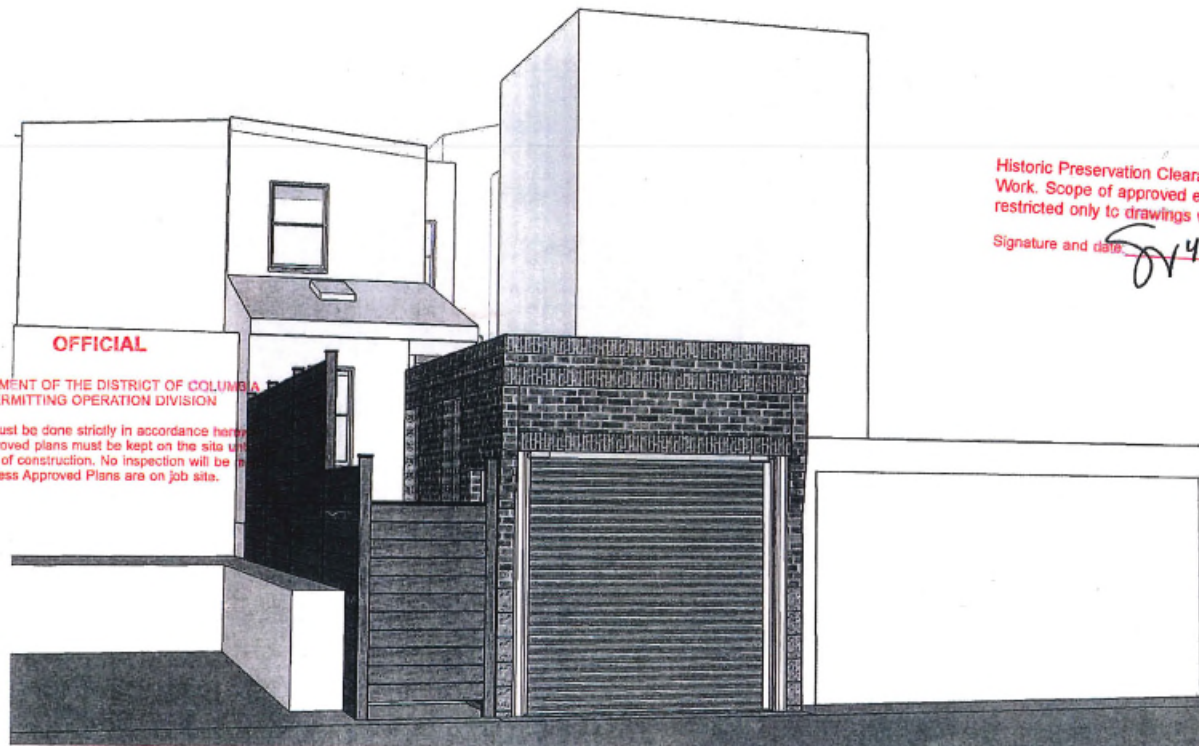


# Exhibit K



**OFFICIAL**  
 GOVERNMENT OF THE DISTRICT OF COLUMBIA  
 PERMITTING OPERATION DIVISION  
 All work must be done strictly in accordance herewith and approved plans must be kept on the site until completion of construction. No inspection will be made unless Approved Plans are on job site.

Historic Preservation Clearance for Exterior Work. Scope of approved exterior work is restricted only to drawings with this stamp.  
 Signature and date: SV 4/7/15

**OFFICIAL**  
 GOVERNMENT OF THE DISTRICT OF COLUMBIA  
 PERMITTING OPERATION DIVISION  
 All work must be done strictly in accordance herewith and approved plans must be kept on the site until completion of construction. No inspection will be made unless Approved Plans are on job site.



DISTRICT OF COLUMBIA  
 PERMIT OPERATIONS DIVISION  
 STRUCTURAL WORK IN GENERAL  
 APPROVED SUBJECT TO THE  
 FURTHER APPROVAL OF CONSTRUCTION

Date 5-18-15  
 Structural Engr. Section  
 [Signature]

# LIST OF DRAWINGS

- COVER SHEET
- A1 FLOOR PLANS
- A2 GARAGE ELEVATIONS
- A3 GARAGE ELEVATIONS
- A4 SECTIONS
- A5 SECTIONS
- S1 STRUCTURAL PLANS
- E1 LIGHTING + POWER PLANS
- M1 MECH PLAN

**CLIENT**  
 PATTY JORDAN & ANDREW DALY  
 1120 PARK ST NE  
 WASHINGTON DC  
 20002

**PROJECT**  
 NEW GARAGE

**PROJECT NO.**  
 11-034

**DRAWN BY**  
 EP

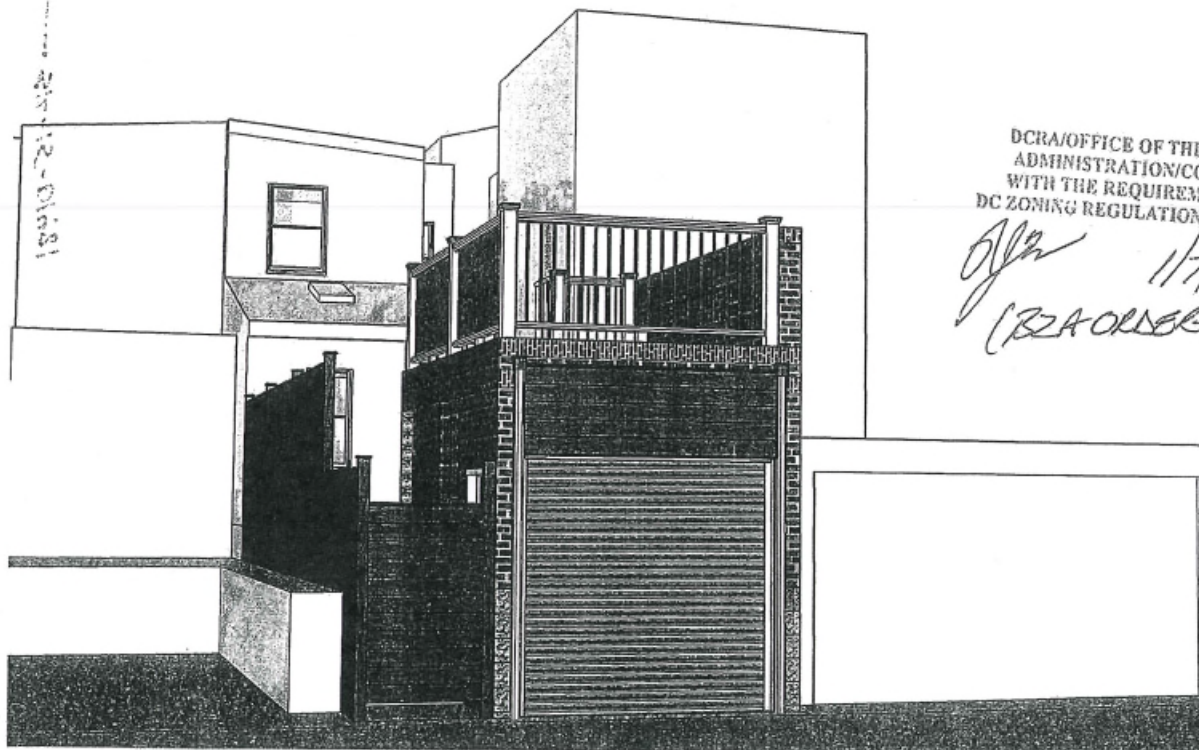
**ISSUE**  
 22 SEPT 2014  
 PERMIT SET

COVER SHEET

AVENUE  
 DESIGN



3.5' height of 1st floor of adjacent



2-4  
DCRA/OFFICE OF THE ZONING  
ADMINISTRATION/COMPLIES  
WITH THE REQUIREMENTS OF  
DC ZONING REGULATIONS (11 DCMR)  
11/7/15  
(2A ORDER #18574)

View From Alley

LIST OF DRAWINGS

- COVER SHEET
- A1 FLOOR PLANS
- A2 GARAGE ELEVATIONS
- A3 GARAGE ELEVATIONS
- A4 SECTIONS
- A5 SECTIONS
- S1 STRUCTURAL PLANS
- E1 LIGHTING + POWER PLANS
- M1 MECH PLAN



CLIENT  
PATTY JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC  
20002

PROJECT  
NEW GARAGE

PROJECT NO.  
11-034

DRAWN BY  
EP

ISSUE  
22 SEPT 2014  
PERMIT SET

COVER SHEET

AVENUE  
DESIGN



## ABBREVIATIONS

|        |                                       |
|--------|---------------------------------------|
| A.D.   | AREA DRAIN                            |
| AFF    | ABOVE FINISH FLOOR                    |
| A.P.   | ACCESS PANEL                          |
| C.J.   | CONTROL JOINT                         |
| CL     | CENTER LINE                           |
| CMU    | CONCRETE MASONRY UNIT                 |
| CT     | CERAMIC TILE                          |
| CLG    | CEILING                               |
| COL    | COLUMN                                |
| CONC   | CONCRETE                              |
| CONT   | CONTINUOUS                            |
| COORD  | COORDINATE                            |
| DIA    | DIAMETER                              |
| DN     | DOWN                                  |
| DWG    | DRAWING                               |
| EA     | EACH                                  |
| EL     | ELEVATION                             |
| ELEC.  | ELECTRICAL                            |
| EQ     | QUAL                                  |
| EQUIP. | EQUIPMENT                             |
| EXT    | EXTERIOR                              |
| F.D.   | FLOOR DRAIN                           |
| FIN.   | FINISHED FLOOR ELEVATION              |
| F.O.C. | FACE OF CONCRETE                      |
| F.O.M. | FACE OF MASONRY                       |
| F.O.S. | FACE OF STUD                          |
| F.R.   | FIRE RATED (RESISTIVE)                |
| FIN.   | FINISH                                |
| FLR    | FLOOR                                 |
| GA.    | GALVE                                 |
| GALV.  | GALVANIZED                            |
| GL     | GLAZED                                |
| GYP.   | GYPSUM BOARD                          |
| H.M.   | HOLLOW METAL                          |
| HDW.   | HARDWARE                              |
| BC     | INTERNATIONAL BUILDING CODE           |
| IO     | INDOOR/OUTDOOR                        |
| IRC    | INTERNATIONAL RESIDENTIAL CODE        |
| LAV    | LAVATORY                              |
| M.O.   | MASONRY OPENING                       |
| MATL.  | MATERIAL                              |
| MAX.   | MAXIMUM                               |
| MECH.  | MECHANICAL                            |
| MEZZ   | MEZZANINE                             |
| MFR    | MANUFACTURER                          |
| MIN.   | MINIMUM                               |
| MTL    | METAL                                 |
| N/A    | NOT APPLICABLE                        |
| N.L.C. | NOT IN CONTRACT                       |
| N.T.S. | NOT TO SCALE                          |
| NOM.   | NOMINAL                               |
| O.C.   | ON CENTER                             |
| O.D.   | OUTER DIAMETER                        |
| OFCI   | OWNER FURNISHED, CONTRACTOR INSTALLED |
| OFDI   | OWNER FURNISHED, OWNER INSTALLED      |
| OPP.   | OPPOSITE                              |
| PLYWD  | PLYWOOD                               |
| P.T.   | PRESSURE TREATED                      |
| PNL    | PANEL                                 |
| QTY    | QUANTITY                              |
| R.D.   | ROOF DRAIN                            |
| R.O.   | ROUGH OPENING                         |
| REF    | REFRIGERATOR                          |
| REINF  | REINFORCEMENT                         |
| RESIL  | RESILIENT                             |
| REQD   | REQUIRED                              |
| REV.   | REVERSE                               |
| RM     | ROOM                                  |
| SS     | STAINLESS STEEL                       |
| SCHED  | SCHEDULE                              |
| SHT    | SHEET                                 |
| SIM    | SIMILAR                               |
| SPECS  | SPECIFICATIONS                        |
| STL    | STEEL                                 |
| STOR   | STORAGE                               |
| STRUCT | STRUCTURAL                            |
| T.O.S. | TOP OF SLAB                           |
| TYP.   | TYPICAL                               |
| U-GUT  | UNDERCUT                              |
| U.N.O. | UNLESS NOTED OTHERWISE                |
| V.I.F. | VERIFY IN FIELD                       |
| VTR    | VENT THROUGH ROOF                     |
| W.C.   | WATER CLOSET                          |
| W.P.   | WORKING POINT                         |
| W/     | WITH                                  |

1120 Park St NE  
Washington DC 20002

## GENERAL NOTES

FOUNDATION AND SLAB ON GRADE  
FOOTINGS ARE DESIGNED FOR A BEARING CAPACITY OF 1500 PSF. FOOTING SHALL BEAR ON NATURAL UNDISTURBED SOIL 1'-0" BELOW ORIGINAL GRADE OR ON STRUCTURAL COMPACTED FILL. BOTTOM OF EXTERIOR FOOTINGS SHALL BE 2'-6" BELOW FINISHED GRADE

MASONRY  
ALL MORTAR SHALL CONFORM TO ASTM C720. MORTAR TO BE USED SHALL BE SAMPLED AND TESTED BY THE BRICK AND MASONRY SUPPLIERS ACCORDING TO ASTM C780 AND RESULTS SUBMITTED TO THE ENGINEER FOR APPROVAL. MORTAR SHALL BE PORTLAND CEMENT MORTAR TYPE 2 AS A MINIMUM. LOOSE LINTEL FOR OPENINGS IN MASONRY WALLS SHALL BE AS FOLLOWS FOR EACH 4" WIDTH:

UP TO 3'-0" 3 1/2" X 3 1/2" X 5/16"  
3'-1" TO 5'-0" 4" X 3 1/2" X 5/16"  
5'-1" TO 6'-0" 5" X 3 1/2" X 3/8"  
6'-1" TO 8'-0" 6" X 3 1/2" X 3/8"

SHORT LEG OUTSTANDING W/ 6" MIN. BEARING INTERIOR NON-LOAD LINTEL TO BE PRE-CAST

### WOOD

STRUCTURAL WOOD MEMBERS TO BE SOUTHERN YELLOW PINE NUMBER TWO. ALL CONSTRUCTION TO CONFORM TO LATEST "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."

PROVIDE DOUBLE JOIST AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3" JOIST SPAN.

PROVIDE 1X3 CROSS BRIDGING AT 8'-0" O.C. AT ALL FLOOR AND ROOF JOISTS.

MICROLAM MEMBERS SHALL CONFORM TO THE FOLLOWING MINIMUM ALLOWABLE STRESSED:

MOD. OF ELAS. 1,900,000 PSI  
FLEXURAL STRESS 2,600 PSI  
PARALLEL TENSION 1,555 PSI  
PERPENDICULAR COMPRESSION 750 PSI  
PARALLEL COMPRESSION 2,310 PSI  
HORIZ. PERP. SHEAR 285 PSI

TJI'S AND LAMS SHALL BE BY JOIST MACMILLAN OR APPROVED EQUAL AND INSTALLED PER MNFR REQ'S

## BUILDING INFO SUMMARY

CONSTRUCTION TYPE: VB, COMBUSTIBLE, UNPROTECTED (EXCEPT AT PROPERTY LINE)  
USE GROUP: U - UTILITY (PRIVATE GARAGE)  
SPRINKLERED? N/A, FIRE ALARM? N/A

### EXTERIOR AREA

TOTAL LOT 1355 SF  
LOT OCCUPANCY ALLOWED 70% 949 SF PROPOSED 70% 949 SF  
(BY BZA ORDER 18514)  
EXISTING HOUSE LOT AREA: 791.0 SF

### GARAGE INFO

GBA (10.0' X 15.8') = 158 SF  
ALLOWABLE HEIGHT = 15 FT PROPOSED HEIGHT

### ZONING

SQUARE / LOT 0967 / 0008  
ZONE DISTRICT R-4

## DESIGN CODES

### REFERENCE

- 1.) INTERNATIONAL BUILDING CODE 2012
- 2.) DCRM 12 SUPPLEMENTARY CODE 2013
- 3.) BUILDING CODES FOR STRUCT. CONC. ACI-318-05
- 4.) BUILDING CODES FOR MAS. STRUCT. ACI-530-05/ASCE 5-05
- 5.) SPECS FOR STRUCT. STEEL AISC 13TH ED.

### DESIGN LOADS

|                                  |        |
|----------------------------------|--------|
| FLOOR LL                         | 40 PSF |
| FLOOR -                          | 30 PSF |
| SLEEPING ROOM -                  | 30 PSF |
| STAIRS -                         | 40 PSF |
| ROOF LOAD                        |        |
| MIN. LL -                        | 30 PSF |
| GROUND SNOW LOAD (Pg) -          | 30 PSF |
| FLAT ROOF SNOW LOAD (Pt) -       | 24 PSF |
| SNOW EXPOSURE FACTOR (Ce)        | 1.0    |
| SNOW LOAD IMPORTANCE FACTOR (Is) | 1.0    |
| THERMAL FACTOR (Ct)              | 1.0    |
| WIND LOAD                        |        |
| BASIC 3sec. GUST -               | 60MPH  |
| WIND LOAD IMPORTANCE FACTOR      | 1.0    |
| WIND EXPOSURE                    | C      |
| INTERNAL PRESSURE COEFFICIENT    | .018   |

## BUILDING DATA

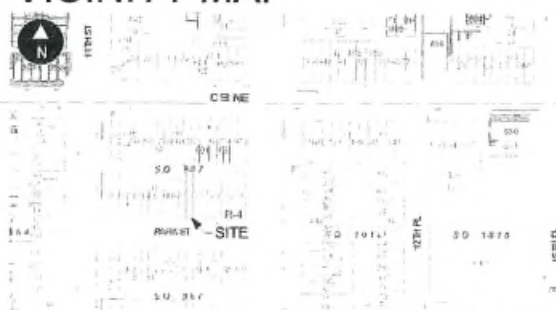
| ELEMENT        | R-VALUE (U-VALUE AT GLAZING) | SUNROOM           |
|----------------|------------------------------|-------------------|
| WINDOW/DOOR    | 0.40 (U-VALUE)               | 0.50 (U-VALUE)    |
| SKYLIGHT       | 0.60 (U-VALUE)               | 0.75 (U-VALUE) 19 |
| CEILING        | 49                           | 19                |
| WD. WALL       | 20                           | 13                |
| CONC. WALL     | 5                            | 5                 |
| FLOOR          | 19                           | 21                |
| BASEMENT WALLS | 10/13                        | 10/13             |
| SLAB ON GRADE  | 10                           | 10                |
| CRAWL SPACE    | 10/13                        | 10/13             |

- 1.) USE R-10 WHEN APPLIED CONTINUOUSLY AGAINST THE WALL; USE R-13 WHEN BETWEEN STUDS
- 2.) INSULATION MUST EXTEND FROM THE SLAB EDGE TO A LENGTH OF 24" VERT. AND/OR HORIZ.
- 3.) USE INSULATION ON CRAWLSPACE WALL IN NON-VENTED CONDITION

## SCOPE OF WORK

NEW GARAGE INCLUDING ASSOCIATED ELECTRICAL, AND PLUMBING WORK.

## VICINITY MAP



AVENUE DESIGN

519 11TH ST. SE  
WASHINGTON, DC  
20003  
Tel: 202.744.7825

CLIENT  
PATRY JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC 20002

PROJECT  
NEW GARAGE  
PROJECT NO.  
11-034

ISSUE  
23 SEPT 2014  
PERMIT SET  
DRAWN BY  
EP

PROJECT INFO

CS1

DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR

December 10, 2014 *MD by F Survey, D.C.*

Washington, D.C., August 3, 2012

Plat for Building Permit of SQUARE 987 LOT 8

Scale: 1 inch = 20 feet Recorded in Book RLH Page 44

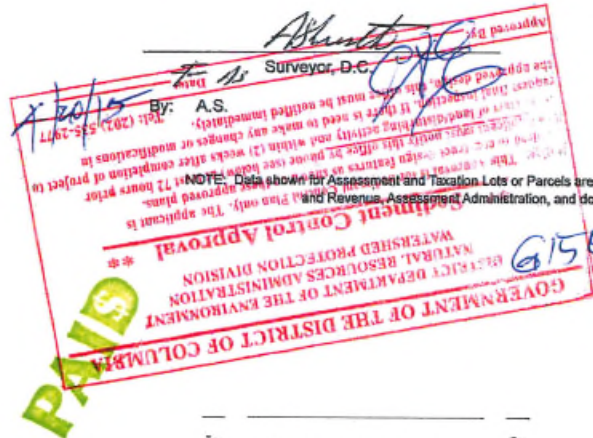
Receipt No.: 12-05512- *SR-15-01481*

Furnished to: ERIC PETERSON

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

Date: *12-9-2014*

(Signature of owner or his authorized agent)

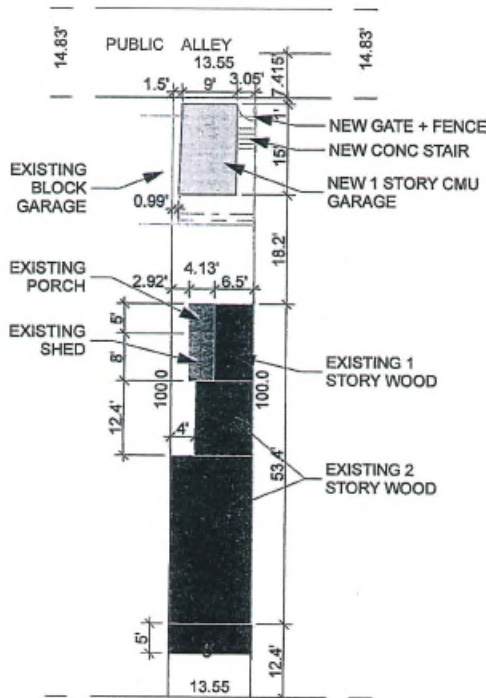


**DISTURBANCE LEGEND**

--- LINE OF SILT FENCE  
--- AREA OF DISTURBANCE  
--- AREA OF CUT

**SOIL DISTURBANCE CALCULATIONS**

AREA OF DISTURBANCE = 220 SF  
AREA OF CUT 11.58 CY  
AREA OF FILL 0 CY



PARK STREET, N.E.

DCRA/OFFICE OF THE ZONING  
ADMINISTRATION/COMPLIES  
WITH THE REQUIREMENTS OF  
DC ZONING REGULATIONS (11 DCMR)

*11/7/13*  
*(BZA ORDER #18514)*



**ZONING INFO**

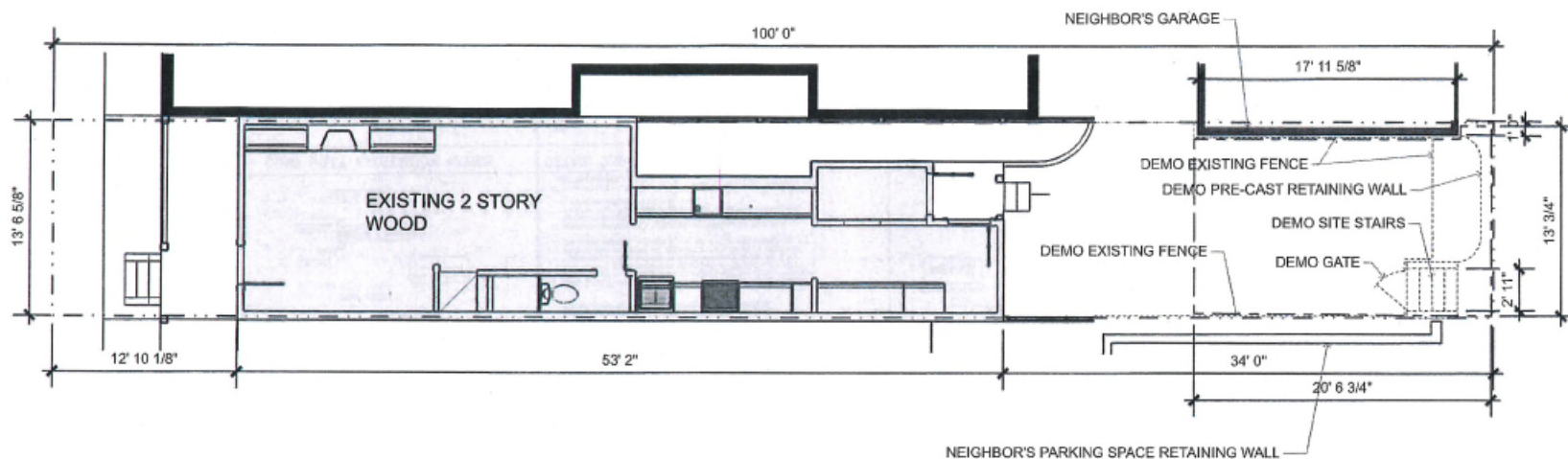
ADDRESS: 1120 PARK ST NE WASHINGTON DC 20002  
LOT: 0008 SQUARE: 0987  
PROPERTY DIMS AND AREA: 100FT X 13.55FT = 1,355 SF - 22.5 SF (ENCROACHING ADJACENT GARAGE) = 1,332.5 SF  
EXISTING LOT OCCUPANCY AREA: 791.32 SF = 59.39%  
NEW GARAGE AREA: 141.43 SF = 10.61%  
EXISTING + PROPOSED GARAGE LOT OCCUPANCY AREA: 932.75 SF = 70.0%



Historic Preservation Clearance for Exterior Work. Slope of approved exterior work is restricted only to drawings with this stamp. Signature and date: *SV 11/13*







1 SITE DEMO PLAN  
Scale: 1/8" = 1'-0"

- PROPERTY LINE
- EXISTING SITE ELEMENT TO BE DEMOD
- AREA OF DISTURBANCE AND LINE OF EROSION CONTROL SILT FENCE

Historic Preservation Clearance for Exterior Work. Scope of approved exterior work is restricted only to drawings with this stamp.

Signature and date Eric R. Petersen



Avenue Design  
519 11TH ST. SE  
WASHINGTON, DC  
20003  
Tel: 202.744.7825

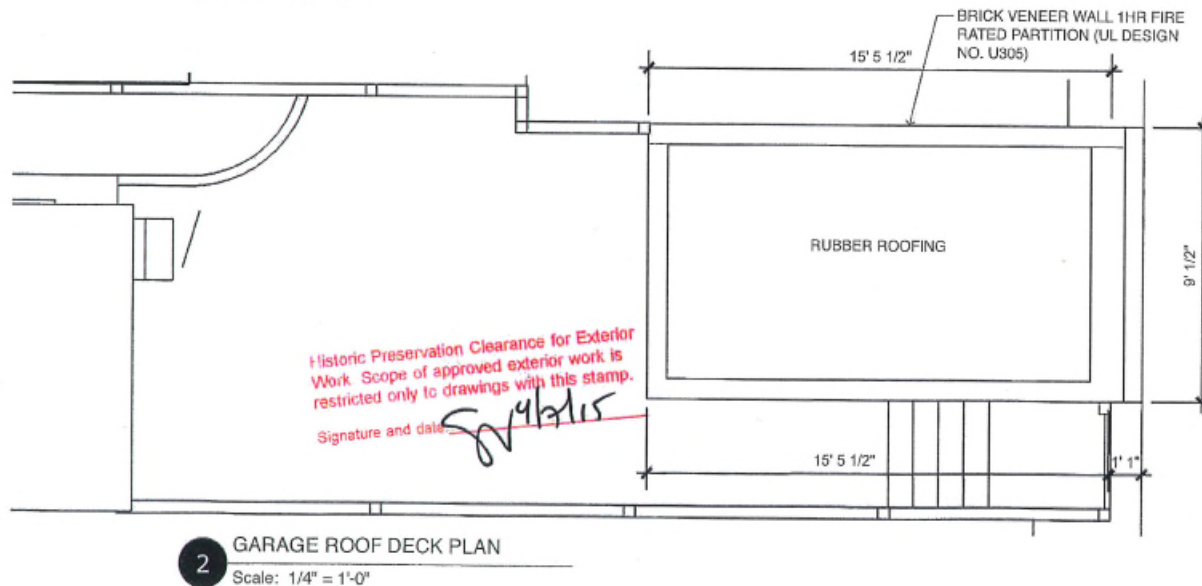
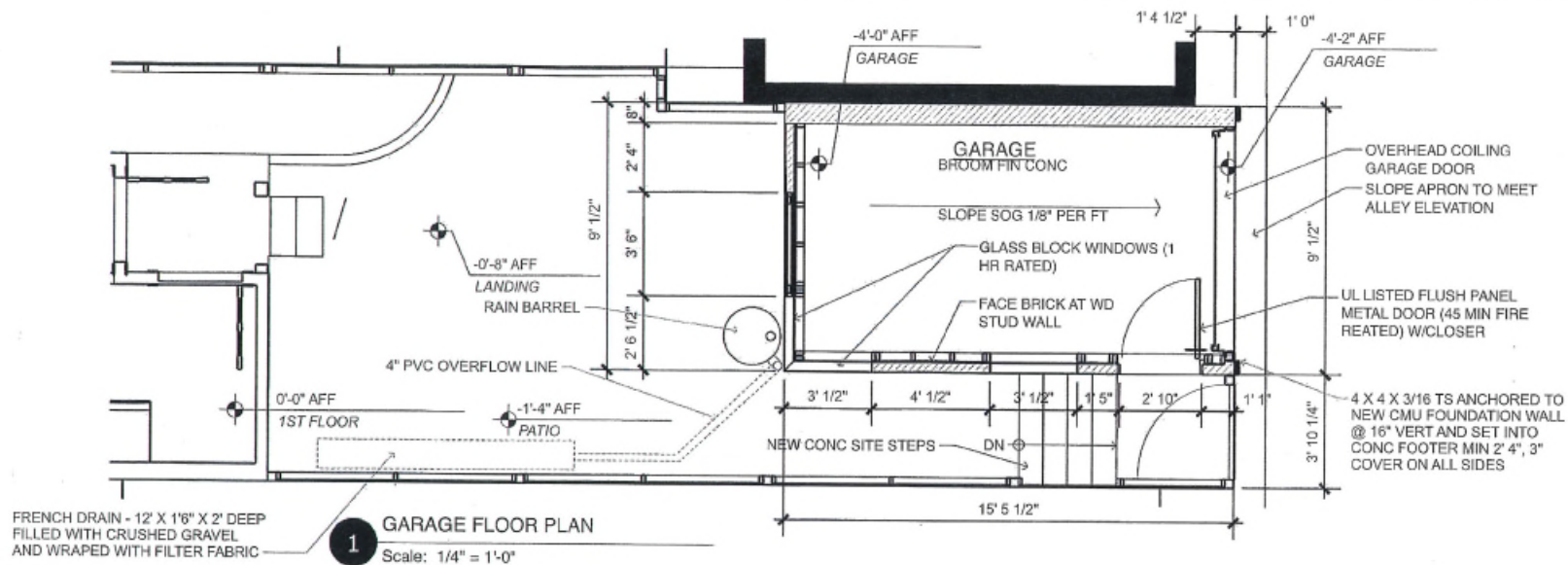
CLIENT PATTY JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC 20002  
PROJECT NEW GARAGE  
PROJECT NO. 11-034

ISSUE 23 SEPT 2014  
PERMIT SET  
DRAWN BY EP

SITE PLAN

CS2





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1120 PARK ST NE  
WASHINGTON DC 20002

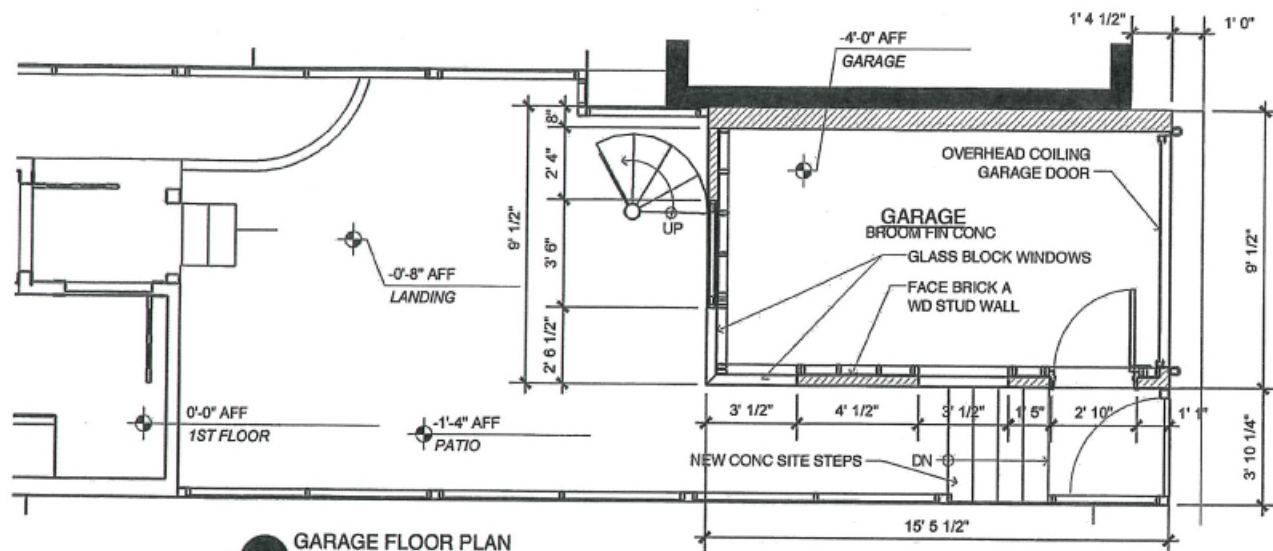
PROJECT  
NEW GARAGE  
PROJECT NO.  
11-034

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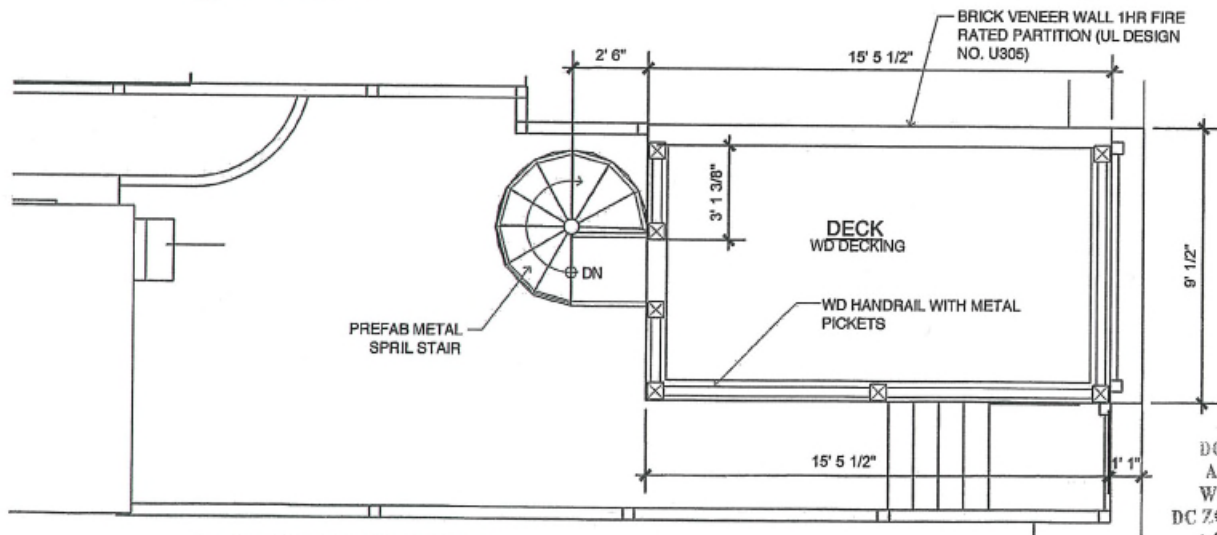
GARAGE  
FLOOR PLANS

A1





1 GARAGE FLOOR PLAN  
Scale: 1/4" = 1'-0"



2 GARAGE ROOF DECK PLAN  
Scale: 1/4" = 1'-0"



Avenue Design  
519 11TH ST, SE  
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20003  
Tel: 202.744.7825

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PATTY JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC 20002

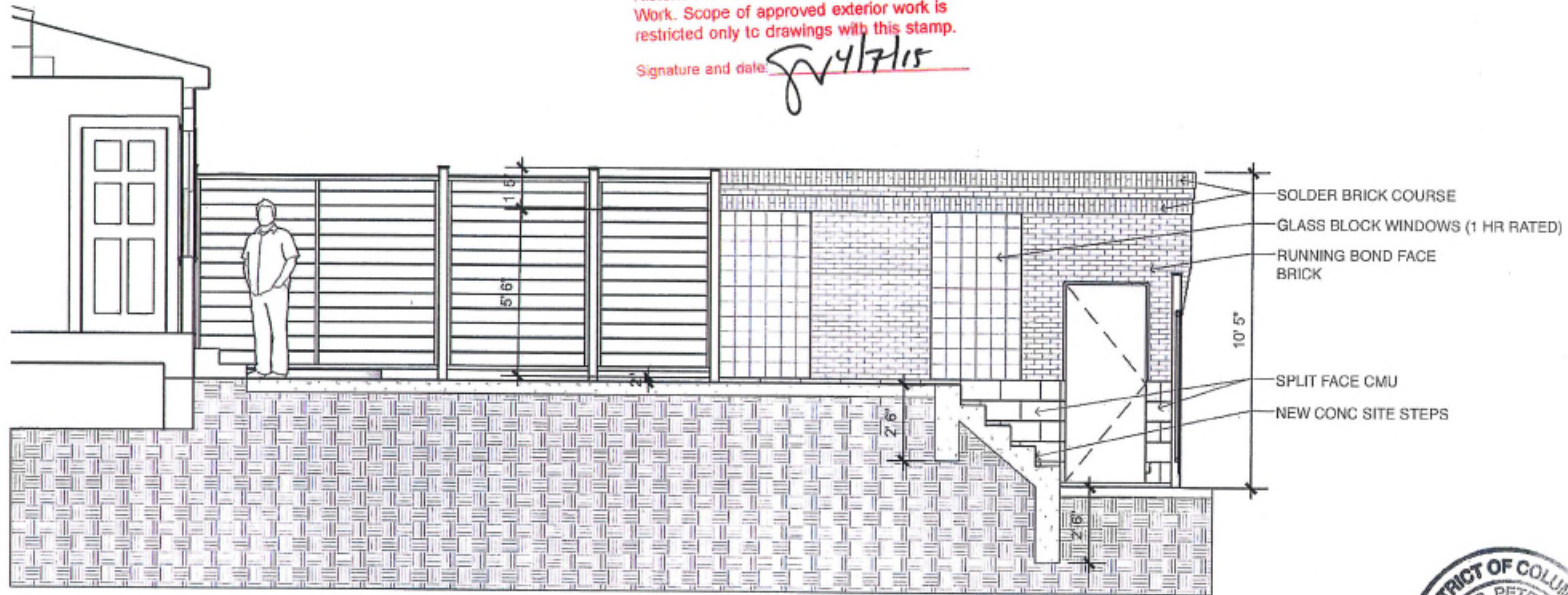
PROJECT  
NEW GARAGE  
PROJECT NO.  
11-034

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23 SEPT 2014  
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EP

PLANS

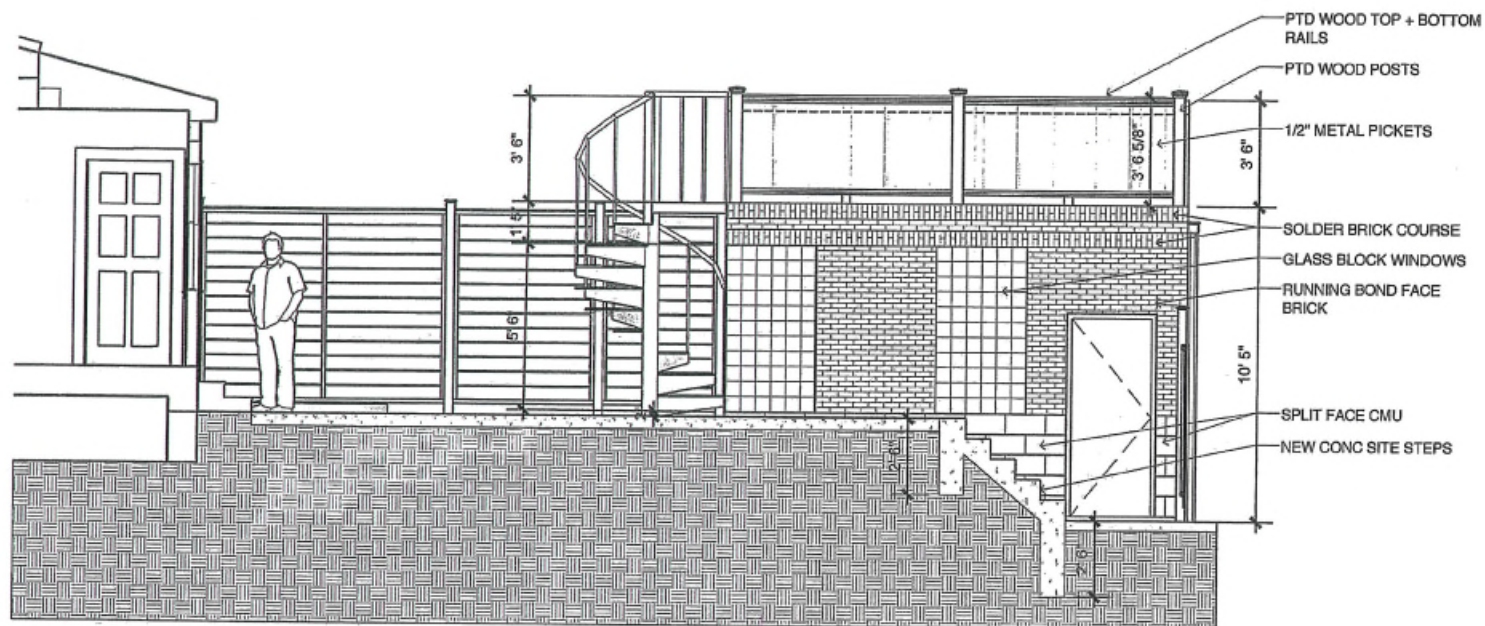
DCRA/OFFICE OF THE ZONING  
ADMINISTRATION/COMPLIES  
WITH THE REQUIREMENTS OF  
DC ZONING DISTRICT 1  
R-4  
1/7/14  
BZA ORDER #18

Historic Preservation Clearance for Exterior Work. Scope of approved exterior work is restricted only to drawings with this stamp.  
Signature and date: *[Signature]* 9/4/15



**1 EAST ELEVATION**  
Scale: 1/4" = 1'-0"





1 EAST ELEVATION

Scale: 1/4" = 1'-0"

DCRA/OFFICE OF THE ZONING  
ADMINISTRATION/COMPLIES  
WITH THE REQUIREMENTS OF  
DC ZONING REGULATIONS (11 DCMR)  
11/7/15  
(BZA ORDER #1854)



Avenue Design  
519 11TH ST, SE  
WASHINGTON, DC  
20003  
Tel: 202.744.7825

CLIENT  
PATY JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC 20002

PROJECT  
NEW GARAGE  
PROJECT NO.  
11-034

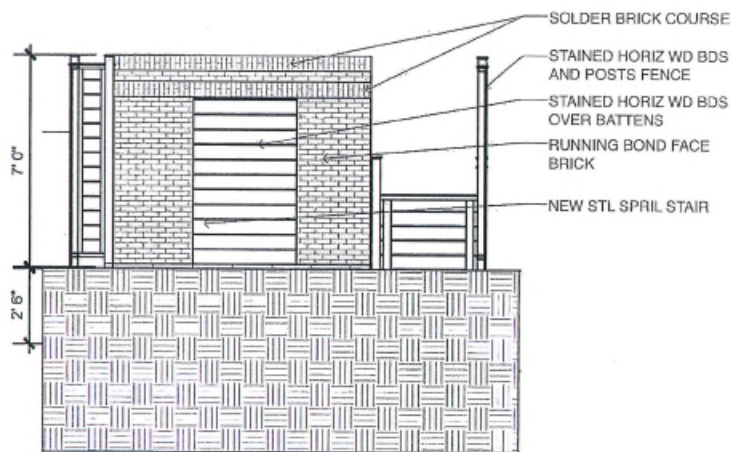
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23 SEPT 2014  
PERMIT SET  
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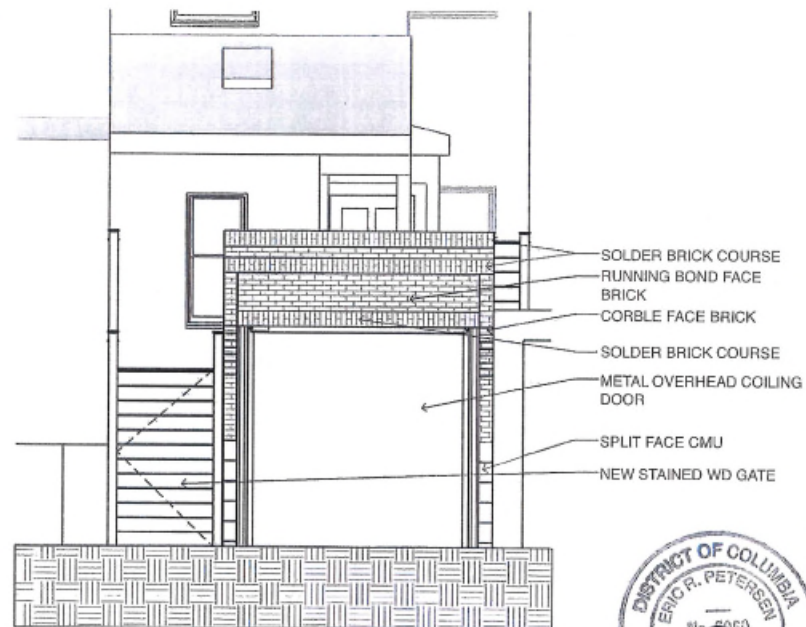


Historic Preservation Clearance for Exterior Work. Scope of approved exterior work is restricted only to drawings with this stamp.

Signature and date: *SV 4/7/15*



**1** SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



**1** NORTH ELEVATION  
Scale: 1/4" = 1'-0"



Avenue Design  
519 11TH ST. SE  
WASHINGTON, DC  
20003  
Tel: 202.744.7825

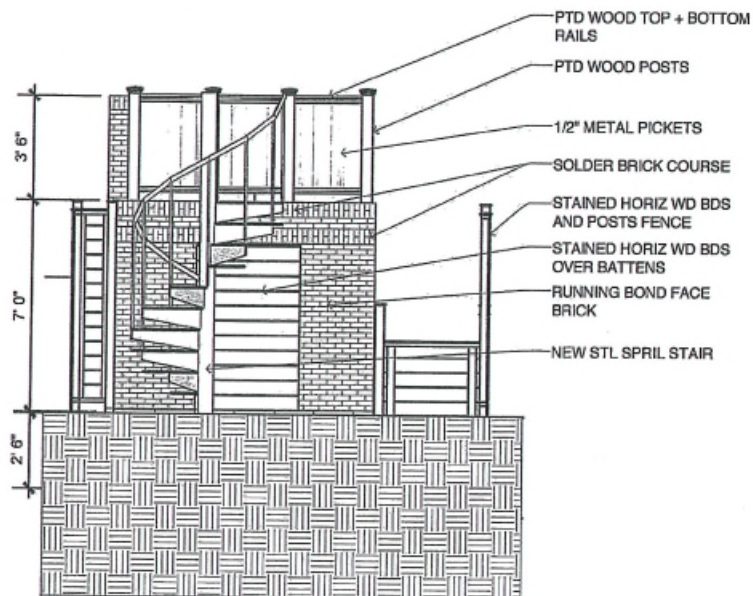
CLIENT  
PATY JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC 20002

PROJECT  
NEW GARAGE  
PROJECT NO.  
11-034

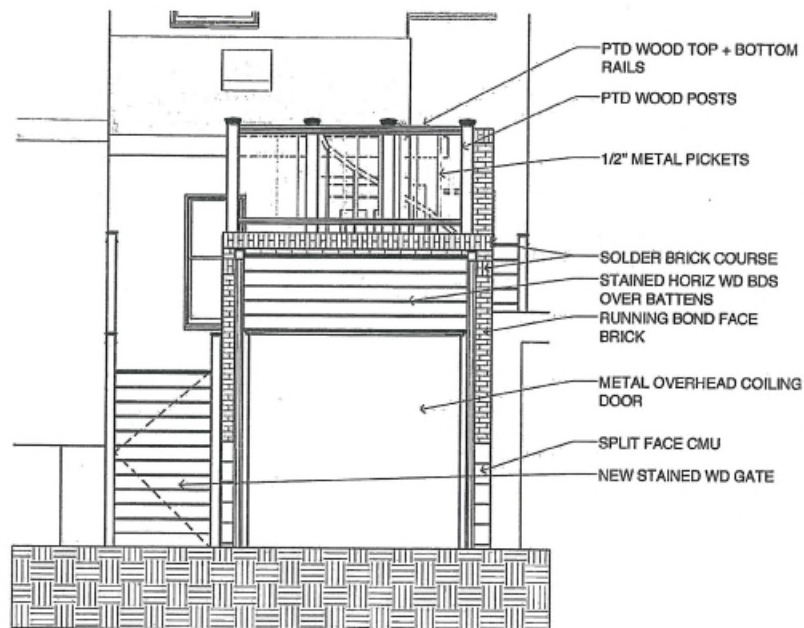
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23 SEPT 2014  
PERMIT SET  
DRAWN BY  
EP

GARAGE  
ELEVATIONS

A3



**1** SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



**1** NORTH ELEVATION  
Scale: 1/4" = 1'-0"

DCRA/OFFICE OF THE ZONING  
ADMINISTRATION/COMPLIES  
WITH THE REQUIREMENTS OF  
DC ZONING REGULATIONS (U DC/IR)  
1/7/15  
(R2K ORD #18514)



Avenue Design  
519 11TH ST, SE  
WASHINGTON, DC  
20003  
Tel: 202.744.7825

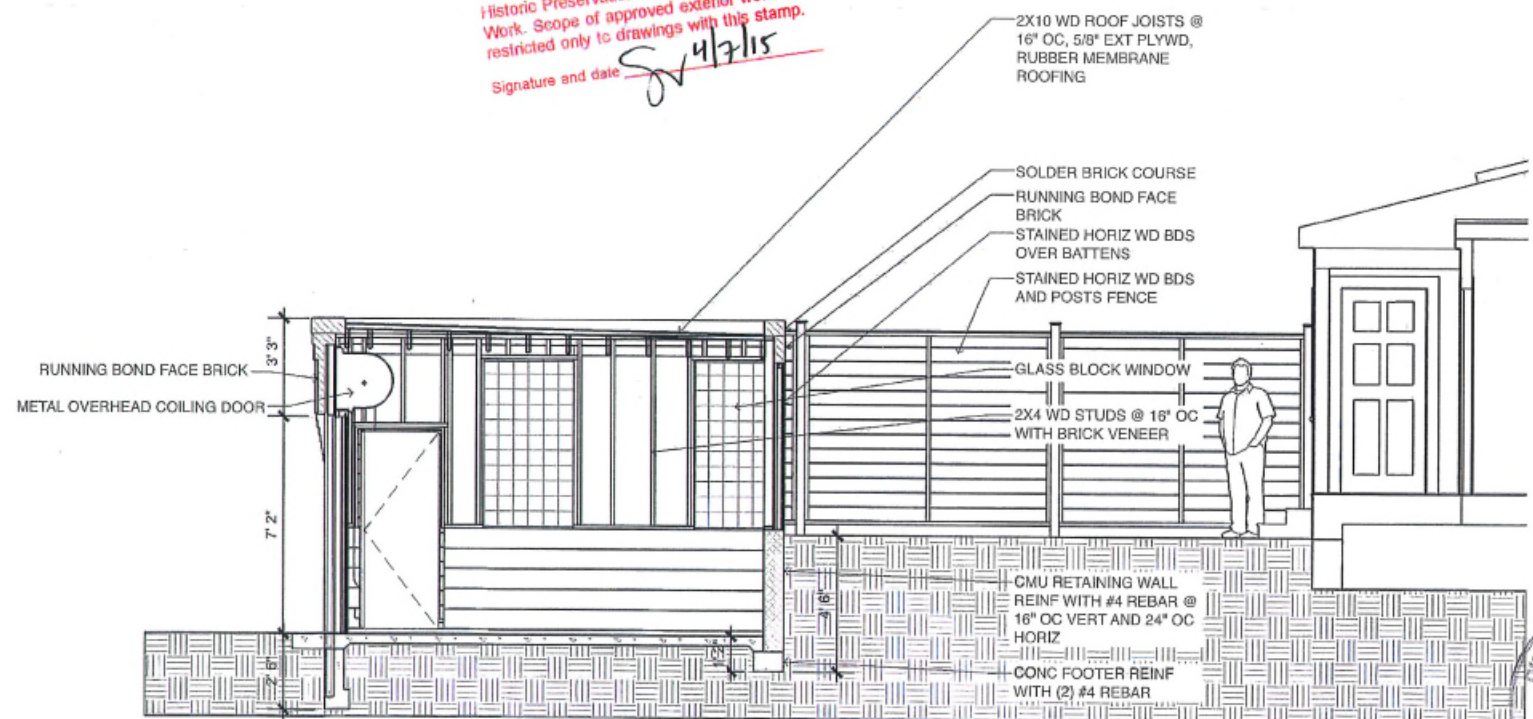
CLIENT  
PATRY JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC 20002

PROJECT  
NEW GARAGE  
PROJECT NO.  
11-034

ISSUE  
23 SEPT 2014  
PERMIT SET  
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EP

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IONS

Historic Preservation Clearance for Exterior Work. Scope of approved exterior work is restricted only to drawings with this stamp.  
 Signature and date *SV 4/7/15*



**1** BUILDING SECTION  
 Scale: 1/4" = 1'-0"



Avenue Design  
 519 11TH ST. SE  
 WASHINGTON, DC  
 20003  
 Tel: 202.744.7825

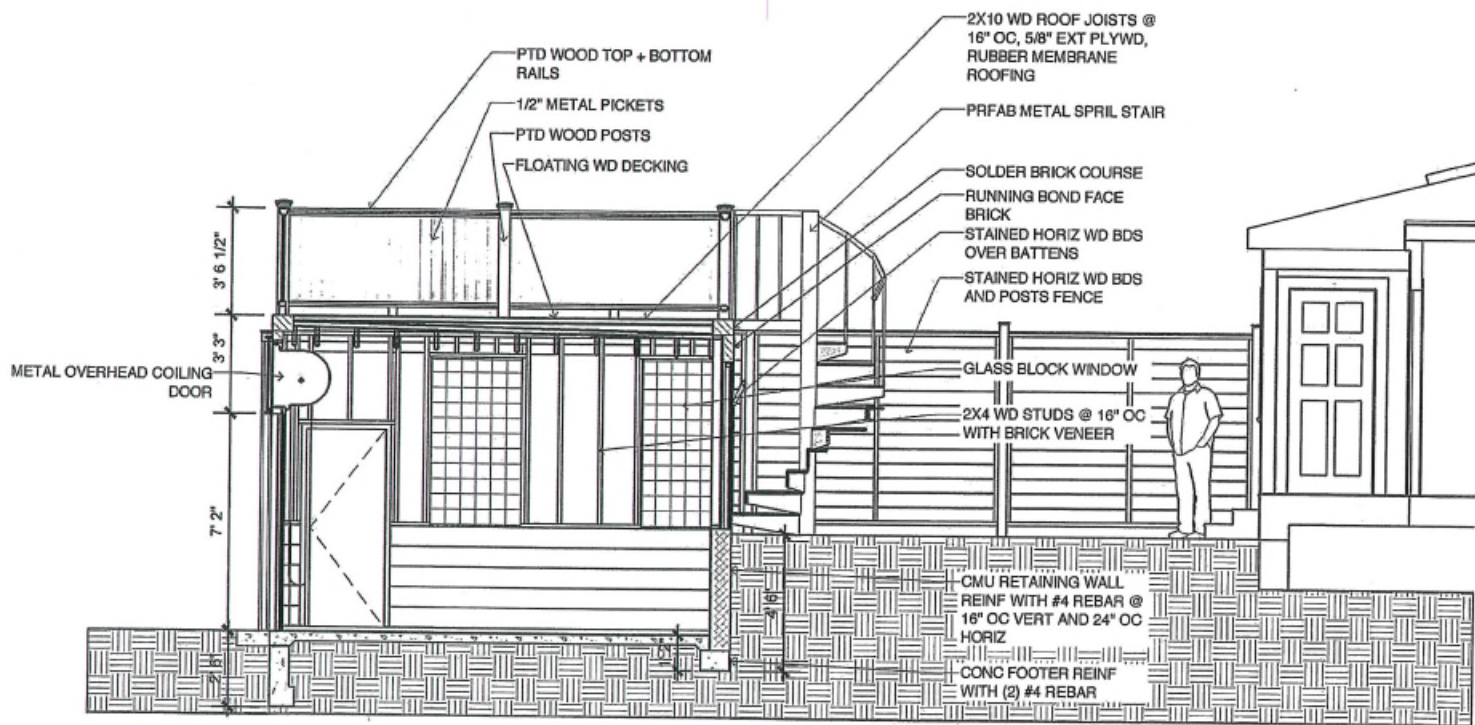
CLIENT  
 PATTY JORDAN & ANDREW DALY  
 1120 PARK ST NE  
 WASHINGTON DC 20002

PROJECT  
 NEW GARAGE  
 PROJECT NO.  
 11-034

ISSUE  
 23 SEPT 2014  
 PERMIT SET  
 DRAWN BY  
 EP

BUILDING SECTION





**1 BUILDING SECTION**  
Scale: 1/4" = 1'-0"

*R-4*  
DCRA/OFFICE OF THE ZONING  
ADMINISTRATION/COMPLIES  
WITH THE REQUIREMENTS OF  
DC ZONING REGULATIONS (11 DCMR)  
*1/21/15*  
*(BZA CASE #118514)*



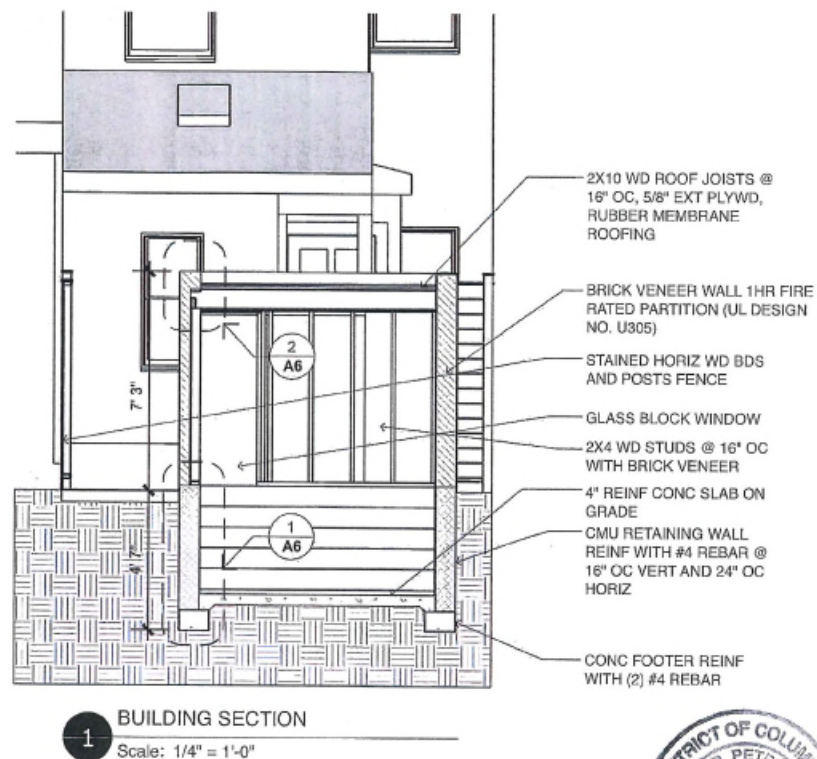
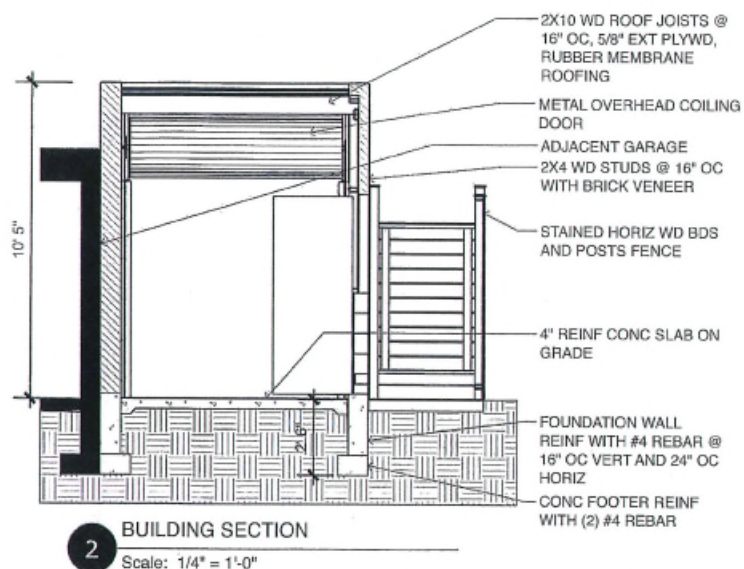
Avenue Design  
519 11TH ST, SE  
WASHINGTON, DC  
20003  
Tel: 202.744.7825

CLIENT  
PATTY JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC 20002

PROJECT  
NEW GARAGE  
PROJECT NO.  
11-034

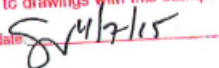
ISSUE  
23 SEPT 2014  
PERMIT SET  
DRAWN BY  
EP

**NG SECTION**



Historic Preservation Clearance for Exterior  
 Work. Scope of approved exterior work is  
 restricted only to drawings with this stamp.

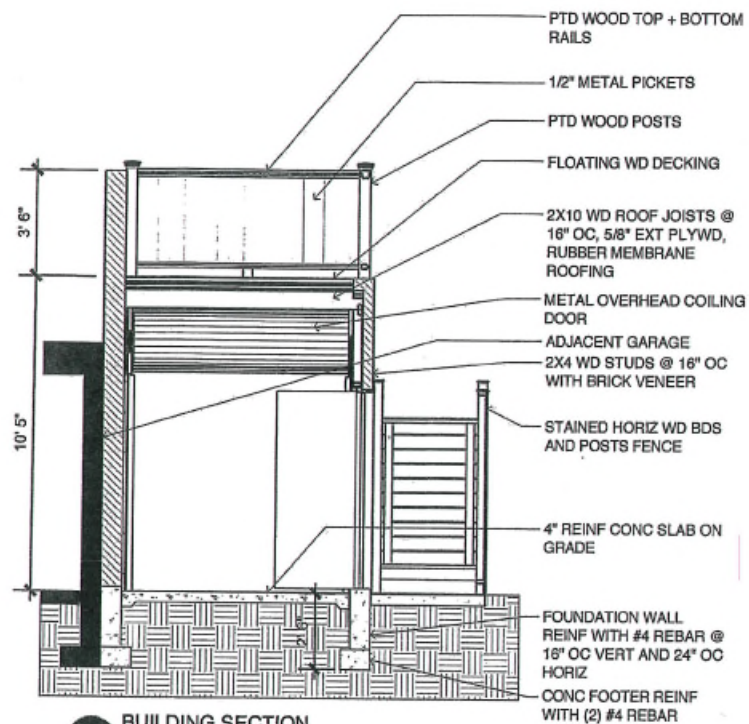
Signature and date





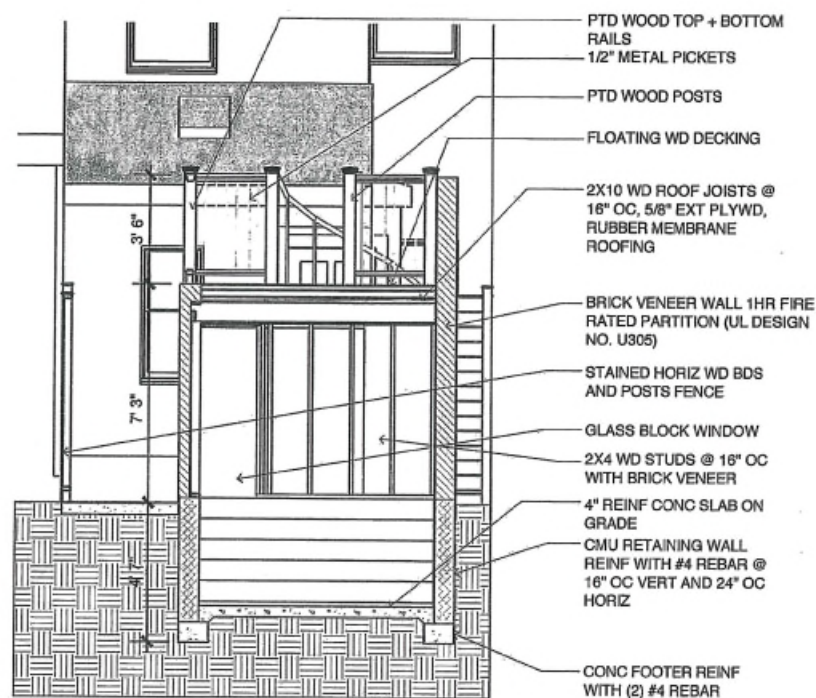
BUILDING SECTION

A5



**2 BUILDING SECTION**

Scale: 1/4" = 1'-0"



**1 BUILDING SECTION**

Scale: 1/4" = 1'-0"

DCRA/OFFICE OF THE ZONING  
ADMINISTRATION/COMPLIES  
WITH THE REQUIREMENTS OF  
DC ZONING REGULATIONS (HDCAR)  
7/7/15  
(BZA ORAL #18514)



Avenue Design  
519 11TH ST, SE  
WASHINGTON, DC  
20003  
Tel: 202.744.7825

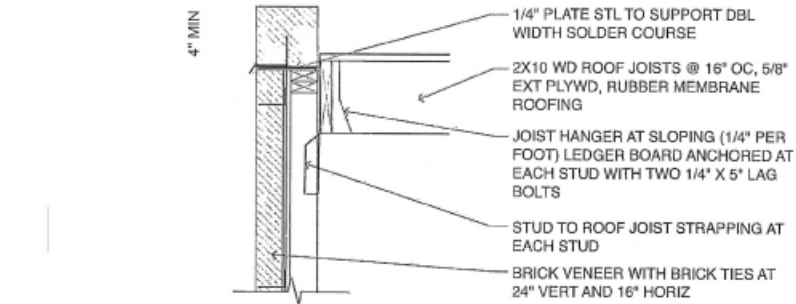
CLIENT  
PATRICK JORDAN & ANDREW DALY  
1120 PARK ST NE  
WASHINGTON DC 20002

PROJECT  
NEW GARAGE  
PROJECT NO.  
11-034

ISSUE  
23 SEPT 2014  
PERMIT SET  
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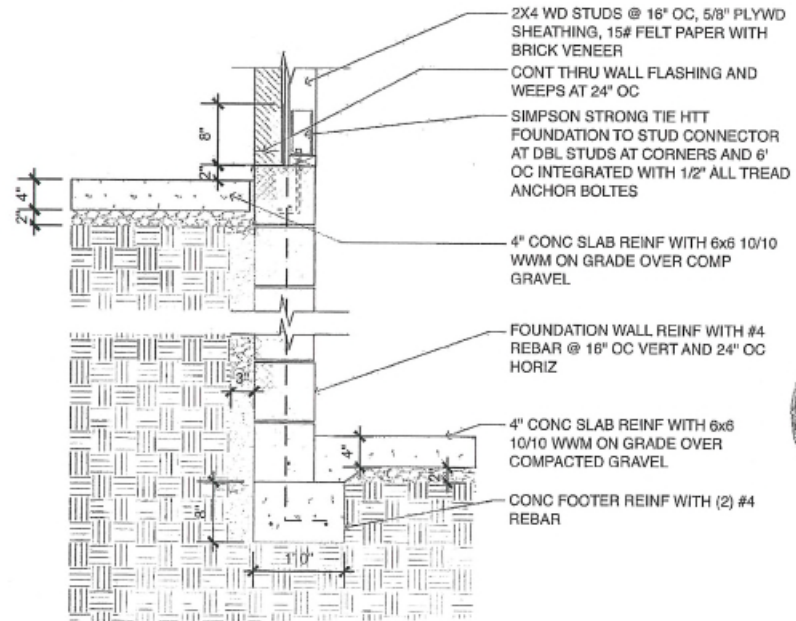
**VG SECTION**





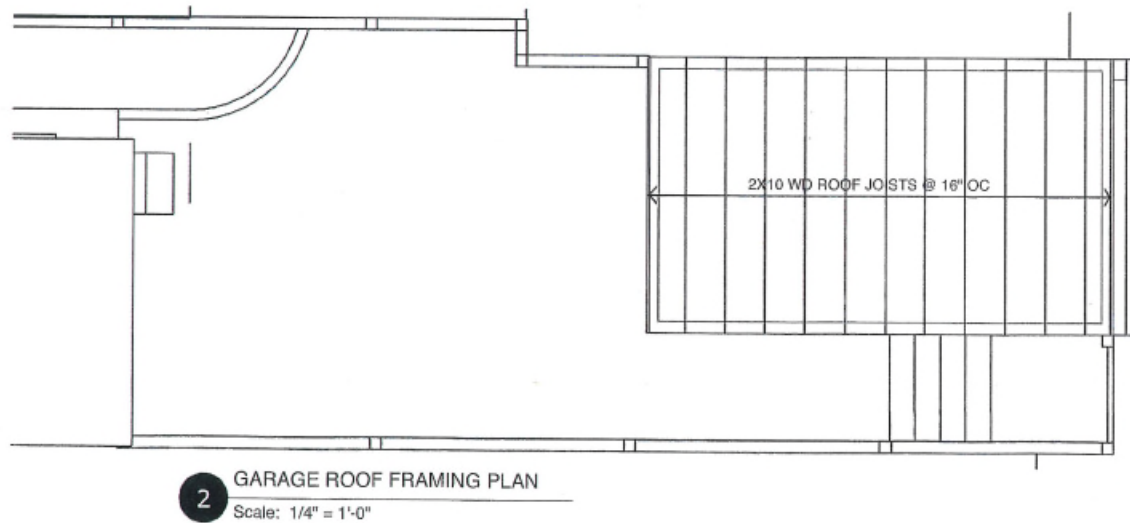
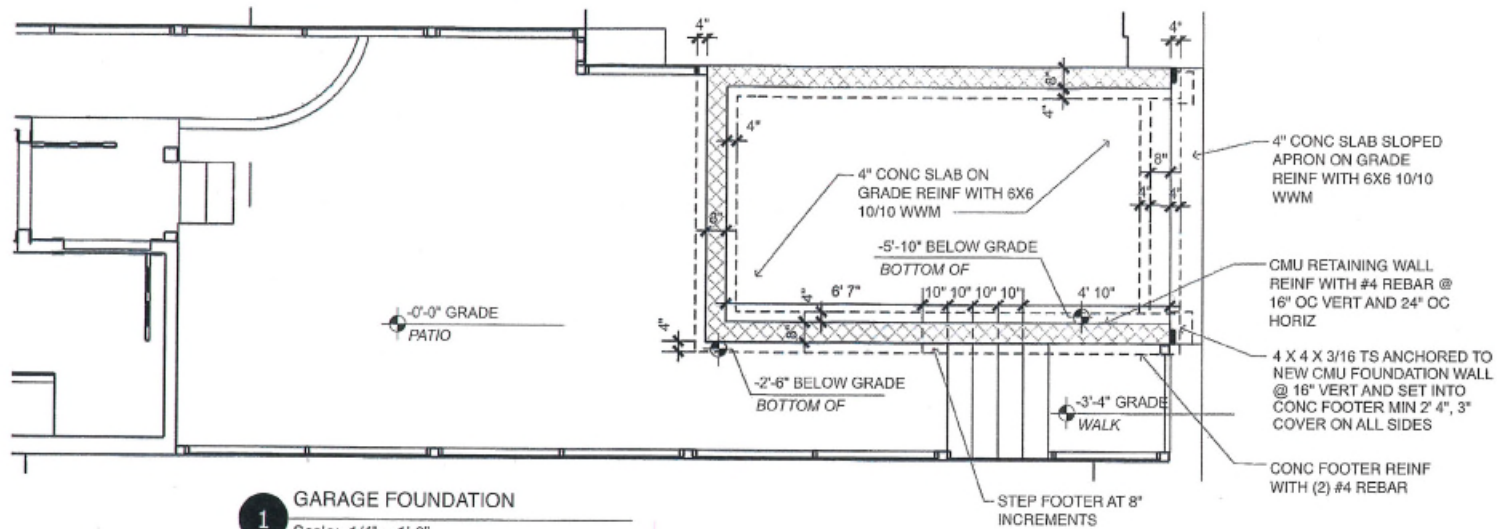
**2 TOP OF WALL DETAIL**

Scale: 3/4" = 1'-0"



**1 FOUNDATION DETAIL**

Scale: 3/4" = 1'-0"



DISTRICT OF COLUMBIA  
PERMIT OPERATIONS DIVISION  
STRUCTURAL WORK IN GENERAL  
APPROVED SUBJECT TO THE  
FURTHER APPROVAL OF CONSTRUCTION

5-18-15  
Structural Engineer



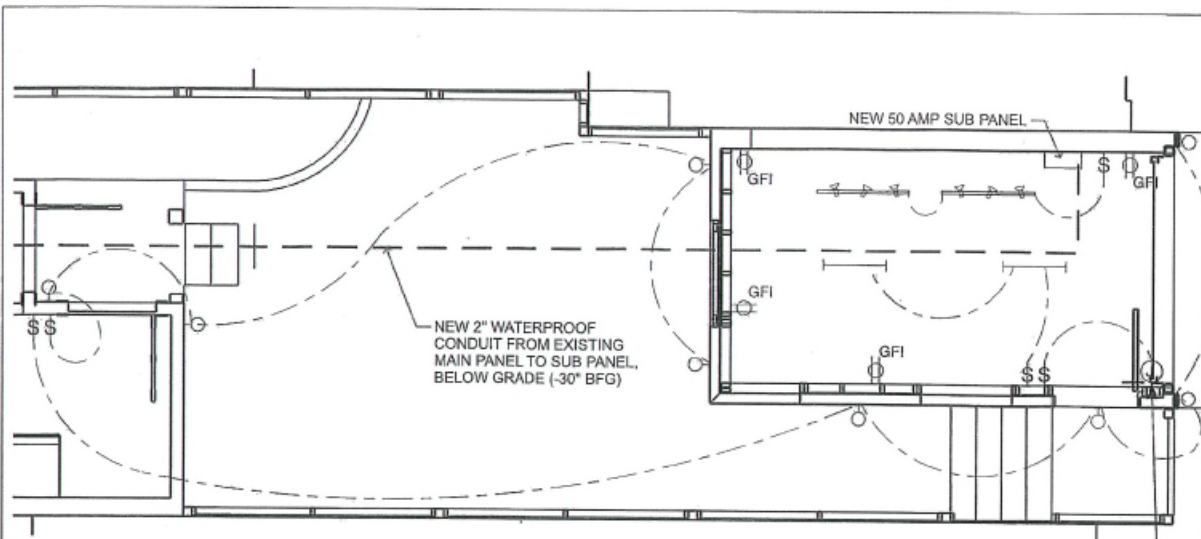
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20003  
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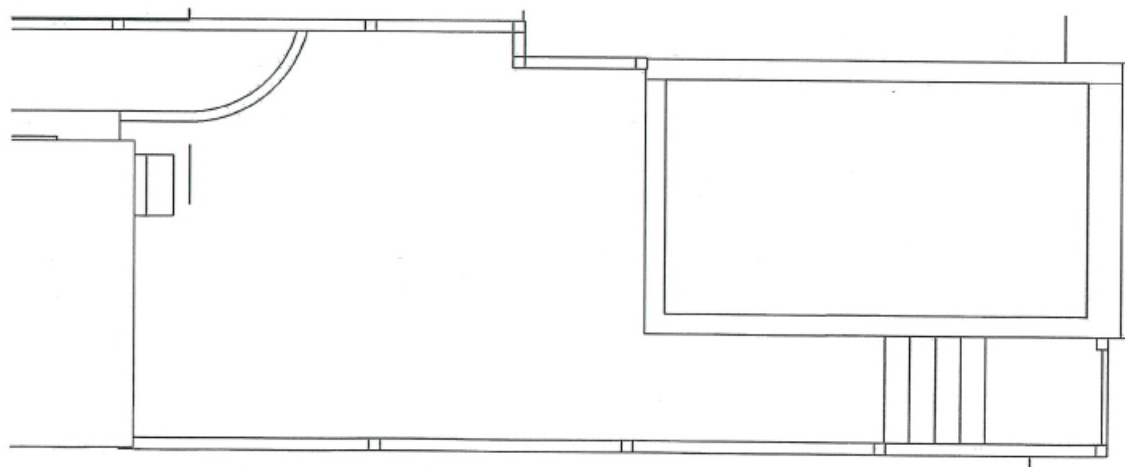
PROJECT  
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# FOUNDATION PLAN



**1** GARAGE ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"



**2** GARAGE ROOF DECK ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"

# LIGHTING AND POWER SCHEDULE

|  |                                                                       |
|--|-----------------------------------------------------------------------|
|  | WALL MOUNTED LIGHT FIXTURE                                            |
|  | TRACK LIGHTING                                                        |
|  | RECESSED WALL LIGHT                                                   |
|  | STRIP FLUORECENT                                                      |
|  | SINGLE POLE SWITCH                                                    |
|  | WATERPROOF SINGLE POLE SWITCH                                         |
|  | DUPLEX OUTLET WITH GFI                                                |
|  | WATERPROOF DUPLEX OUTLET                                              |
|  | JUNCTION BOX WITH 110V POWER RUNNING BACK TO ELECTRICAL SERVICE PANEL |



AVENUE DESIGN

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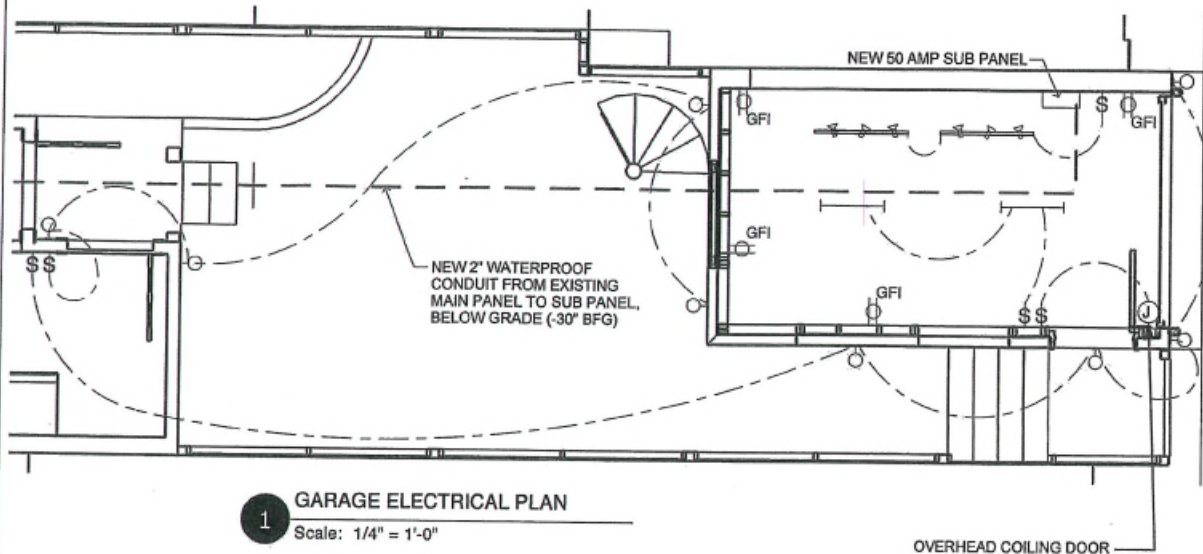
PROJECT  
NEW GARAGE  
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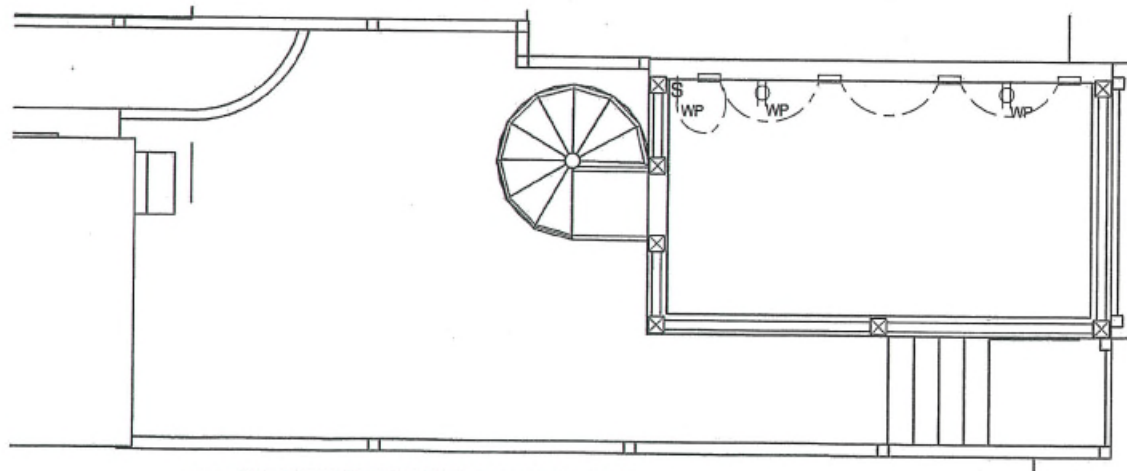
1ST FLOOR CEILING  
PLAN

E1





1 GARAGE ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"



2 GARAGE ROOF DECK ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"

# LIGHTING AND POWER SCHEDULE

- WALL MOUNTED LIGHT FIXTURE
- TRACK LIGHTING
- RECESSED WALL LIGHT
- STRIP FLUORESCENT
- SINGLE POLE SWITCH
- WATERPROOF SINGLE POLE SWITCH
- DUPLEX OUTLET WITH GFI
- WATERPROOF DUPLEX OUTLET
- JUNCTION BOX WITH 110V POWER RUNNING BACK TO ELECTRICAL SERVICE PANEL

GOVERNMENT OF THE DISTRICT OF  
COLUMBIA PERMIT OPERATIONS DIVISION  
Electrical wiring must conform to the 2011  
National Electric Code  
ELECTRICAL ENGINEERING SECTION

GOVERNMENT OF THE DISTRICT OF  
COLUMBIA PERMIT OPERATIONS  
DIVISION

PLANS APPROVED Permit No. \_\_\_\_\_

These plans are conditionally approved in accordance with  
any correction notes on the plans. The building permit  
license to construct in accordance with adopted codes and  
does not waive any code requirements not noted during plan  
review. Issuance of permit does not prevent field inspections  
from ordering corrections to meet codes when issues are  
noted during inspections.

Signature Date: 12/17/14  
Electrical Engineering



Avenue Design  
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PROJECT  
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DOOR CEILING

ELECTRICAL ENGINEERING SECTION  
 National Electrical Contractors Association  
 Electrical which is subject to the  
 approval of the District  
 Government of the District  
 Division  
 TIE NEW SUPPLY LINES  
 INTO EXISTING DOMESTIC  
 WATER SYSTEM  
 NEW 3/4" INSUL HOT WATER  
 LINE BELOW GRADE -40"  
 NEW 3/4" INSUL COLD WATER  
 LINE BELOW GRADE -40"  
 NEW SINK BASIN  
 NEW 3" WASTE LINE  
 BELOW GRADE  
 TIE NEW 3" WASTE LINE  
 INTO EXISTING SEWER  
 LINE IN ALLEY

1 PARTIAL GARAGE MECHANICAL PLAN  
 Scale: 1/4" = 1'-0"

# PLUMBING SCHEDULE

NEW VALVE



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PROJECT  
 NEW GARAGE  
 CLIENT  
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MECHANICAL PLAN  
 AND RISER DIAGRAM

M1