pursuant to the Special Exception. While the 2100 blocks of S Street and Bancroft Place have maintained their character as a single family residential neighborhood, Exhibit B indicates that the majority of the homes are not “single family houses” but rather a combination of multi units, apartment buildings and single family. The conversion of 2113 Bancroft Place will be entirely compatible with the surrounding area and will not have an adverse effect on their area.

The provision of an accessory apartment on the Property is consistent and harmonious with the general purpose and intent of the Zoning Regulations and Maps. Moreover, providing an additional housing unit in the R-3 Zone less than one-half block from Connecticut Avenue and within walking distance of the Metro station is consistent with the overall Smart Growth policies of the City.

Premise Address	Use Code	Description
2111 BANCROFT PL NW	24	Residential-Conversions-Less than 5
2105 S ST NW Unit: E	16	Residential-Condo-Horizontal
2105 S ST NW Unit: F	16	Residential-Condo-Horizontal
2107 S ST NW Unit: A	16	Residential-Condo-Horizontal
2107 S ST NW Unit: C	16	Residential-Condo-Horizontal
2107 S ST NW Unit: H	16	Residential-Condo-Horizontal
2107 S ST NW Unit: I	16	Residential-Condo-Horizontal
2107 S ST NW Unit: J	16	Residential-Condo-Horizontal
2107 S ST NW Unit: K	16	Residential-Condo-Horizontal
2107 S ST NW Unit: L	16	Residential-Condo-Horizontal
2107 S ST NW Unit: M	16	Residential-Condo-Horizontal
2107 S ST NW Unit: N	16	Residential-Condo-Horizontal
2109 S ST NW Unit: G	16	Residential-Condo-Horizontal
2111 S ST NW	25	Residential-Conversion-5 Units
2113 S ST NW	11	Residential-Row-Single-Family
2115 - 2117 S ST NW	16	Residential-Condo-Horizontal
2115 S ST NW Unit: 1A	16	Residential-Condo-Horizontal
2115 S ST NW Unit: 1B	16	Residential-Condo-Horizontal
2115 S ST NW Unit: 2A	16	Residential-Condo-Horizontal
2115 S ST NW Unit: 2B	16	Residential-Condo-Horizontal
2115 S ST NW Unit: 3A	16	Residential-Condo-Horizontal
2115 S ST NW Unit: 3B	16	Residential-Condo-Horizontal
2115 S ST NW Unit: 3C	16	Residential-Condo-Horizontal
2115 S ST NW Unit: 3D	16	Residential-Condo-Horizontal

Project Location
2113 Bancroft Pl



2100 Block of Bancroft Place NW- North Side

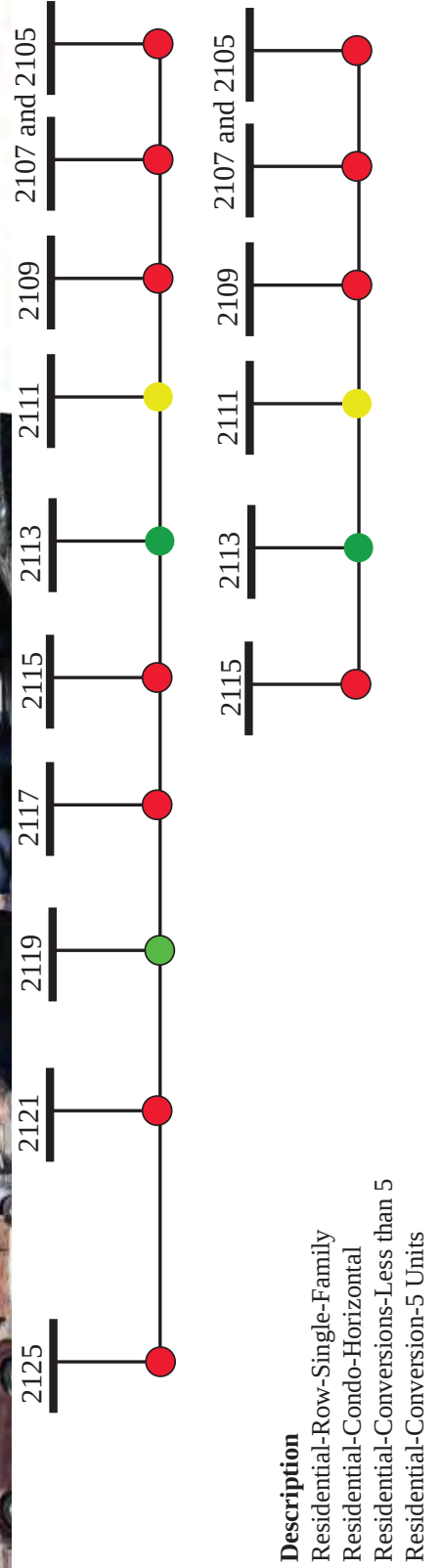
Project Location

2113



2111

2100 Block of S street NW- North Side



Use Code

- 11
- 16
- 24
- 25

Description

- Residential-Row-Single-Family
- Residential-Condo-Horizontal
- Residential-Conversions-Less than 5
- Residential-Conversion-5 Units

Premise Address	Owner Name
BANCROFT PLACE	
2111 BANCROFT PL NW	GEORGE O KRIZEK
2123 BANCROFT PL NW	SHERMAN KATZ
2125 BANCROFT PL NW	SIMON H SERFATY
2127 BANCROFT PL NW	STEPHANIE BAKER
2129 BANCROFT PL NW	ADAM E REINHART
2131 BANCROFT PL NW	2131 BANCROFT PLACE, LLC
2137 BANCROFT PL NW	HAROLD P GOLDFIELD
2117 BANCROFT PL NW	PHILIPPA BENDER
2113 BANCROFT PL NW	FRANCISCO R VASQUEZ
2115 BANCROFT PL NW	VIRGINIA KIRKS
2119 BANCROFT PL NW	ADRIENNE CHEASTY
2121 BANCROFT PL NW	PHILIPPE C BENOIT
2135 BANCROFT PL NW	RCURTIS BRISTOL
2132 BANCROFT PL NW	NORMAN R POZEZ
2126 BANCROFT PL NW	ALAN E UNTEREINER
2124 BANCROFT PL NW	MANUEL H JOHNSON
2122 BANCROFT PL NW	NICHOLAS H DRYLAND
2120 BANCROFT PL NW	JEROME T OCONNELL
2118 BANCROFT PL NW	VADIM MASIOV
2116 BANCROFT PL NW	BEN S STEPHANSKY
2114 BANCROFT PL NW	GREGG M BUSCH
2112 BANCROFT PL NW	CLAIRE NADER
2108 BANCROFT PL NW	A PALMER & S BUCK & ALAN K PALMER & M BUCK
2110 BANCROFT PL NW	C D KYROPOULOS
2138 BANCROFT PL NW	SSI INTERNATIONAL CORP ERIC GOLDBERG ESQ
2136 BANCROFT PL NW	SSI INTERNATIONAL CORPORATION ERIC GOLDBERG
2128 BANCROFT PL NW	LINDSAY GANN KILLICK TRUSTEE
2130 BANCROFT PL NW	CLIFFORD G MUMM
2134 BANCROFT PL NW	JAY P KRUPIN
2109 BANCROFT PL NW	GEORGE O KRIZEK
2111 BANCROFT PL NW	GEORGE O KRIZEK
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2134 BANCROFT PL NW	JAY P KRUPIN

LEROY PLACE

2132 LEROY PL NW	JOAN LUKE HILLS TRUSTEE
2124 LEROY PL NW	EMBASSY TRUST & WILLIAM D VAN TILBURG TRUSTEES
2122 LEROY PL NW	RICHARD V MOORE
2120 LEROY PL NW	DAVID S FEIGIN
2114 LEROY PL NW	MARCUS A WATKINS
2112 LEROY PL NW	REPUBLIC OF GUINEA
2110 LEROY PL NW	LUBAVITCH CENTER OF WASHINGTON
2130 LEROY PL NW	IAN BREMMER EURASIA GROUP
2128 LEROY PL NW	AMERICAN GOLD STAR MOTHERS INC
2126 LEROY PL NW	CLARK T SAWIN
2118 LEROY PL NW	REPUBLIC OF COLOMBIA
2134 LEROY PL NW	DC REAL PROPERTY LLC
2132 LEROY PL NW	JOAN LUKE HILLS TRUSTEE
2124 LEROY PL NW	EMBASSY TRUST & WILLIAM D VAN TILBURG TRUSTEES
2122 LEROY PL NW	RICHARD V MOORE
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2126 LEROY PL NW	CLARK T SAWIN
2118 LEROY PL NW	REPUBLIC OF COLOMBIA

CONNECTICUT AVE

1836 CONNECTICUT AVE NW	DANIEL XAYASITH
1820 - 1830 CONNECTICUT AV NW	SAINT MARGARET'S CHURCH VESTRY PARISH ADMINISTRATOR
1834 CONNECTICUT AV	NATIONAL OUTDOOR SPORTS ADVERTISING PROPERTIES
1832 CONNECTICUT AV	NATIONAL OUTDOOR SPORTS ADVERTISING PROPERTIES
1810 CONNECTICUT AVE NW	GOVERNMENT OF THE REPUBLIC OF ARGENTINA
1808 CONNECTICUT AVE NW	BERNSTEIN RICHARD D R B ASSOC

S STREET

2011 S ST NW	ACADIA CONNECTICUT AVENUE LLC ACADIA REALTY TRUST
2119 S ST NW	STEPHEN D RABER
2113 S ST NW	ANNIE C MAHON TRUSTEE
2115 - 2117 S ST NW	MICHAEL DRSTICH
2115 S ST NW Unit: 1A	GABRIEL TARAN
2115 S ST NW Unit: 1B	RYAN C COMPTON
2115 S ST NW Unit: 2A	IRWIN P RAJ UNIT 2-A
2115 S ST NW Unit: 2B	LINDA S LOURIE
2115 S ST NW Unit: 3A	BUSSELL TREVOR W DELORES A HARPER & ELFRIEDE HARPEF
2115 S ST NW Unit: 3B	TIMOTHY MCFEELEY
2115 S ST NW Unit: 3C	BRIAN H FLETCHER
2115 S ST NW Unit: 3D	WALTER W STOEPPPELWERTH III
2107 S ST NW Unit: A	JEFFERY W GUNTHER
2103 S ST NW Unit: B	LYNN A GILL
2107 S ST NW Unit: C	DANIELLE B STOCKTON
2105 S ST NW Unit: E	SCOTT NICHOLSON UNIT E
2105 S ST NW Unit: F	S WILLIAMS
2109 S ST NW Unit: G	JOHN E DILLON

Finally, a strong indicator that the uses will not adversely affect the surrounding neighborhood properties is the expression of support provided by the surrounding neighbors. As indicated in Exhibit C, the neighbors located

have all provided written support for the proposed accessing apartment.
For all of these reasons the Application meets the Special Exception requirements and we respectfully request the Board's approval.

Yolanda Garay

Francisco Ruiz

RUIZ BASSEGMENT
2113 BANCROFT PLACE, NW
WASHINGTON, DC 20008

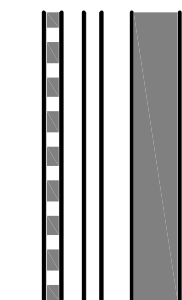
CODE DATA

DESIGN CODES	COMMENT
DESCRIPTION OF PROJECT:	BASED ON BC 2009 PER ISBC 2009
USE GROUP:	CONVERT UNIMPOSED APARTMENT TO APARTMENT IN EXIST. SINCE FULLY ATTACHED DETAILING
CONSTRUCTION TYPE:	R-3
HEIGHT & AREA:	WB
STORIES FINISHED	3 STORIES
STORIES ABOVE	3 STORIES PLUS BASEMENT
AREA OF BASEMENT	1,190 SF
AREA OF NEW APARTMENT	920 SF
FIRE RATED ASSEMBLIES:	RECORD EXISTING / PROVIDED
EXTERIOR PARTY WALLS	2 HR PER 2006 BC; TABLE 701(2) 1-1.1
EXTERIOR NON-PARTY WALLS	0 HR
EXTERIOR LOADING WALLS	0 HR
EXT. STAIR ENCLOSURE	0 HR
ELEVATOR SHAFTS	0 HR
OTHER VERTICAL SHAFTS	0 HR
EXT. ACCESS CORRIDORS	0 HR
STAIRS	PER TABLE 701(2) 1-1.4
INTERIOR LOADING WALLS/COLUMNS	0 HR
OTHER NON-LOADING WALLS/COLUMNS	0 HR
PRIMARY STRUCTURAL FRAME	0 HR
CEILING	0 HR
FLOOR FINISH	PER 2006 BC; TAB 701(2) 1-1.1
FLOOR FINISH	0 HR
ROOF	0 HR

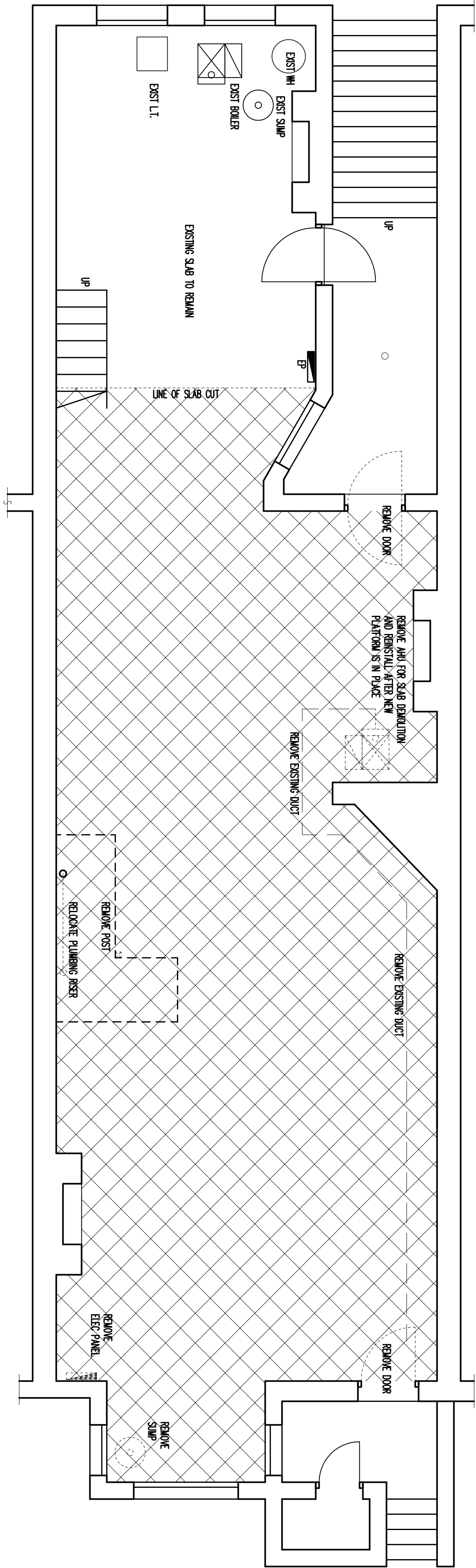
EGRESS/EMERGENCY EGRESS

2'-6" APARTMENT FRONT DOOR TO STREET
2'-6" DOOR FROM REAR DOOR TO WELLED EXIT
2'-6" DOOR FROM REAR BASEMENT TO WELLED EXIT

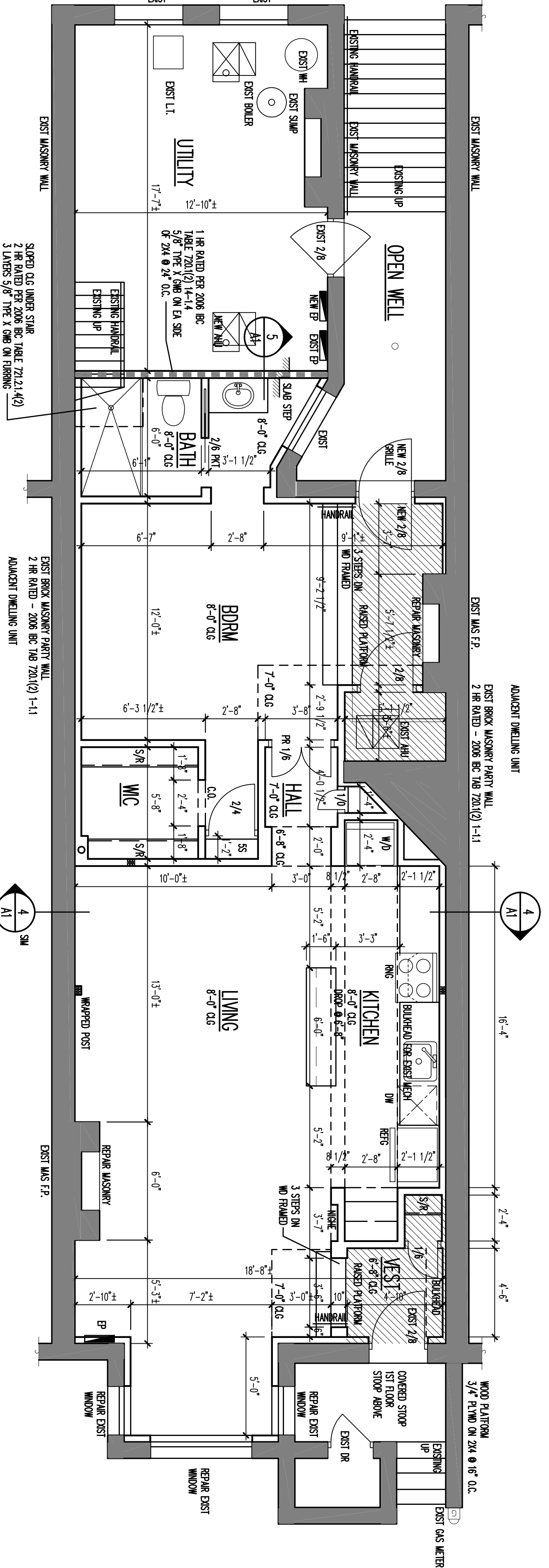
KEY PLAN



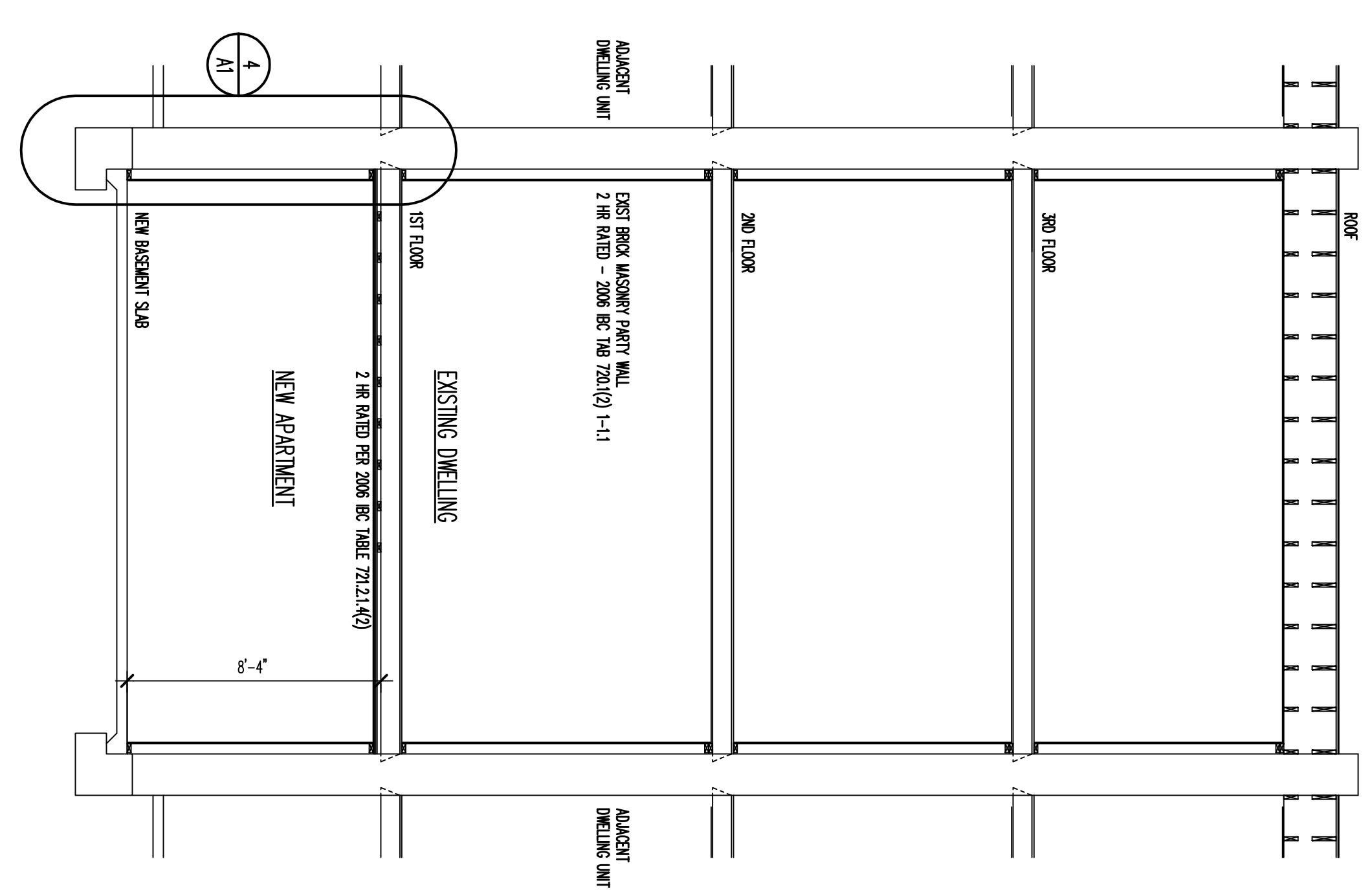
EXISTING WALL TO REMAIN
NEW PARTITION - 1/2" CMH ON 2X4 @ 24" O.C.
1 HR RATED PARTITION - PER TABLE 701(2) 1-1.4
5/8" TYPE X CMH ON EA SIDE OF 2X4 @ 24" O.C.



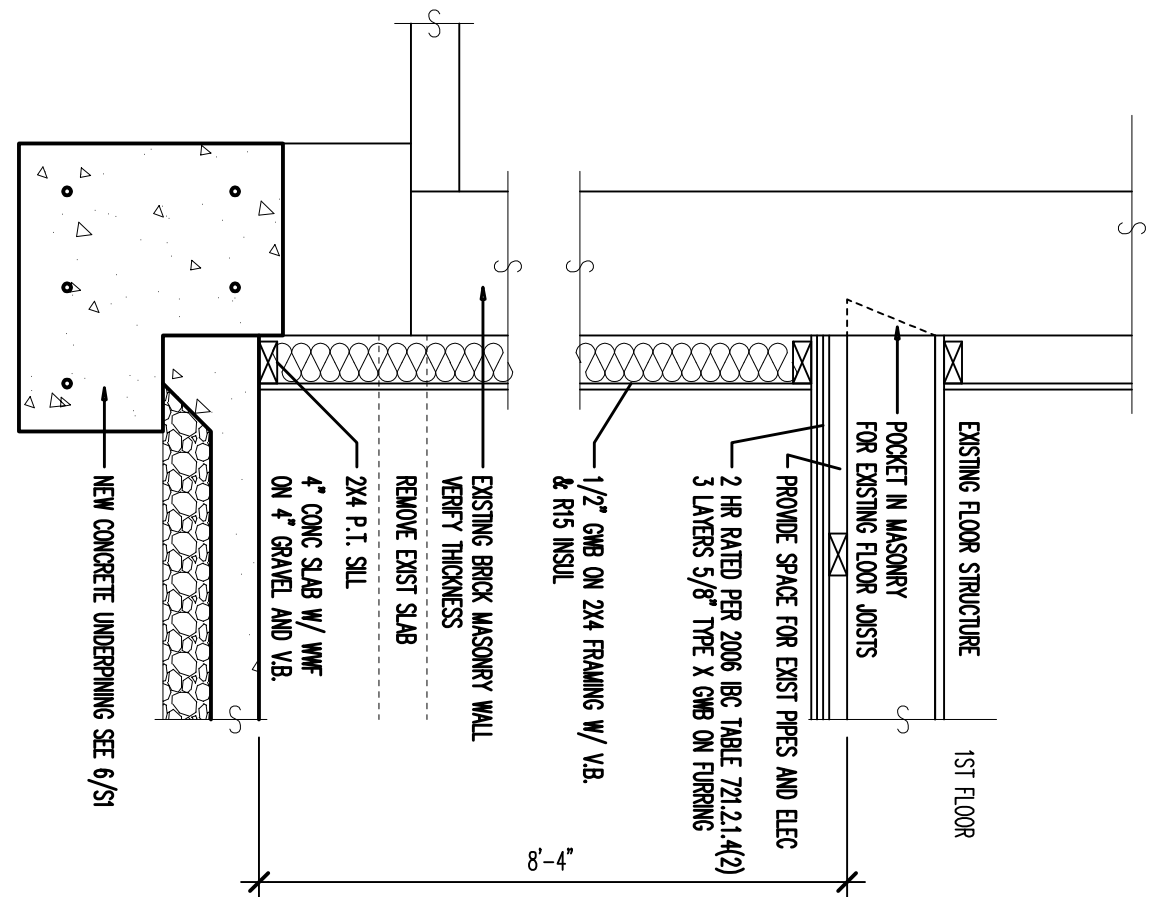
1 DEMOLITION PLAN
A1 SCALE: 1/4"=1'-0"



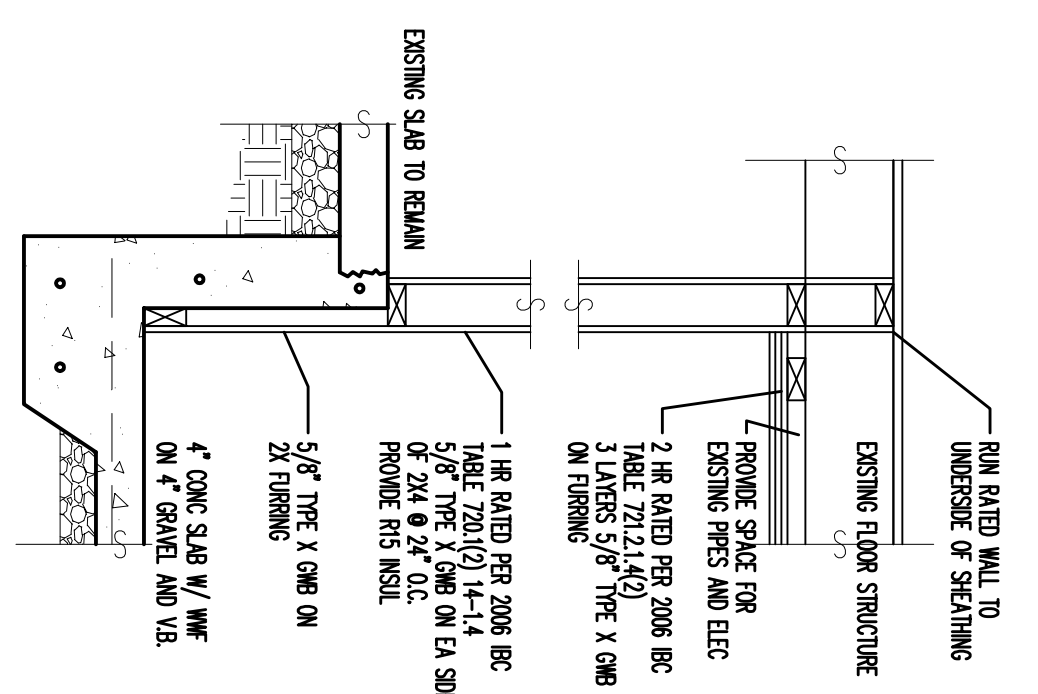
2 FLOOR PLAN
A1 SCALE: 1/4"=1'-0"



3 BUILDING SECTION
A1 SCALE: 1/4"=1'-0"

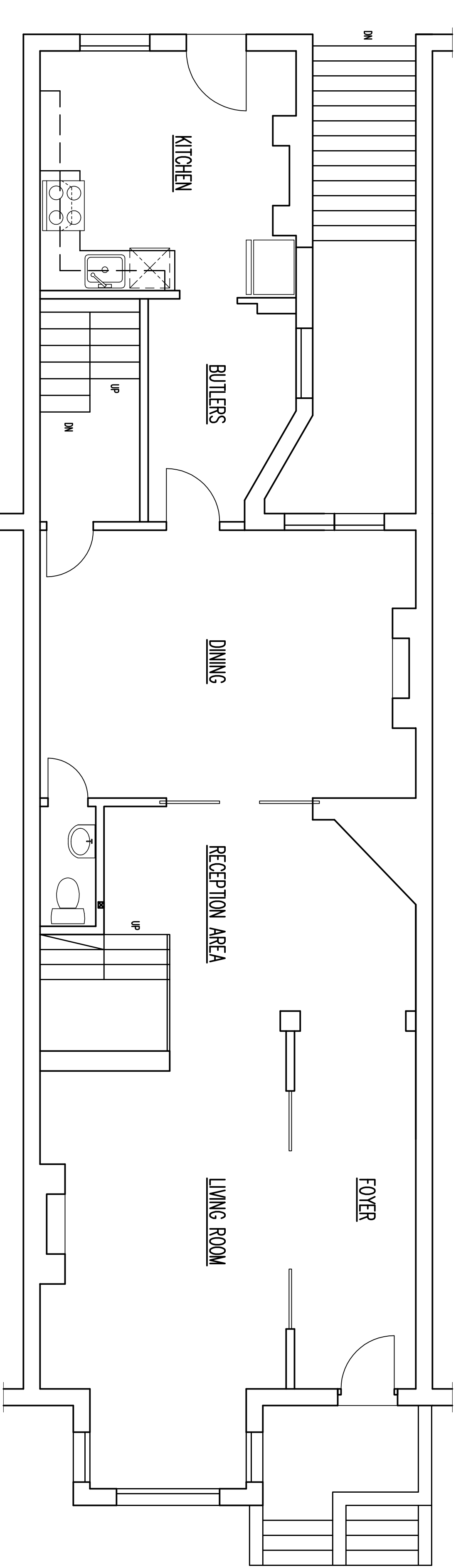
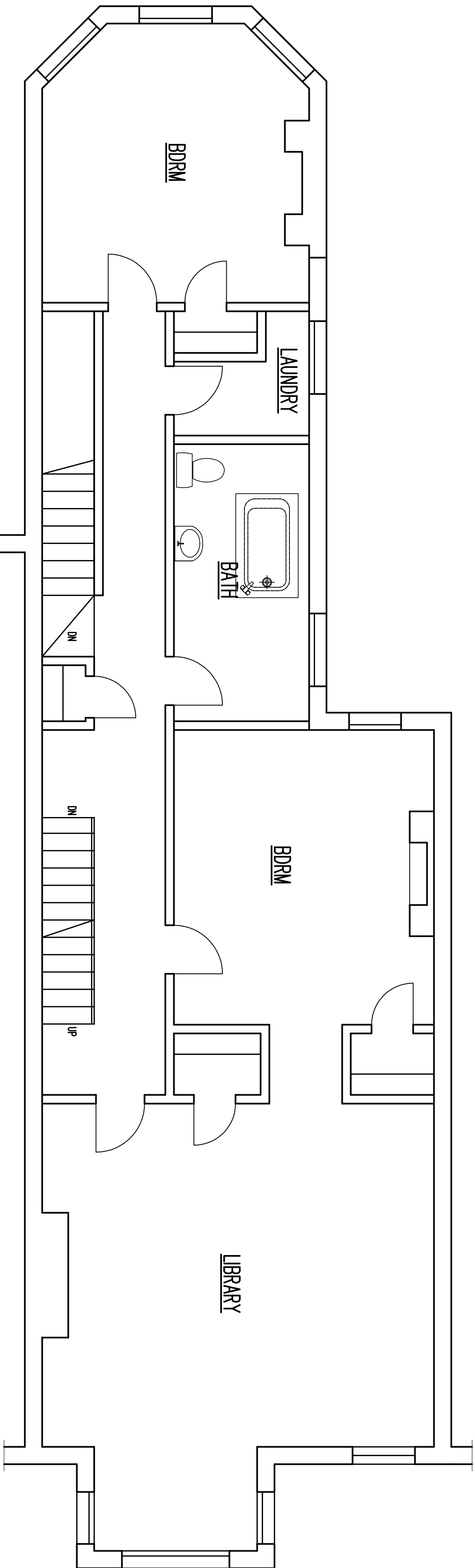
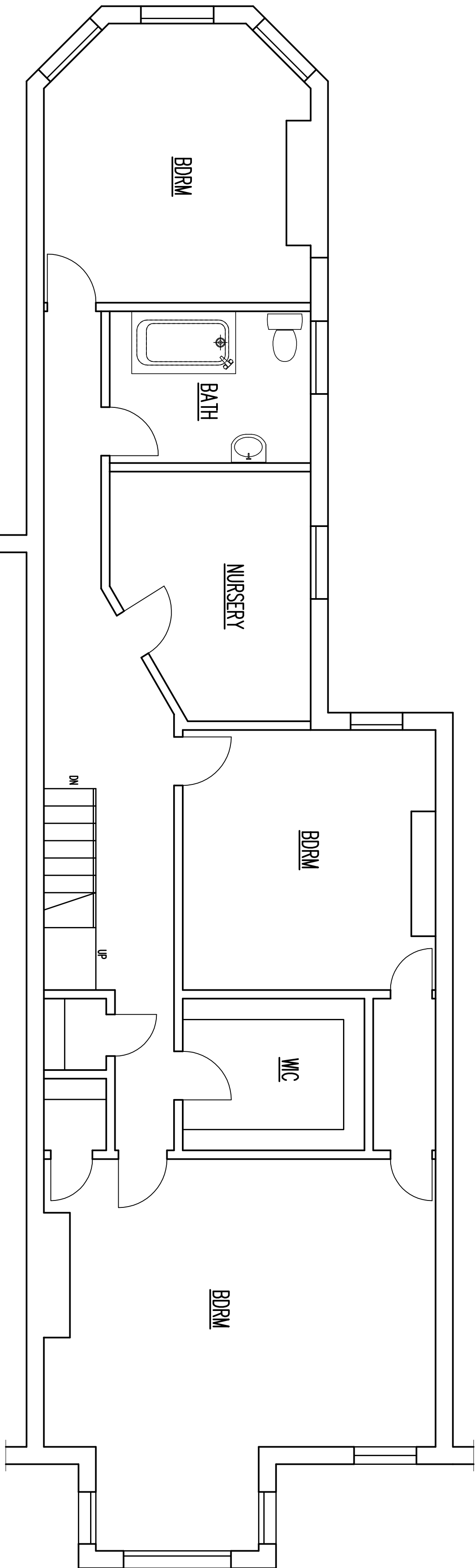


4 WALL SECTION
A1 SCALE: 3/4"=1'-0"



5 WALL SECTION
A1 SCALE: 3/4"=1'-0"

DRAWN BY:	RK
DATE:	06/07/13
REV. No.	DATE

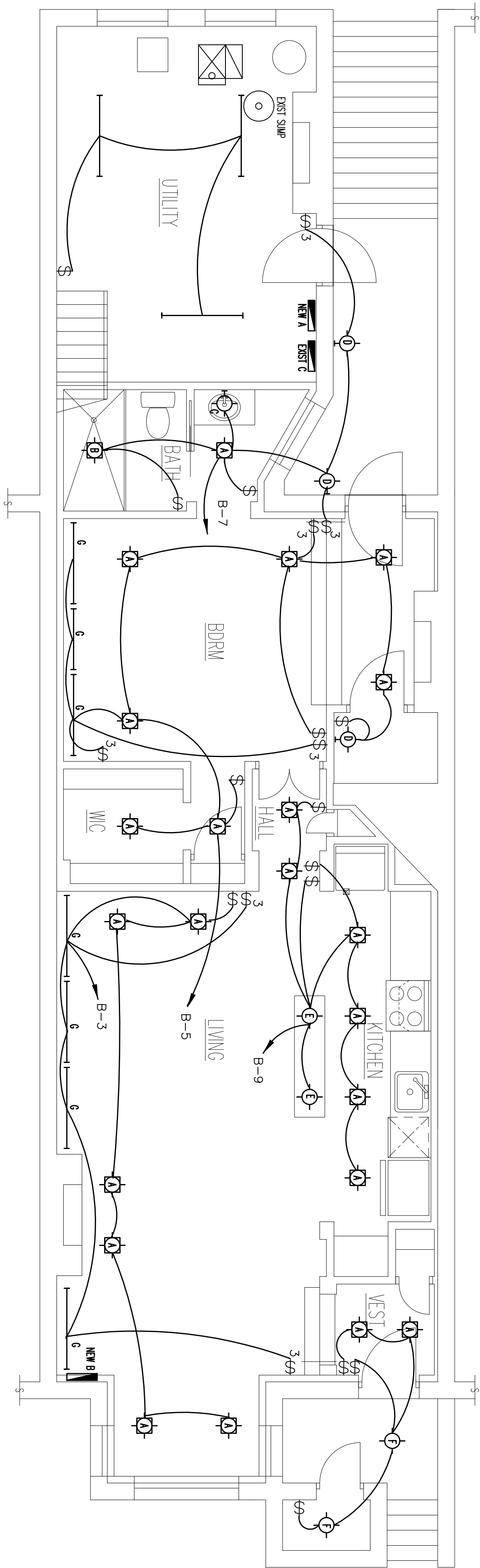


LIGHTING FIXTURE SCHEDULE

- TYPE "A" RECESSED LIGHTING FIXTURE, 6" APERTURE WITH 26 WATT COMPACT FLUORESCENT LAMPS, 120V BALLAST
- TYPE "B" RECESSED SHOWER LIGHT, LENSED, RATED FOR WET LOCATION, 26 WATT COMPACT FLUORESCENT LAMP, 120 BALLAST
- TYPE "C" WALL BRACKET VANITY LIGHT OVER MIRROR
- TYPE "D" WALL BRACKET AREA LIGHT, WET LOCATION LABELED, COMPACT FLUORESCENT LAMP, 120V BALLAST
- TYPE "E" SUSPENDED ACCENT LIGHT. 50 LAMP
- TYPE "F" ENCLOSED SURFACE MOUNTED FIXTURE WITH COMPACT FLUORESCENT LAMP
- TYPE "G" FLUORESCENT STRIP LIGHT WITH NOMINAL 48" T-5 LAMP, 120V ELECTRONIC BALLAST

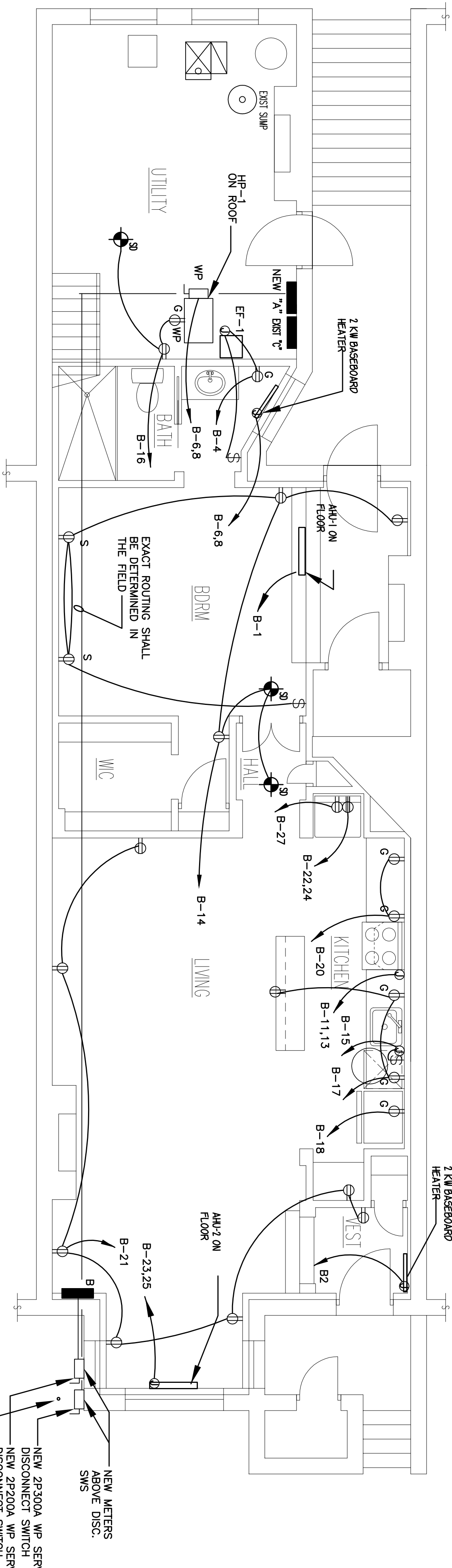
EQUIPMENT SCHEDULE

- EF-1 TOILET EXHAUST FAN, 120V, AC, 75 WATTS, CONTROLLED WITH WALL SWITCH
- HP-1 HEAT PUMP, OUTDOOR UNIT, 208 V, 1Ø, 18.0 MCA, ROOF MOUNTED
- AHU-1 AIR HANDLING UNIT, INDOOR WITH 2.0 KW ELECTRIC HEAT AND 1/4 HP BLOWER FAN 208V, 1Ø, 3 WIRE
- AHU-2 AIR HANDLING UNIT, INDOOR WITH 4.0 KW ELECTRIC HEAT AND 1/4 HP BLOWER FAN 208V, 1Ø, 3 WIRE



ELECTRICAL LIGHTING PLAN

SCALE 1/4" = 1'-0"



ELECTRICAL POWER PLAN

SCALE 1/4" = 1'-0"

SPECIFICATIONS

GENERAL

- 1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS REQUIRED TO INSTALL A COMPLETE SYSTEM OF ELECTRICAL WORK AS INDICATED ON THE ELECTRICAL, MECHANICAL, PLUMBING, ARCHITECTURAL, AND OTHER DRAWINGS.
- 2. ALL EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW AND OF REPUTABLE MAKE, AND SHALL BE UL LISTED AND LABELED APPROPRIATE FOR THE AREA IN WHICH IT IS USED.
- 3. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES AND ORDINANCES OF THE JURISDICTION IN WHICH THE PROJECT IS LOCATED
- 4. FOR THE ELECTRICAL CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL THE PERMITS REQUIRED FOR THE ELECTRICAL WORK
- 5. THE ELECTRICAL CONTRACTOR AT HIS EXPENSE, SHALL HAVE AN INSPECTION MADE BY THE LOCAL ELECTRICAL INSPECTION DEPARTMENT OF THE ELECTRICAL INSTALLATION UNDER THIS CONTRACT AND SHALL DELIVER THE CERTIFICATE OF APPROVAL TO THE OWNER BEFORE RECEIVING THE FINAL PAYMENT
- 6. THE OWNER RESERVES THE RIGHT TO INSPECT AND TEST ANY PORTION OF THE EQUIPMENT OR INSTALLATION DURING THE PROGRESS OF ITS ERECTION, ANY DEVICE OR SYSTEM OR PORTION THEREOF, OR THE WORKMANSHIP OF THE ELECTRICAL CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. THE ELECTRICAL CONTRACTOR SHALL TEST THE ENTIRE SYSTEM IN THE PRESENCE OF THE OWNER OR HIS REPRESENTATIVE WHEN THE WORK IS FINALLY COMPLETED TO INSURE THAT ALL PORTIONS ARE FREE FROM SHORT CIRCUITS OR GROUNDS AND ARE IN GOOD AND INTENDED WORKING CONDITIONS
- 7. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE THE ENTIRE ELECTRICAL INSTALLATION UNDER THIS CONTRACT FOR ONE YEAR AFTER ACCEPTANCE BY THE OWNER
- 8. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING BID
- 9. THE ELECTRICAL DRAWINGS ARE DIAGRAMATIC AND THE DEVICE LOCATIONS MAY BE MOVED UP TO 20 FEET IN EITHER DIRECTION TO COORDINATE WITH ARCHITECTURAL, MECHANICAL, STRUCTURAL, OR PLUMBING REQUIREMENTS AT NO ADDITIONAL COST TO OWNER
- 10. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO THE OWNER A SET OF AS-BUILT MARK-UP DRAWINGS, HARD COPY PRINTS AND AUTOCAD FILES IN VERSION 2000 SUBMITTALS. THE CONTRACTOR SHALL SUBMIT TO THE OWNER/ARCHITECT SIX (6) COPIES OF THE MANUFACTURERS CATALOG CUT SHEETS, IDENTIFYING THE SPECIFIC EQUIPMENT TO BE FURNISHED TO THE PROJECT
 - A. CONDUIT AND OUTLET BOXES
 - B. WIRE
 - C. SWITCHES
 - D. LIGHTING FIXTURES
 - E. PANELBOARDS

PRODUCTS:

- A. APPLICABLE FEDERAL SPECIFICATIONS
 - DUPLEX RECEPTACLE: NEMA 5--20R, Ivory
 - B. WALL SWITCHES SHALL BE 120V/277V, 20A, QUICK MAKE QUICK BREAK, UL LISTED AND MEETING THE REQUIREMENTS APPLICABLE FEDERAL STANDARDS
 - C. DEVICE PLATES SHALL BE PLASTIC, COLOR TO MATCH EXISTING COVER PLATES, MULTIPLE DEVICES IN MULTI GANG INSTALLATIONS SHALL HAVE SINGLE COVER PLATE
 - D. CONDUIT: INDOOR DRY LOCATIONS, GALVANIZED STEEL, ELECTRICAL METALLIC TUBE (EMT), MINIMUM 1/2" TRADE SIZE INSTALLED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.
 - TYPE AC, MANUFACTURED CABLE WITH INTEGRAL SEPARATE GROUNDING CONDUCTOR WHEN INSTALLED CONCEALED IN FINISHED SPACES. TYPE AC CABLE MAY BE INSTALLED EXPOSED IN MECHANICAL/ELECTRICAL ROOMS AND IN UNFINISHED SPACES
 - "ROMEX" IF APPROVED BY AUTHORITIES HAVING JURISDICTION IS PERMITTED WHEN INSTALLED CONCEALED IN WALLS AND CEILING SPACES AND INSTALLED IN ACCORDANCE WITH NEC
 - E. WIRE: ANNEALED COPPER CONDUCTORS, #12 AWG MINIMUM, WITH THW PVC INSULATION AND JACKET RATED FOR 75 DEGREES C, WET OR DRY. THE WIRE SHALL BE UL LISTED AND LABELED
 - #12 AWG #10 AWG - SOLID CONDUCTOR UNLESS OTHERWISE NOTED ON PLANS
 - #8 AWG AND LARGER - STRANDED CONDUCTOR
 - #5 AWG GROUNDING CONDUCTOR - SOLID OR STRANDED
 - F. BOXES: OUTLET BOXES SHALL BE GALVANIZED PRESSED STEEL, MINIMUM 3 1/3 INCHES DEEP WITH INTERNAL VOLUME TO SUIT THE SIZE AND QUANTITY OF CONDUCTORS PER NATIONAL ELECTRICAL CODE
 - PULL BOXES SHALL BE GALVANIZED STEEL OR ALUMINUM WITH SCREW ATTACHED COVER PLATES
 - G. LIGHTING FIXTURES: REFER TO LIGHTING FIXTURE SCHEDULE ON DRAWINGS. CONTRACTOR SHALL COORDINATE THE VOLTAGE RATINGS OF THE FIXTURES TO THE CIRCUIT VOLTAGES TO WHICH THEY ARE CONNECTED PRIOR ON ORDERING THE MATERIAL
 - H. PANEL BOARDS: CIRCUIT BREAKER TYPE, WITH PLUG-IN BREAKERS RATED AS INDICATED ON THE PANEL BOARD SCHEDULES ON THE DRAWINGS. BREAKERS SERVING "HACR" RATED
- EXECUTION
- A. ALL WIRING SHALL BE INSTALLED CONCEALED IN WALL OR CEILING SPACES IN FINISHED AREAS
 - ALL WIRING IN EXPOSED AREAS SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO THE BUILDING LINES, SECURELY ATTACHED TO BUILDING SURFACES

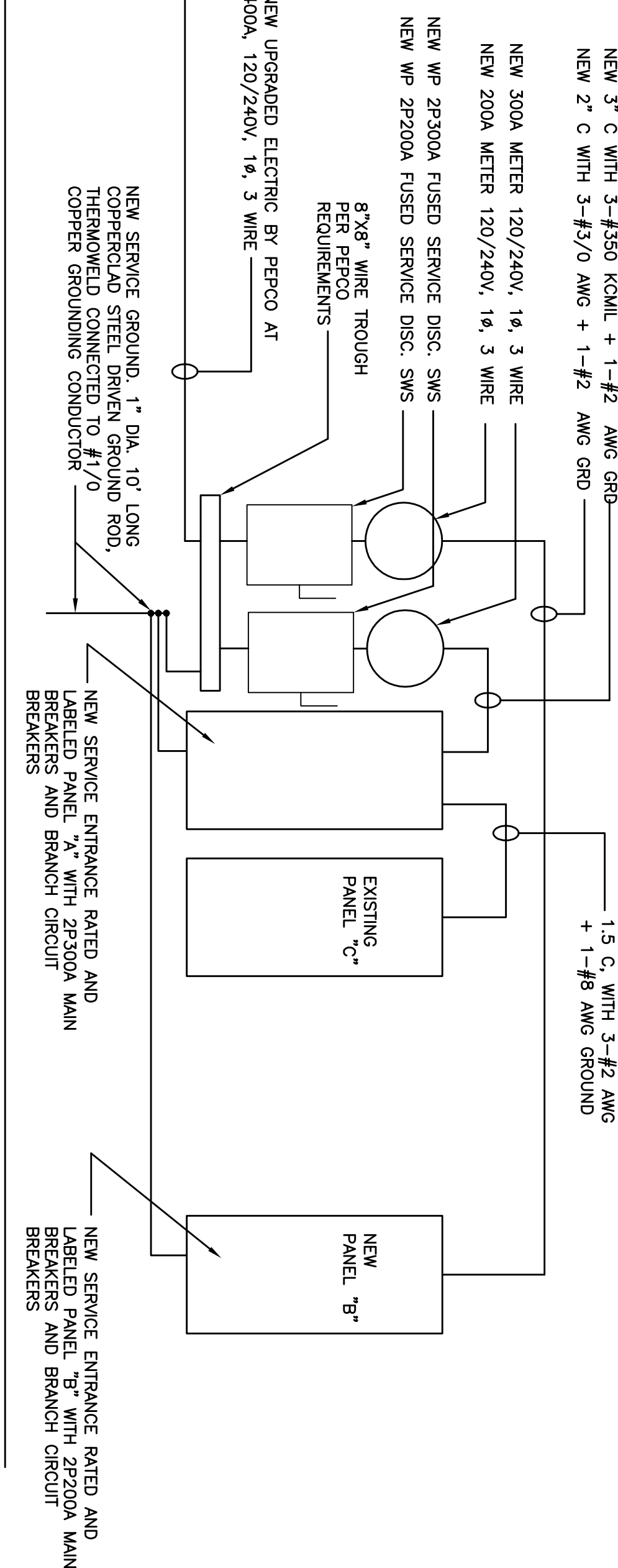
SYMBOLS LIST:

\$	WALL SWITCH, 120/277V, 20A, 48" AFF
\$ 3	WALL SWITCH, THREE WAY
⌀	DUPLEX NEMA 5-20R RECEPTACLES, 18" AFF UNLESS NOTED OTHERWISE ON THE PLANS
⌀ S	DUPLEX NEMA 5-20R RECEPTACLES WITH TOP RECEPTACLE SWITCHED WITH WALL SWITCH
⌀ G	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER, 48" AFF
⏏	DISCONNECT SWITCH - FUSED
⌒	WIRING RUN CONCEALED IN WALL OR CEILING SPACE
⌒ 120V, 20A CIRCUIT HOME RUN TO BREAKER IN PANEL BOARD 2-#12 AWG + 1-#12 AWG GND IN 1/2" CONDUIT IS INDICATED	
⌒ 1/2" CONDUIT IS INDICATED	
⌒ CEILING MOUNTED SMOKE DETECTOR WITH INTEGRAL ALARM HORN AND BACK UP BATTERY	
⌒ SUSPENDED LIGHTING FIXTURE	
⌒ WALL MOUNTED LIGHTING FIXTURE	
⌒ RECESSED LIGHTING FIXTURE	
⌒ FLUORESCENT LIGHTING FIXTURE	

NEW PANEL "B", 120/240V, 1ø, 3 W, SQUARE D, TYPE OO LOAD CENTER PANEL BOARD WITH 2P200A MAIN BREAKER AND 1P AND 2P BRANCH CIRCUIT BREAKERS											
PANEL BOARD AND BREAKERS RATED FOR 10,000 AC IN FLUSH MOUNTED BACK BOX											
CKT. NO.	LOAD	TRIP	WIRE PH	WIRE SIZE	COND. VA	OA	OB	TRIP	WIRE PH	WIRE SIZE	COND. VA
1	ELEC. BASEBOARD HTR	1	25	#10 1/2"	2000	✓	✓	25	#10 1/2"	2000	✓
3	LTC. LIVING VEST	1	20	#12 1/2"	800	✓	✓	20	#12 1/2"	1000	1
5	LTC. BDRM. EXT	1	20	#12 1/2"	800	✓	✓	20	#12 1/2"	2200	1
7	LTC. BATH. EXTERIOR	1	20	#12 1/2"	500	✓	✓	20	#10 1/2"	2200	1
9	LTC. KITCHEN	1	20	#12 1/2"	800	✓	✓	20	#12 1/2"	1100	2
11	RANGE	2	60	#6 1"	2500	✓	✓	20	#12 1/2"	1100	1
13	J. BOX DISPOSAL	1	20	#12 1/2"	800	✓	✓	1	#12 1/2"	REC. BDRM. SMOKE DETECTORS	18
15	REC. KITCHEN	1	20	#12 1/2"	360	✓	✓	1	#12 1/2"	REC. UTILITY, ROOF	16
17	REC. DISH. WASH	1	20	#12 1/2"	1000	✓	✓	1	#12 1/2"	REC. REF	20
19	REC. LIVING	1	20	#12 1/2"	900	✓	✓	1	#12 1/2"	REC. KITCHEN	22
21	REC. LIVING	1	20	#12 1/2"	900	✓	✓	1	#12 1/2"	REC. KITCHEN	22
23	AHU-2	2	25	#10 1/2"	2100	✓	✓	30	#10 1/2"	REC. DRIPPER	24
25	AHU-2	2	25	#10 1/2"	2100	✓	✓	30	#10 1/2"	REC. DRIPPER	24
27	REC. WASHER	1	20	#12 1/2"	800	✓	✓	1	#12 1/2"	SPACE	26
TOTAL					9460	8500	8500	6840			28
THE TOTAL CONNECTED LOAD IS 33,700 VA, WHICH IS 140 AMPS PER PHASE											

NEW PANEL "A", 120/240V, 1ø, 3 W, SQUARE D, TYPE OO LOAD CENTER PANEL BOARD WITH 2P200A MAIN BREAKER AND 1P AND 2P BRANCH CIRCUIT BREAKERS											
PANEL BOARD AND BREAKERS RATED FOR 10,000 AC IN FLUSH MOUNTED BACK BOX											
CKT. NO.	LOAD	TRIP	WIRE PH	WIRE SIZE	COND. VA	OA	OB	TRIP	WIRE PH	WIRE SIZE	COND. VA
1	SPACE	1	1	---	---	---	---	20	#12	EX	EXISTING LIGHTING
3	EXISTING PANEL "C"	2	100	#2	EX	1540	✓	20	#12	EX	EXISTING LIGHTING
5	EXISTING PANEL "C"	2	100	#2	EX	1540	✓	20	#12	EX	EXISTING LIGHTING
7	EXISTING DRYER	1	30	#10	EX	2000	✓	20	#12	EX	EXISTING RECEPTACLES
9	EXISTING DRYER	1	30	#10	EX	2000	✓	20	#12	EX	EXISTING RECEPTACLES
11	EXISTING WATER HEATER	1	45	#8	EX	4000	✓	20	#12	EX	EXISTING RECEPTACLES
13	EXISTING WATER HEATER	1	45	#8	EX	4000	✓	20	#12	EX	EXISTING RECEPTACLES
15	EXISTING RANGE	2	40	#8	EX	4000	✓	20	#12	EX	EXISTING RECEPTACLES
17	EXISTING RANGE	2	40	#8	EX	4000	✓	20	#12	EX	EXISTING RECEPTACLES
19	EXISTING AC UNIT	2	30	#10	EX	2000	✓	20	#12	EX	EXISTING RECEPTACLES
21	EXISTING AC UNIT	2	30	#10	EX	2000	✓	20	#12	EX	EXISTING RECEPTACLES
23	EXISTING ACU	2	60	#6	EX	4000	✓	1	20	---	SPACE
25	EXISTING ACU	2	60	#6	EX	4000	✓	1	20	---	SPACE
27	EXISTING AC UNIT	2	30	#10	EX	2000	✓	1	20	---	SPACE
29	EXISTING AC UNIT	2	30	#10	EX	2000	✓	1	20	---	SPACE
31	EXISTING ACU	2	60	#6	EX	4000	✓	1	20	---	SPACE
33	EXISTING ACU	2	60	#6	EX	4000	✓	1	20	---	SPACE
35	EXISTING ACU	2	60	#6	EX	4000	✓	1	20	---	SPACE
37	EXISTING ELEC. HTR	2	20	#6	EX	1000	✓	1	20	---	SPACE
39	EXISTING ELEC. HTR	2	20	#6	EX	1000	✓	1	20	---	SPACE
41	SPACE	1	1	---	---	---	---	1	20	---	SPACE
TOTAL					28340	21440	320	2540			42
THE TOTAL CONNECTED LOAD 10A,840 VA, WHICH IS 258 AMPS PER PHASE											

EXISTING PANEL "C", 120/240V, 1ø, 3 W, SQUARE D, TYPE OO LOAD CENTER PANEL BOARD WITH 2P100A MAIN BREAKER AND 1P AND 2P BRANCH CIRCUIT BREAKERS											
PANEL BOARD AND BREAKERS RATED FOR 10,000 AC IN FLUSH MOUNTED BACK BOX											
CKT. NO.	LOAD	TRIP	WIRE PH	WIRE SIZE	COND. VA	OA	OB	TRIP	WIRE PH	WIRE SIZE	COND. VA
1	EXISTING LTC	1	15	#12	EX	500	✓	15	#12	EX	EXISTING LTC
3	EXISTING LTC	1	15	#12	EX	500	✓	15	#12	EX	EXISTING LTC
5	EXISTING LTC	1	15	#12	EX	500	✓	15	#12	EX	EXISTING LTC
7	EXISTING LTC	1	15	#12	EX	500	✓	15	#12	EX	EXISTING LTC
9	EXISTING RECEPTACLES	1	20	#12	EX	360	✓	20	#12	EX	EXISTING RECEPTACLES
11	EXISTING RECEPTACLES	1	20	#12	EX	360	✓	20	#12	EX	EXISTING RECEPTACLES
13	EXISTING RECEPTACLES	1	20	#12	EX	360	✓	20	#12	EX	EXISTING RECEPTACLES
15	EXISTING RECEPTACLES	1	20	#12	EX	360	✓	20	#12	EX	EXISTING RECEPTACLES
17	EXISTING RECEPTACLES	1	20	#12 1/2"	180	✓	✓	20	#12	EX	EXISTING RECEPTACLES
19	SPACES	1	1	---	---	---	---	1	#12	EX	EXISTING ELEC. HTR
21		1	1	---	---	---	---	1	#12	EX	EXISTING ELEC. HTR
23		1	1	---	---	---	---	1	#12	EX	EXISTING ELEC. HTR
25		1	1	---	---	---	---	1	#12	EX	EXISTING ELEC. HTR
27		1	1	---	---	---	---	1	#12	EX	EXISTING ELEC. HTR
TOTAL					1900	1340	3440	2900			28
THE TOTAL CONNECTED LOAD IS 9,780 VA, WHICH IS 41 AMPS PER PHASE											



RUIZ HOUSE ALTERATIONS

2113 BANCROFT PL, NW WASHINGTON DC 20008

R K ARCHITECTS, PC

Circle Towers
9401 Lee Highway
Suite 208
Alexandria, VA 22301
Phone: 703-363-8340
Fax: 703-363-8339
rka@rkarchitect.net

ELECTRICAL NOTES

PANEL SCHEDULES

RISER DIAGRAM

REVISIONS

REV	NO.	DATE	DESCRIPTION

12546

E2

SHEET NO.

MECHANICAL GENERAL NOTES:

- ALL WORK SHALL BE INSTALLED TO COMPLY WITH ALL CODES AND REGULATIONS OF THE DISTRICT OF COLUMBIA. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES AND COORDINATE UTILITY CONNECTIONS WITH THE PROPER AUTHORITIES.
- THE CONTRACTOR SHALL VERIFY THE FIELD CONDITIONS AND BE RESPONSIBLE FOR COORDINATION OF WORK WITH OTHER TRADES, (ARCHITECTURAL, ELECTRICAL, STRUCTURAL AND PLUMBING) EXISTING CONDITIONS, AND PHASING OF WORK WITH THE OPERATION OF SYSTEMS AND BUILDING OCCUPANCY.
- THE MECHANICAL DRAWINGS ARE DIAGRAMATIC AND EXACT MEASUREMENTS SHALL BE ESTABLISHED AT THE JOB SITE.
- PROVIDE SLEEVES AND SEALANTS FOR ALL PIPING, CONDUITS AND DUCT WORK PASSING THROUGH CONCRETE SLABS OR WALLS.
- DUCTWORK SHALL BE FABRICATED OF GALVANIZED SHEET METAL WITH CONSTRUCTION, GAUGES AND INSTALLATION IN ACCORDANCE WITH THE LATEST ASHRAE GUIDE AND SMACNA LOW PRESSURE DUCT. ALL DUCTWORK SHALL BE INSULATED 1 1/2" THICK FIBER GLASS INSULATION AND PROVIDE DUCT LINING FOR THE FIRST 15 FEET OF SUPPLY AIR AND RETURN AIR DUCTWORK FROM UNIT.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR BALANCING OF AIR SYSTEMS AS REQUIRED TO OBTAIN INDICATED AIR FLOW AT EACH CEILING DIFFUSERS AND REGISTERS. SUBMIT BALANCING REPORT AFTER FINAL COMPLETION FOR APPROVAL.
- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE
- ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER OR HIS DUTY AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, ARTICLES, ITEMS, FOR COMPLETE AND OPERABLE SYSTEMS.

SYMBOLS AND ABBREVIATIONS:

- EXISTING DUCTWORK OR EQUIPMENT TO REMAIN
- ++++ EXISTING DUCTWORK OR EQUIPMENT TO BE REMOVED
- SUPPLY AIR DUCT SECTION
- RETURN OR EXHAUST AIR DUCT SECTION
- AIR FLOW IN
- AIR FLOW OUT
- VOLUME DAMPER
- MOTORIZED LOUVER
- FIRE DAMPER
- UNDERCUT DOOR
- LOUVERED DOOR
- THERMOSTAT
- END OF DEMOLITION
- CONNECT TO EXISTING
- BRITISH THERMAL UNIT PER HOUR
- BTUH THOUSAND BTUH
- MBH DRY BULB
- WB WET BULB
- EXST. EXISTING
- EXH. EXHAUST
- EF. EXHAUST FAN
- CFM CUBIC FEET PER MINUTE
- EAT ENTERING AIR TEMPERATURE
- LAT LEAVING AIR TEMPERATURE
- HP HEAT PUMP/HORSE POWER
- OUT SIDE AIR
- RA RETURN AIR
- SA SUPPLY AIR
- ESP EXTERNAL STATIC PRESSURE
- DN DOWN
- FD FLOOR DRAIN
- AHU AIR HANDLING UNIT
- HP HEATPUMP
- E EXISTING
- RL RELOCATED
- N NEW

FAN SCHEDULE									
FAN #	CFM	SP. IN./WC.	WATTS	RPM	DRIVE	ELECT. V / Ø / HZ	TYPE	SERVING AREA	MANUFACTURER MODEL OR APPROVED EQUAL
EF-1	150	0.5	75	1050	DIRECT	115/1/60	CEILING INLINE	TOILET	PENN.MODEL Z-8 - TDA

- ① PROVIDE BACK DRAFT DAMPER ② PROVIDE WALL SWITCH

OUTDOOR CONDENSING UNIT (HEAT PUMP) SCHEDULE

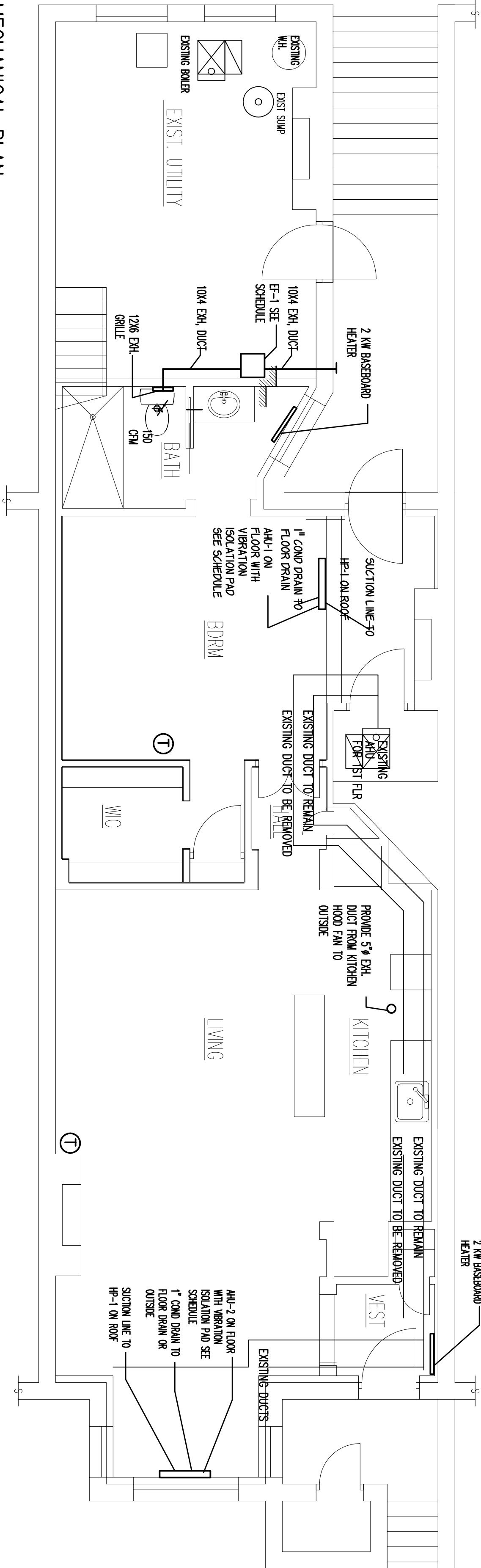
UNIT #	CAPACITY BTUH	EAT ° F DB/WB	CONDENSER FAN NO.	COMPRESSOR RLA	COMPRESSOR LRA	ELECT. POWER V / Ø / HZ	MCA	SEER OR APPROVED EQUAL	MANUFACTURER MODEL	REMARKS
HP-1	25,000	95/67	1	1/12	-	208/1/60	18 A	17	MITSUBISHI MZ-3B2NA	① ② ③

- ① PROVIDE WITH WINTER START CONTROL, AND EVAPORATOR FREEZE THERMOSTAT.
② MOUNTED ON A CONCRETE PAD WITH VIBRATION ISOLATORS ON THE ROOF
③ SERVES AHU-1 & AHU-2

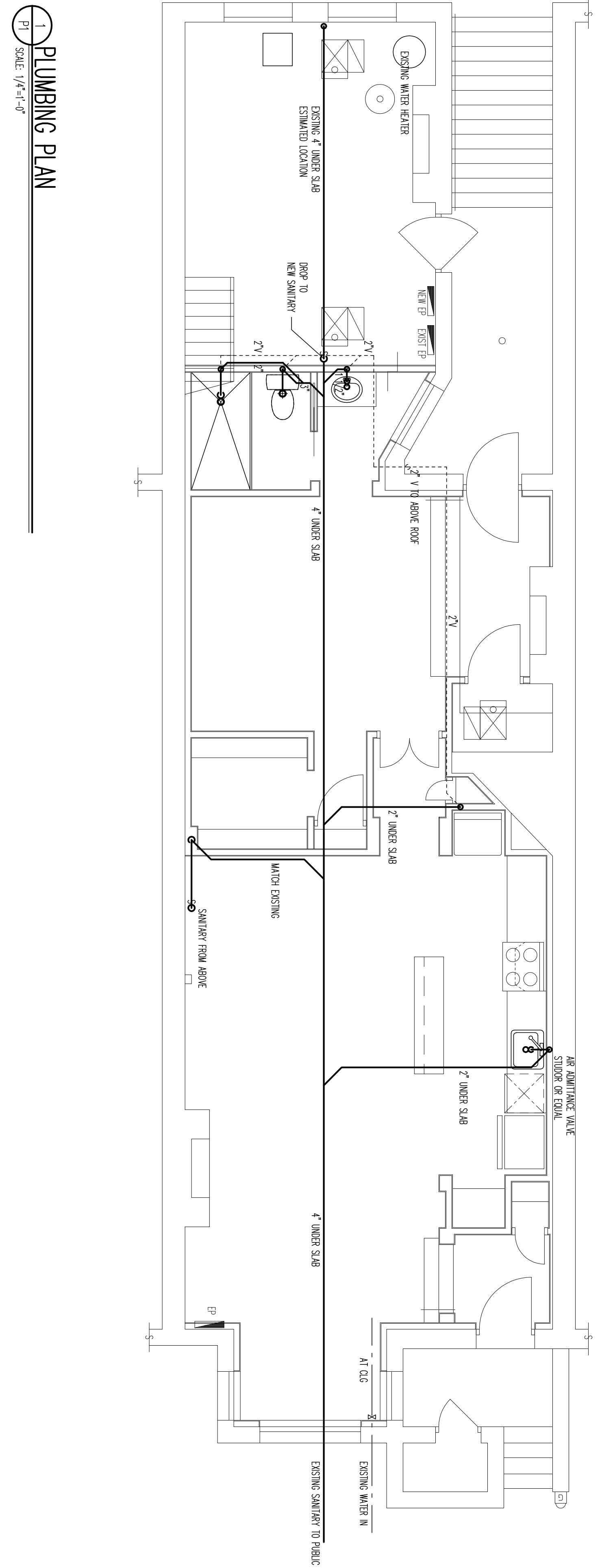
MATCHING INDOOR AIR HANDLING UNIT SCHEDULE

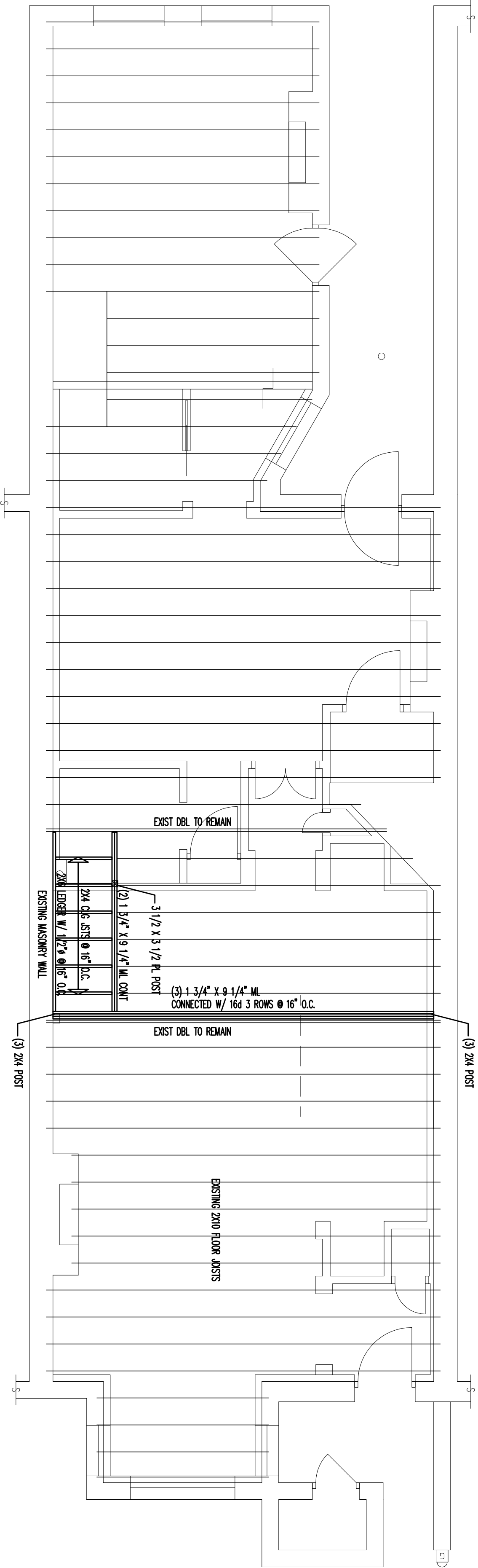
UNIT #	TOTAL CFM	ESP IN./WC.	FAN DATA MOTOR HP V/Ø/Hz	EAT ° F DB/WB	COOLING COIL LAT ° F DB/WB	COOL CAP/HEAT CAP. BTUH	ELECTRIC HEAT KW	MANUFACTURER APPROVED EQUAL	APPROX WEIGHT LBS.	REMARKS
AHU-1	400	0.2	1/4 208/1/60	77	58	9,000	2 KW	MITSUBISHI MODEL MFZ-KA09NA	⑩ ⑩	⑩ ⑩ ⑩
AHU-1	300	0.3	1/4 208/1/60	77	58	18,000	4 KW	MITSUBISHI MODEL MFZ-KA10NA	⑩ ⑩	⑩ ⑩ ⑩

- ① PROVIDE REMOTE PROGRAMMABLE ROOM THERMOSTAT CONTROL.
② SIZE SUCTION AND LIQUID LINE PER MANUFACTURER'S RECOMMENDATION.
③ PROVIDE SMOKE DETECTORS AT RETURN AIR DUCT SIDE
④ FIELD COORDINATE ALL PIPING INSTALLATION
⑤ PROVIDE 2 KW ELECTRIC HEATER
⑥ PROVIDE 4 KW ELECTRIC HEATER

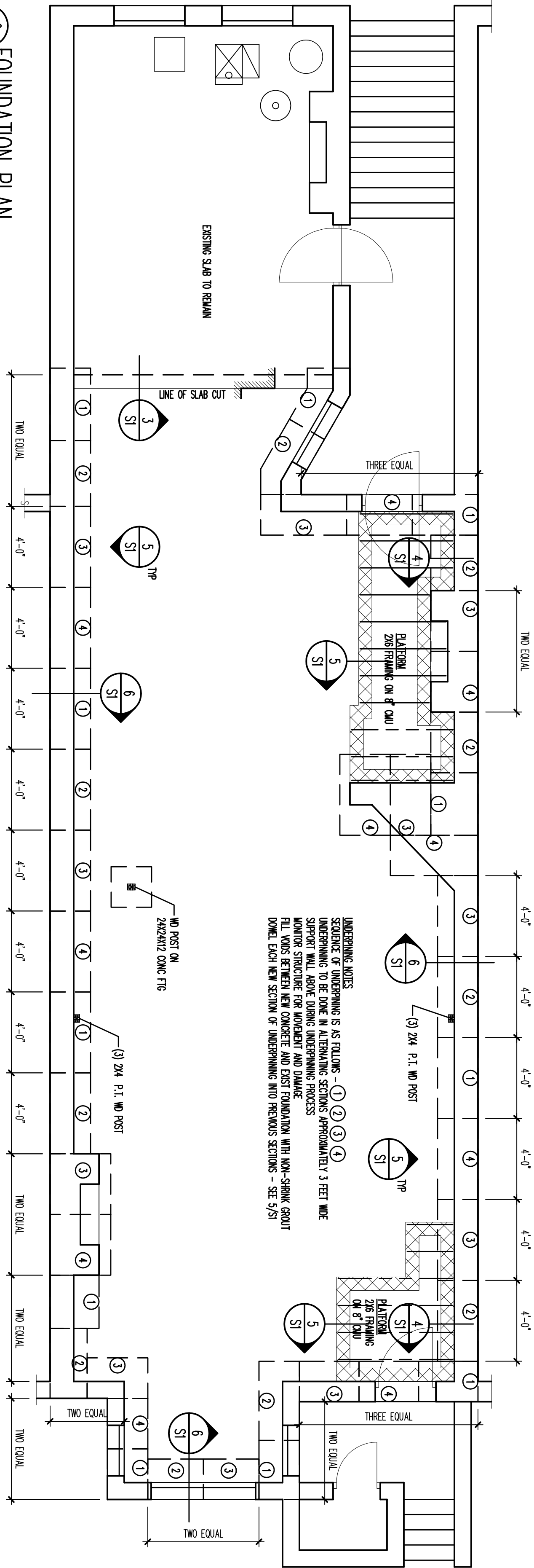


MECHANICAL PLAN
SCALE 1/4" = 1'-0"





1 FRAMING PLAN
SCALE: 1/4"=1'-0"



2 FOUNDATION PLAN
SCALE: 1/4"=1'-0"

NOTES

UNDERPINNING:

UNDERPINNING SHALL BE PERFORMED IN ALTERNATE CONCRETE PIER SECTIONS NOT EXCEEDING FOUR FEET IN WIDTH. ALLOW A MINIMUM OF 72 HOURS FOR CURETIME OF SECTIONS. TERMINATE UNDERPINNING 2 FEET MINIMUM BELOW THE UNDERPINNING OF EXISTING FOUNDATIONS, AND DRY-POUR THIS GAP WITH HIGH STRENGTH NON-SHINK GROUT AFTER UNDERPINNING CONCRETE HAS SET. CONCRETE FOR UNDERPINNING SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITY SERVICES AND STRUCTURES SHALL BE LOCATED BY THE CONTRACTOR AND PROTECTED AT ALL TIMES.

CIRCLED NUMBERS IN PERMANENT FOUNDATION PLAN AND/OR SECTIONS OF UNDERPINNING SECTIONS. EXTENT OF EACH STAGE IS INDICATED BY SOLID LINES. ALL SECTIONS MARKED (1) SHALL BE UNDERPINNED FIRST (2)'S SECOND (3)'S THIRD AND (4)'S LAST. SHADES SHALL STAY IN PLACE UNTIL UNDERPINNING OF SECTIONS IS COMPLETE INCLUDING DRY-POURING THE FOOTING PROTECTING AND THE EXCAVATED AREA SHALL BE SAW CUT AT THIS STAGE. THE EXCAVATION OF EXISTING SLAB AND THE EARTH TO THE REQUIRED ELEVATION SHALL BE PERFORMED AFTER ALL THE REQUIRED UNDERPINNING HAS BEEN COMPLETED. THE EXCAVATED EARTH IS STORED ON SITE SHALL NOT FREIGHT FREE SURFACE DRAINAGE OR WATER DUE TO ROAD STORM.

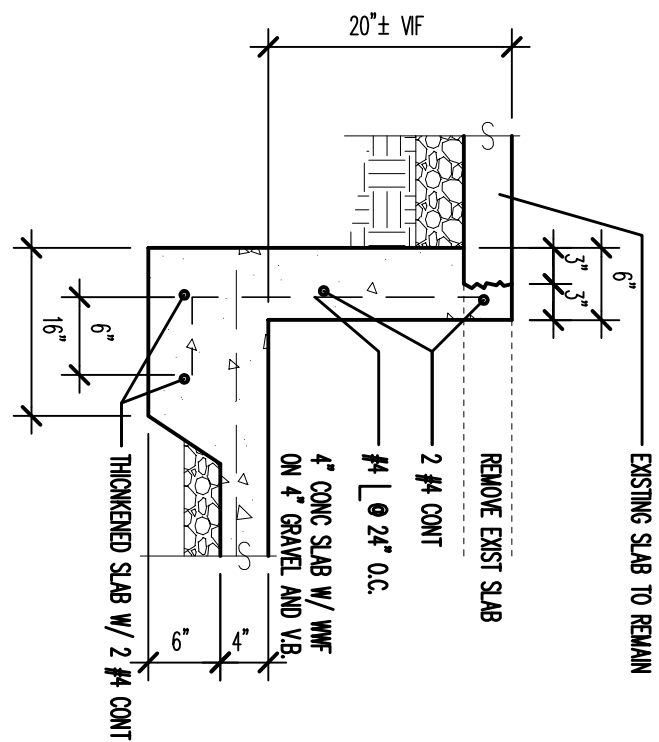
CONCRETE (CAST-IN-PLACE).

CONCRETE DESIGN AND DETAILING SHALL CONFORM TO THE REQUIREMENTS OF LATEST AIA MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE 3000 PSI. ALL EXISTING CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE REINFORCED WITH 4" DIA. STEEL BARS. 4" DIA. STEEL BARS SHALL BE PLACED OVER WATER DRAINAGE AND 4" DIA. STEEL BARS SHALL BE PLACED AT THE MID-DEPTH OF THE SLAB. 4" DIA. STEEL BARS SHALL BE PLACED OVER ONE FULL DEPTH AT DIPS AND DIPS.

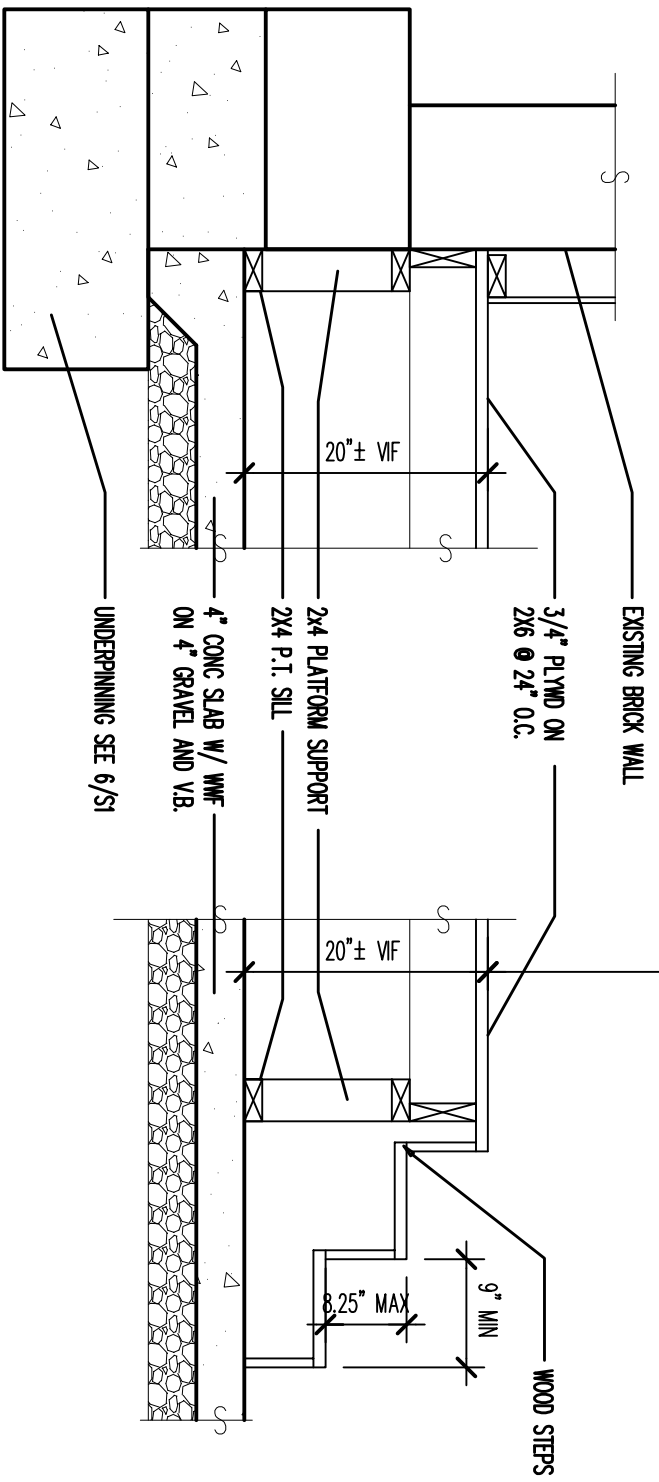
FOOTINGS:

A GEOTECHNICAL ENGINEERING REPORT HAS NOT BEEN PREPARED. ALLOWABLE SOIL BEARING CAPACITY UTILIZED FOR FOOTINGS IS 1000 PSF. ON NATURAL SOIL.

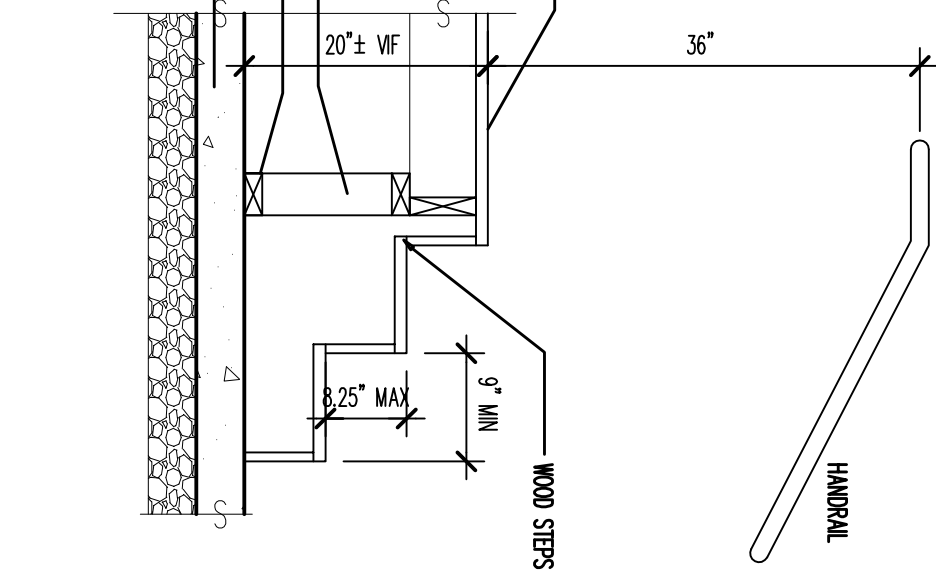
ALL FOUNDATION STRUCTURES SHALL BE INSPECTED AND APPROVED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER PRIOR TO BEING CONCRETE. FOOTINGS MAY BE LOWERED TO ACHIEVE BEARING CAPACITY, IF REQUIRED. SUBJECT TO REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER.



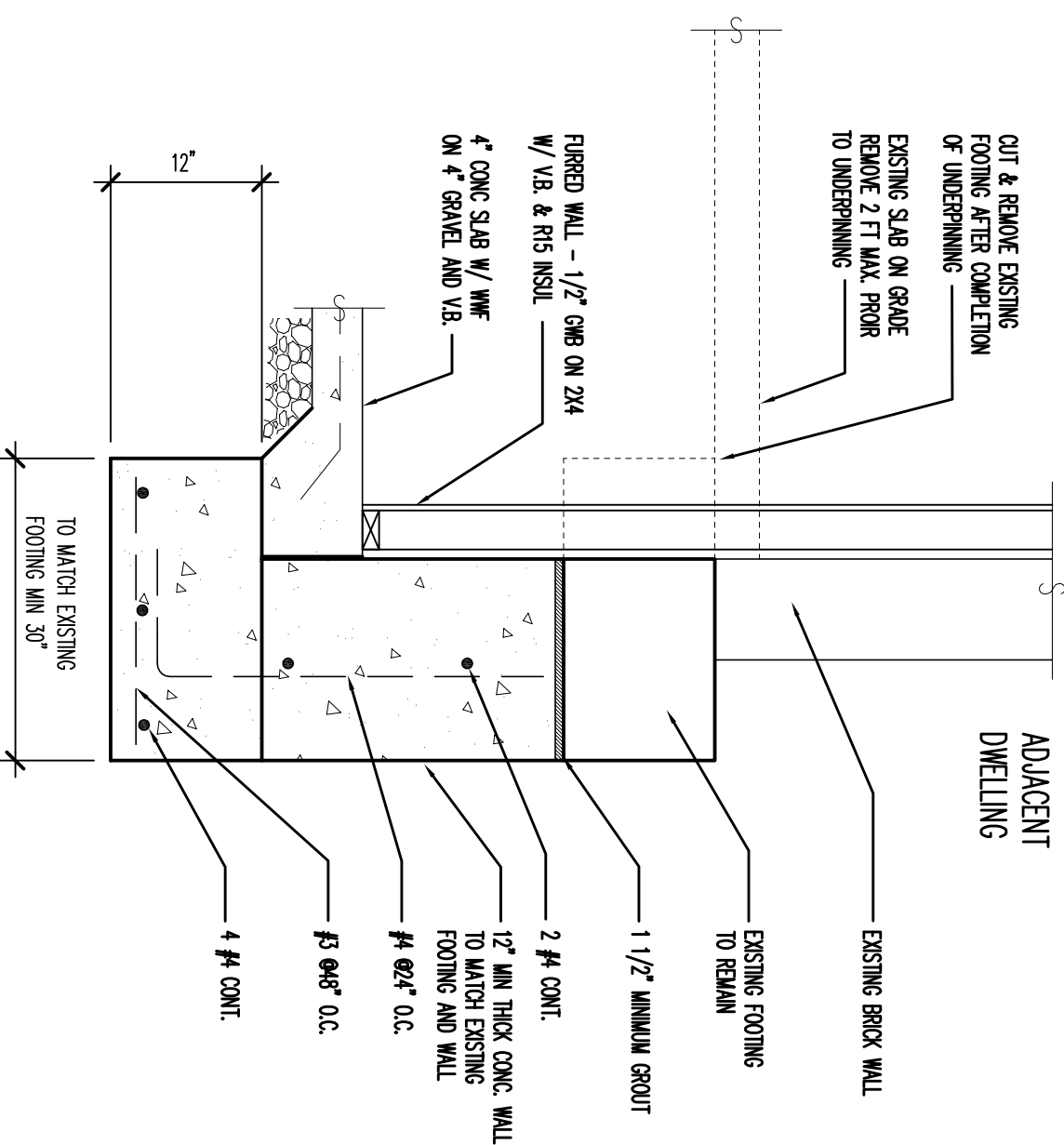
3 DETAIL
SCALE: 3/4"=1'-0"



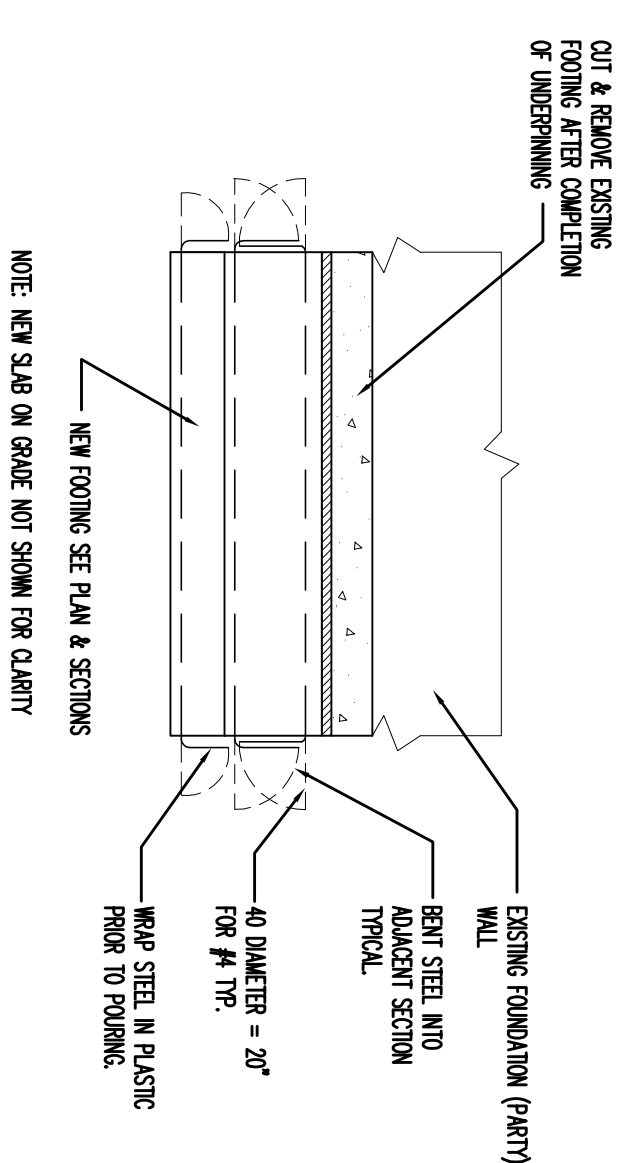
4 DETAIL
SCALE: 3/4"=1'-0"



5 DETAIL
SCALE: 3/4"=1'-0"



6 UNDERPINNING SECTION
SCALE: 3/4"=1'-0"



6 UNDERPINNING ELEVATION
SCALE: 1/2"=1'-0"

**GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
OFFICE OF THE ZONING ADMINISTRATOR**



July 7, 2015

MEMORANDUM

TO: Board of Zoning Adjustment

FROM: Matthew Le Grant *MLG*
Zoning Administrator *WAB*

SUBJECT: Proposed conversion to a single-family with an accessory apartment unit.
The property is located at:
2113 Bancroft Place, NW
Lot 0802 in Square 2531
Zoned R-3
DCRA File Job #B1400376
DCRA BZA Case #FY-14-24-Z

Review of plans for the subject property referenced above indicates that Board of Zoning Adjustment approval is required as follows:

1. Special Exception pursuant to § 320.3 for the conversion of an existing Single-Family row structure into a single-family with an accessory apartment in the R-3 zone. (§ 3104.1)

Note: All applicants must provide the Office of the Zoning Administrator with submission verification, in the form of a formal receipt from the BZA, within 30 days of the date of this memo.

1100 4th Street, SW 3rd Floor Washington, D.C. 20024
Phone: (202) 442-4576 Fax: (202) 442-4871



NOTIFICATION FORM

DATE: 10/7/13
OWNER: Francisco Ruiz
ADDRESS: 2113 Bancroft Place NW
Washington DC, 20008
TEL: 202-588-8043
E MAIL: _____

ADJACENT OWNER: GEORGE O KRIZEK
ADDRESS: 2111 BANCROFT PL NW
Washington Dc 20008
TEL: _____
E MAIL: _____

SCOPE OF WORK:

- ☐ 1. WORK ALONG PROPERTY LINE (NS)
☐ 2. ADDITION OF STRUCTURE ALONG PARTY LINE, (NS)
☐ 3. WORK AFFECTING PARTY WALL. (NS)

- ☒ 4. UNDERPINNING OF FOUNDATION (S)
☐ 5. ADDITION OF STRUCTURE ON PARTY WALL (S)

OTHER, SPECIFY _____

(NS) NON-STRUCTURAL

(S) STRUCTURAL

Dear George

My name is Francisco Ruiz (I am/we are) the owner of the property located at 2113 Bancroft Place NW Washington DC 20008 which adjoins your property. (I am/We) are proposing to carrying out the job indicated in the scope of work above which may have an impact on your building or structure.

The District of Columbia Building Code, DCMR 12 A (2008), Section 3307.2 further requires that (I/we) notify you. This notification together with copies of all the documents filed with the District for the necessary permit for the proposed work shall be delivered to the adjoining property owner, and a copy submitted to the code official, not less than thirty (30) days prior to the proposed starting date. If the work is non-structural, notification shall not be less than ten (10) business days prior to the scheduled starting date of the work.

Consequently, (I am/we are) hereby providing you (my/our) written 30 or 10 days notice, of the proposed work specified above and (I am/we are) also requesting your permission to enter your property, to perform the related work, at my expense, necessary to preserve and protect your building from damage, disruption or personal injury.

The Building Code also requires that you provide written permission or denial to this request.

Please note, if the necessary permission is not granted, the Building Code, Section 3307.2 also provides that it shall then be your duty and at your expense to preserve and protect your building and property. In like manner you are hereby granted permission to enter my property at reasonable times, if necessary, to take cognizance of the situation.

Please provide your response by signing the appropriate line below which will be accepted as your written permission or denial. Your response must be provided not more than 30 days of receipt of this letter.

If you have any questions or concerns, please do not hesitate to contact me from the information above.

Sincerely,

Signature of Owner _____

Adjoining Owner's Permission Granted X

Denied _____

Signature _____

DATE _____



10/7/13

NOTIFICATION FORM

DATE: _____

OWNER: Francisco Ruiz

ADJACENT OWNER: VIRGINIA KIRKS

ADDRESS: 2113 Bancroft Place NW

ADDRESS: 2115 BANCROFT PL NW

Washington DC, 20008

Washington Dc 20008

TEL: 202-588-8043

TEL: _____

E MAIL: _____

E MAIL: _____

SCOPE OF WORK:

- ☐ 1. WORK ALONG PROPERTY LINE (NS)
☐ 2. ADDITION OF STRUCTURE ALONG PARTY LINE, (NS)
☐ 3. WORK AFFECTING PARTY WALL. (NS)

- ☒ 4. UNDERPINNING OF FOUNDATION (S)
☐ 5. ADDITION OF STRUCTURE ON PARTY WALL (S)

OTHER, SPECIFY _____

(NS) NON-STRUCTURAL

(S) STRUCTURAL

Dear Virginia

My name is Francisco Ruiz (I am/we are) the owner of the property located at 2113 Bancroft Place NW Washington DC 20008 which adjoins your property. (I am/We) are proposing to carrying out the job indicated in the scope of work above which may have an impact on your building or structure.

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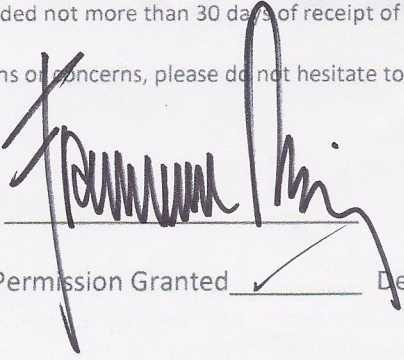
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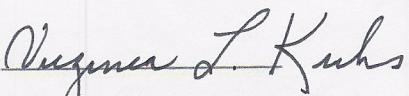
Please provide your response by signing the appropriate line below which will be accepted as your written permission or denial. Your response must be provided not more than 30 days of receipt of this letter.

If you have any questions or concerns, please do not hesitate to contact me from the information above.

Sincerely,

Signature of Owner 

Adjoining Owner's Permission Granted ☒ Denied ☐

Signature 

DATE October 20, 2013