

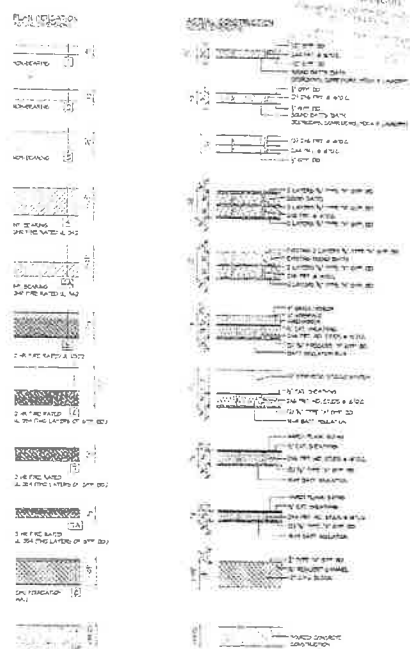
CONDOMINIUM DEVELOPMENT PROPOSAL - PHASE I

2112 & 2114 3RD STREET NE WASHINGTON D.C.

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PARTITION TYPES (NTS)



GENERAL NOTES

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL UTILITIES AND SERVICES TO THE PROJECT.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL UTILITIES AND SERVICES TO THE PROJECT.
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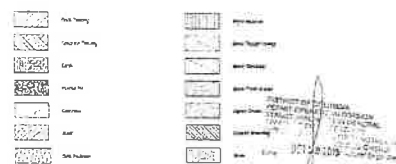
PROJECT TEAM

ARCHITECT
S&B CONSULTANTS, INC.
1808 WASHINGTON AVENUE
DOWNTOWN, MD 20004
CONTACT: TASHA SHAW, AIA
TASHA@S&B.COM
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CIVIL ENGINEER
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FAX: 202-692-6269

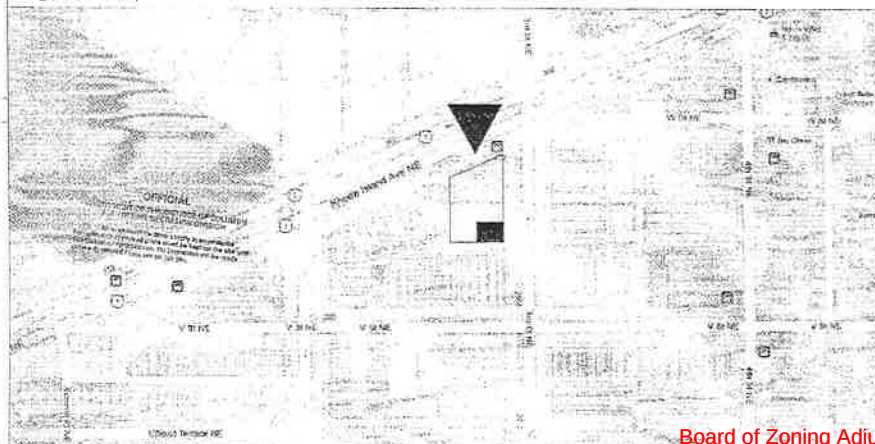
WATER AL SYMBOLS



GRAPHIC SYMBOLS



VICINITY MAP



CODE ANALYSIS

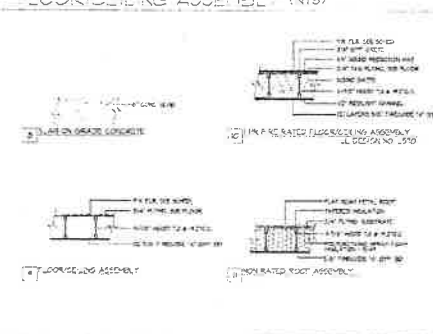
BUILDING DATA

LOCATION: 2112 & 2114 3RD STREET NE
SECTION: 100
SUBSECTION: 100
ZONING: R-1
DISTRICT: 100
CITY: WASHINGTON, D.C.
STATE: DISTRICT OF COLUMBIA
COUNTRY: UNITED STATES OF AMERICA

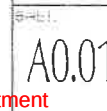
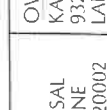
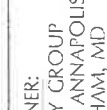
ZONING DATA

LOCATION: 2112 & 2114 3RD STREET NE
SECTION: 100
SUBSECTION: 100
ZONING: R-1
DISTRICT: 100
CITY: WASHINGTON, D.C.
STATE: DISTRICT OF COLUMBIA
COUNTRY: UNITED STATES OF AMERICA

FLOOR/CEILING ASSEMBLY (NTS)



Board of Zoning Adjustment
District of Columbia
CASE NO. 19101
EXHIBIT NO. 5C



UTILITY DISCLAIMER

THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND FIELD DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE THE SAME AS THE UTILITIES IN THE AREA. THE SURVEYOR HAS CONDUCTED THE SURVEY TO THE BEST OF HIS ABILITY AND HAS NOT CONDUCTED A FULL-SCALE UTILITY LOCATING SURVEY. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS NOT CONDUCTED A FULL-SCALE UTILITY LOCATING SURVEY. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS NOT CONDUCTED A FULL-SCALE UTILITY LOCATING SURVEY.

PUBLIC ALLEY

PUBLIC ALLEY

LOT 40

SCALE: 1" = 10'



VICINITY MAP

- GENERAL NOTES:
1. TOTAL AREA OF LOTS 49 AND 48 BY RECORD IS 3,590.0 SQ. FT.
 2. APPROXIMATE AREA OF BUILDING FOOTPRINT IS 500 SQ. FT.
 3. FLOOD ZONE INFORMATION TO: NATIONAL FLOOD INSURANCE FLOOD INSURANCE MAP PANEL NO. 110001 (NO. 11)
 4. PROPERTY IS ZONED R-4, A RESIDENTIAL ZONE AS PER CURRENT ANNEAUE ZONING.
 5. TOTAL NUMBER OF BUILDING UNITS (IN SITE) = 0
 6. PROPERTY MEASURED DIMENSIONS ARE TO NEAREST 1/4" (AS SHOWN BY THE SURVEY OF THE SURROUNDING LOT) AND TO 1/4" (AS SHOWN BY THE SURVEY OF THE SURROUNDING LOT).
 7. THERE IS NO OBSERVABLE EVIDENCE OF CONVICTIONS ON THIS PROPERTY.



UTILITY COMPANIES

AMERICAN ELECTRIC POWER CO.
ALL 3RD STREET, N.E.
WASHINGTON, D.C. 20002
(202) 477-8811

C&D SERVICE
WASHINGTON DC COMPANY
1000 1ST STREET, N.E.
WASHINGTON, D.C. 20002
(202) 477-8811

UTILITY SERVICE
1000 1ST STREET, N.E.
WASHINGTON, D.C. 20002
(202) 477-8811

WATER & SEWER SERVICE
1000 1ST STREET, N.E.
WASHINGTON, D.C. 20002
(202) 477-8811

LOT 16

LOT 15

LOT 14

LOT 13

LOT 12

LOT 11

VACANT LOTS

LOT 5

LOT 6

LOT 7

LOT 8

LOT 9

LOT 10

LOT 11

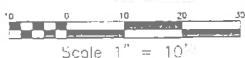
LOT 12

LOT 13

LOT 14

LOT 15

3RD STREET, N.E.
90' R/W



Scale 1" = 10'

LEGEND

- ① PITCH MANHOLE
- ② SINK MANHOLE
- ③ TELEPHONE MANHOLE
- ④ WATER MANHOLE
- ⑤ FUEL MANHOLE
- ⑥ GAS VALVE
- ⑦ GAS METER
- ⑧ 1/2" 1/2" POL
- ⑨ UTILITY POLE
- ⑩ WATER METER
- ⑪ RAIN VALVE
- ⑫ MONITORING WELL
- ⑬ 1/2" 1/2" LINE
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AAH CONSULTANTS LLC
4200 FORBES BLVD, SUITE 203
LANHAM, MARYLAND 20706
(301) 428-1750 (P) 428-1757 (FAX)

ENGINEERS
SURVEYORS
CONSULTANTS

2112-2114 3RD STREET, N.E.

EXISTING CONDITION
LOTS 49 & 48 SQUARE 3561
WASHINGTON, DC.

DATE 1/06/2012
SHEET 1 OF 1
JOB NO. 13-015

THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER WANTS TO WARN THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATIONS INDICATED ALTHOUGH IN MOST CASES THEY ARE LOCATED AN APPROXIMATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE OR FOR ANY OTHER PURPOSE.

```

# 1. Import the necessary libraries
import pandas as pd
import numpy as np
import matplotlib.pyplot as plt
import seaborn as sns

# 2. Load the dataset
df = pd.read_csv('data.csv')

# 3. Explore the data
df.head()
df.info()
df.describe()

# 4. Data cleaning
df.dropna(inplace=True)
df[df['age'] < 0] = df[df['age'] < 0].fillna(df['age'].max())

# 5. Data visualization
sns.pairplot(df)
plt.show()

# 6. Model building
from sklearn.linear_model import LinearRegression
model = LinearRegression()
model.fit(df[['age', 'experience'], 'salary'])

# 7. Model evaluation
r_squared = model.score(df[['age', 'experience']], df['salary'])
print(r_squared)

```

① 21614 VANDER
 ② SEWER VALVE
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NOTE: TOTAL AREA OF LIMIT OF DISTURBANCE IS 4,980.0 SF LESS THAN 5,000.0 SF FOR THIS PROJECT. THE STORMWATER MANAGEMENT PLAN IS NOT REQUIRED.

4200 FORBES BLVD, SUITE 203
LANTHAM, MARYLAND 20706
(301) 420-1750(PH) 420-1757 (FAX)

ENGINEERS
SURVEYORS
CONSULTANTS

2112-2114 3RD STREET, N.E.

LOTS 49 & 48 SQUARE 3561
WASHINGTON, DC.

DATE	05/21/2013
SHEET	25
JOB No.	13-015

[illegible]

09-23-2012

UTILITY DISCLAIMER

THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND CHARTS DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN CORRESPOND TO THE ACTUAL UTILITIES IN THE AREA. EITHER IN SERVICE OR IN LOCATION. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR THE UNDERGROUND UTILITIES.

PUBLIC ALLEY

PUBLIC ALLEY

LOT 49
20' x 100' x 100' x 100'

SCALE 1" = 10'



EROSION AND SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION ON ANY PORTION OF THE PROJECT. THE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED AFTER THE PROJECT IS COMPLETED.
2. ALL SLOPES SHALL BE KEPT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
3. ALL GUTTER PAVES AND STORM DRAINAGE SHALL BE KEPT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ANY SLOPES EXPOSED BY STORM DRAINAGE SHALL BE COVERED TO PREVENT EROSION.
5. ANY STOCKPILING OF MATERIALS ON THE SITE SHALL BE COVERED WITHIN 30 DAYS AFTER ITS DELIVERY AND FOR THE DURATION OF THE PROJECT.
6. CONSTRUCTION IS NOT TO START ON SIGNIFICANTLY UNSTABLE AREAS UNLESS THE AREAS HAVE BEEN STABILIZED.

CONSTRUCTION NARRATIVE

1. THIS IS THE CONSTRUCTION PROJECT OF LOTS 49 AND 48 LOCATED AT 2112 - 2114 3RD STREET, N.E. IN THE DISTRICT OF COLUMBIA.
2. THE PROJECT'S TOTAL AREA IS 35,000 SQUARE FEET.
3. ALL EXCAVATION MEASURES SHALL BE IN PLACE PRIOR TO EXCAVATION.
4. EXCAVATION OF ALL NEW UTILITIES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE WASHINGTON AREA SEWER AUTHORITY.
5. TOTAL EXCAVATED AREA = 3,000 SQ. YD. OF EXCAVATION = 3,000 SQ. YD. OF FILL = 3,000 CY.

SEQUENCE OF CONSTRUCTION

1. CLEAR TO EXCAVATE TO ANY DEPTH OR DEPTH. INSTALLATION OF SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION FROM THE SITE.
2. THE LIMITS OF EXCAVATION SHALL BE MAINTAINED PRIOR TO EXCAVATION, INSTALLATION OF SEDIMENT CONTROL MEASURES, EXCAVATION, AND/OR OTHER WORK EXISTING.
3. EXCAVATE AND DRAIN THE EXISTING SITE FOR INSTALLATION OF EXISTING UTILITIES.
4. INSTALL SEDIMENT CONTROL MEASURES AT THE APPROVED PLAN.
5. EXCAVATE THE EXISTING UTILITIES AND INSTALL THE NEW UTILITIES WITHIN THE EXISTING EXCAVATION.
6. EXCAVATE THE EXISTING UTILITIES AND INSTALL THE NEW UTILITIES WITHIN THE EXISTING EXCAVATION.
7. INSTALL ALL NEW UTILITIES AND CONDUITS THROUGH EXISTING UTILITIES.
8. EXCAVATE THE EXISTING UTILITIES AND INSTALL THE NEW UTILITIES WITHIN THE EXISTING EXCAVATION.
9. EXCAVATE THE EXISTING UTILITIES AND INSTALL THE NEW UTILITIES WITHIN THE EXISTING EXCAVATION.
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16. EXCAVATE THE EXISTING UTILITIES AND INSTALL THE NEW UTILITIES WITHIN THE EXISTING EXCAVATION.
17. EXCAVATE THE EXISTING UTILITIES AND INSTALL THE NEW UTILITIES WITHIN THE EXISTING EXCAVATION.

CERTIFICATION OF THE QUANTITIES

THESE QUANTITIES HAVE BEEN ESTIMATED BY THE SURVEYOR AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE QUANTITIES HAVE BEEN CHECKED BY THE SURVEYOR AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE QUANTITIES HAVE BEEN CHECKED BY THE SURVEYOR AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

- UTILITY CONDITIONS**
- 1. EXISTING ELECTRIC POWER CO.
 - 2. EXISTING WATER & SEWER
 - 3. EXISTING GAS
 - 4. EXISTING TELEPHONE
 - 5. EXISTING CABLE
 - 6. EXISTING FIBER
 - 7. EXISTING RAIL
 - 8. EXISTING HIGHWAY
 - 9. EXISTING AIRPORT
 - 10. EXISTING MARINA
 - 11. EXISTING PORT
 - 12. EXISTING CANAL
 - 13. EXISTING LAKE
 - 14. EXISTING RIVER
 - 15. EXISTING OCEAN
 - 16. EXISTING MOUNTAIN
 - 17. EXISTING HILL
 - 18. EXISTING VALLEY
 - 19. EXISTING PLAIN
 - 20. EXISTING DESERT
 - 21. EXISTING TUNDRA
 - 22. EXISTING STEPPE
 - 23. EXISTING SAVANNAH
 - 24. EXISTING PRAIRIE
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 - 99. EXISTING VALLEY
 - 100. EXISTING PLAIN

- LEGEND**
- 1. EXISTING ELECTRIC POWER CO.
 - 2. EXISTING WATER & SEWER
 - 3. EXISTING GAS
 - 4. EXISTING TELEPHONE
 - 5. EXISTING CABLE
 - 6. EXISTING FIBER
 - 7. EXISTING RAIL
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 - 28. EXISTING PLAIN
 - 29. EXISTING DESERT
 - 30. EXISTING TUNDRA
 - 31. EXISTING STEPPE
 - 32. EXISTING SAVANNAH
 - 33. EXISTING PRAIRIE
 - 34. EXISTING MOUNTAIN
 - 35. EXISTING HILL
 - 36. EXISTING VALLEY
 - 37. EXISTING PLAIN
 - 38. EXISTING DESERT
 - 39. EXISTING TUNDRA
 - 40. EXISTING STEPPE
 - 41. EXISTING SAVANNAH
 - 42. EXISTING PRAIRIE
 - 43. EXISTING MOUNTAIN
 - 44. EXISTING HILL
 - 45. EXISTING VALLEY
 - 46. EXISTING PLAIN
 - 47. EXISTING DESERT
 - 48. EXISTING TUNDRA
 - 49. EXISTING STEPPE
 - 50. EXISTING SAVANNAH
 - 51. EXISTING PRAIRIE
 - 52. EXISTING MOUNTAIN
 - 53. EXISTING HILL
 - 54. EXISTING VALLEY
 - 55. EXISTING PLAIN
 - 56. EXISTING DESERT
 - 57. EXISTING TUNDRA
 - 58. EXISTING STEPPE
 - 59. EXISTING SAVANNAH
 - 60. EXISTING PRAIRIE
 - 61. EXISTING MOUNTAIN
 - 62. EXISTING HILL
 - 63. EXISTING VALLEY
 - 64. EXISTING PLAIN
 - 65. EXISTING DESERT
 - 66. EXISTING TUNDRA
 - 67. EXISTING STEPPE
 - 68. EXISTING SAVANNAH
 - 69. EXISTING PRAIRIE
 - 70. EXISTING MOUNTAIN
 - 71. EXISTING HILL
 - 72. EXISTING VALLEY
 - 73. EXISTING PLAIN
 - 74. EXISTING DESERT
 - 75. EXISTING TUNDRA
 - 76. EXISTING STEPPE
 - 77. EXISTING SAVANNAH
 - 78. EXISTING PRAIRIE
 - 79. EXISTING MOUNTAIN
 - 80. EXISTING HILL
 - 81. EXISTING VALLEY
 - 82. EXISTING PLAIN
 - 83. EXISTING DESERT
 - 84. EXISTING TUNDRA
 - 85. EXISTING STEPPE
 - 86. EXISTING SAVANNAH
 - 87. EXISTING PRAIRIE
 - 88. EXISTING MOUNTAIN
 - 89. EXISTING HILL
 - 90. EXISTING VALLEY
 - 91. EXISTING PLAIN
 - 92. EXISTING DESERT
 - 93. EXISTING TUNDRA
 - 94. EXISTING STEPPE
 - 95. EXISTING SAVANNAH
 - 96. EXISTING PRAIRIE
 - 97. EXISTING MOUNTAIN
 - 98. EXISTING HILL
 - 99. EXISTING VALLEY
 - 100. EXISTING PLAIN

3RD STREET, N.E.
90' R/W

Scale 1" = 10'

NO.	DESCRIPTION	NAME	DATE
1	REVISIONS		

DRAWN	F.K.
DESIGNED	
CHECKED	A.H.
SCALE	1" = 10'

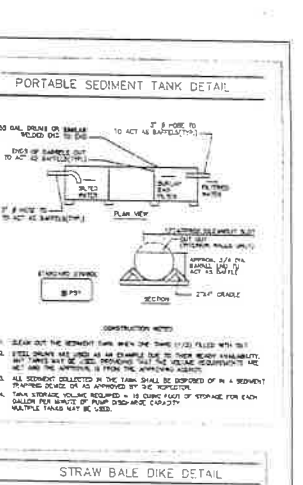
AAH CONSULTANTS LLC
4200 FORBES BLVD, SUITE 203
LANHAM, MARYLAND 20706
(301) 429-1750 (PH) 429-1757 (FAX)

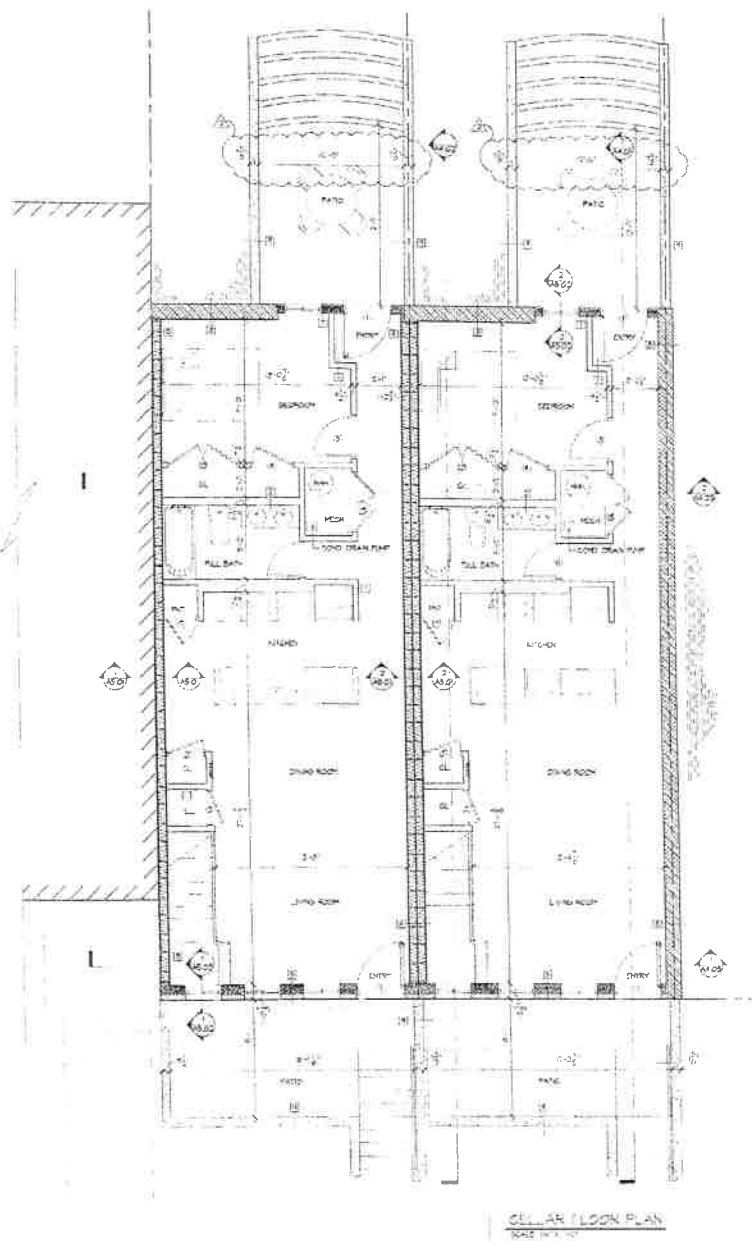
ENGINEERS
SURVEYORS
CONSULTANTS

2112-2114 3RD STREET, N.E.

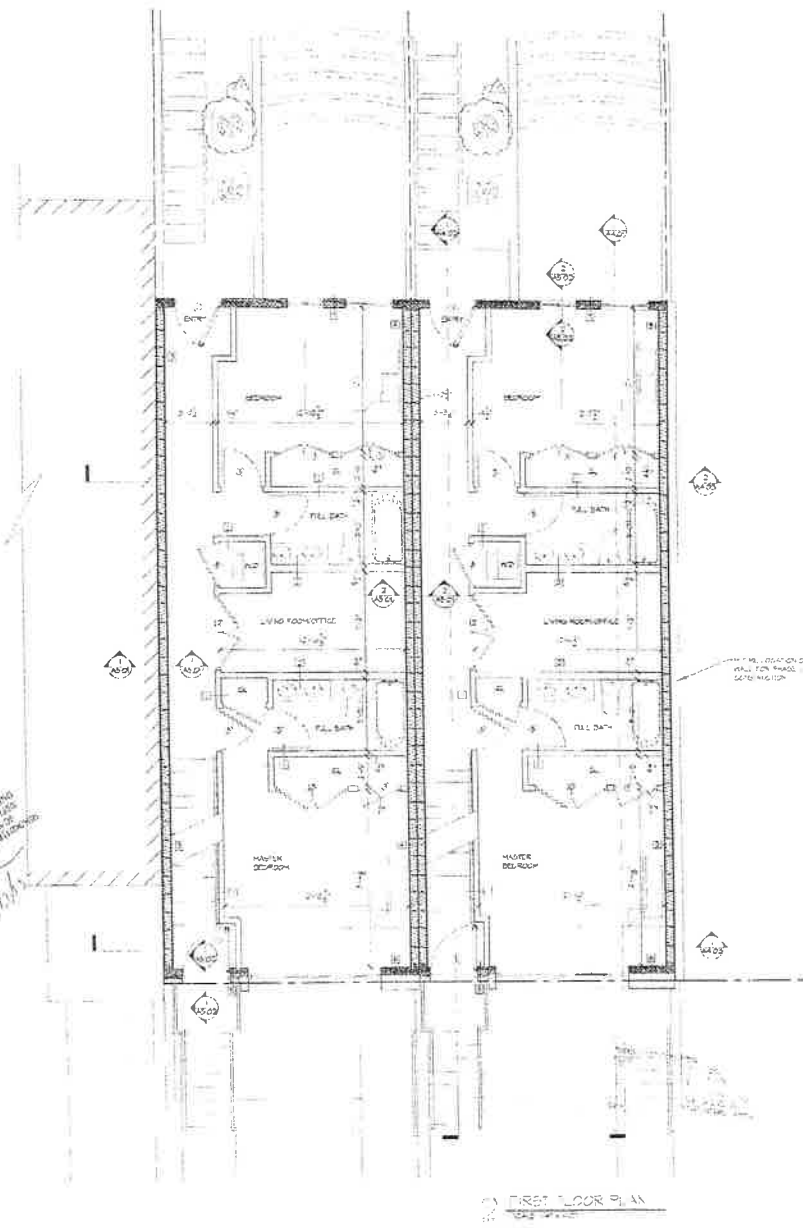
SEDIMENT CONTROL PLAN - PHASE I
LOTS 49 & 48 SQUARE 3561
WASHINGTON, DC.

DATE	05/11/2013
SHEET	1 OF 3
JOB No	13-015

[illegible]



THESE ARE THE PROPOSED
ADDITIONAL PROPOSED
WITH INDICATIONS OF
EXISTING REGULATORY LINES

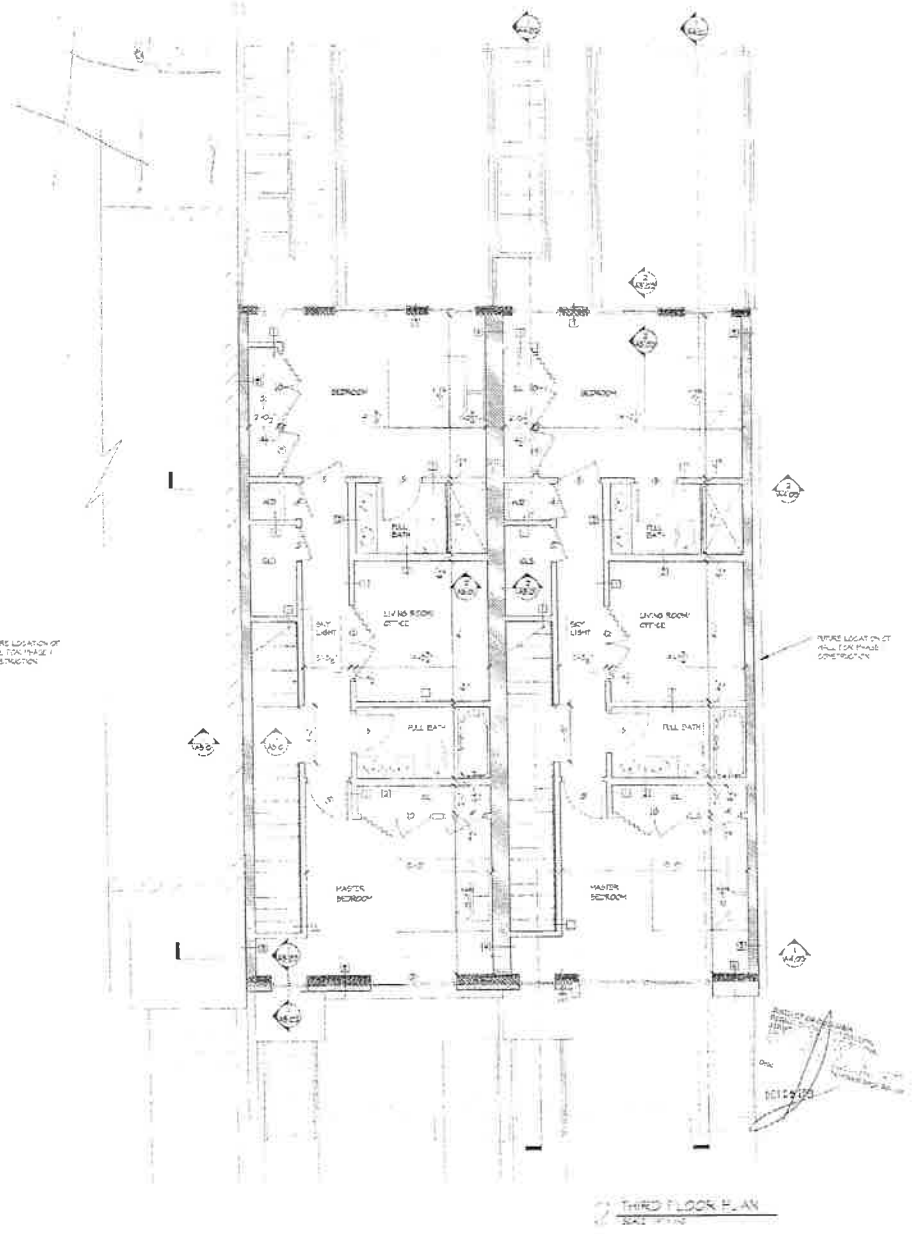
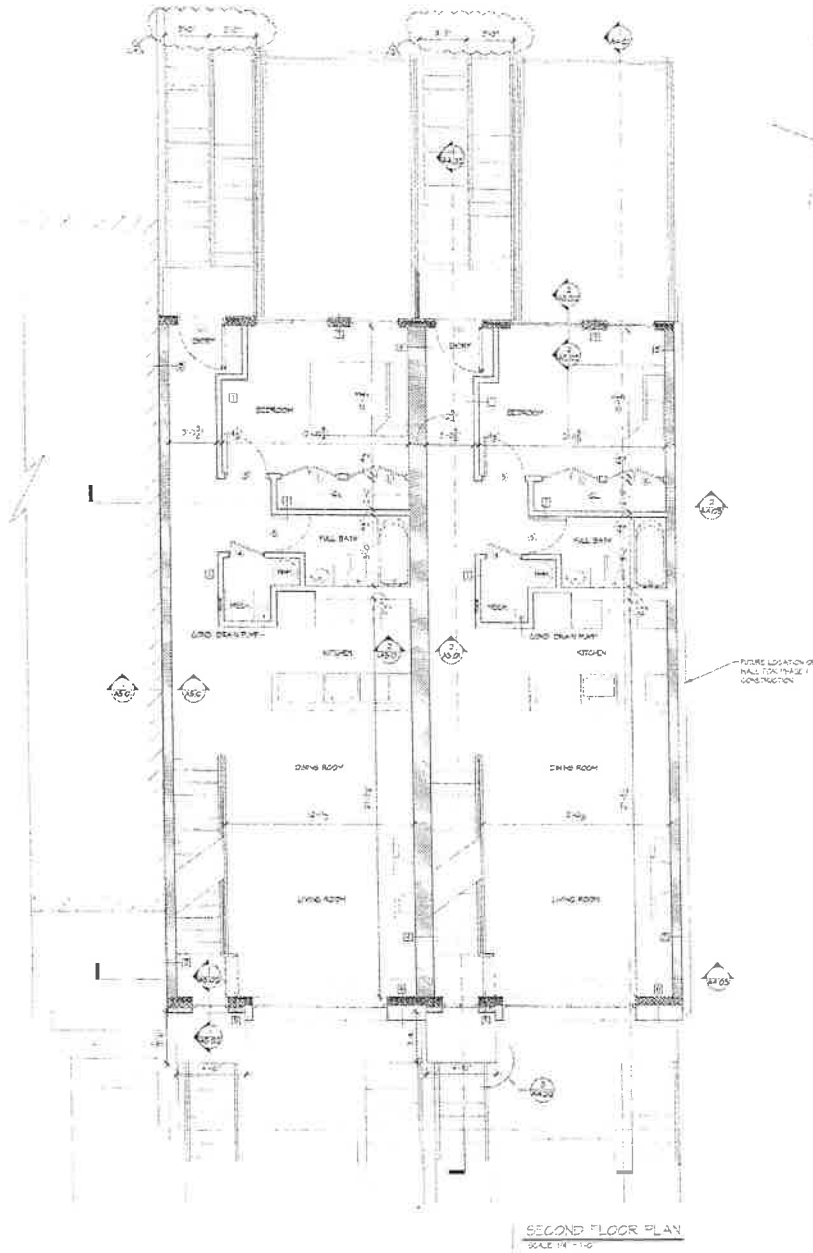


OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

CELLAR & 1ST
FLOOR PLAN

A1.00



DATE	10/1/88
BY	J. H. HARRIS
CHECKED BY	J. H. HARRIS
APPROVED BY	J. H. HARRIS

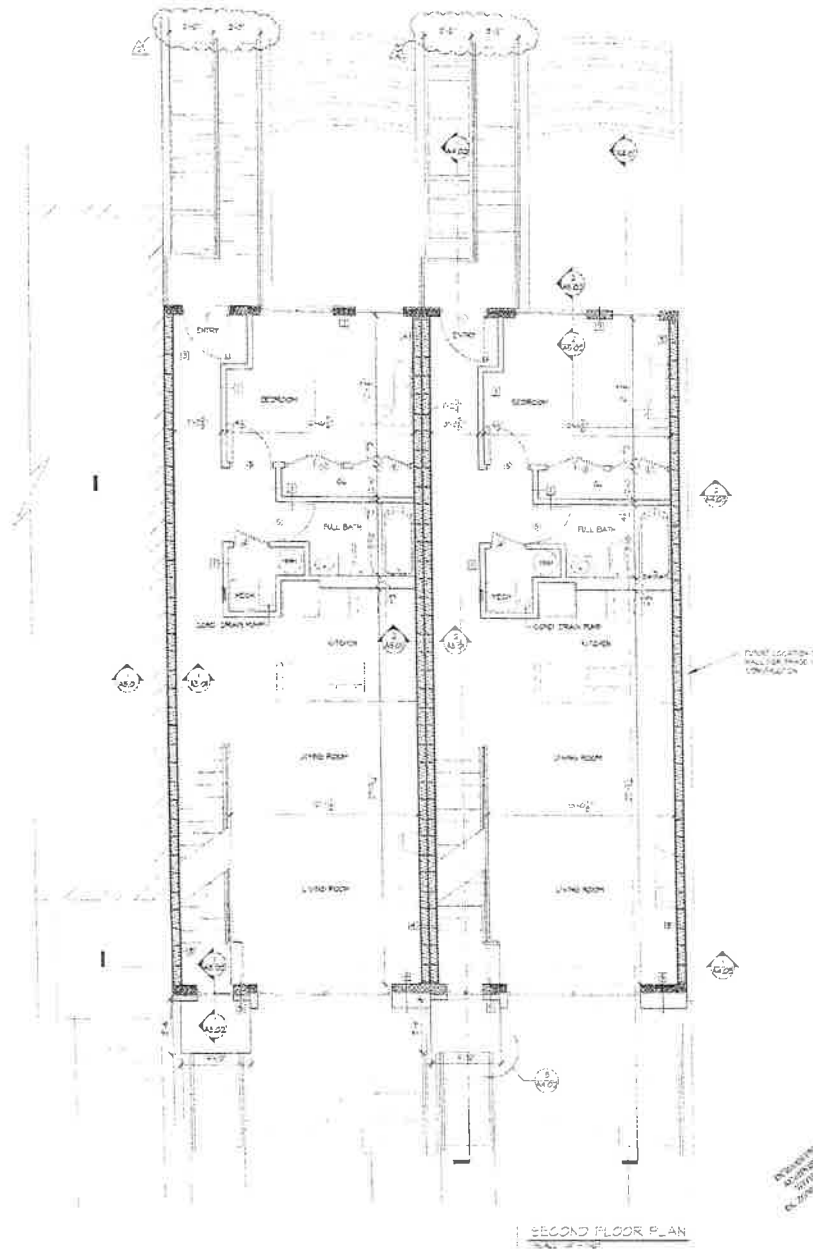
OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE 1
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

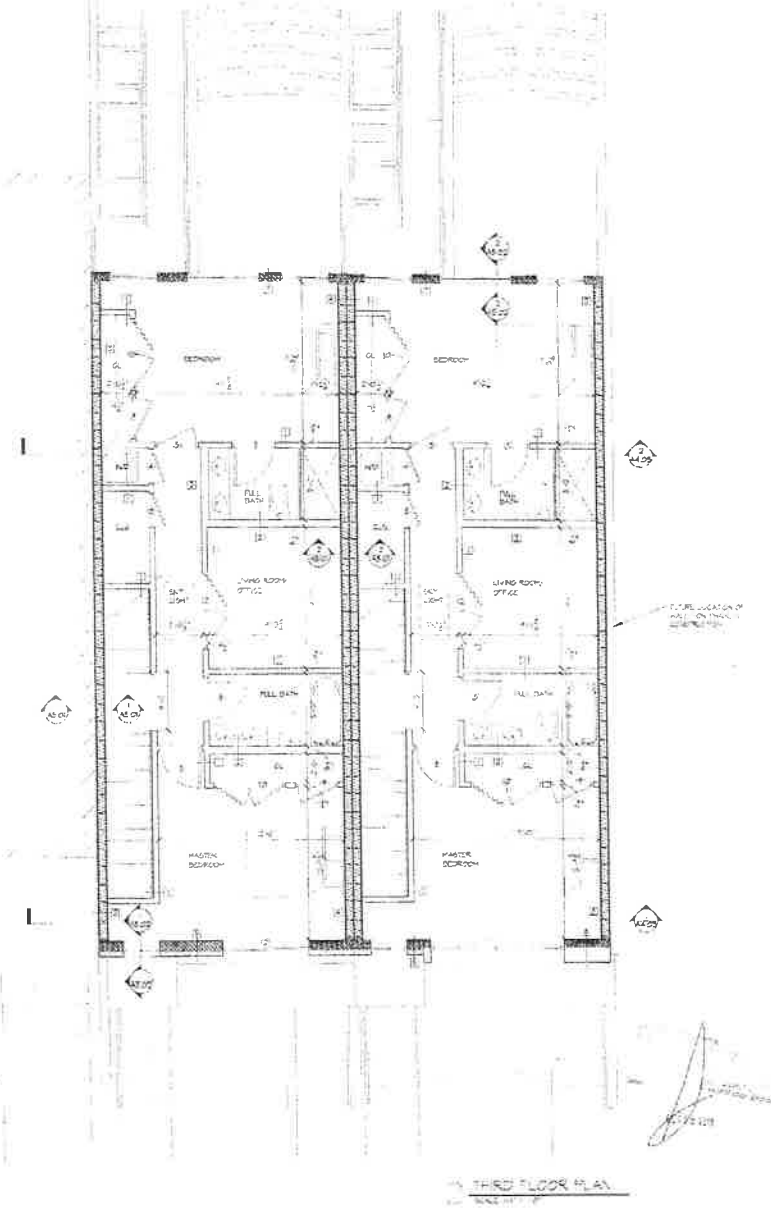
NO. OF SHEETS	10
SHEET NO.	10
DATE	10/1/88
BY	J. H. HARRIS
CHECKED BY	J. H. HARRIS
APPROVED BY	J. H. HARRIS

SECOND & THIRD
FLOOR PLANS

A1.01



APPROVED FOR THE PROJECT
 ARCHITECTURAL & ENGINEERING
 10/1/2007
 BY: [Signature]



DATE	10/1/2007
PROJECT	CONDOMINIUM PROPOSAL
NO.	15597
EXPIRATION DATE	10/1/2010

OWNER:
 KADY GROUP
 9324 ANNAPOLIS RD.
 LANHAM, MD

PROJECT: PHASE I
 CONDOMINIUM PROPOSAL
 2112 & 2114 3RD STREET NE
 N.E. WASHINGTON D.C. 20002

DATE	10/1/2007
PROJECT	CONDOMINIUM PROPOSAL
NO.	15597
EXPIRATION DATE	10/1/2010

SECTION: 1. THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

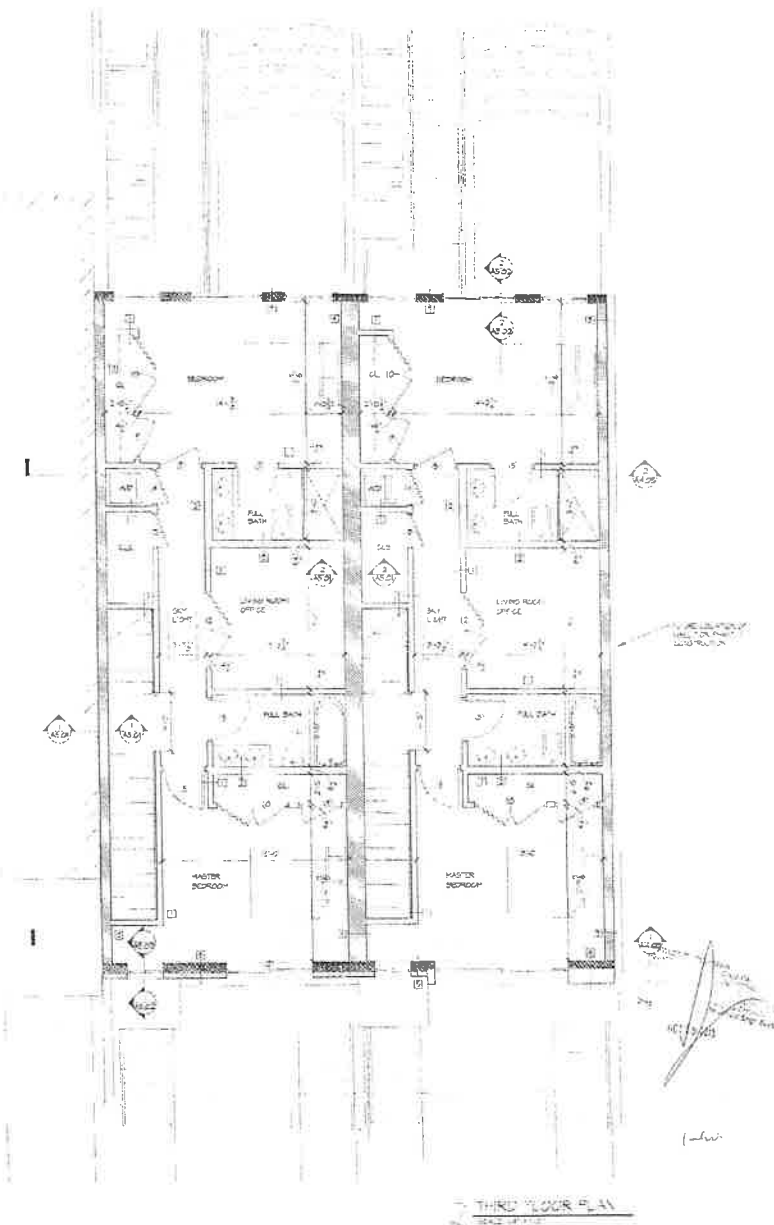
A1.01



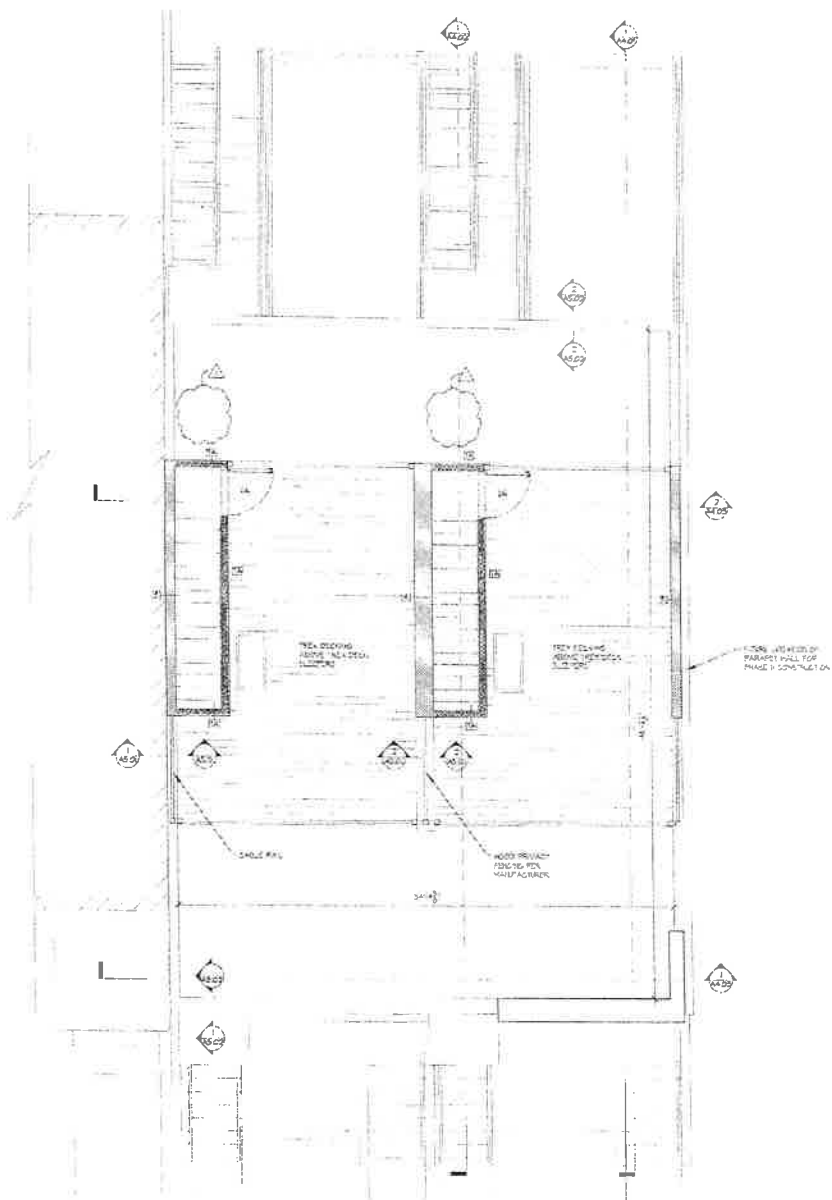
PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

SECOND & THIRD
FLOOR PLANS

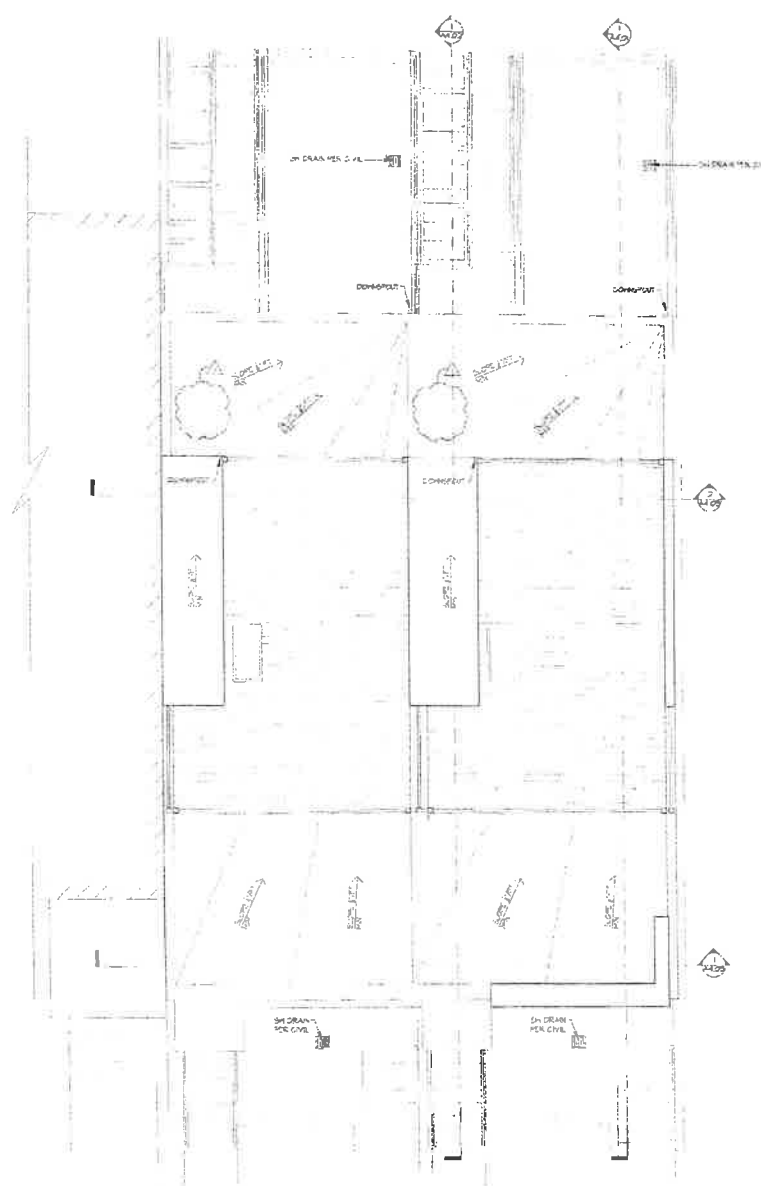
A1.01



THIRD FLOOR PLAN



ROOF TERRACE PLAN
SCALE: 1/4" = 1'-0"



ROOF DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

ROOF TERRACE PLAN
1. DRAINAGE PLAN

15.1.1.1

A1.02



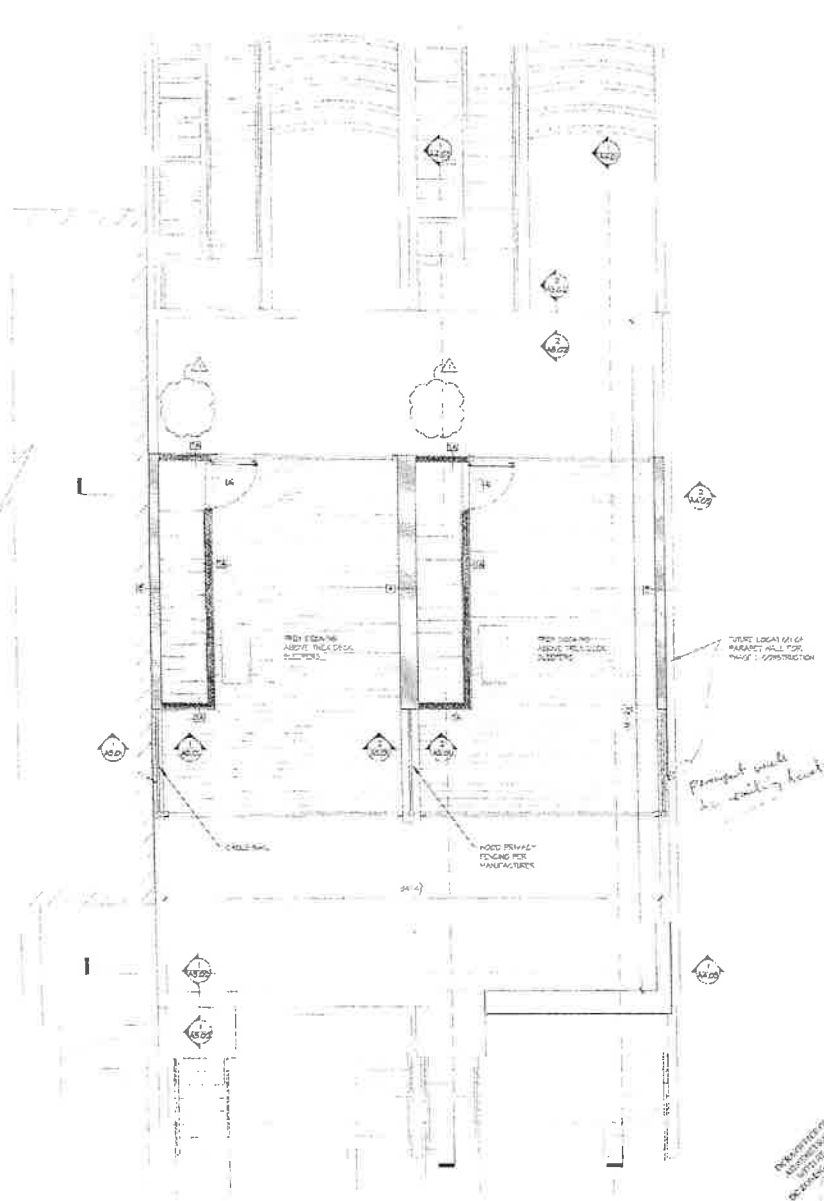
DATE	DESCRIPTION

OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

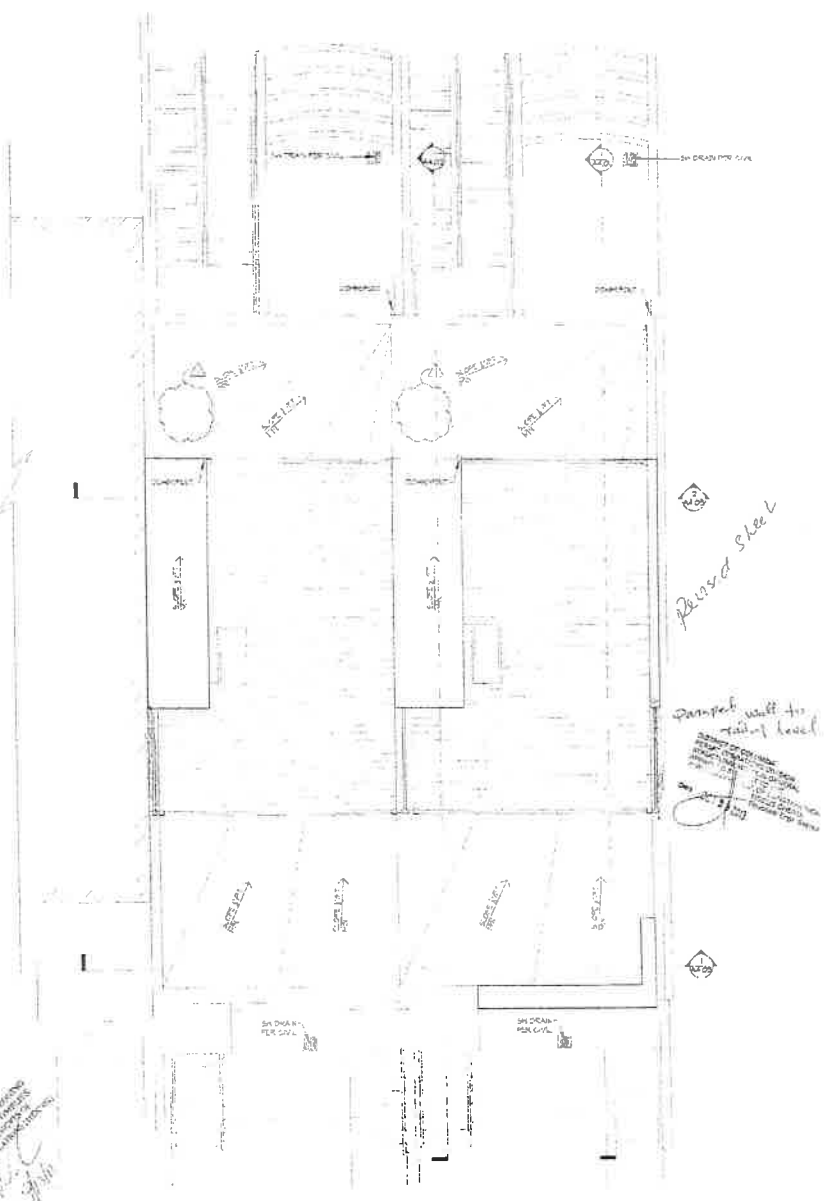
PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

DATE	DESCRIPTION

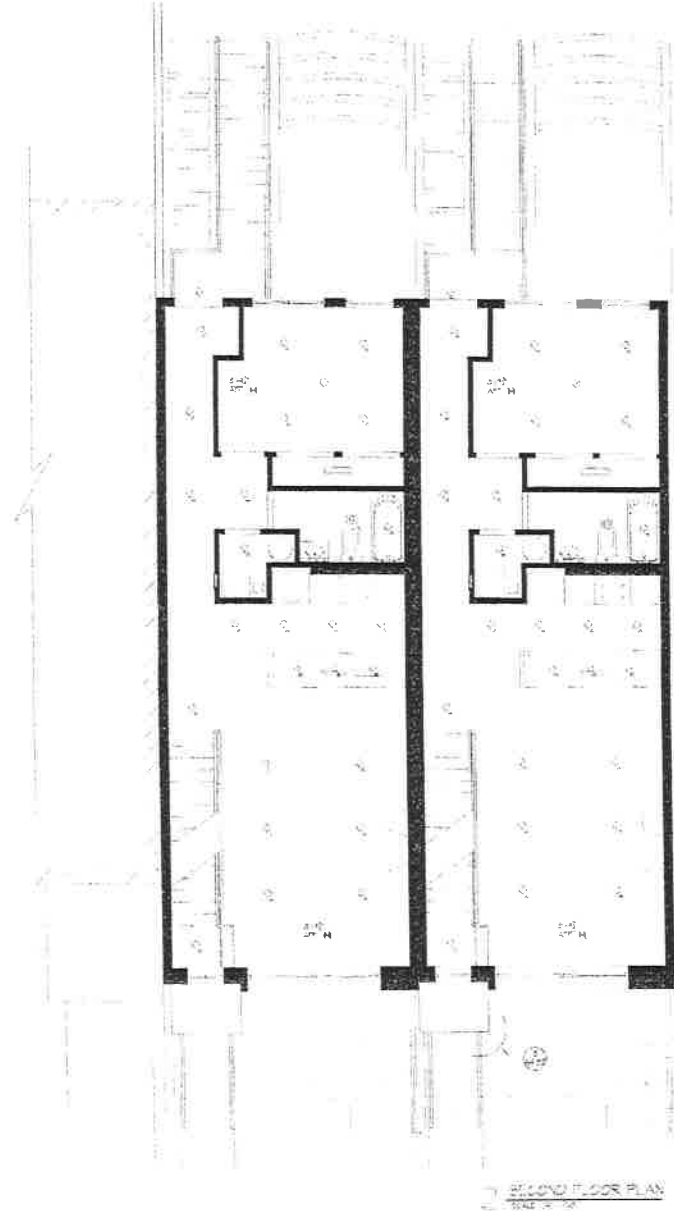
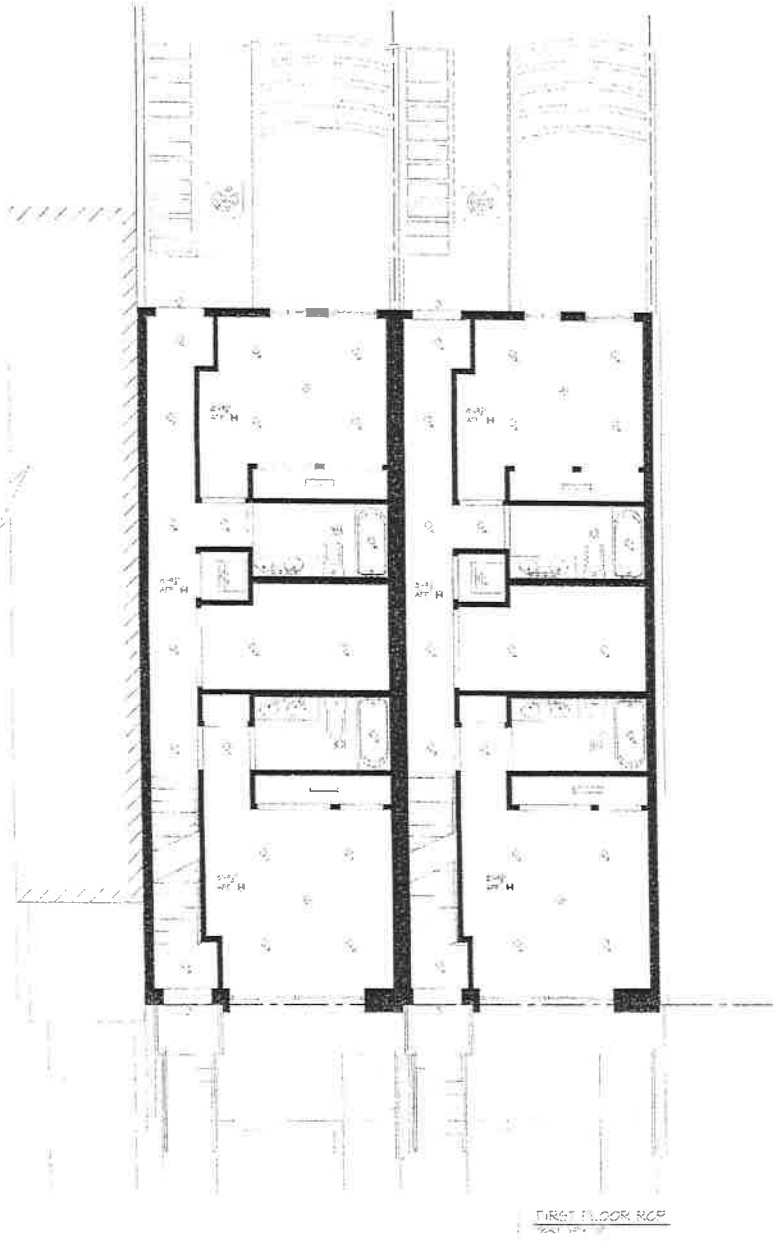
A1.02



ROOF TERRACE PLAN
SCALE 1/8\"/>



ROOF DRAINAGE PLAN
SCALE 1/8\"/>



OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE 1
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

DATE: 11/11/11
DRAWN BY: J. C. A.
CHECKED BY: J. C. A.
APPROVED BY: J. C. A.
PROJECT: PHASE 1
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

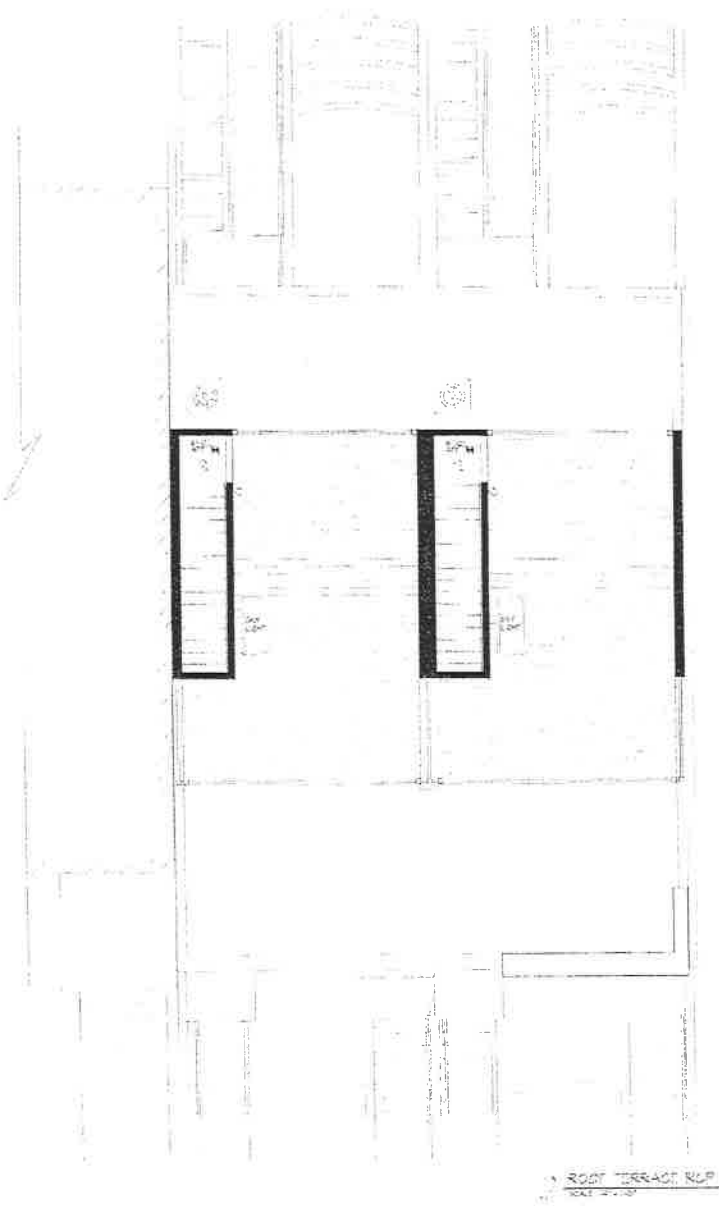
A2.01



PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

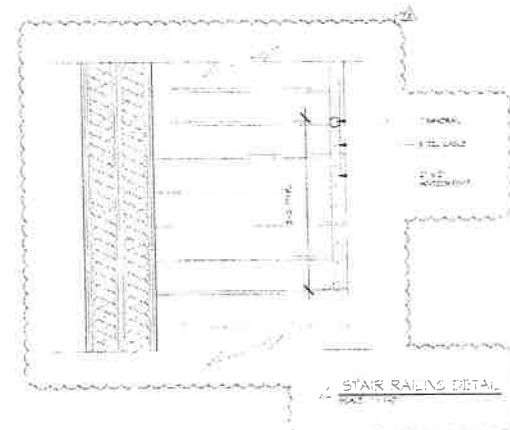
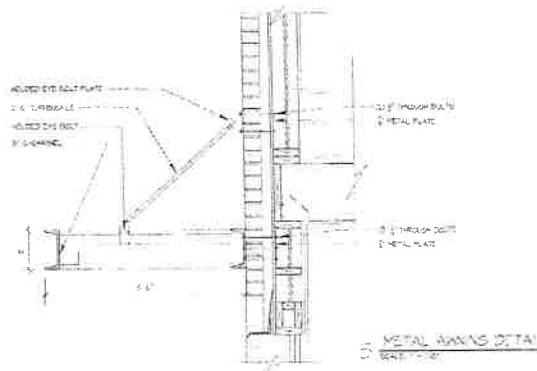
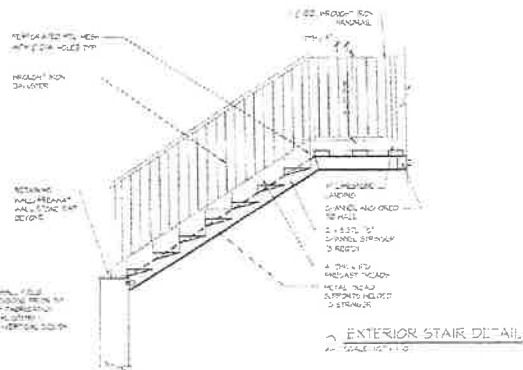
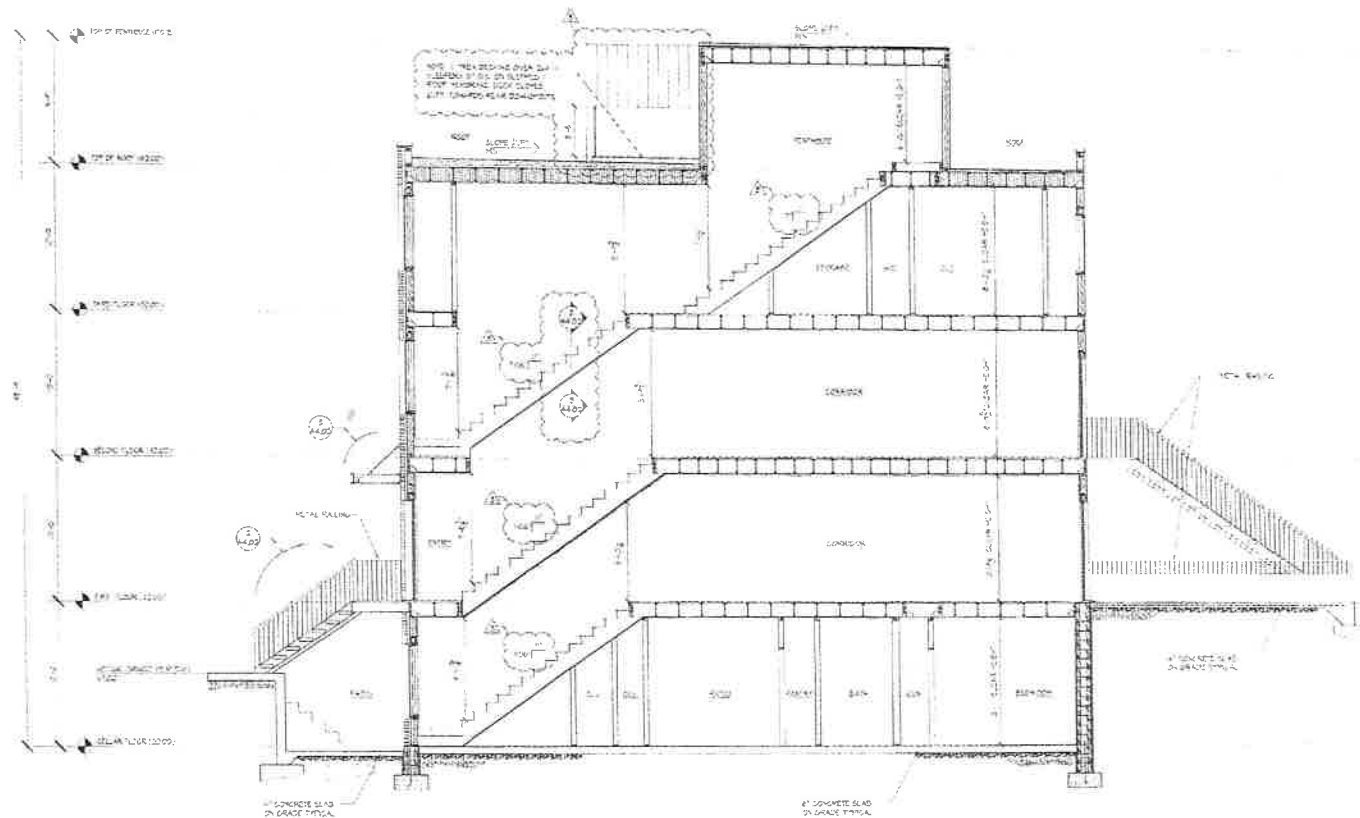
姓名	性别
年龄	职业
住址	联系电话
电子邮箱	身份证号
其他	

A2.02





A4.01



DATE	BY	CHKD	APP'D
10/1/00	J. B. BROWN		
10/1/00	J. B. BROWN		
10/1/00	J. B. BROWN		

OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE 1
CONDOMINIUM PROPOSAL
2712 & 2714 3RD STREET NE
NE WASHINGTON D.C. 20002

DATE	BY	CHKD	APP'D
10/1/00	J. B. BROWN		
10/1/00	J. B. BROWN		
10/1/00	J. B. BROWN		

A4.02

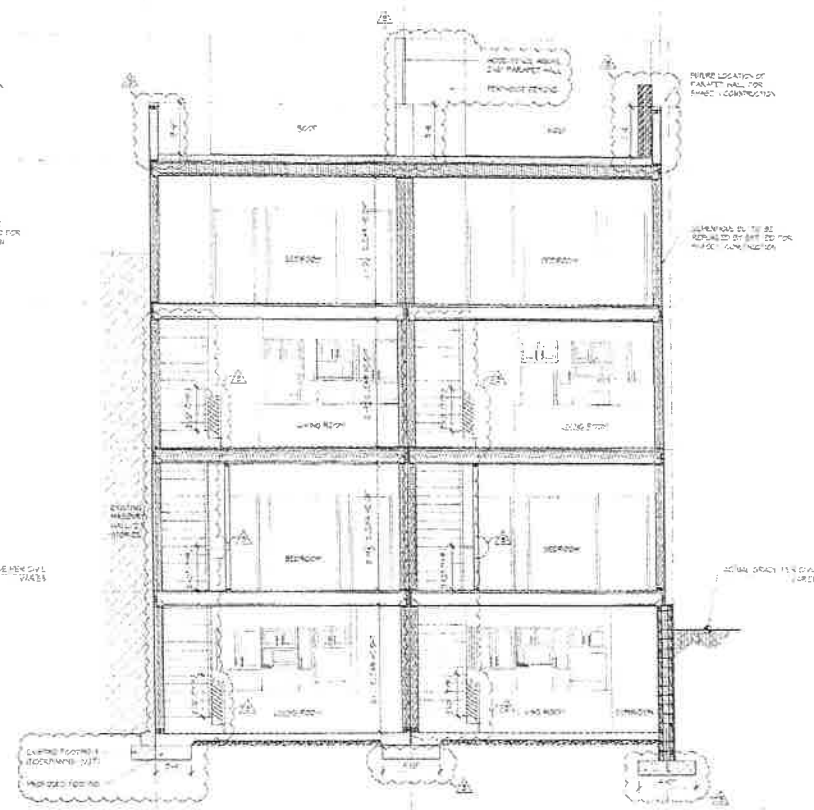


PROJECT: PHASE I
CONDOMINIUM PROPOSAL
21172 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

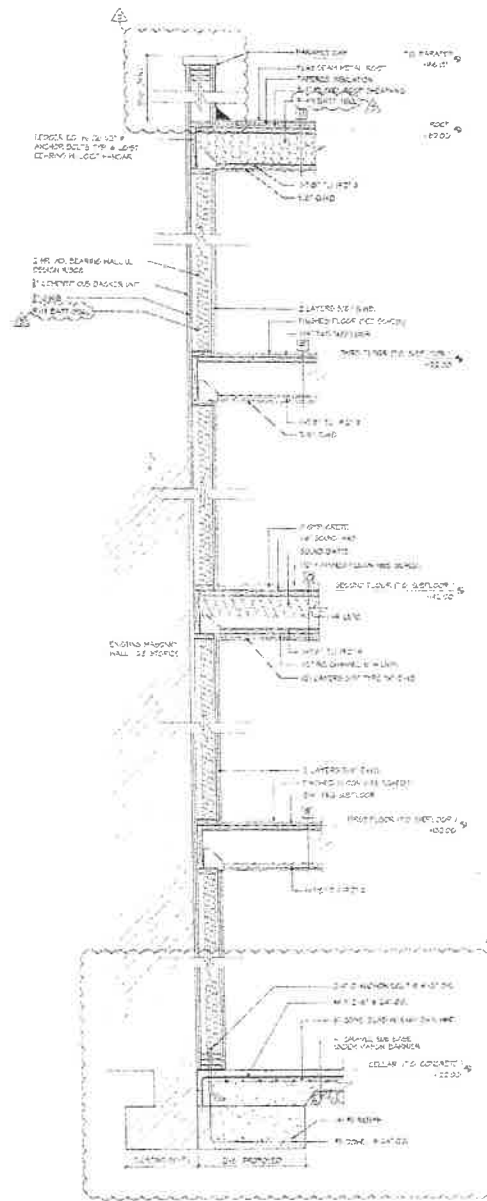
1. The Commission has received information from the public that the Commission's decision to grant the application for the proposed development is in the public interest. The Commission has also received information from the public that the proposed development is in the public interest.

姓名	学号
性别	年龄
民族	籍贯
职业	住址
电话	邮编
电子邮箱	身份证号
其他	

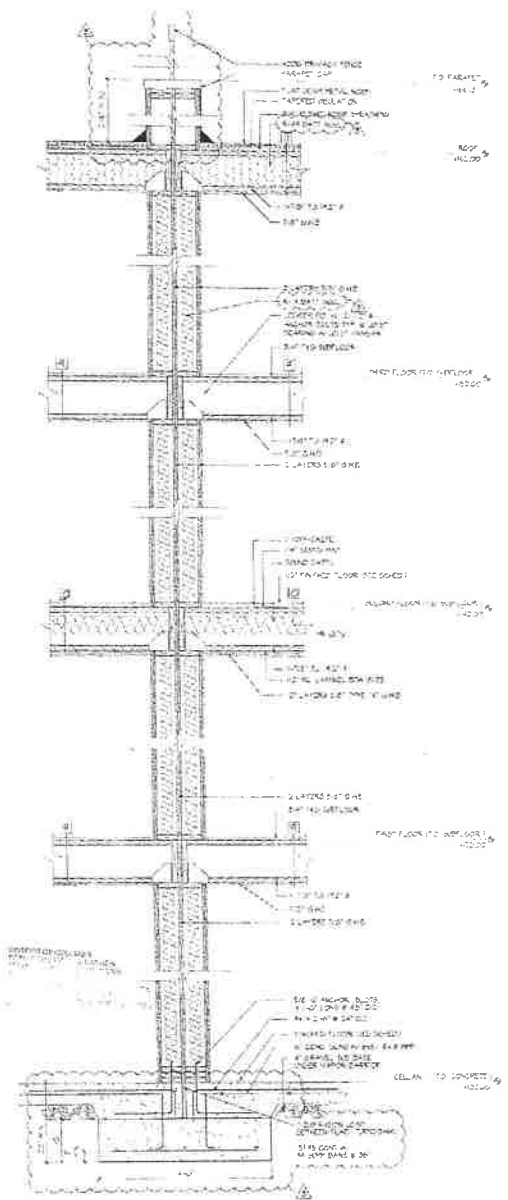
A4.03



LONGITUDINAL SECTION



TYPICAL WALL SECTION AT EX PROPERTY
SCALE 3/4\"/>



TYPICAL WALL SECTION AT ADJ. PROPERTY
SCALE 3/4\"/>

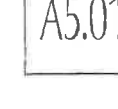


OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

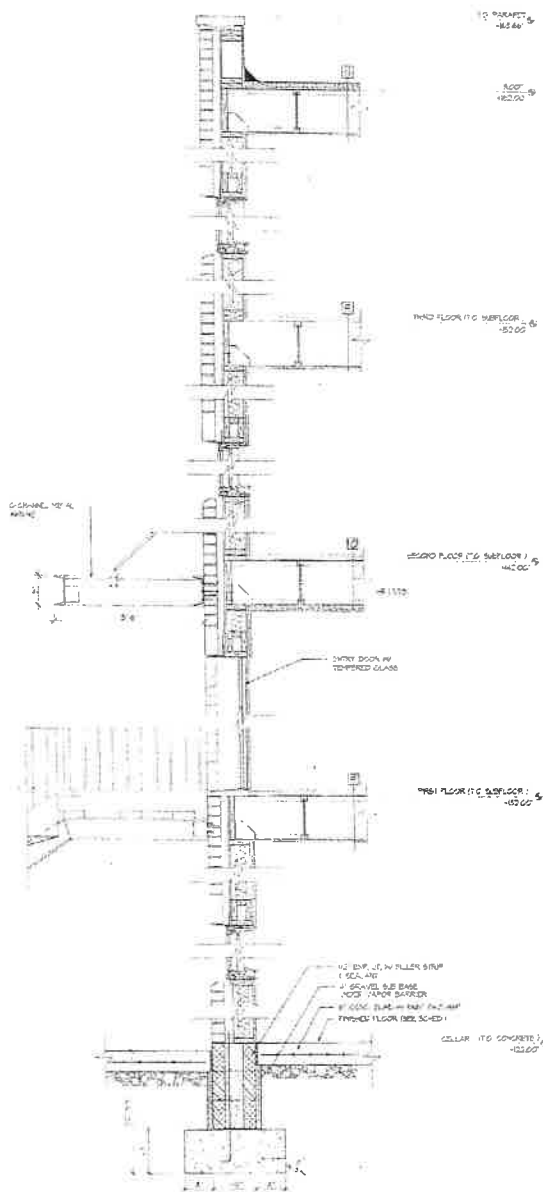
DATE	01/11/2017
BY	W. J. BROWN
CHECKED BY	W. J. BROWN
PROJECT NO.	17-001
SCALE	AS SHOWN
DATE	01/11/2017
BY	W. J. BROWN
CHECKED BY	W. J. BROWN
PROJECT NO.	17-001
SCALE	AS SHOWN

A5.01

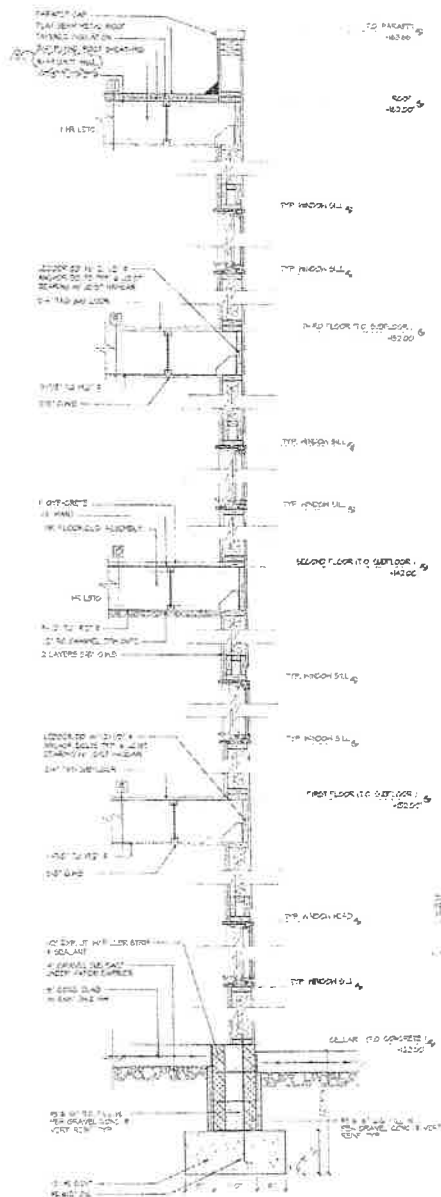


PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

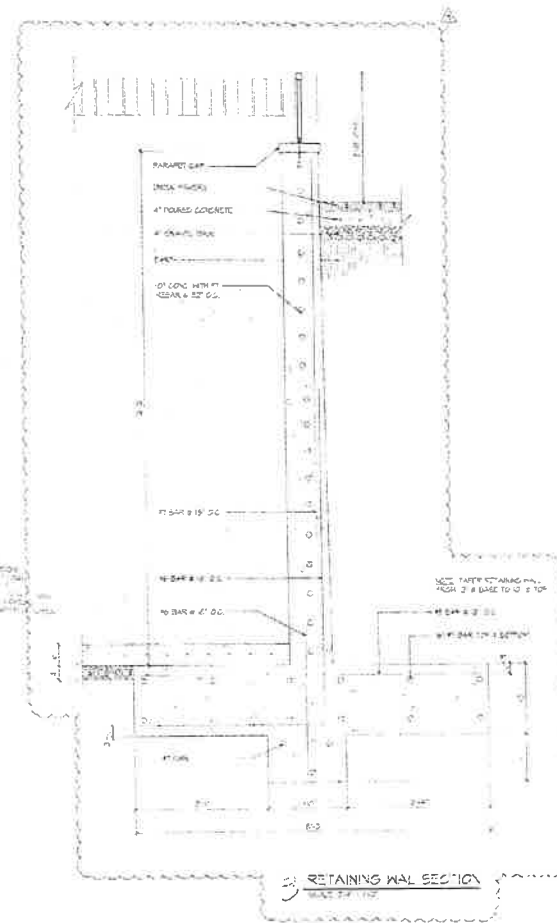
A5.01



EAST END WALL SECTION
SCALE: 3/4" = 1'-0"



WEST END WALL SECTION
SCALE: 3/4" = 1'-0"



RETAINING WALL SECTION
SCALE: 3/4" = 1'-0"

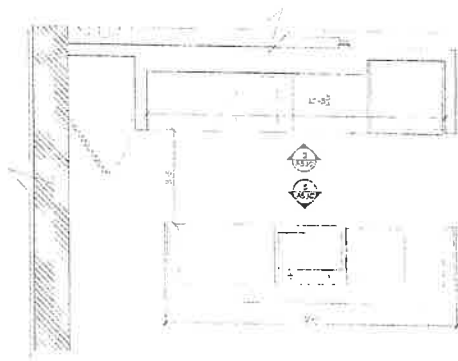


OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

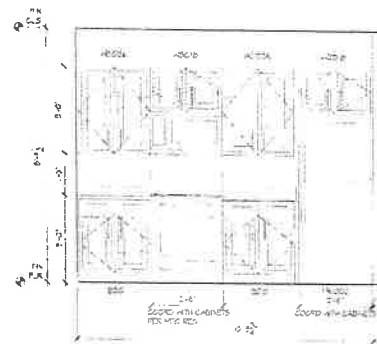
PROJECT: PHASE 1
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

SHEET
WALL SECTION

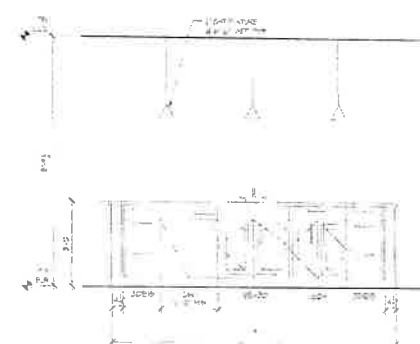
A5.02



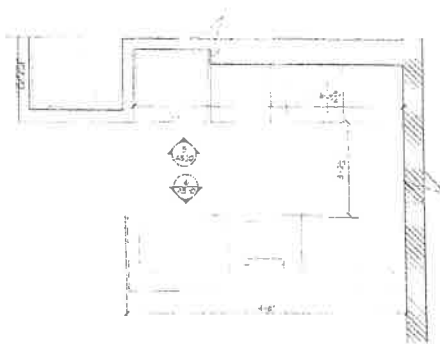
1 KITCHEN PLAN (TYP)
SCALE: 1/8" = 1'-0"



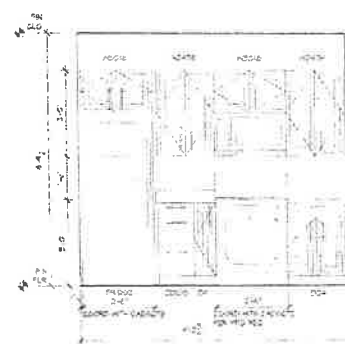
2 KITCHEN ELEVATION
SCALE: 1/8" = 1'-0"



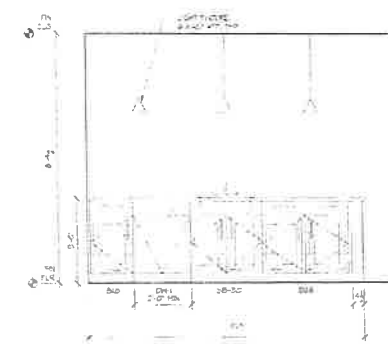
3 KITCHEN ELEVATION
SCALE: 1/8" = 1'-0"



4 KITCHEN PLAN (TYP)
SCALE: 1/8" = 1'-0"



5 KITCHEN ELEVATION
SCALE: 1/8" = 1'-0"



6 KITCHEN ELEVATION
SCALE: 1/8" = 1'-0"

EXTRACTED FROM
PROJECT: 1000
STRUCTURE: 1000
ARCHITECT: 1000
DATE: 1000

GENERAL NOTES

1. INTERIOR ELEVATIONS FOR SUPPLEMENTARY PURPOSES ONLY TO ALLOW CABINET WORK TO MEASURE AND SHOOT SHOP DRAWINGS FOR FINAL REVIEW AND APPROVAL TO THE ARCHITECT.
2. TO MEET FINISH REQUIREMENTS, DO NOT ALLOW CABINETRY TO BE SET BY 1/8" IN ANY DIRECTION WITHOUT THE ARCHITECT'S APPROVAL. TO MEET FINISH REQUIREMENTS, DO NOT ALLOW CABINETRY TO BE SET BY 1/8" IN ANY DIRECTION WITHOUT THE ARCHITECT'S APPROVAL.
3. PROVIDE FLOOR PANEL ON END OF UNITS TO EXPOSE DRAWERS/DOORS OF CABINETS ARE ABLE TO OPEN FULLY TO BE REVIEWED BY ARCHITECT.
4. COORDINATE APPLIANCES WITH CABINETS AND METALS AS PER MANUFACTURER'S REQUIREMENTS.
5. PROVIDE 1/4" CLEARANCE BETWEEN APPLIANCES AND CABINETS AS PER MANUFACTURER'S REQUIREMENTS.

CABINET ELEVATION
1. SINK CABINET
2. SINK CABINET
3. SINK CABINET
4. SINK CABINET
5. SINK CABINET
6. SINK CABINET
7. SINK CABINET
8. SINK CABINET
9. SINK CABINET
10. SINK CABINET



1000 1000 1000



1000 1000 1000

OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

1000 1000 1000

1000 1000 1000

1000 1000 1000

1000 1000 1000

1000 1000 1000

1000 1000 1000

1000 1000 1000

1000 1000 1000

1000 1000 1000

1000 1000 1000

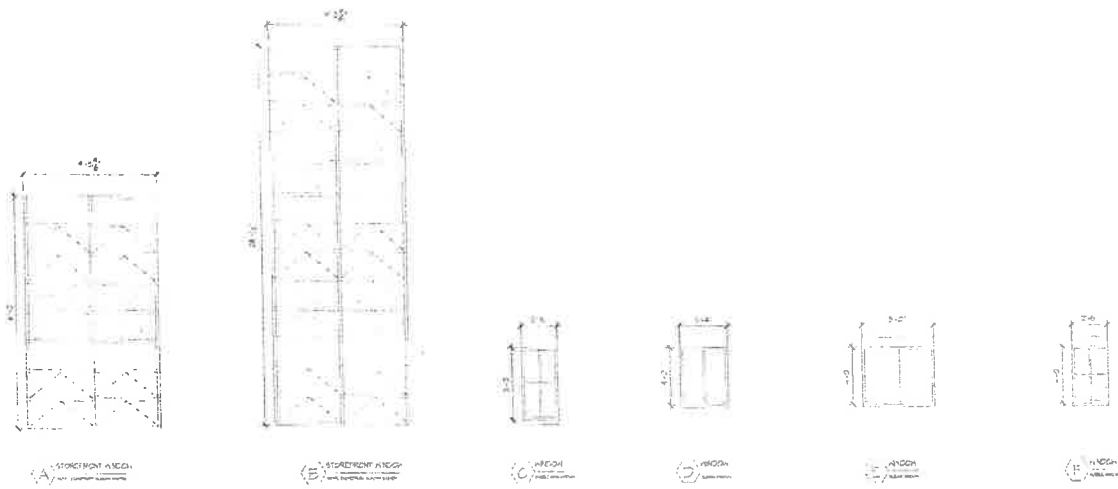
1000 1000 1000

WINDOW SCHEDULE

MARK	W	H	TYPE	LOCATION	COUNT	REFERENCE
EXTENSION WINDOWS						
1	4'-0"	4'-0"	METAL STORE FRONT	EAST ELEVATION	1	
2	2'-0"	4'-0"	METAL STORE FRONT	EAST ELEVATION	1	
3	2'-0"	5'-0"	DOUBLE HUNG	EAST ELEVATION	12	
4	4'-0"	3'-6"	SLIDING	WEST ELEVATION	6	
5	3'-0"	4'-0"	SLIDING	WEST ELEVATION	4	
6	4'-0"	2'-6"	DOUBLE HUNG	WEST ELEVATION	6	

NOTE: ALL GLASS TO BE TINTED
 AND NO LENS TO 1/8" OR LESS OR BELOW 1/8" MINIMUM

WINDOW TYPES



DATE	10/1/2011
BY	J. J. J.
CHECKED	J. J. J.
APPROVED	J. J. J.

OWNER:
 KADY GROUP
 9324 ANNAPOLIS RD.
 LANHAM, MD

PROJECT: PHASE I
 CONDOMINIUM PROPOSAL
 2112 & 2114 3RD STREET NE
 N.E. WASHINGTON D.C. 20002

DATE	10/1/2011
BY	J. J. J.
CHECKED	J. J. J.
APPROVED	J. J. J.

6/10/11
 WINDOW SCHEDULE
 SHEET
 A6.01

DOOR SCHEDULE

NO.	DOOR		SIZE		THICKNESS	LEAF	MATERIAL	GLASS	TRANSOM	GLASS LIGHT	FIRE	FIRE RATING	HARDWARE	F.V.S.	REMARKS
	TO	FROM	WIDTH	HEIGHT											
1	ENTR	EXTERIOR	3'-4"	7'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
2	VEST	ENTRANCE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
3	RECEIV	ENTRANCE	4'-0"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
4	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
5	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
6	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
7	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
8	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
9	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
10	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
11	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
12	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
13	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
14	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
15	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
16	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
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18	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
19	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
20	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
21	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
22	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
23	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
24	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
25	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
26	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
27	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
28	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
29	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO
30	STORAGE	STORAGE	3'-4"	6'-0"	1 1/2"	FR	FR	NO	NO	NO	NO	NO	NO	NO	NO

NOTE: ALL GLASS TO BE TEMPERED
HARDWARE TO BE 304 STAINLESS STEEL

DOOR HARDWARE

DOOR HARDWARE SET #1

- 1. 1" PAIR HANDS DEVICES
- 2. 1" SECURING DEVICE
- 3. 1" STOP AND HOLD

- 1. 1" HINGES STANDARD HEIGHT BALL BEARING
- 2. 1" HINGES STANDARD HEIGHT BALL BEARING
- 3. 1" HINGES STANDARD HEIGHT BALL BEARING

DOOR HARDWARE SET #2

- 1. 1" PAIR HANDS DEVICES
- 2. 1" SECURING DEVICE
- 3. 1" STOP AND HOLD

- 1. 1" HINGES STANDARD HEIGHT BALL BEARING
- 2. 1" HINGES STANDARD HEIGHT BALL BEARING
- 3. 1" HINGES STANDARD HEIGHT BALL BEARING

DOOR HARDWARE SET #3

- 1. 1" PAIR HANDS DEVICES
- 2. 1" SECURING DEVICE
- 3. 1" STOP AND HOLD

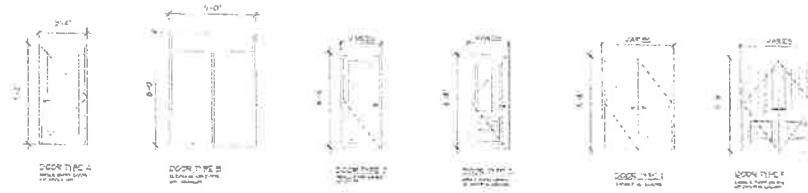
- 1. 1" HINGES STANDARD HEIGHT BALL BEARING
- 2. 1" HINGES STANDARD HEIGHT BALL BEARING
- 3. 1" HINGES STANDARD HEIGHT BALL BEARING

DOOR ELEVATIONS AND SCHEDULE

GENERAL NOTES

THE FOLLOWING NOTES ARE APPLICABLE TO THE PROJECT AS SHOWN IN THE CONSTRUCTION DOCUMENTS.
ON ALL NEW DOORS, GLASS TO PROVIDE ACA CERTIFIED GLASS HARDWARE

DOOR TYPES



DATE	10/10/2020
BY	J. J. J.
CHECKED BY	J. J. J.
APPROVED BY	J. J. J.

OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE I
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2112 & 2114 3RD STREET NE
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BY	J. J. J.
CHECKED BY	J. J. J.
APPROVED BY	J. J. J.

DOOR SCHEDULE

A6.02



1 TYPICAL WALL FOOTING CONSTRUCTION JOINT



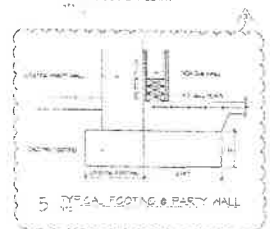
2 TYPICAL CONTROL JOINT FOR CONCRETE WALLS



3 TYPICAL CONTROL JOINT



4 TYPICAL CONSTRUCTION JOINT (CONTRACTOR'S OPTION)



5 TYPICAL FOOTING & PARTY WALL



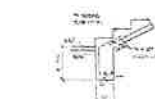
6 BASE CORNER REINFORCEMENT



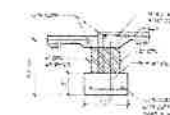
7 SECTION OF STAIRS



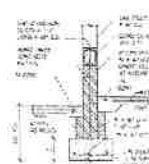
8 SECTION OF STAIRS



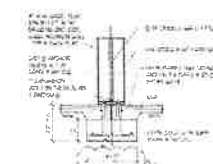
9 SECTION OF STAIRS



10 SECTION OF ENTRANCE



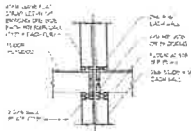
11 SECTION OF REAR WALL



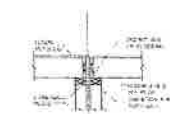
12 SECTION OF COMMON WALL



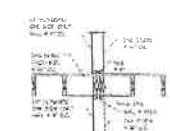
13 SECTION OF OVER WALL



14 SECTION



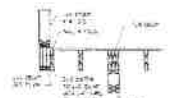
15 SECTION



16 SECTION



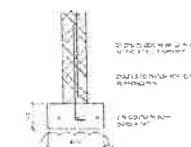
17 SECTION



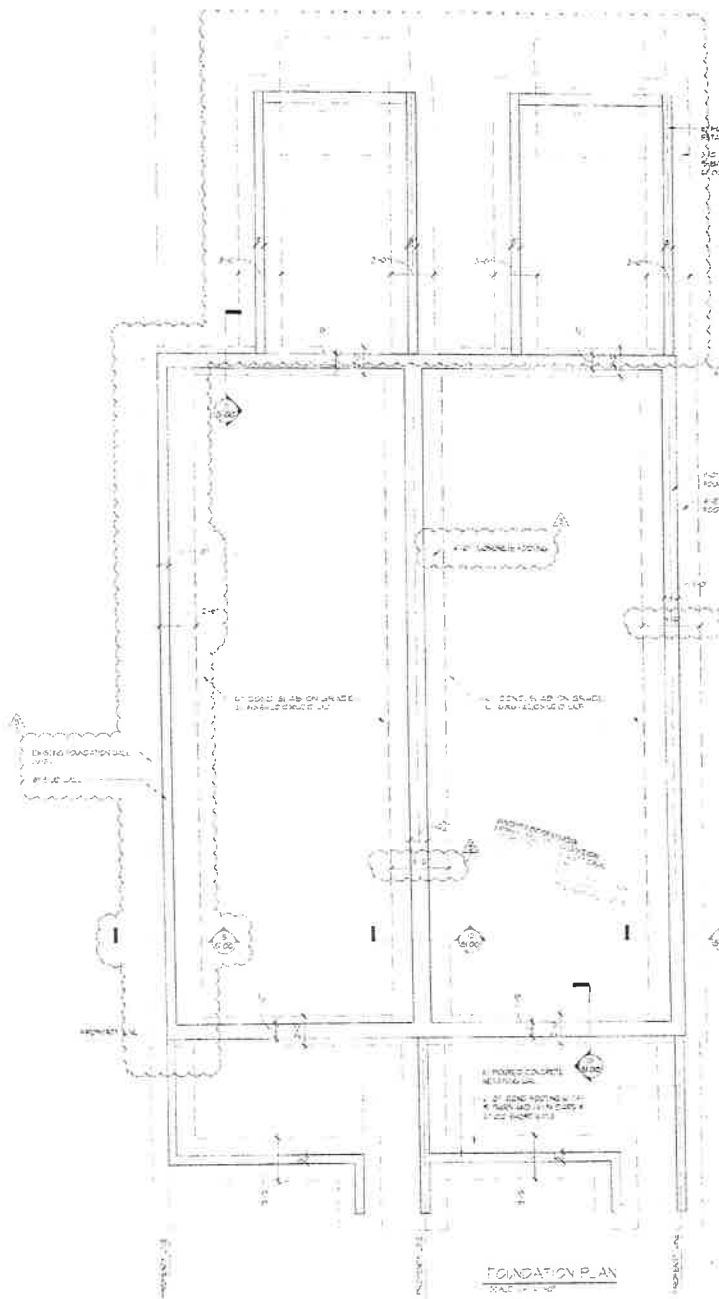
18 SECTION



19 SECTION



20 TYPICAL FOOTING SECTION

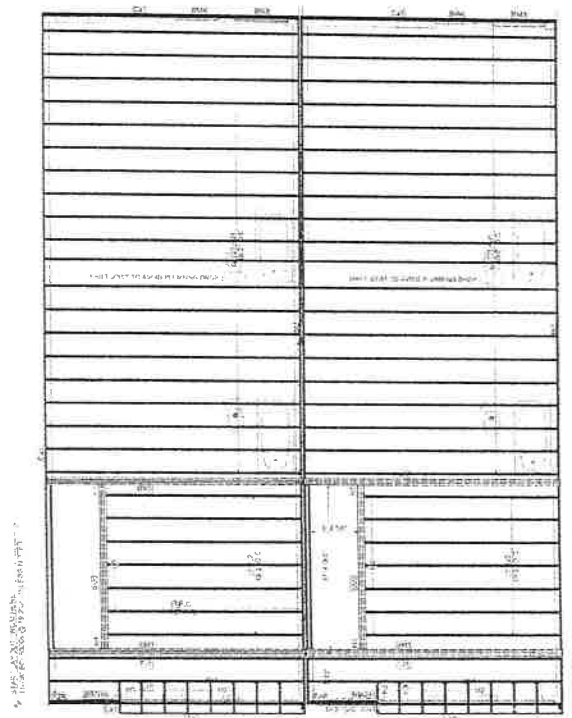


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PROJECT: PHASE 1
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2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

FOUNDATION PLAN
1 DETAILS

\$1.00



PartID	Qty	Product	Length	Plan
Cat1	10	1-1/8" x 11-7/8" BC RIM BOARD™ OSB	12' 0"	1
BM1	12	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	18' 0"	3
BM2	6	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	12' 0"	3
FJ1	46	11-7/8" BC® 5000S-1 8 SP	10' 0"	1
FJ2	14	11-7/8" BC® 5000S-1 8 SP	14' 0"	1
FJ3	5	11-7/8" BC® 5000S-1 8 SP	12' 0"	1
FJ4	2	11-7/8" BC® 5000S-1 8 SP	5' 0"	1
FJ5	16	11-7/8" BC® 5000S-1 8 SP	3' 0"	1

PartID	Qty	Material	Product
H2	13	NA	HL2 2 0011 88
H1	4	Simpson	HL2 5 5011 88
H3	17	Simpson	HL2 2 0011 88
5" Truss	100	TrussMaster	PM13100A

First Floor

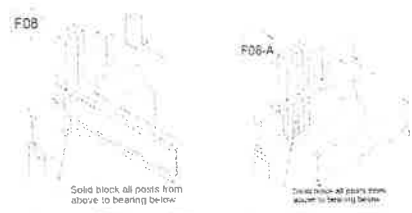
Floor Loads @100% LOAD DURATION

40LL
12DL
52TL

FLOOR SYSTEM LIVE LOAD DEFLECTION
DESIGNED TO LIMIT OF L/480

APPROVED AS SUBM'D
APPROVED AS NOTED
REVISE AND RESUBMIT
SIGNATURE _____
DATE ____/____/____

TYPICAL AT ALL POST LOADS



ROOF TRUSS NOTE
This framing plan has been generated using the architectural as a reference for the truss roof framing. It is the responsibility of the builder to provide truss layouts if they differ from what has been shown on the architectural. 84 Lumber will not be responsible for difference in design or material due to changes and or revisions to the truss roof system.



OWNER:
KADY GROUP
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N.E. WASHINGTON D.C. 20002

1.01



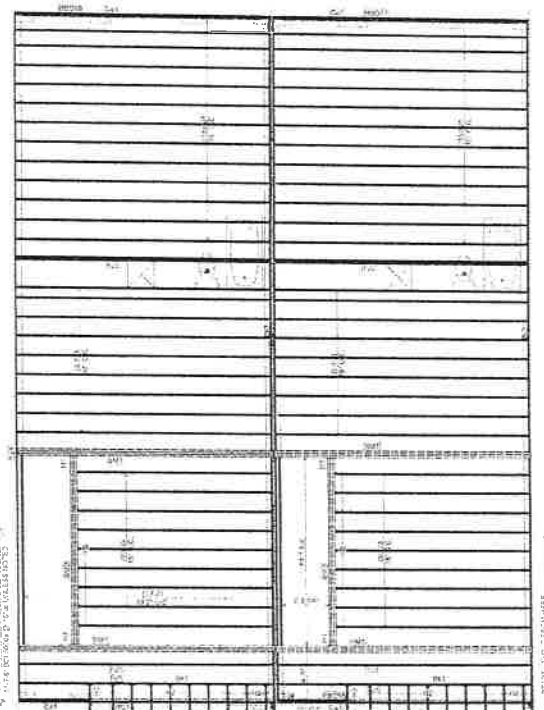
OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE 1
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

DATE: 11/11/11
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

SEAL OF THE DISTRICT OF COLUMBIA
REGISTERED PROFESSIONAL ENGINEER
No. 111111
EXPIRATION DATE: 11/11/11

\$1.02



Products				
ProdID	Net Qty	Product	Length	Notes
CA1	10	1-1/8" x 11-7/8" BC RM BOARD™ OSB	12' 0"	
BM1	12	1-3/4" x 11-7/8" VERSA-LAM® 2 D 3100 SP	18' 0"	
BM2	8	1-3/4" x 11-7/8" VERSA-LAM® 2 D 3100 SP	14' 0"	
FJ1	40	11-7/8" BCR® 5000s-1.8 SP	18' 0"	
FJ2	4	11-7/8" BCR® 5000s-1.8 SP	19' 0"	
FJ3	21	11-7/8" BCR® 5000s-1.8 SP	14' 0"	
FJ4	2	11-7/8" BCR® 5000s-1.8 SP	5' 0"	
FJ5	22	11-7/8" BCR® 5000s-1.8 SP	2' 0"	
Connector Summary				
ProdID	Qty	Manufacturer	Product	
H2	14	NA	HUB 2.0611.8C	
H1	4	Simpson	HHUS 5.0010	
H3	24	Simpson	HU3 2.0611.1B	
2" Trussbolts	100	WernerMette	FASTLOOT®	

Second Floor

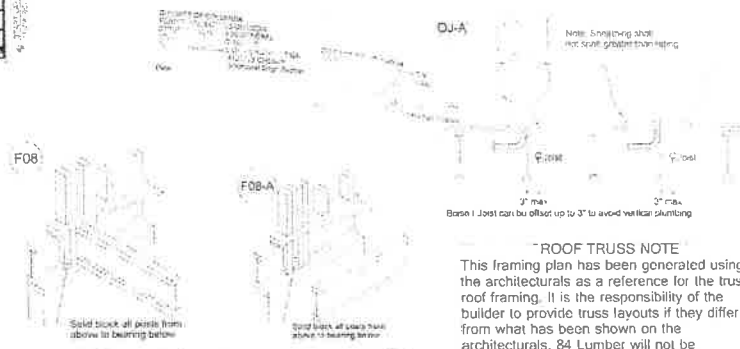
Floor Loads
@100% LOAD DURATION

40LL
22DL
62TL

FLOOR SYSTEM LIVE LOAD DEFLECTION
DESIGNED TO LIMIT OF L/480

TYPICAL AT ALL POST LOADS

APPROVED AS SUBM'D
APPROVED AS NOTED
REVISE AND RESUBMIT
SIGNATURE _____
DATE ____/____/____



ROOF TRUSS NOTE

This framing plan has been generated using the architectural as a reference for the truss roof framing. It is the responsibility of the builder to provide truss layouts if they differ from what has been shown on the architectural. 84 Lumber will not be responsible for difference in design or material due to changes and or revisions to the truss roof system.





PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

1.03



Products					
Part ID	Net Qty	Product	Length	Flux	
F341	10	1-1/8" x 1-7/8" BC RM BOARD 1 SP	7'-0"	1	
F342	12	1-3/4" x 1-7/8" VERBA 1AWB 2D 3100 SP	11'-0"	2	
SMC 5	6	1-3/4" x 1-7/8" VERBA 1AWB 2D 3100 SP	11'-0"	2	
F31	48	11-3/16" BCRC 5000A 1-B SP	10'-0"	1	
F22	14	11-3/16" BCRC 5000A 1-B SP	10'-0"	1	
F33	3	11-7/8" BCRC 5000A 1-B SP	10'-0"	1	
F31	2	11-7/8" BCRC 5000A 1-B SP	5'-0"	1	
F35	16	11-7/8" BCRC 5000A 1-B SP	3'-0"	1	

Connector Summary			
PartID	Qty	Material	Product
H2	72	NA	25 0911 06
H1	4	Sampson	ILHS 5 50+0
H3	18	Sampson	ILHS 2 0611 06



ROOF TRUSS NOTE
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DESIGN INFORMATION
DEAD LOAD = 10 PSF
LIVE LOAD = 40 PSF
LIVE LOAD DEFLECTION - L/480
TOTAL LOAD DEFLECTION - L/240



\$1.03

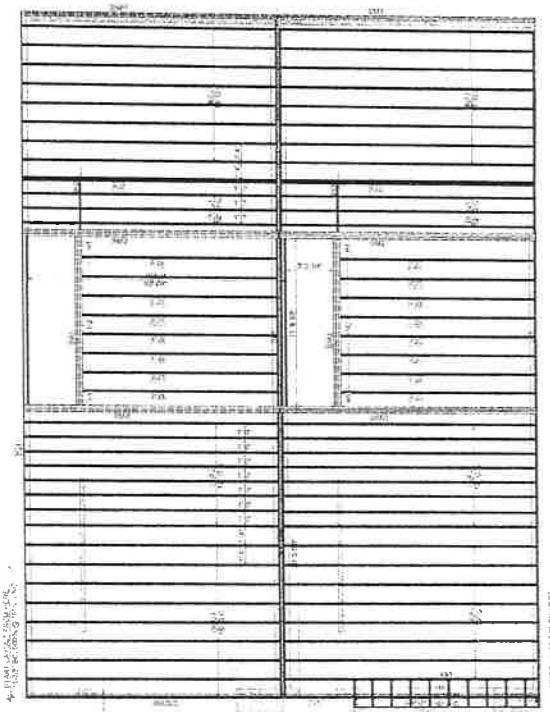


11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANTHAM, MD

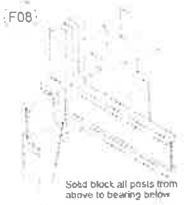
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2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

DATE: 10/1/04
S1.04



Item	Net Qty	Product	Length	Pkts
Ca1	6	1-1/8" x 11-7/8" BC RIM BOARD™ OSB	12' 0"	1
Ba1	4	1-3/4" x 11-7/8" VERSA-LAM® 2 D 3100 SP	18' 0"	2
Ba2	12	1-3/4" x 11-7/8" VERSA-LAM® 2 D 3100 SP	19' 0"	3
Ba3	6	1-3/4" x 11-7/8" VERSA-LAM® 2 D 3100 SP	12' 0"	3
FJ1	55	11-7/8" BC® 5000s-1 S SP	18' 0"	1
FJ2	4	11-7/8" BC® 5000s-1 S SP	18' 0"	2
FJ3	16	11-7/8" BC® 1000s-1 S SP	14' 0"	1
FJ4	2	11-7/8" BC® 5000s-1 S SP	12' 0"	1
FJ5	1	11-7/8" BC® 5000s-1 S SP	5' 0"	1
FJ6	11	11-7/8" BC® 5000s-1 S SP	2' 0"	1

Product	Qty	Product	Qty
H1	4	Simpson	10105 S 1010
H2	20	Simpson	10105 S 1010
5" Truss	100	FastenMaster	FMTSL005



ROOF TRUSS NOTE
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Ceiling / Roof Framing

Floor Loads
@100% LOAD DURATION

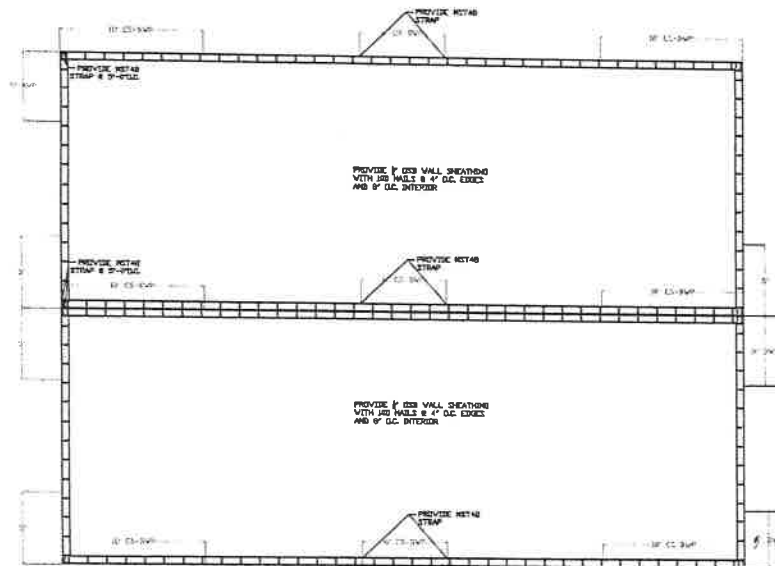
60LL
20DL
80TL

FLOOR SYSTEM LIVE LOAD DEFLECTION
DESIGNED TO LIMIT OF L/480

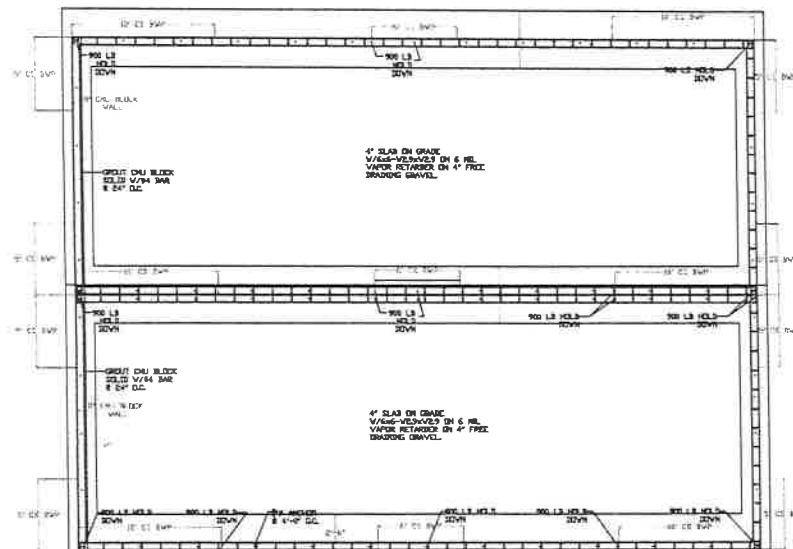
APPROVED AS SUBM'D
APPROVED AS NOTED
REVISE AND RESUBMIT
SIGNATURE _____
DATE ____/____/____

TYPICAL AT ALL POST LOADS



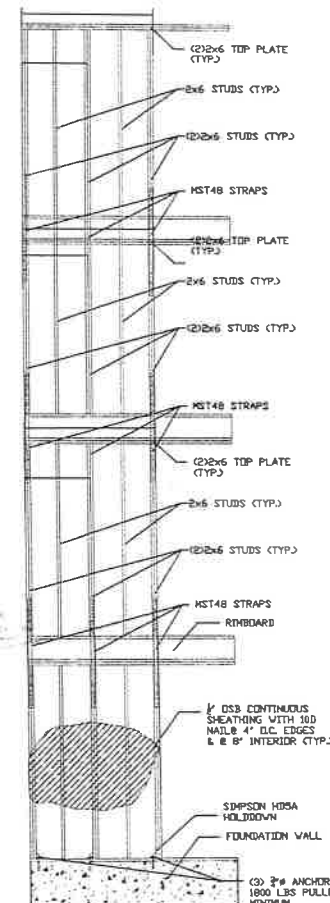


BASMENT FRAMING PLAN
SCALE: 1/8" = 1'-0"



TYPICAL FRAMING PLAN
SCALE: 1/8" = 1'-0"

WALL LINE #	LENGTH	METHOD	REQUIRED LENGTH	LENGTH PROVIDED	LEVEL
LINE 1	47'-10 1/2"	CS-WSP	11'-11 5/8"	26'-0"	1ST FLOOR
LINE 2	17'-10"	CS-WSP	4'-6"	10'-0"	1ST FLOOR
LINE 3	47'-10 1/2"	CS-WSP	11'-11 5/8"	26'-0"	1ST FLOOR
LINE 4	17'-10"	CS-WSP	4'-6"	10'-0"	1ST FLOOR
LINE 5	47'-10 1/2"	CS-WSP	11'-11 5/8"	26'-0"	2ND FLOOR
LINE 6	17'-10"	CS-WSP	4'-6"	10'-0"	2ND FLOOR
LINE 7	47'-10 1/2"	CS-WSP	11'-11 5/8"	26'-0"	2ND FLOOR
LINE 8	17'-10"	CS-WSP	4'-6"	10'-0"	2ND FLOOR



BRACED WALL DETAIL
SCALE: 3/8" = 1'-0"



11-30-2017
11-30-2017

OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

PROJECT: PHASE 1
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

DATE: 11/30/2017
BY: [Signature]

DATE: 11/30/2017
BY: [Signature]

DATE: 11/30/2017
BY: [Signature]

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BY: [Signature]

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BY: [Signature]

DATE: 11/30/2017
BY: [Signature]

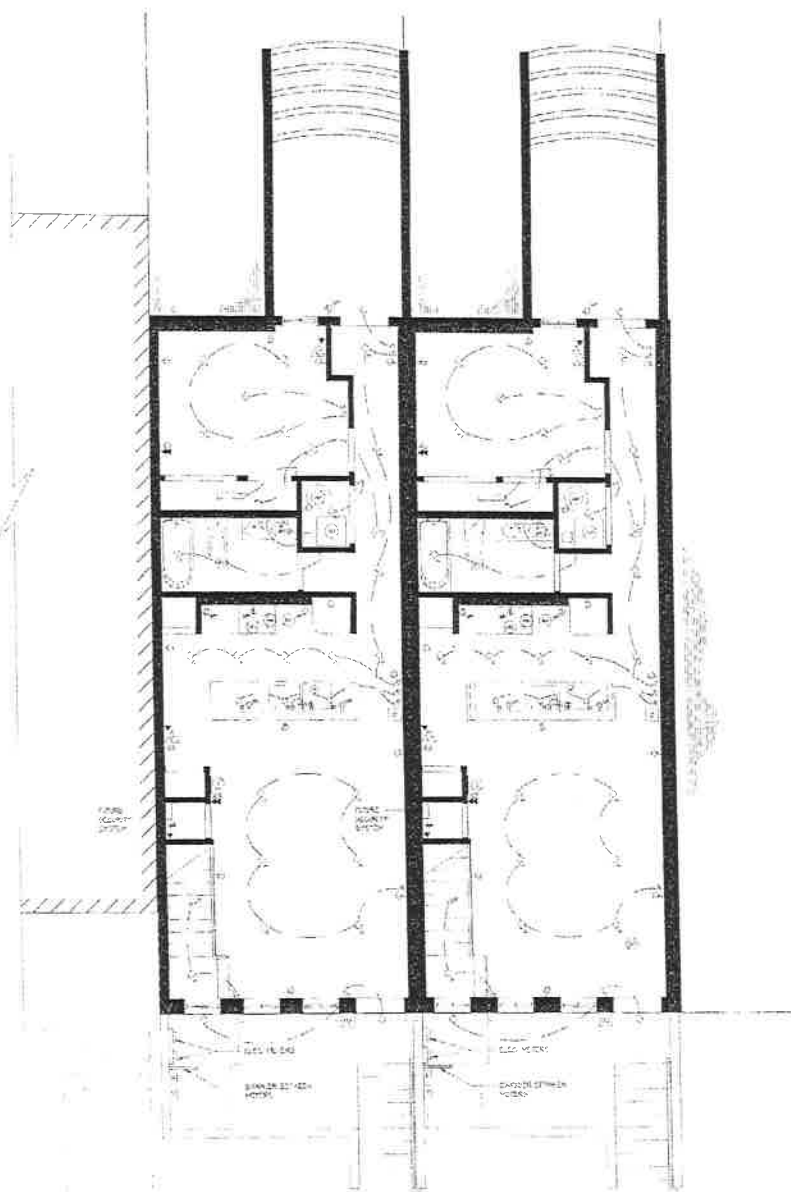
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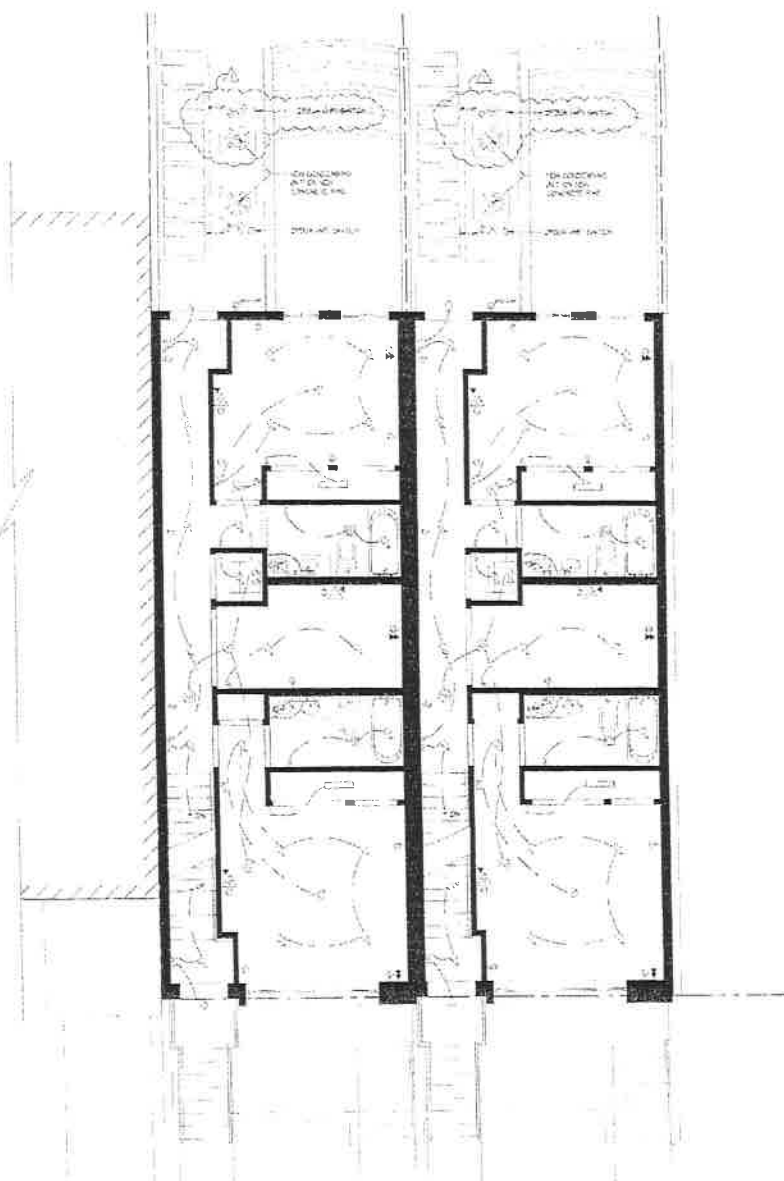
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BY: [Signature]

DATE: 11/30/2017
BY: [Signature]

DATE: 11/30/2017
BY: [Signature]



CELLAR FLOOR ELECTRIC PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRIC PLAN
SCALE: 1/4" = 1'-0"

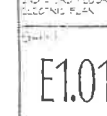


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LANHAM, MD

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CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

DATE: 10/1/00
DRAWN BY: J. L. BROWN
CHECKED BY: J. L. BROWN
APPROVED BY: J. L. BROWN

E1.00



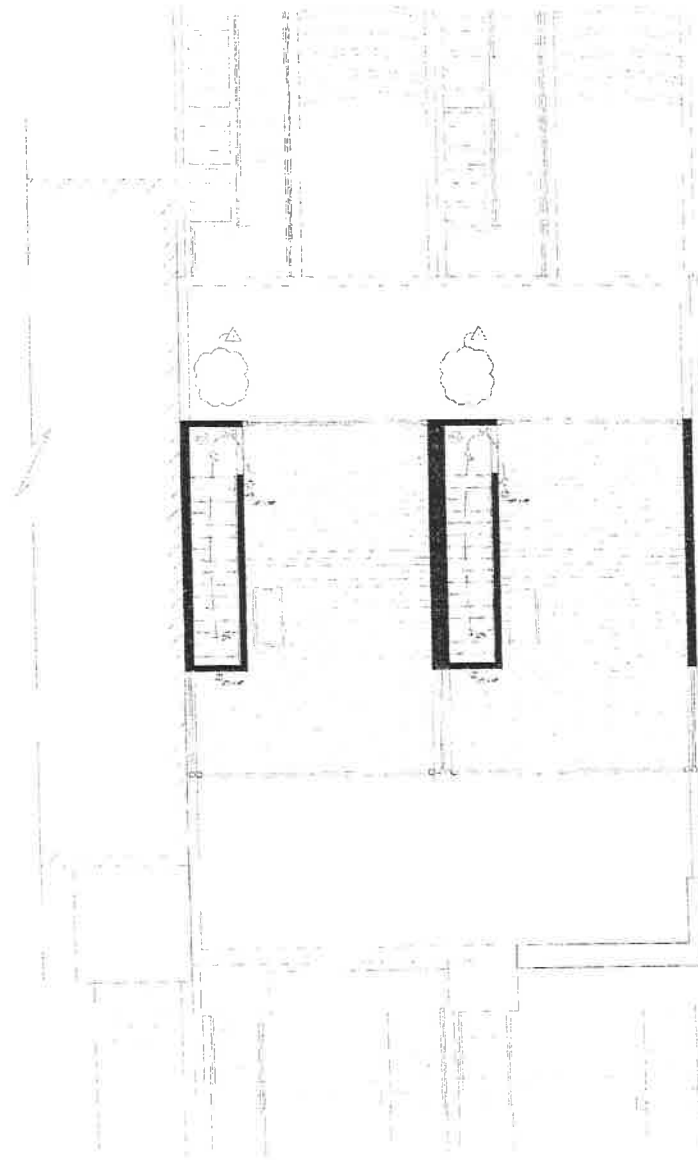
PROJECT: PHASE I
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2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

E1.01

ELECTRICAL LEGEND

WALL MOUNTED 1/2" x 6" FIXTURE
 4" x 6" MOUNTED 4" RECESSED LIGHT FIXTURE
 BATHROOM WALL LIGHT
 PENDANT LIGHT
 DATA PANE/ANALOG FAN
 120V NO FAN
 120 V DUPLEX RECEPTACLE 15' A.P.
 120 V DUPLEX RECEPTACLE 48" A.P.
 120V 1/2" x 6" RECEPTACLE
 WATER PROOF GFI
 240 V RECEPTACLE
 TELEPHONE OUTLET, SINGLE/DUPLEX
 CABLE TV
 3 WAY SWITCH
 SWITCH SWITCH WITH DIMMER

SMOKE DETECTOR W/ALARM BATT. INT.
 HEAT DETECTOR
 GARBAGE DISPOSAL
 DISHWASHER
 RANGE HOOD
 DOOR CHIME / BELL SYSTEM
 ELECTRIC PANEL
 DIGITAL PROGRAMMABLE THERMOSTAT
 AIR HANDLER
 CONDENSING UNIT / DISCHARGE
 RAIN WATER
 ELECTRIC METER
 120 V DUPLEX RECEPTACLE 15' A.P.
 FOR TELEPHONE GFI
 WATER HEATER
 FLUORESCENT LIGHT FIXTURE



ROOF TERRACE ELECTRIC PLAN



OWNER:
 KADY GROUP
 9324 ANNAPOLIS RD.
 LANHAM, MD

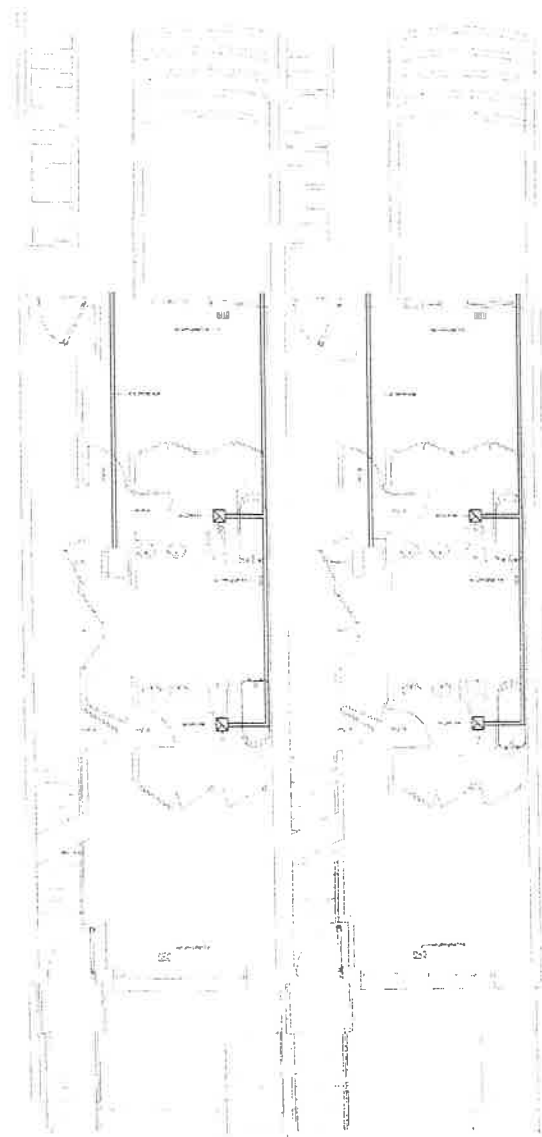
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DATE: 12/15/00
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

E1.02



CELLAR FLOOR MECHANICAL PLAN



GROUND FLOOR MECHANICAL PLAN

MECHANICAL SYMBOLS

1	1" DIA. PIPING
2	2" DIA. PIPING
3	3" DIA. PIPING
4	4" DIA. PIPING
5	5" DIA. PIPING
6	6" DIA. PIPING
7	7" DIA. PIPING
8	8" DIA. PIPING
9	9" DIA. PIPING
10	10" DIA. PIPING
11	11" DIA. PIPING
12	12" DIA. PIPING
13	13" DIA. PIPING
14	14" DIA. PIPING
15	15" DIA. PIPING
16	16" DIA. PIPING
17	17" DIA. PIPING
18	18" DIA. PIPING
19	19" DIA. PIPING
20	20" DIA. PIPING
21	21" DIA. PIPING
22	22" DIA. PIPING
23	23" DIA. PIPING
24	24" DIA. PIPING
25	25" DIA. PIPING
26	26" DIA. PIPING
27	27" DIA. PIPING
28	28" DIA. PIPING
29	29" DIA. PIPING
30	30" DIA. PIPING
31	31" DIA. PIPING
32	32" DIA. PIPING
33	33" DIA. PIPING
34	34" DIA. PIPING
35	35" DIA. PIPING
36	36" DIA. PIPING
37	37" DIA. PIPING
38	38" DIA. PIPING
39	39" DIA. PIPING
40	40" DIA. PIPING
41	41" DIA. PIPING
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96	96" DIA. PIPING
97	97" DIA. PIPING
98	98" DIA. PIPING
99	99" DIA. PIPING
100	100" DIA. PIPING

THIS IS THE LAYOUT OF THE MECHANICAL SYSTEMS AND THE MECHANICAL EQUIPMENT ROOMS ON THIS FLOOR. THE MECHANICAL SYSTEMS ARE SHOWN IN THE LAYOUT WITH THE APPROXIMATE LOCATIONS OF THE MECHANICAL EQUIPMENT ROOMS. THE MECHANICAL SYSTEMS ARE SHOWN IN THE LAYOUT WITH THE APPROXIMATE LOCATIONS OF THE MECHANICAL EQUIPMENT ROOMS.

MECHANICAL SYSTEMS ARE SHOWN IN THE LAYOUT WITH THE APPROXIMATE LOCATIONS OF THE MECHANICAL EQUIPMENT ROOMS.



OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANTHAM, MD

PROJECT: PHASE 1
CONDOMINIUM PROPOSAL
2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

DATE: 10/1/2000

PROJECT: 10/1/2000

CELLAR & 1ST FLOOR
MECHANICAL PLAN

SCALE

M1.00



MECHANICAL SYMBOLS	
001	FRONT HOUSTER
002	FRONT HOUSTER
003	SHOULDER PLATE
004	SHOULDER PLATE
005	SHOULDER PLATE
006	SHOULDER PLATE
007	SHOULDER PLATE
008	SHOULDER PLATE
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100	SHOULDER PLATE

Bused Steel



OWNER:
KADY GROUP
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LANHAM, MD

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2112 & 2114 3RD STREET NE
N.E. WASHINGTON D.C. 20002

2ND & 3RD FLOOR
MECHANICAL PLANS

THE

M1.01

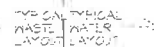
[illegible][illegible][illegible]

WATER HEATER

23. CaCl_2 44.0 g/mol 55.5 g/mol

[illegible][illegible]

MP.01



A SPECIAL FORM MUST BE ACCOMPANIED WITH APPLICABLE LOCAL AND NATIONAL GOVERNMENTAL TO MAKE SURE REPORT IS TO BE COMPLETED FULLY THE EXISTING CONDITIONS OF LOCATION OF EQUIPMENT, PILING AND OTHER BUILDING AREAS INDICATED. INFORMATION IS NOT TO BE OBTAINED FROM EXISTING LOCATION ON THIS SUBJECT TO PHYSICAL CONDITIONS AND OTHER FACTORS WHICH ARE NOT TO BE APPLIED TO ANY RESIDENTIAL, DAMAGE OF ANY OTHER HOUSEHOLD, NEW OR EXISTING OR ALTERATION OF EXISTING FORM OR IN ANY OTHER CASE.

- [illegible]

[illegible]

OWNER:
KADY GROUP
9324 ANNAPOLIS RD.
LANHAM, MD

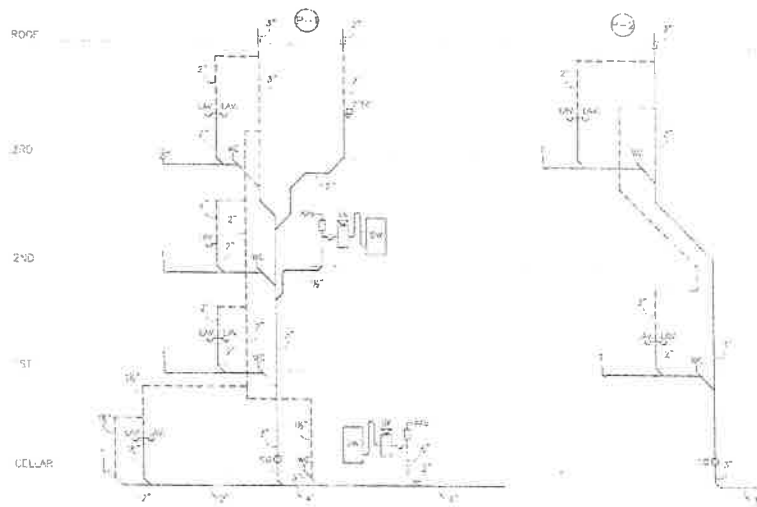
PROJECT: PHASE I
CONDOMINIUM PROPOSAL
2212 & 2114 3RD STREET NE
NE WASHINGTON D.C. 20002

P1.00

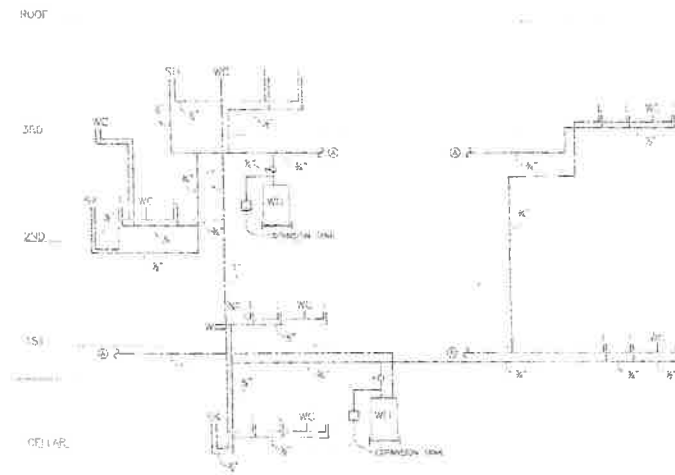


P1.01

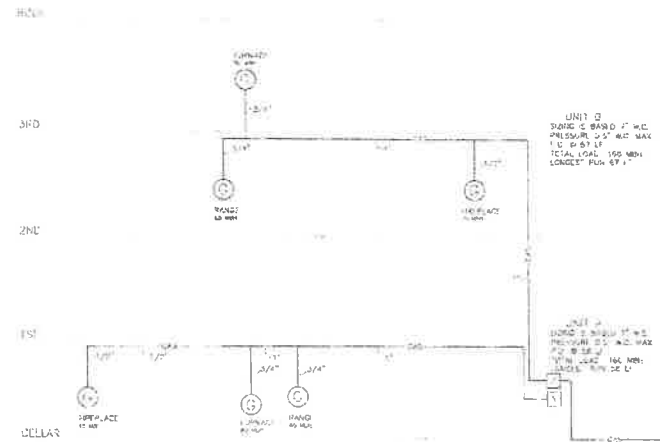
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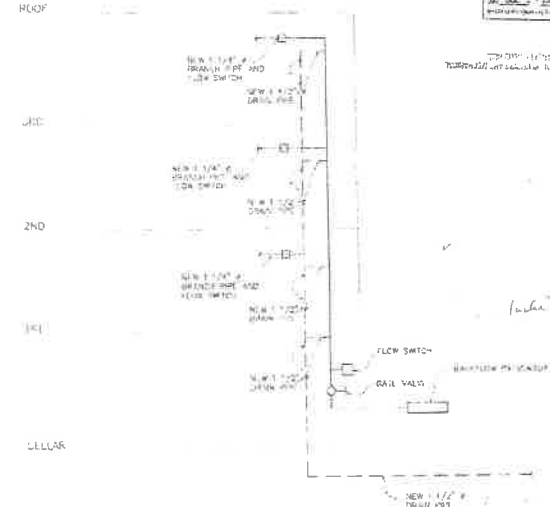
SEWER RISER DIAGRAM
SCALE: 1/8" = 1'-0"



WATER RISER DIAGRAM
SCALE: 1/8" = 1'-0"



GAS RISER DIAGRAM
SCALE: 1/8" = 1'-0"



SPRINKLER RISER DIAGRAM
SCALE: 1/8" = 1'-0"



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RECK
DIAGRAMS
P1.02