PROPOSED SITE PLAN

SHEET INDEX	
SHEET NO.	SHEET NAME
Z-00	COVER
Z-01	EXISTING CONDITIONS PHOTOGRAPHS
Z-02	EXISTING CONDITIONS PHOTOGRAPHS
Z-03	EXISTING SITE PLAN
Z-04	SITE MASSING DIAGRAM
Z-05	GAR DIAGRAM & SCORECARD
Z-06	GAR DIAGRAM & SCORECARD - SIDE YARD
Z-07	NORTH & SOUTH ELEVATIONS
Z-08	EAST ELEVATION

GENERAL NOTES

A. SIDE YARD LANDSCAPING & EXTERIOR RAMP AND STAIRS PERMITTED SEPERATELY - SHOWN FOR REFERNCE ONLY

ANXO
CIDERY & PINTXOS BAR

RATHGEBER/ GOSS ASSOCIATES
Consulting Structural Engineers

Brian T. Bolen, PLA
landscape architecture and design services
bestudio,LLC

ANXO CIDERY & PINTXOS BAR

OWNER: Basque Bar, LLC
DATE: 08/26/15

COVER

Z-00

1" = 10'-0"
GRAPHIC SCALE FOR REFENCE ONLY
DO NOT SCALE OFF DRAWINGS
0' 5' 10'

Board of Zoning Adjustment
District of Columbia
CASE NO.19090
EXHIBIT NO.48

EXISTING CONDITIONS PHOTO - FLORIDA AVE ELEVATION

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Consulting Structural Engineers

Brian T. Bolen, PLA
landscape architecture and design services
bestudio, LLC

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EXISTING CONDITIONS PHOTOGRAPHS

OWNER: Basque Bar, LLC
DATE: 08/20/15

Z-01

0' 2' 4' 8' 16'

EXISTING CONDITIONS PHOTO - REAR ALLEY ELEVATION

EXISTING CONDITIONS PHOTO - 3RD ST ELEVATION

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Consulting Structural Engineers

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landscape architecture and design services
bestudio LLC

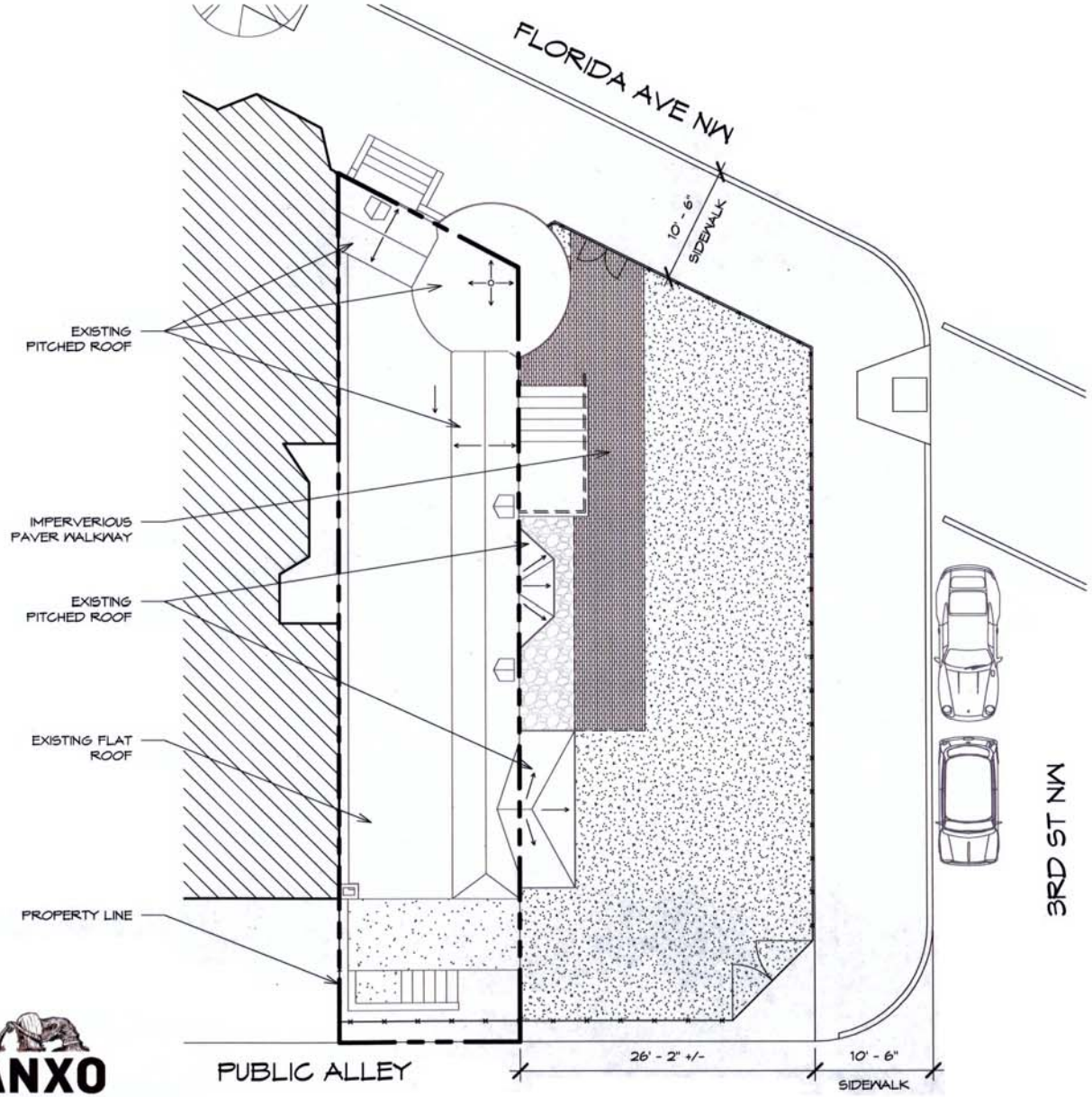
ANXO CIDERY & PINTXOS BAR

EXISTING CONDITIONS PHOTOGRAPHS

OWNER: Basque Bar, LLC
DATE: 08/20/15

Z-02

0' 2' 4' 8' 16'



BUILDING INFORMATION

PROJECT ADDRESS:	300 FLORIDA AVE NW, WASHINGTON, DC 20001
ZONE:	C-2-A
SQUARE:	519
LOT:	73
LOT AREA:	1,187 SF
PREVIOUS USE:	RESIDENTIAL
PROPOSED USE:	RESTAURANT
OCCUPANCY:	A-2
CONSTRUCTION TYPE:	IIIB

GAR DATA

MINIMUM GAR SCORE:	.3
EXISTING LOT OCCUPANCY:	95%
PROPOSED LOT OCCUPANCY:	95%

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EXISTING SITE PLAN

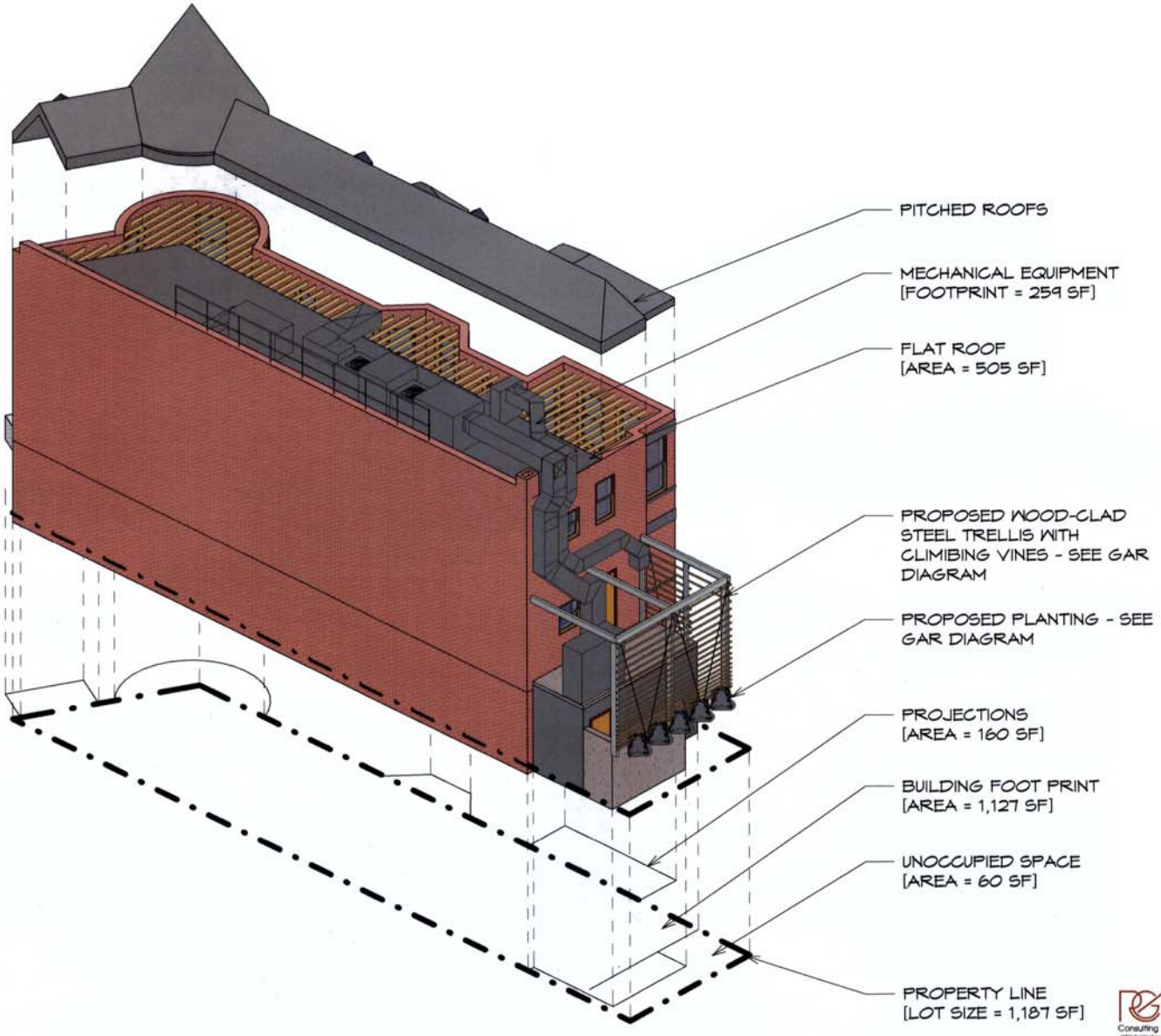
1" = 10'-0"

GRAPHIC SCALE FOR REFENCE ONLY
DO NOT SCALE OFF DRAWINGS

0' 5' 10'

OWNER: Basque Bar, LLC
DATE: 08/25/15

Z-03



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Consulting Structural Engineers

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bestudio LLC

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SITE MASSING DIAGRAM

OWNER: Basque Bar, LLC
DATE: 09/10/15

Z-04

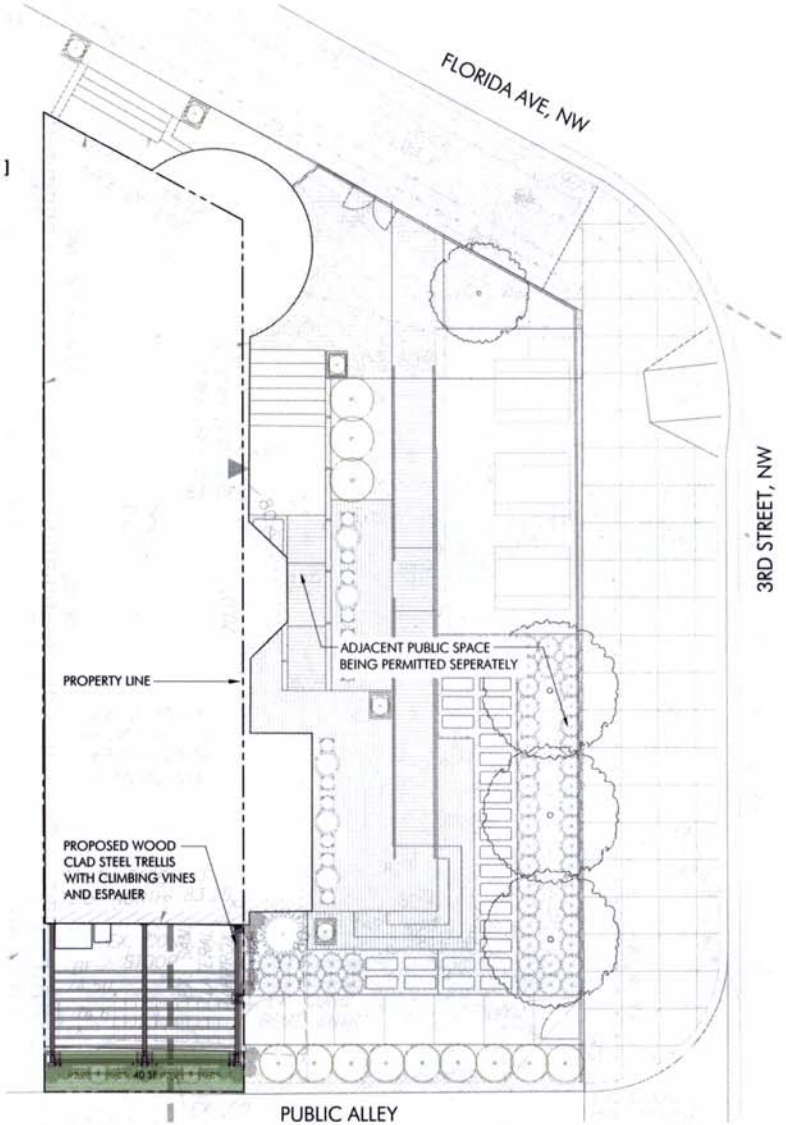
0' 2' 4' 8' 16'

ZONING DISTRICT: C-2-A

REQUIRED GREEN AREA RATIO(GAR): 0.3

LEGEND

- LANDSCAPE SOIL DEPTH [LESS THAN 24"]
- LANDSCAPE SOIL DEPTH [> 24"]
- PERMEABLE PAVING [6" - 24" soil]
- PERMEABLE PAVING [> 24" soil]
- GROUND COVERS [< 2']
- PLANTS [AT LEAST 2' TALL]
- TREE CANOPY [2.5 " - 6" dia.]



Green Area Ratio Scoresheet

Address: 300 Florida Ave, NW, Washington, D.

Ward	Lot	Square	Zoning District
5	73	519	C-2-A

Other / BZA Order:

Lot size (enter this value first) * — enter sq ft of lot: 1,187 — multiplier: SCORE 0.057

	Landscape Elements	Square Ft.	Factor	Total
A	**Landscaped areas (select one of the following for each area)**			
1	Landscaped areas with a soil depth of less than 24"	0 (enter sq ft)	0.3	-
2	Landscaped areas with a soil depth of 24" or gre	40 (enter sq ft)	0.6	24.0
3	Bioretention facilities	0 (enter sq ft)	0.4	-
B	**Plantings (credit for plants in landscaped areas from Section A)**			
1	Groundcovers, or other plants less than 2' tall at maturity	16 (enter sq ft)	0.2	3.2
2	Plants, not including grasses, 2' or taller at maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	9 (enter number of plants) x1	0.3	24.3
3	Tree canopy for all new trees 2.5" to 6" diameter or equivalent - calculated at 50 sq ft per tree	0 (enter number of trees) o	0.5	-
4	Tree canopy for new trees 6" diameter or larger or equivalent - calculated at 250 sq ft per tree	0 (enter number of trees) o	0.6	-
5	Tree canopy for preservation of existing tree 6" to 12" diameter or larger or equivalent - calculated at 250 sq ft per tree	0 (enter number of trees) o	0.7	-
6	Tree canopy for preservation of existing tree 12" to 18" diameter or larger or equivalent - calculated at 600 sq ft per tree	0 (enter number of trees) o	0.7	-
7	Tree canopy for preservation of all existing trees 18" to 24" dia. or equivalent - calculated at 1300 sq ft per tree	0 (enter number of trees) o	0.7	-
8	Tree canopy for preservation of all existing trees 24" diameter or larger or equivalent - calculated at 2000 sq ft per tree	0 (enter number of trees) o	0.8	-
9	Vegetated wall, plantings on a vertical surface	20 (enter sq ft)	0.6	12.0
C	**Vegetated or "green" roofs**			
1	Over at least 2" and less than 8" of growth medium	0 (enter sq ft)	0.6	-
2	Over at least 8" of growth medium	0 (enter sq ft)	0.8	-
D	**Permeable Paving*** **			
1	Permeable paving over at least 6" and less than 24" of soil or gravel	0 (enter sq ft)	0.4	-
2	Permeable paving over at least 24" of soil or gravel	0 (enter sq ft)	0.5	-
E	**Other**			
1	Enhanced tree growth systems***	0 (enter sq ft)	0.4	-
2	Renewable energy generation	0 (enter sq ft)	0.5	-
3	Approved water features	0 (enter sq ft)	0.2	-
		sub-total of sq ft = 117		
H	**Bonuses**			
1	Native plant species	0 (enter sq ft)	0.1	-
2	Landscaping in food cultivation	40 (enter sq ft)	0.1	4.0
3	Harvested stormwater irrigation	0 (enter sq ft)	0.1	-
			Green Area Ratio numerator =	68

*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.

Total square footage of all permeable paving and enhanced tree growth -

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RATHGEBER/GOSS ASSOCIATES Consulting Structural Engineers

Brian T. Bolen, PLA

bestudio LLC

ANXO CIDERY & PINTXOS BAR

GAR DIAGRAM & SCORECARD

1" = 10'-0"

GRAPHIC SCALE FOR REFENCE ONLY
DO NOT SCALE OFF DRAWINGS

0' 5' 10'

OWNER: Basque Bar, LLC
DATE: 08/25/15

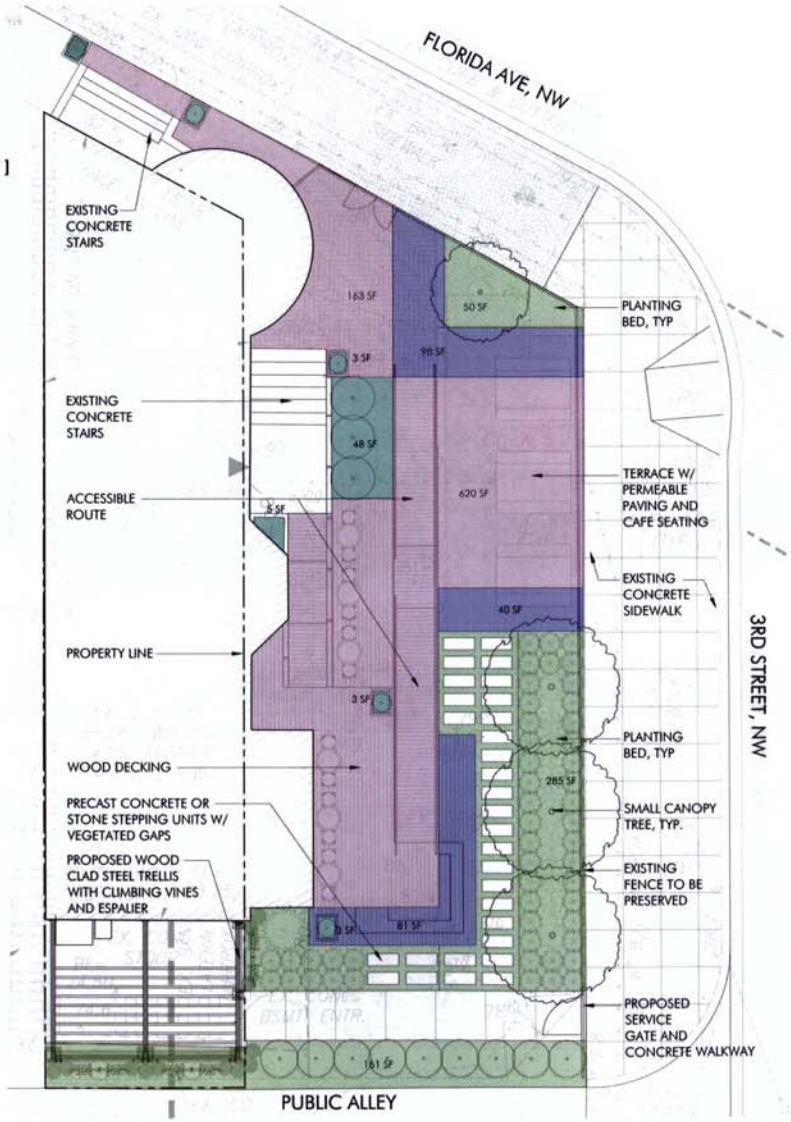
Z-05

ZONING DISTRICT: C-2-A

REQUIRED GREEN AREA RATIO(GAR): 0.3

LEGEND

- LANDSCAPE SOIL DEPTH [LESS THAN 24"]
- LANDSCAPE SOIL DEPTH [> 24"]
- PERMEABLE PAVING [6" - 24" soil]
- PERMEABLE PAVING [> 24" soil]
- GROUND COVERS [< 2']
- PLANTS [AT LEAST 2' TALL]
- TREE CANOPY [2.5 " - 6" dia.]



Green Area Ratio Scoresheet

Address	Ward	Lot	Square	Zoning District
300 Florida Ave	5	73	519	C-2-A

Other / BZA Order

Lot size (enter this value first) * 3,050 (enter sq ft of lot)

multiple SCORE 0.331

	Landscape Elements	Square Ft.	Factor	Total
A	**Landscaped areas (select one of the following for each area)**			
1	Landscaped areas with a soil depth of less than 24"	62 (enter sq ft)	0.3	18.6
2	Landscaped areas with a soil depth of 24" or greater	496 (enter sq ft)	0.6	297.6
3	Bioretention facilities	0 (enter sq ft)	0.4	-
B	**Plantings (credit for plants in landscaped areas from Section A)**			
1	Groundcovers, or other plants less than 2' tall at maturity	193 (enter sq ft)	0.2	38.6
2	Plants, not including grasses, 2' or taller at maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	66 (enter number of plants) 594	0.3	178.2
3	Tree canopy for all new trees 2.5" to 6" diameter or equivalent - calculated at 50 sq ft per tree	4 (enter number of trees) 200	0.5	100.0
4	Tree canopy for new trees 6" diameter or larger or equivalent - calculated at 250 sq ft per tree	0 (enter number of trees) 0	0.6	-
5	Tree canopy for preservation of existing tree 6" to 12" diameter or larger or equivalent - calculated at 250 sq ft per tree	0 (enter number of trees) 0	0.7	-
6	Tree canopy for preservation of existing tree 12" to 18" diameter or larger or equivalent - calculated at 600 sq ft per tree	0 (enter number of trees) 0	0.7	-
7	Tree canopy for preservation of all existing trees 18" to 24" dia. or equivalent - calculated at 1300 sq ft per tree	0 (enter number of trees) 0	0.7	-
8	Tree canopy for preservation of all existing trees 24" diameter or larger or equivalent - calculated at 2000 sq ft per tree	0 (enter number of trees) 0	0.8	-
9	Vegetated wall, plantings on a vertical surface	32 (enter sq ft)	0.6	19.2
C	**Vegetated or "green" roofs**			
1	Over at least 2" and less than 8" of growth medium	0 (enter sq ft)	0.6	-
2	Over at least 8" of growth medium	0 (enter sq ft)	0.8	-
D	**Permeable Paving*** **			
1	Permeable paving over at least 6" and less than 24" of soil or gravel	550 (enter sq ft)	0.4	220.0
2	Permeable paving over at least 24" of soil or gravel	219 (enter sq ft)	0.5	109.5
E	**Other**			
1	Enhanced tree growth systems***	0 (enter sq ft)	0.4	-
2	Renewable energy generation	0 (enter sq ft)	0.5	-
3	Approved water features	0 (enter sq ft)	0.2	-
	sub-total of sq ft = 2,348			
H	**Bonuses**			
1	Native plant species	0 (enter sq ft)	0.1	-
2	Landscaping in food cultivation	264 (enter sq ft)	0.1	26.4
3	Harvested stormwater irrigation	0 (enter sq ft)	0.1	-
	Green Area Ratio numerator =			1,008

*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.

Total square footage of all permeable paving and enhanced tree growth 330

ANXO CIDERY & PINTXOS BAR

RATHGEBER/GOSS ASSOCIATES Consulting Structural Engineers

Brian T. Bolen, PLA

bestudio LLC

ANXO CIDERY & PINTXOS BAR

GAR DIAGRAM & SCORECARD - SIDE YARD

1" = 10'-0"

GRAPHIC SCALE FOR REFENCE ONLY
DO NOT SCALE OFF DRAWINGS

0' 5' 10'

OWNER: Basque Bar, LLC
DATE: 08/25/15

Z-06

GENERAL NOTES

A. SIDE YARD LANDSCAPING & EXTERIOR RAMP AND STAIRS PERMITTED SEPERATELY - SHOWN FOR REFERNCE ONLY

SOUTH ELEVATION

NORTH ELEVATION

ANXO CIDERY & PINTXOS BAR

NORTH & SOUTH ELEVATIONS

1/8" = 1'-0"

GRAPHIC SCALE FOR REFENCE ONLY
DO NOT SCALE OFF DRAWINGS

0' 2' 4' 8' 16'

RATHGEBER/GOSS ASSOCIATES
Consulting Structural Engineers

Brian T. Bolen, PLA
landscape architecture and design services
bestudio, LLC

OWNER: Basque Bar, LLC
DATE: 08/26/15

Z-07

GENERAL NOTES

A. SIDE YARD LANDSCAPING & EXTERIOR RAMP AND STAIRS PERMITTED SEPERATELY - SHOWN FOR REFERNCE ONLY

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EAST ELEVATION

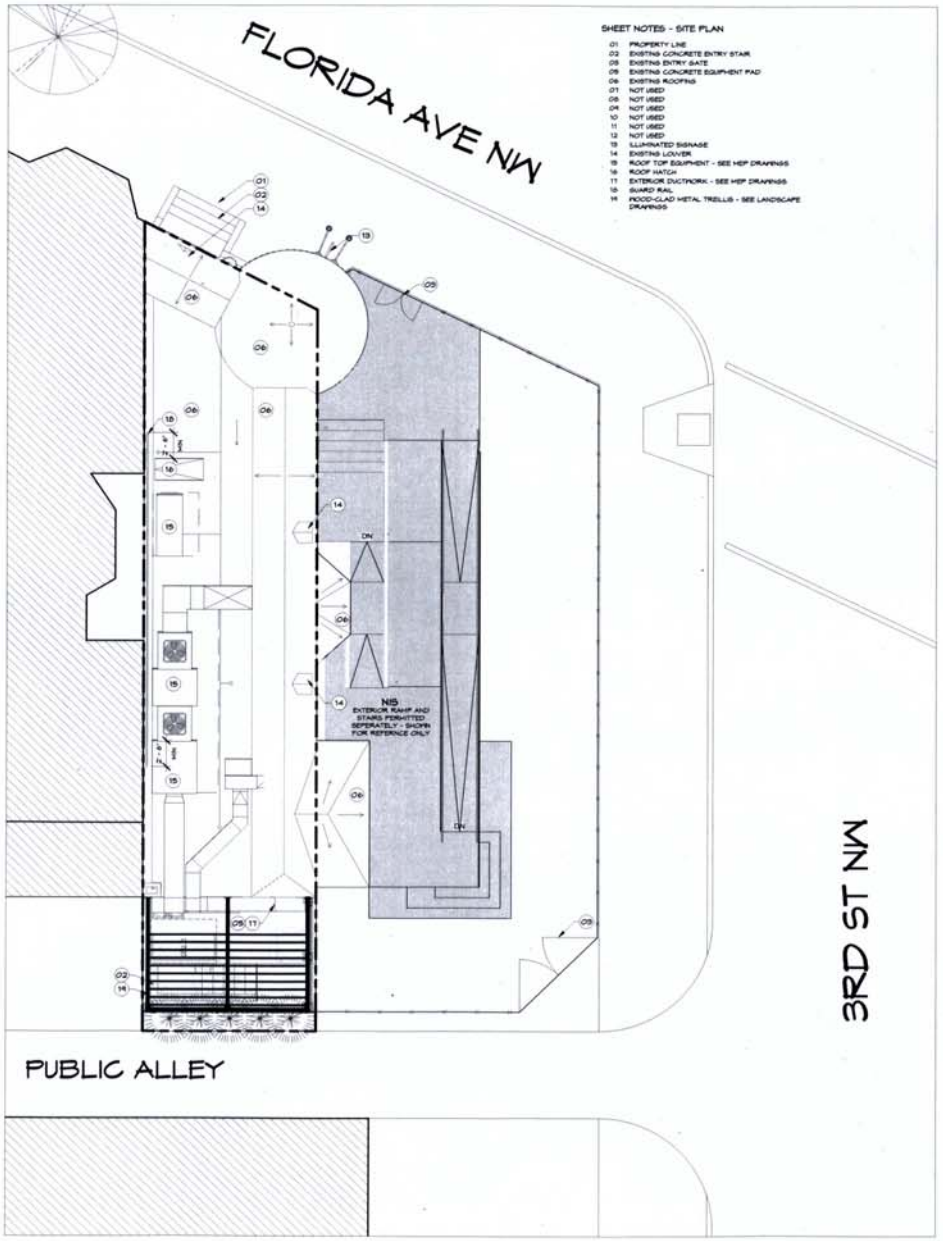
1/8" = 1'-0"

GRAPHIC SCALE FOR REFENCE ONLY
DO NOT SCALE OFF DRAWINGS

0' 2' 4' 8' 16'

OWNER: Basque Bar, LLC
DATE: 08/26/15

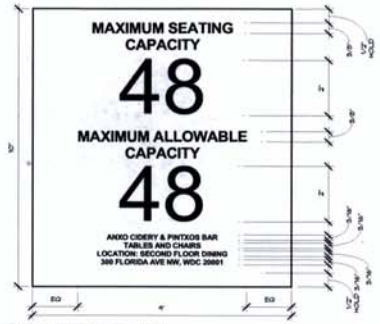
Z-08



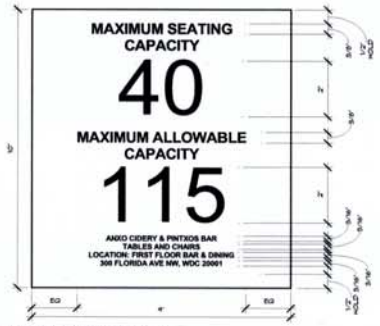
SHEET NOTES - SITE PLAN

- 01 PROPERTY LINE
- 02 EXISTING CONCRETE ENTRY STAIR
- 03 EXISTING ENTRY GATE
- 05 EXISTING CONCRETE EQUIPMENT PAD
- 06 EXISTING ROOFING
- 07 NOT USED
- 08 NOT USED
- 09 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 ILLUMINATED SIGNAGE
- 14 EXISTING LOUVER
- 15 ROOF TOP EQUIPMENT - SEE MEP DRAWINGS
- 16 ROOF HATCH
- 17 EXTERIOR DUCTWORK - SEE MEP DRAWINGS
- 18 GUARD RAIL
- 19 WOOD-CLAD METAL TRELLIS - SEE LANDSCAPE DRAWINGS

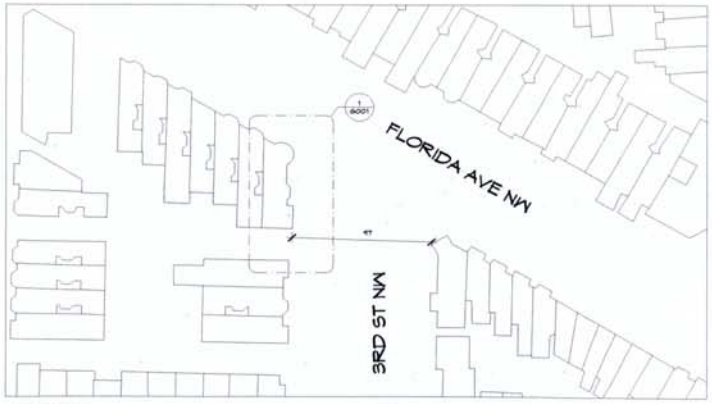
1 SITE PLAN
3/16" = 1'-0"



3 CAPACITY PLACARD - LEVEL 02
6" = 1'-0"



4 CAPACITY PLACARD - LEVEL 01
6" = 1'-0"



2 VICINITY MAP
1" = 40'-0"

ANXO
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300 Florida Ave NW
Washington DC, 20001

OWNER: Basque Bar, LLC

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ARCHITECTURE
242 10th St NE WDC | T: 202 670 2739

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
	04/20/15	ISSUED FOR THIRD PARTY PLAN REVIEW
1	05/21/15	THIRD PARTY PLAN REVIEW COMMENT RESPONSE
2	06/26/15	TPR COMMENT RESPONSE 2

SCALE: As indicated

SITE PLAN & CAPACITY PLACARDS

G001

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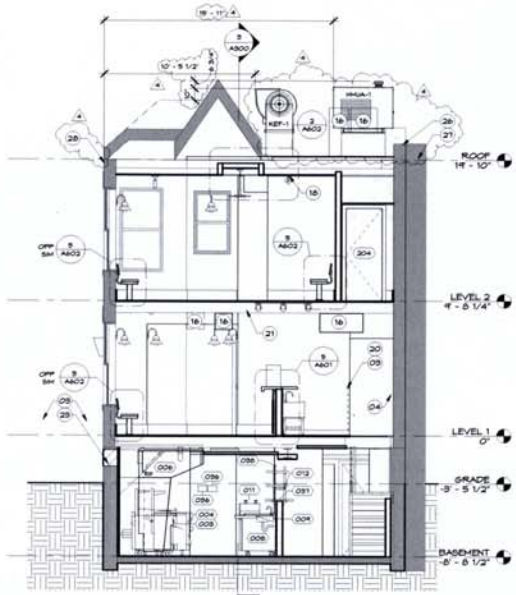
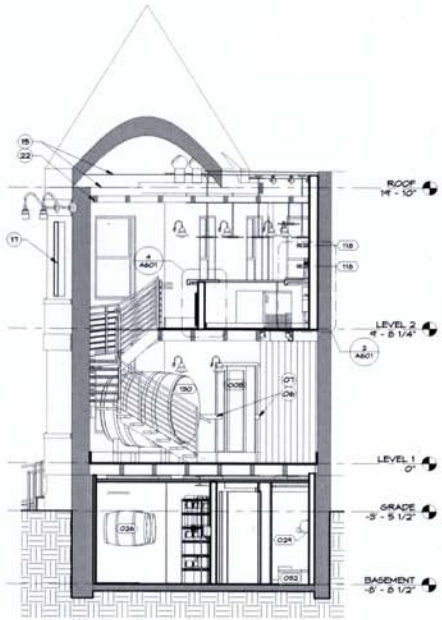
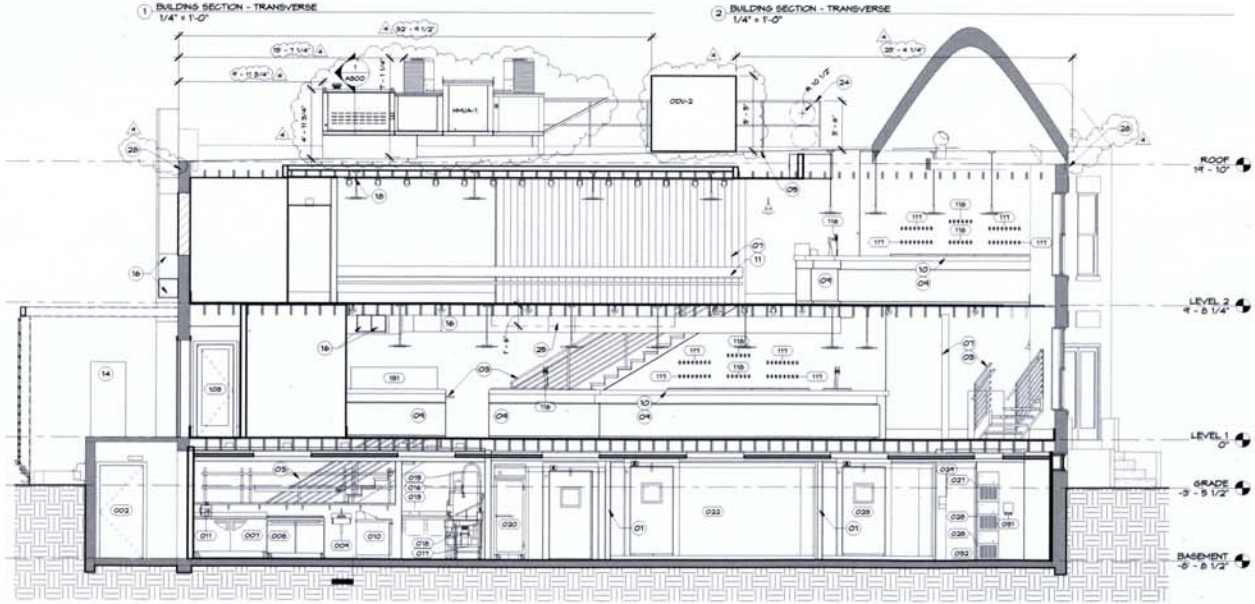


1 BUILDING SECTION - TRANSVERSE
1/4" = 1'-0"



2 BUILDING SECTION - TRANSVERSE
1/4" = 1'-0"



3 BUILDING SECTION - LONGITUDINAL
1/4" = 1'-0"

SHEET NOTES - BUILDING SECTIONS

01 EXISTING STEEL COLUMN
02 NOT USED
03 METAL GUARD & RAILING
04 METAL RAILING
05 SPRAY INSULATION, MIN R-25, ON UNDERSIDE OF ROOF ABOVE GYP BD CEILING
06 CONCRETE DRINK RAIL
07 STAINLESS STEEL WIRE TUBE SCREEN WALL
08 ILLUMINATED BAR DIE WALL
10 CONCRETE BAR TOP
11 BUILT-IN BANQUETTE
12 NOT USED
13 NOT USED
14 MECHANICAL EQUIPMENT - SEE MEP DRAWINGS
15 ROPE LIGHT ON TIKO EXISTING BRICK LEDGES
16 DUCTWORK - SEE MEP DRAWINGS
17 ILLUMINATED BLADE SIGN
18 RECESSED TRACK
19 NOT USED
20 GYP BD SOFFIT FASTENED TO UNDERSIDE OF METAL STAIR
21 EXPOSED STRUCTURE, PAINT P-B
22 EXPOSED STRUCTURE
23 INFILL EXISTING WINDOW OPENING
24 METAL GUARD
25 TRANSPARENT SMOKE BARRIER
26 PARTI WALL
27 ADJACENT STRUCTURE
28 EXTERIOR WALL

GENERAL NOTES

A. SEE FOOD SERVICE DRAWINGS FOR KITCHEN EQUIPMENT INFORMATION.
B. PROVIDE BLOCKING AS REQUIRED FOR ALL WALL-MOUNTED KITCHEN EQUIPMENT

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300 Florida Ave NW
Washington DC, 20001

OWNER: Basque Bar, LLC

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ARCHITECTURE
242 10th St NE WDC | T: 202-670-2739

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
	04/20/15	ISSUED FOR THIRD PARTY PLAN REVIEW
1	07/21/15	THIRD PARTY PLAN REVIEW COMMENT RESPONSE
4	10/28/15	PERMIT COMMENT RESPONSE 1

0 2 4 8 16
SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A300

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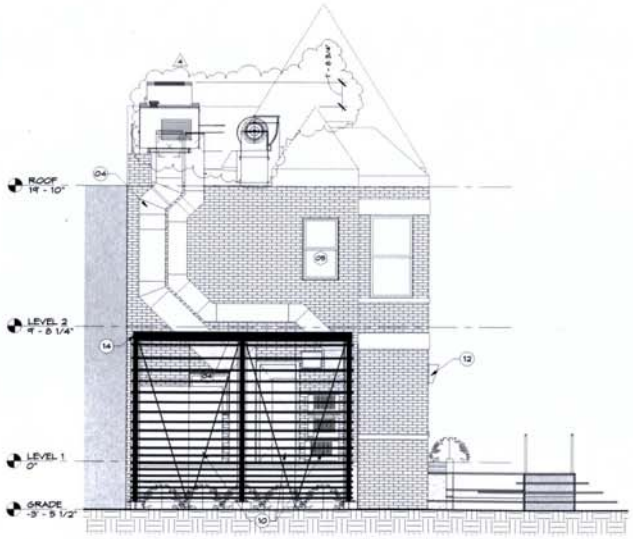
1 EXTERIOR ELEVATION - EAST FACADE
1/4" = 1'-0"

SHEET NOTES - EXTERIOR ELEVATIONS

01 EXTERIOR SIGN LIGHT - SEE ELEC DRAWINGS
02 EXTERIOR SIGNAGE
03 NOT USED
04 EXTERIOR DUCTWORK - SEE MEP DRAWINGS
05 INFILL WINDOW OPENINGS, MATCH EXISTING FACE BRICK
06 NOT USED
10 MEP & KE EQUIPMENT
11 EXISTING LOUVERS
12 EXTERIOR LIGHT FIXTURE - SEE ELEC DRAWINGS
13 NOT USED
14 TRELLIS STRUCTURE - SEE LANDSCAPE DRAWINGS

BUILDING ENVELOPE DATA

EXTERIOR WALL AREA	3,604.5 SQ FT
EXTERIOR WINDOW AREA	446.25 SQ FT
WINDOW TO WALL AREA	12.24 %



2 EXTERIOR ELEVATION - SOUTH FACADE
1/4" = 1'-0"

GENERAL NOTES

A. REPAIR EXISTING ROOFING AND GUTTER AS REQUIRED TO MATCH EXISTING
B. SEE REFLECTED CEILING PLANS AND ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION
C. SEE DOOR & WINDOW SCHEDULES FOR ADDITIONAL INFORMATION

3 EXTERIOR ELEVATION - NORTH FACADE
1/4" = 1'-0"

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300 Florida Ave NW
Washington DC, 20001

OWNER: Basque Bar, LLC

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REVISION SCHEDULE

NO.	DATE	DESCRIPTION
	04/20/18	ISSUED FOR THIRD PARTY PLAN REVIEW
1	01/21/19	THIRD PARTY PLAN REVIEW COMMENT RESPONSE
2	06/28/19	TPR COMMENT RESPONSE 2
3	09/06/19	TPR COMMENT RESPONSE 3
4	10/28/19	PERMIT COMMENT RESPONSE 1

0 2 4 8 16
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

A500

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