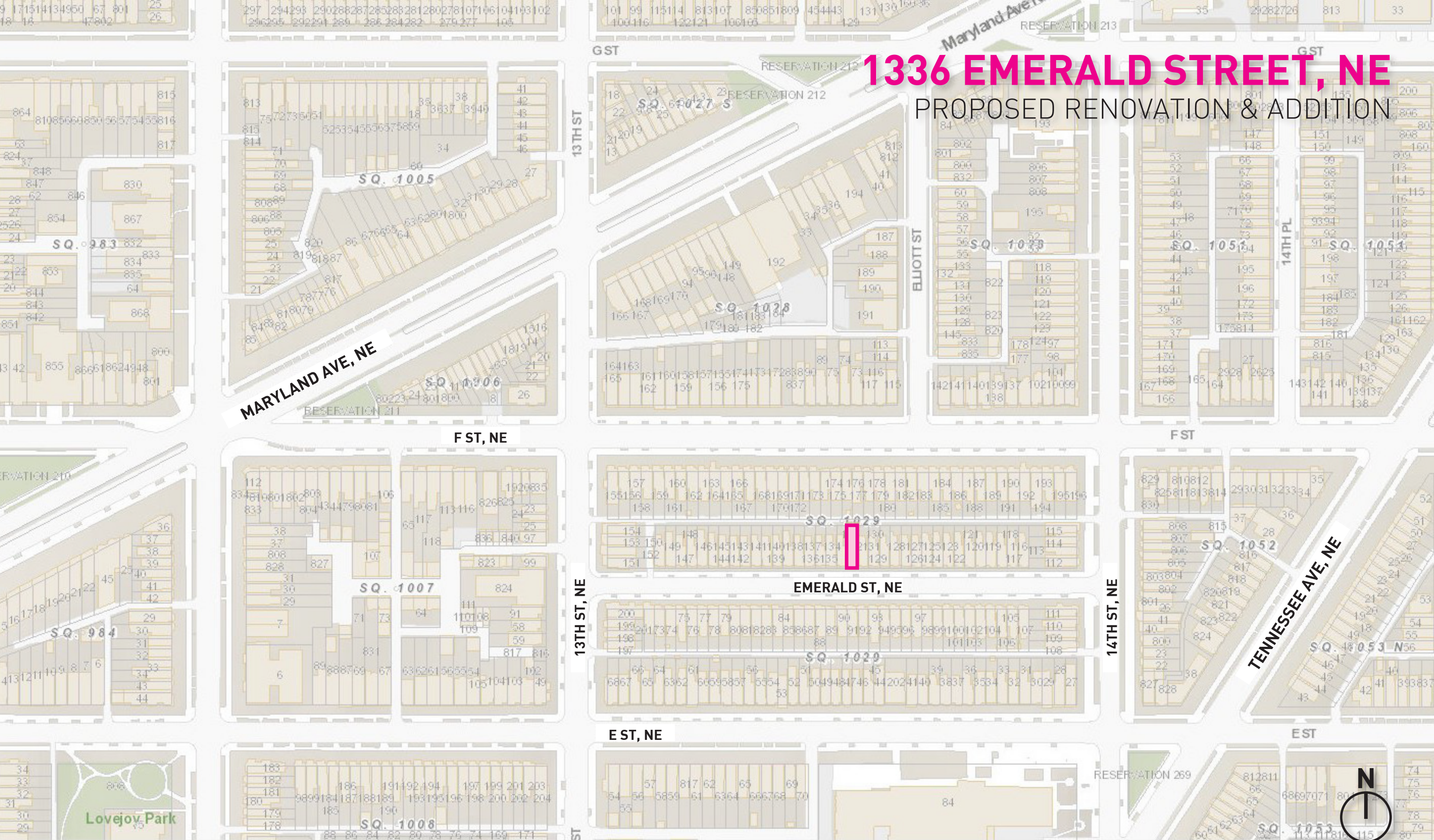


1336 EMERALD STREET, NE

PROPOSED RENOVATION & ADDITION



PROJECT LOCATION
1336 EMERALD STREET, NE
LOT 132, SQUARE 1029



F STREET, NE

EMERALD STREET, NE

13TH STREET, NE

14TH STREET, NE

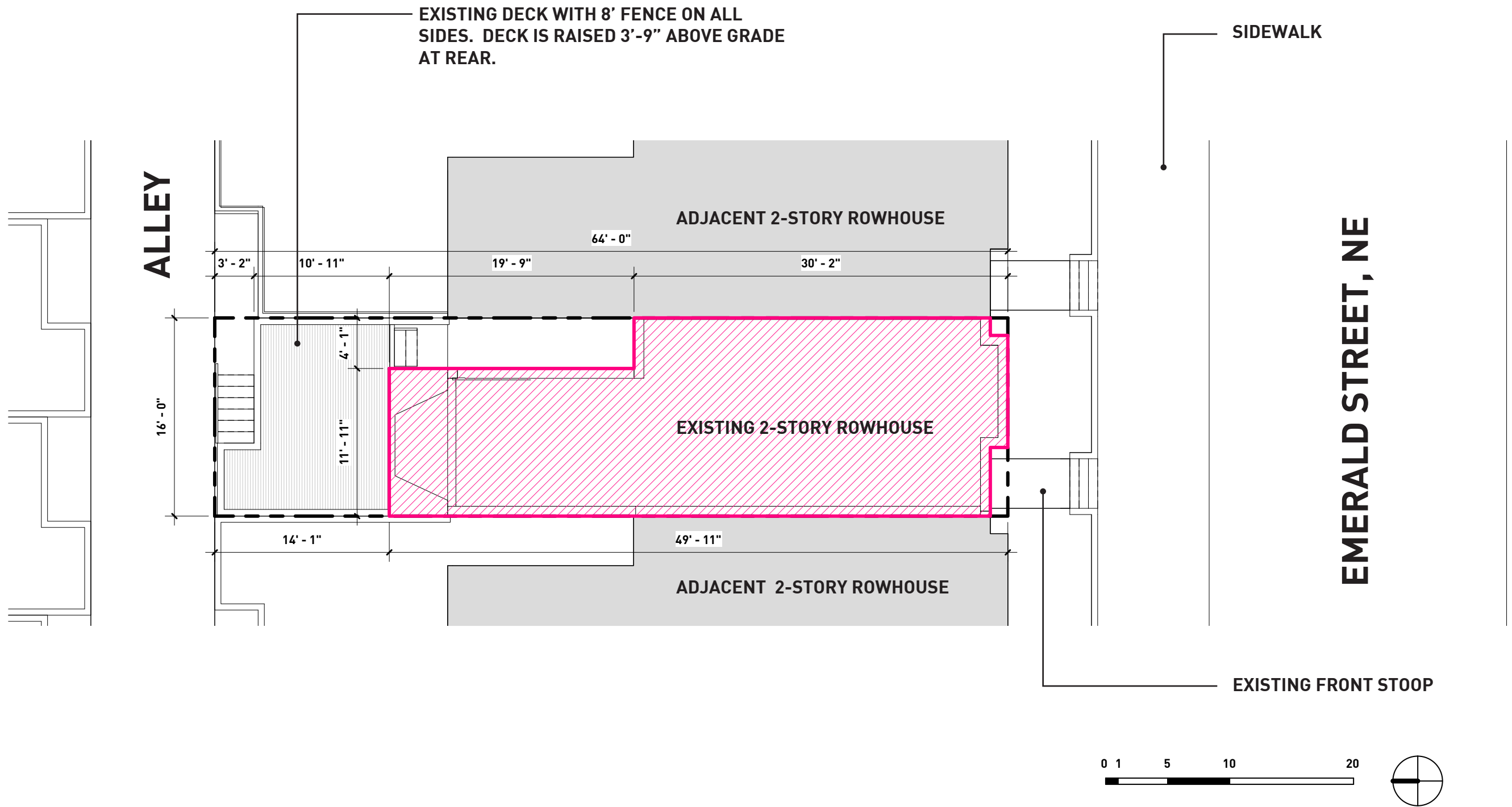
AERIAL PHOTOGRAPH

July 2015

ZONING DATA

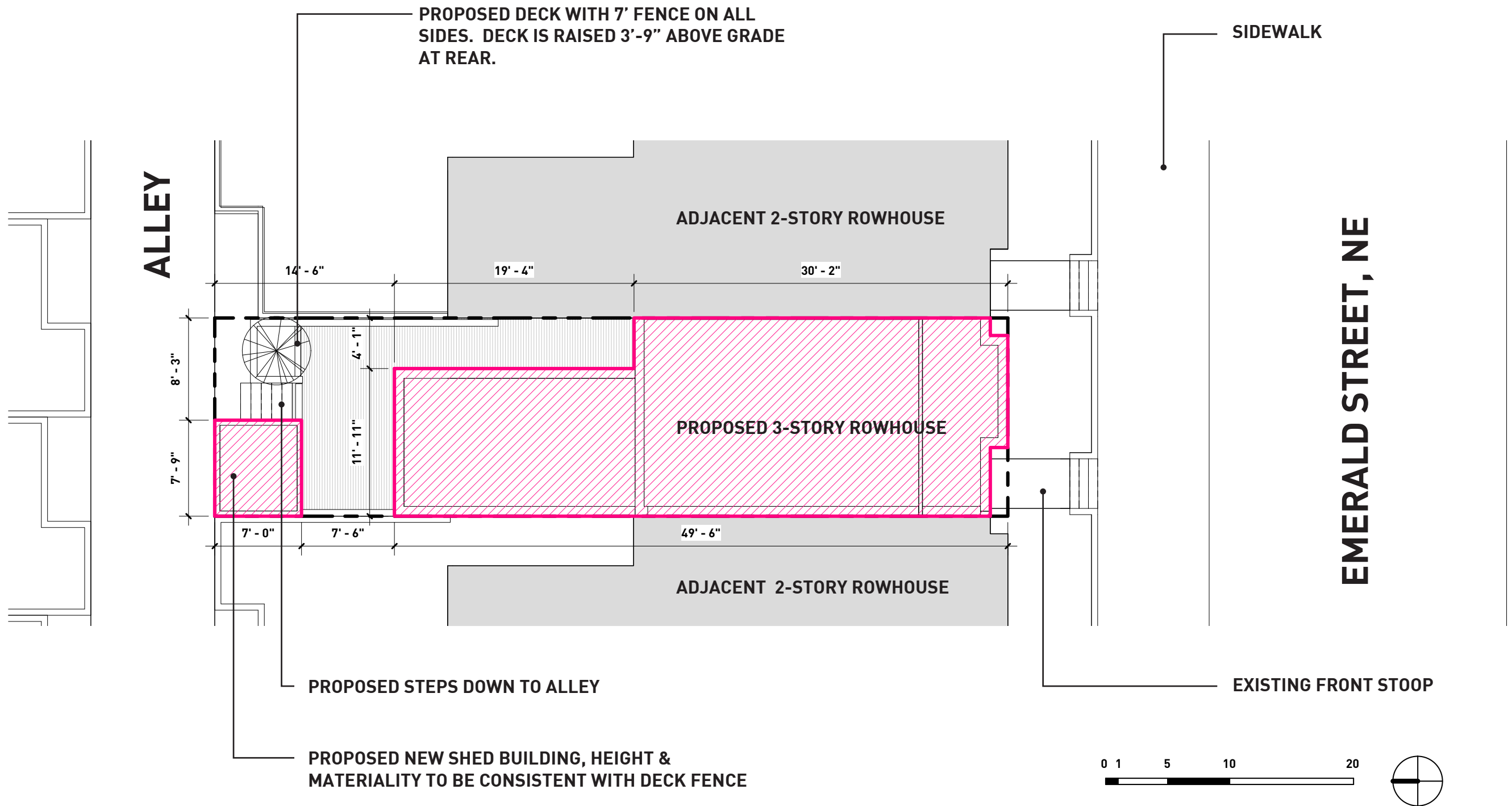
	ZONING (R4)	EXISTING	PROPOSED	RELIEF REQUESTED
FAR	N/A	N/A	N/A	
LOT OCCUPANCY	60%	75.1%	79.9%	RELIEF REQUESTED FOR NONCONFORMING LOT OCCUPANCY
BUILDING HEIGHT	35 FEET	23 FEET	37 FEET	MINIMAL RELIEF REQUESTED FROM HEIGHT LIMIT
NUMBER OF STORIES	3	2	3	
COURT WIDTH	7 FEET 4 INCHES	4 FEET 1 INCH	4 FEET 1 INCH	RELIEF REQUESTED FOR NONCONFORMING COURT
REAR YARD SETBACK	20 FEET	14 FEET 1 INCH	14 FEET 7 INCHES	RELIEF REQUESTED FOR NONCONFORMING SETBACK
SIDE YARD SETBACK	N/A	N/A	N/A	

RELIEF REQUESTED



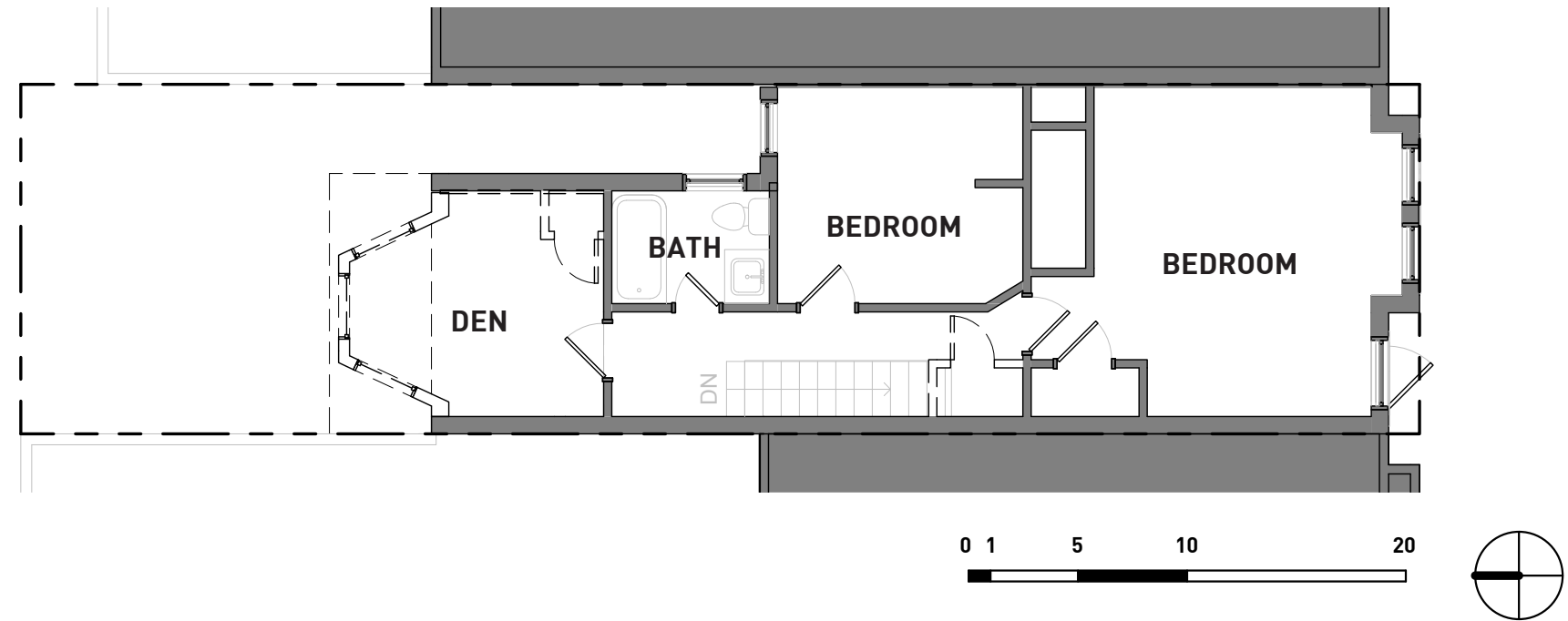
EXISTING SITE PLAN

July 2015

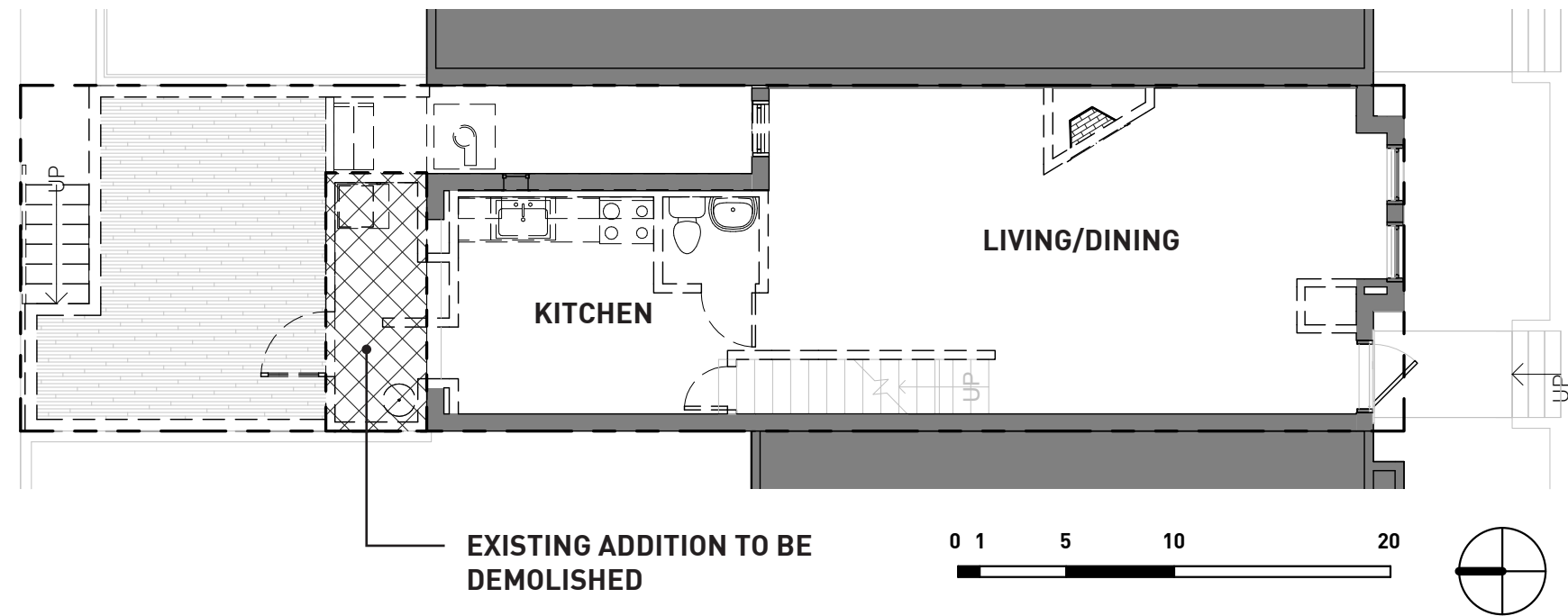


PROPOSED SITE PLAN

July 2015



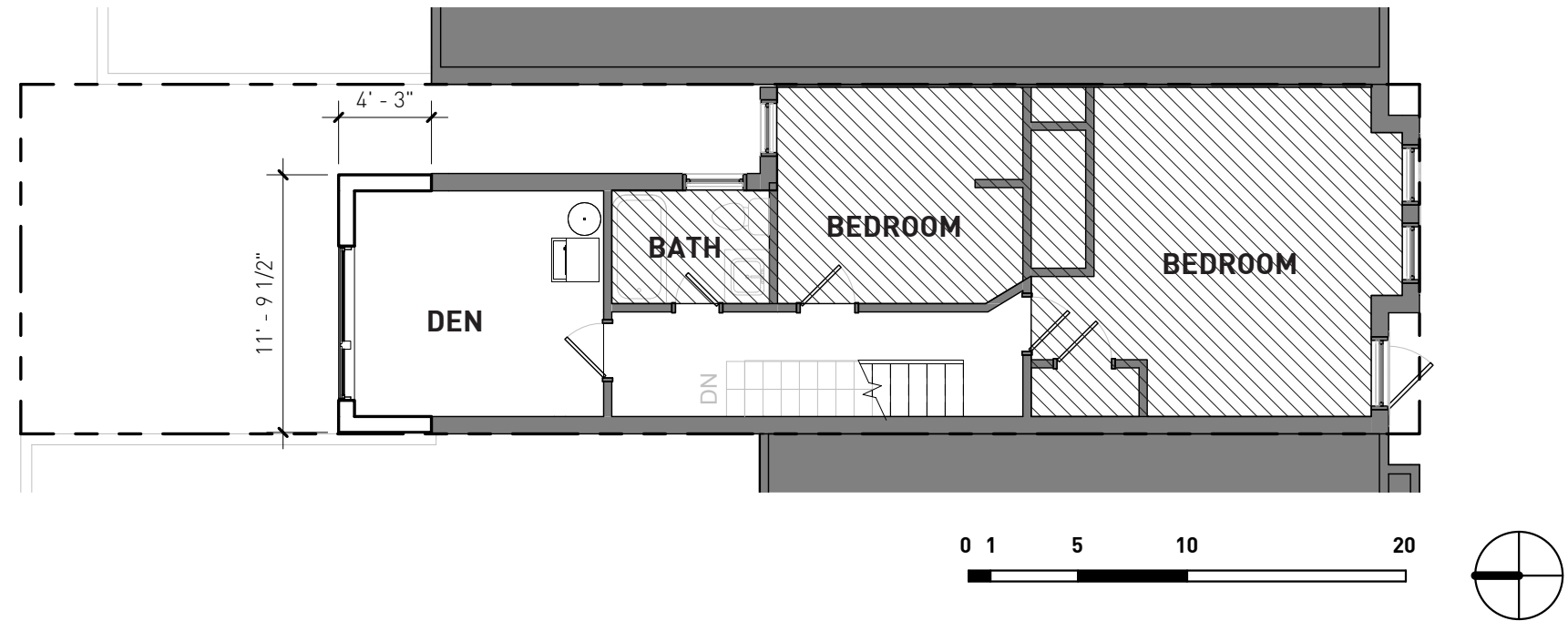
LEVEL 2 DEMO PLAN



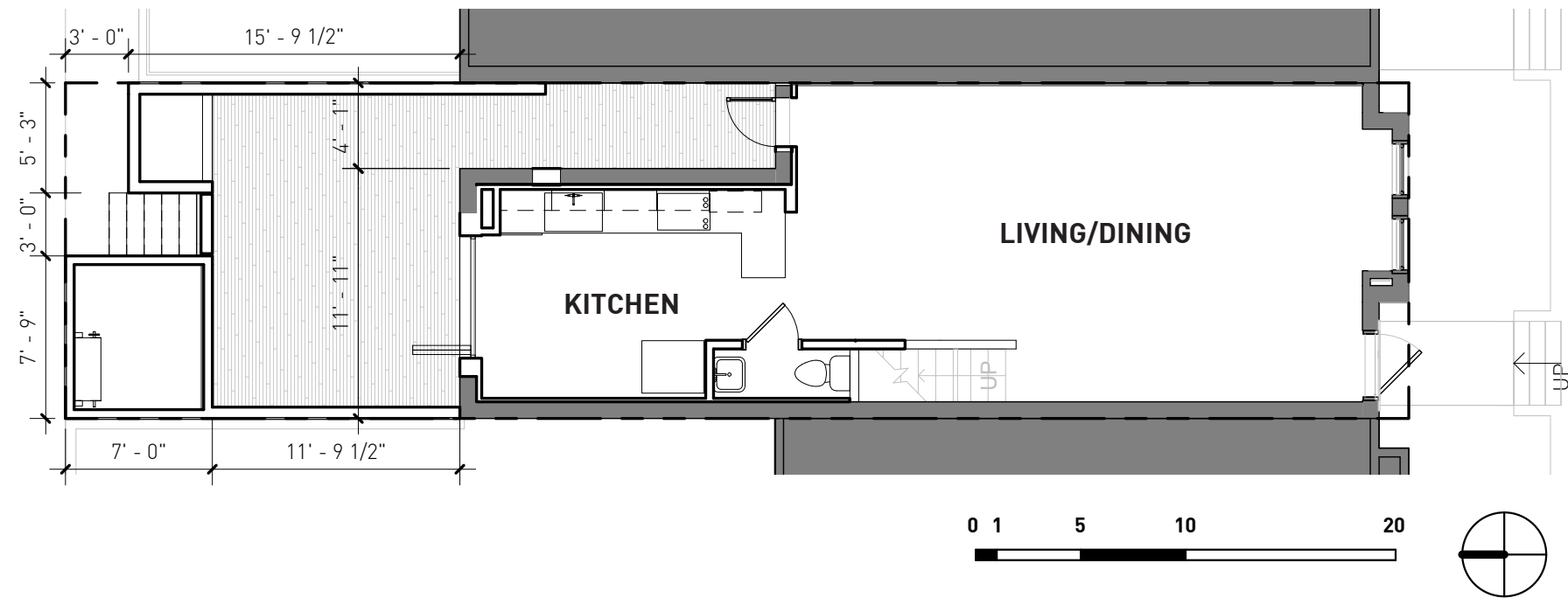
LEVEL 1 DEMO PLAN

DEMO PLANS

July 2015



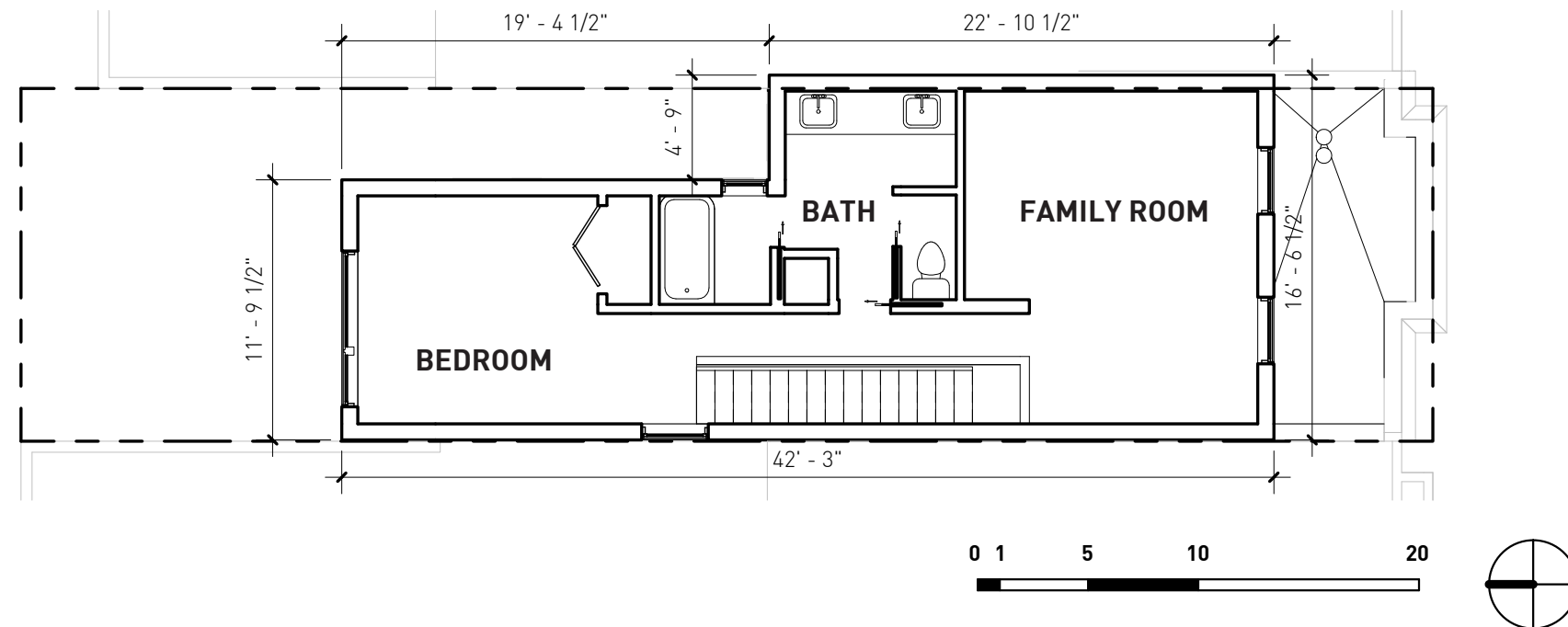
PROPOSED LEVEL 2 FLOOR PLAN



PROPOSED LEVEL 1 FLOOR PLAN

PROPOSED FLOOR PLANS

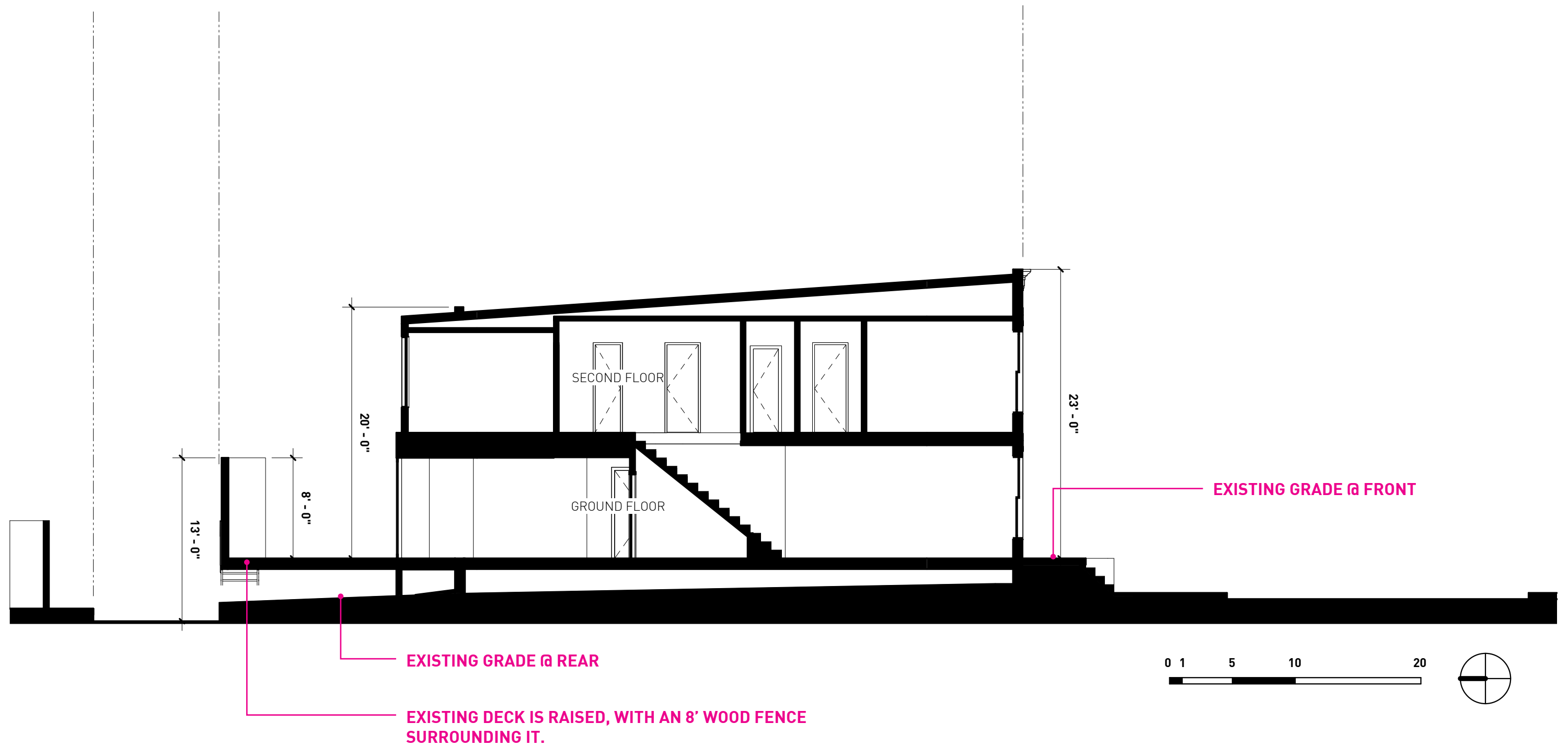
July 2015



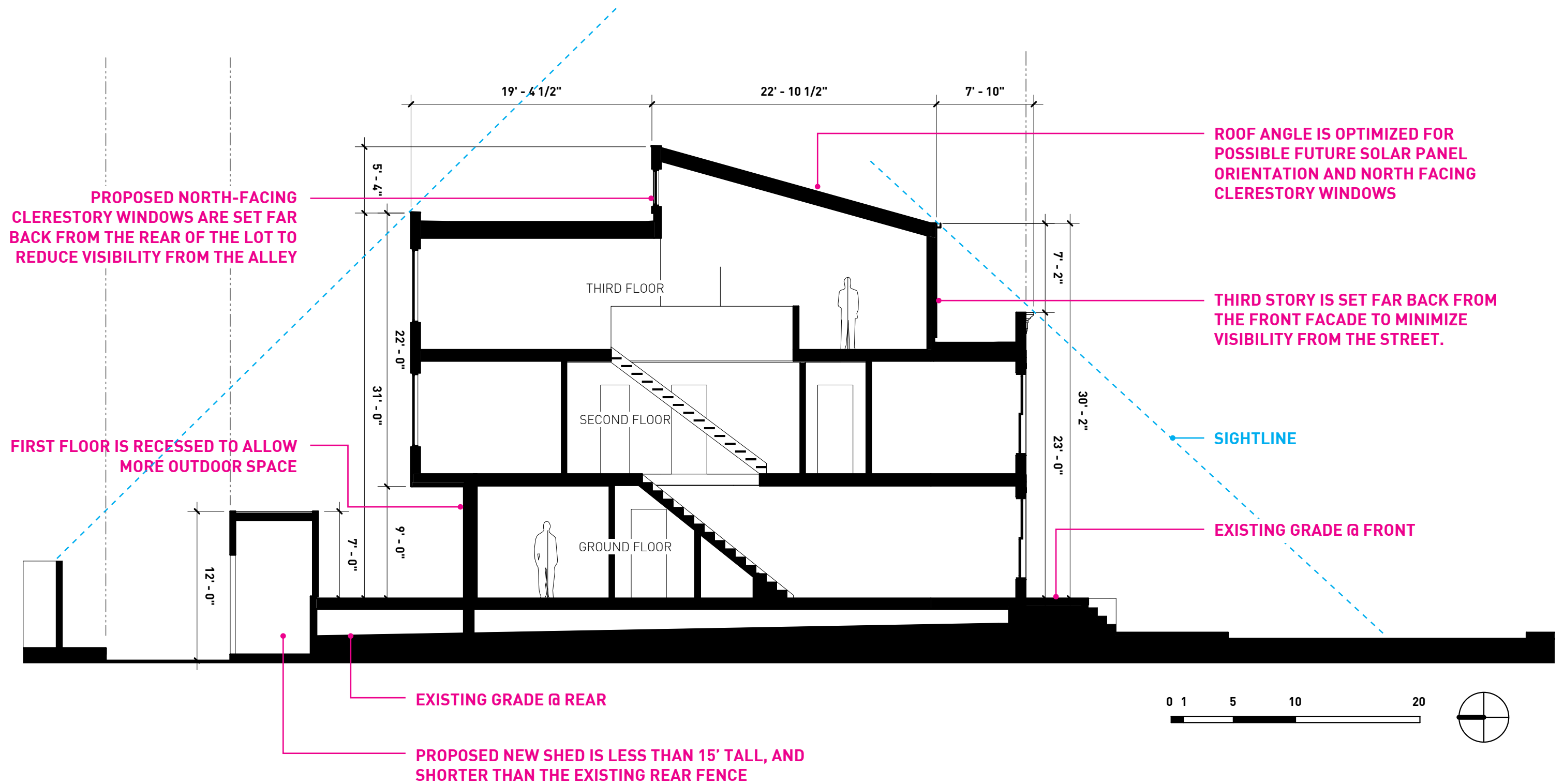
PROPOSED LEVEL 3 FLOOR PLAN

PROPOSED FLOOR PLANS

July 2015

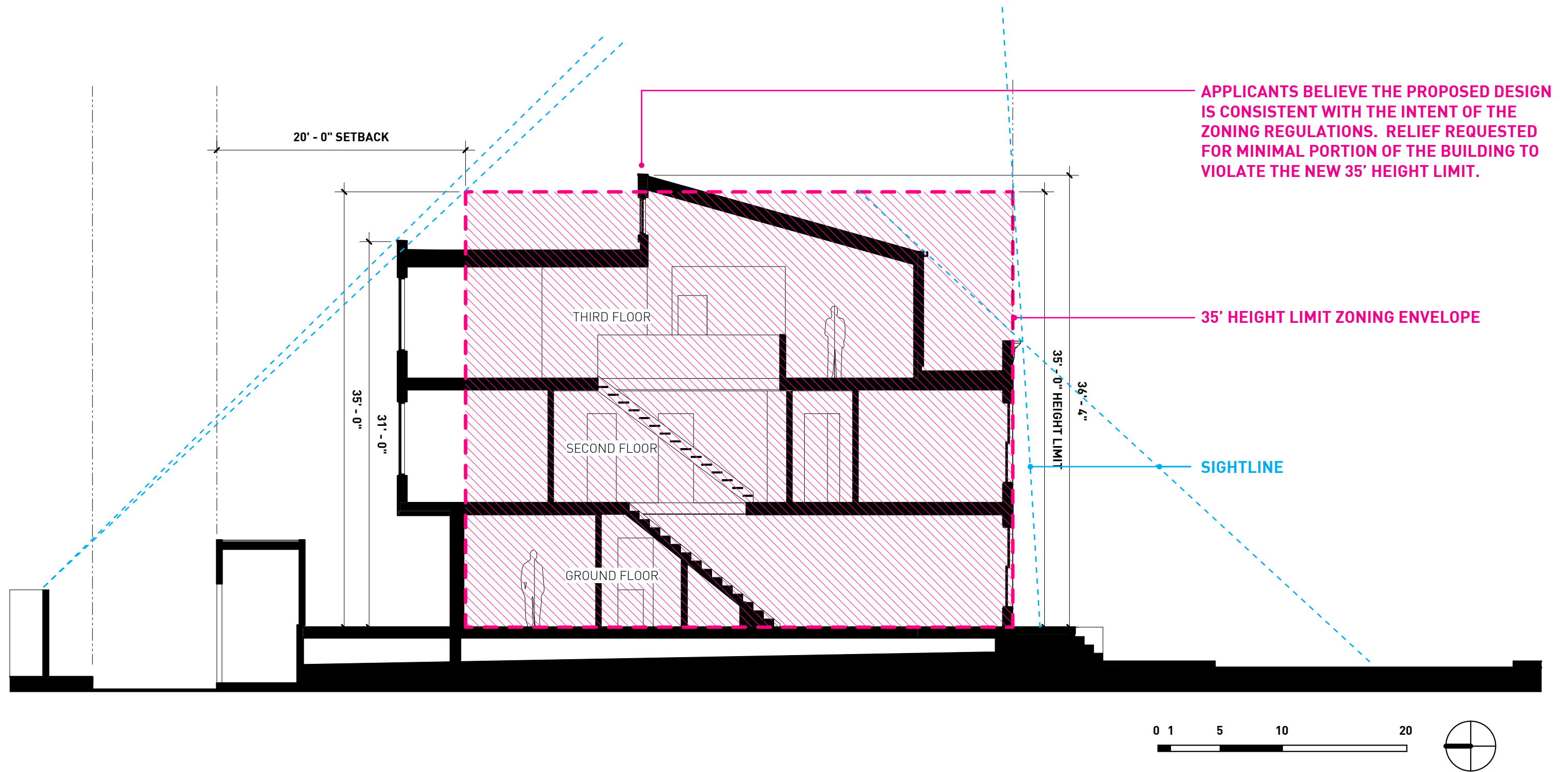


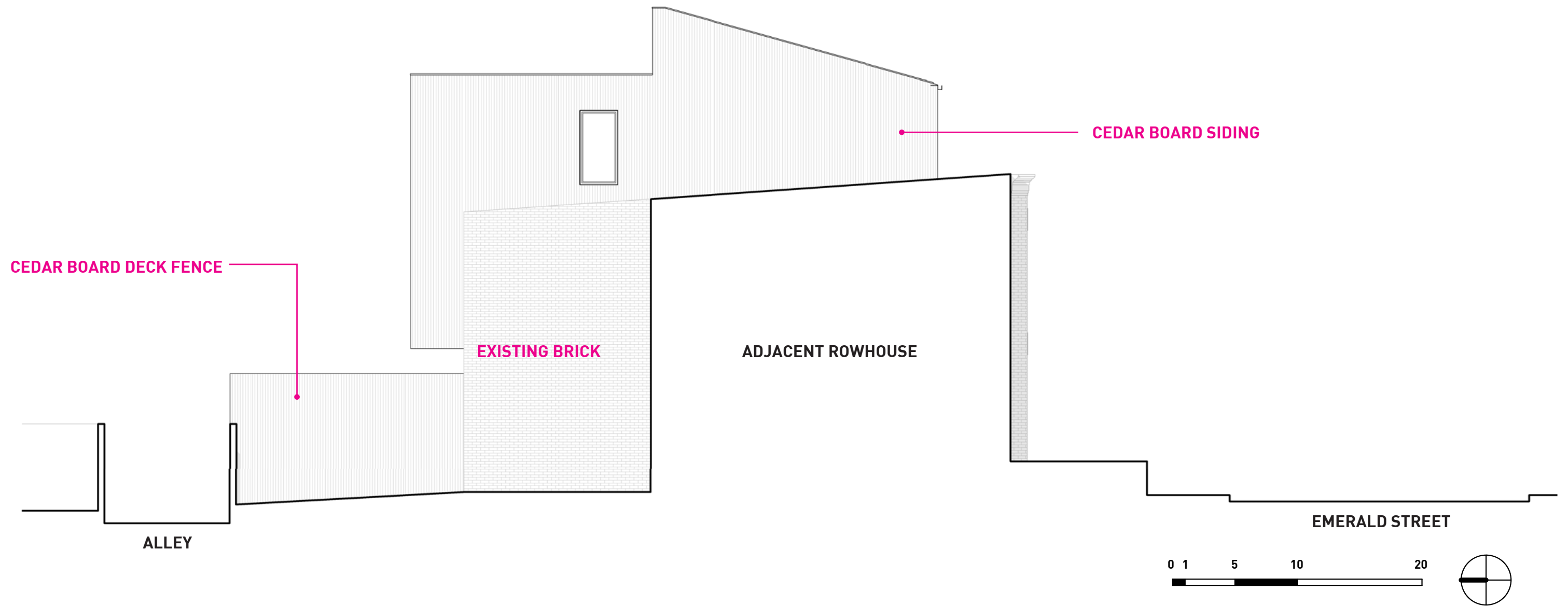
EXISTING NORTH/SOUTH SECTION



PROPOSED NORTH/SOUTH SECTION

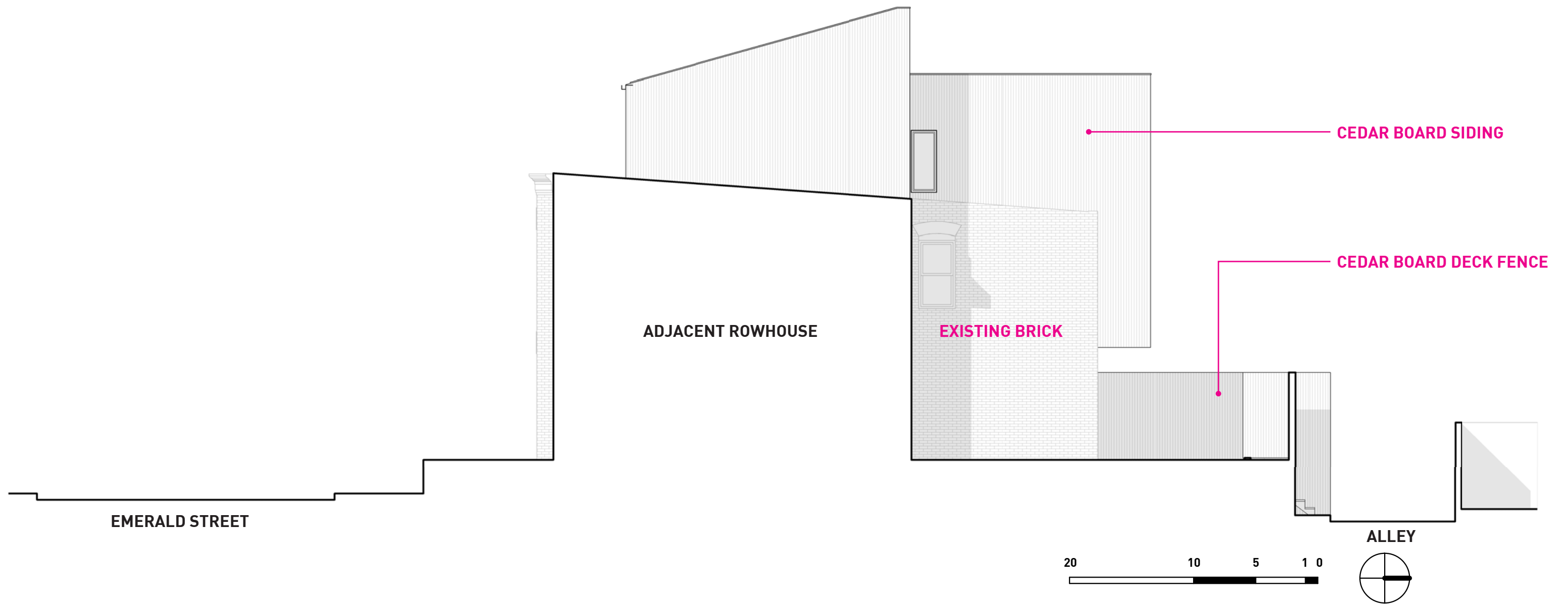
July 2015





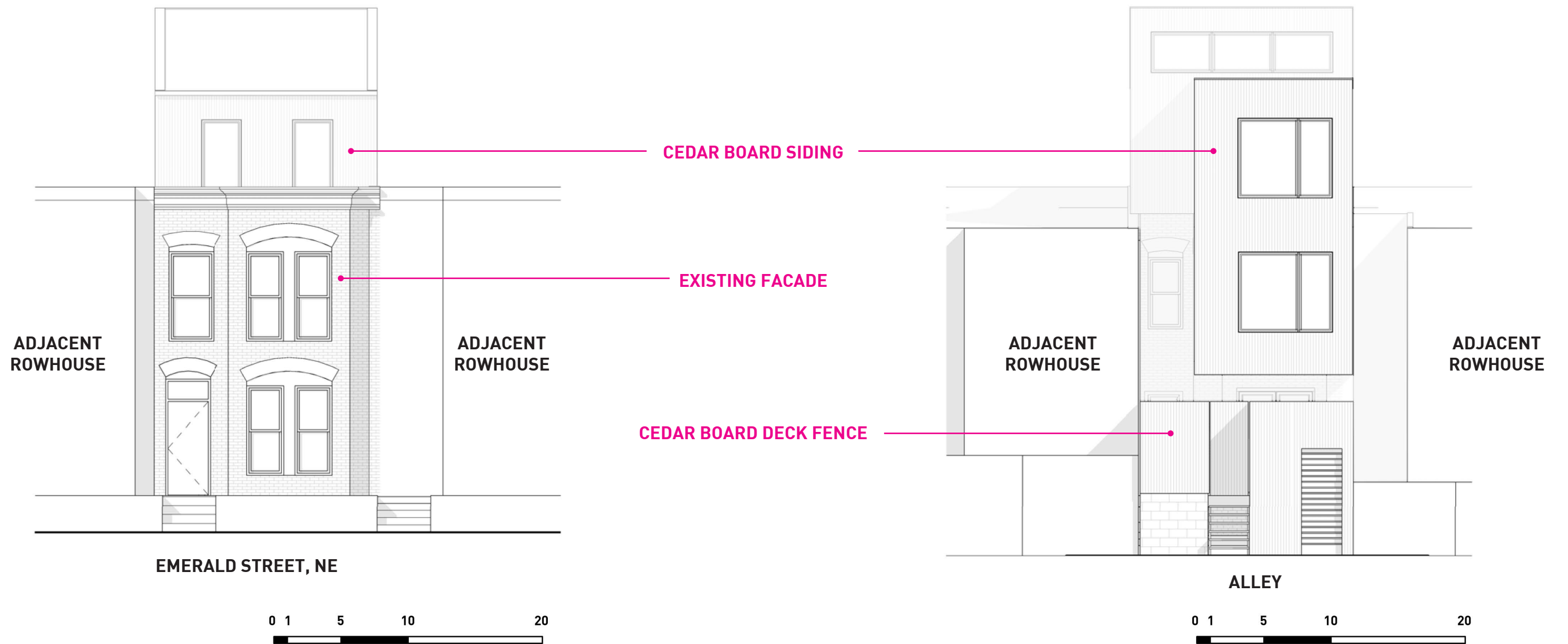
PROPOSED WEST ELEVATION

July 2015

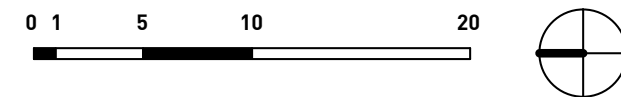
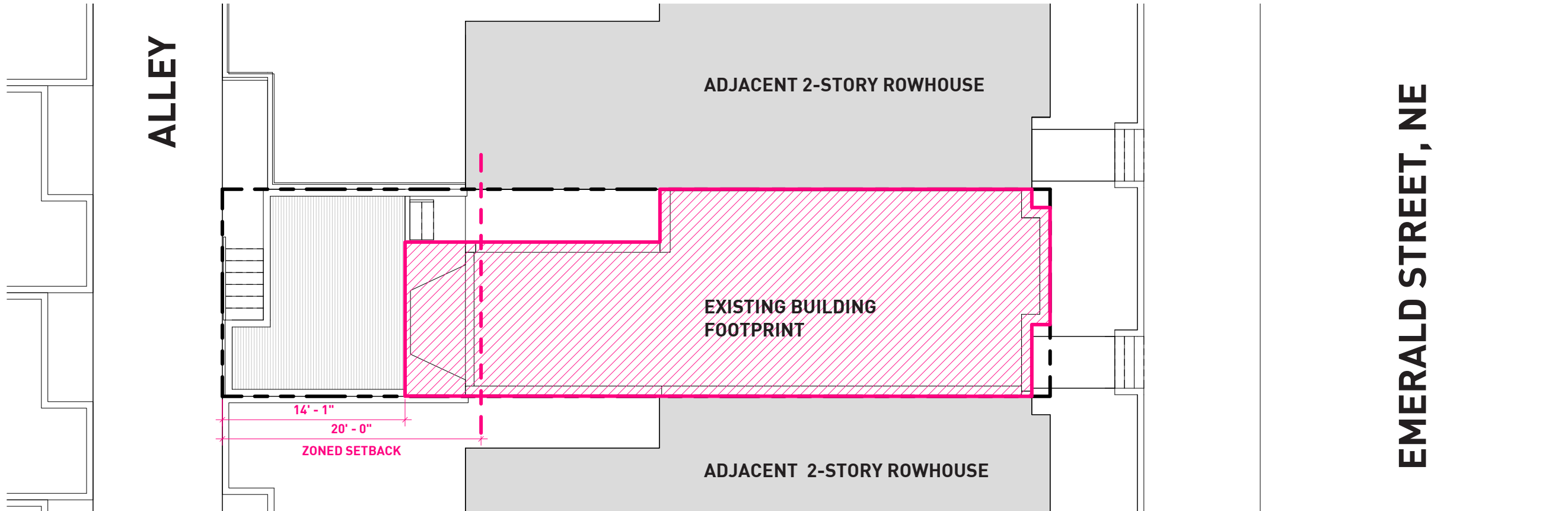


PROPOSED EAST ELEVATION

July 2015

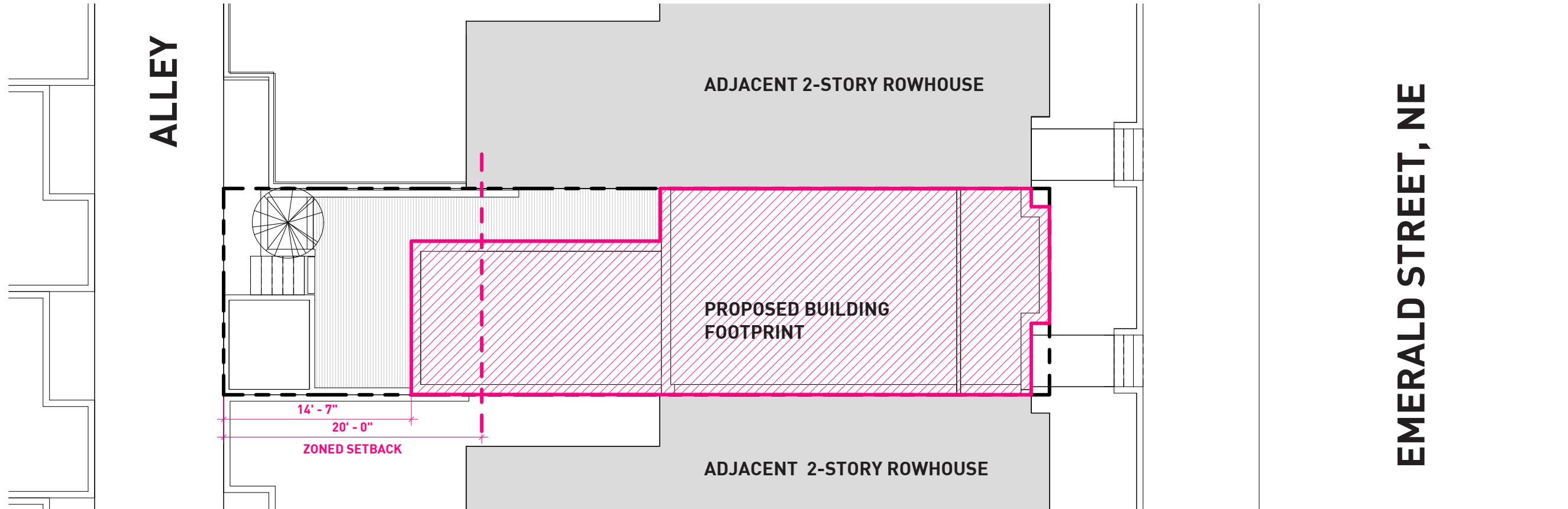


PROPOSED NORTH & SOUTH ELEVATIONS

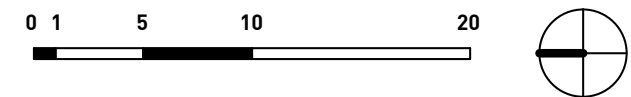


EXISTING BUILDING SETBACK

July 2015

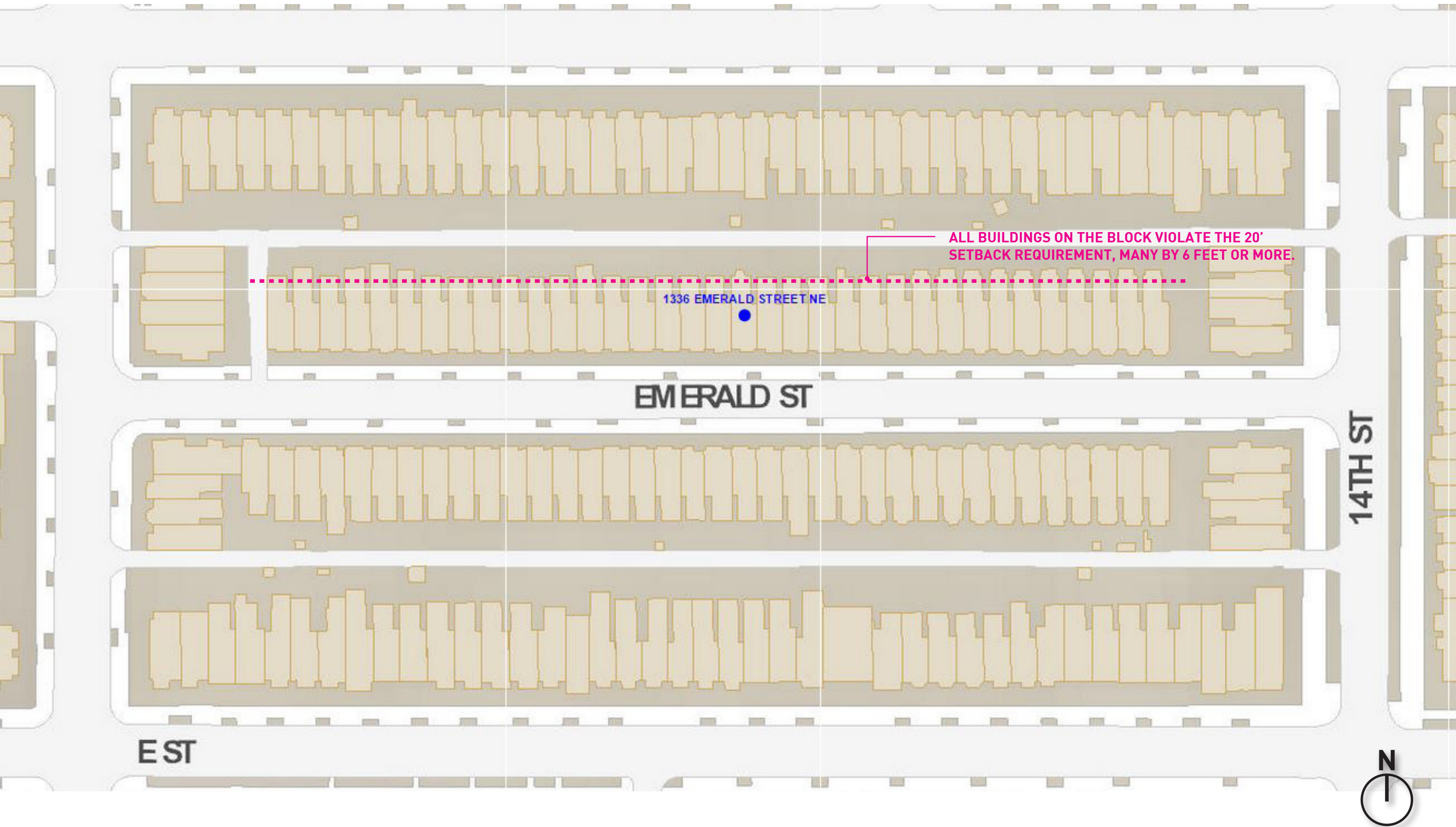


PROPOSED SETBACK IS 6" MORE THAN THE EXISTING SETBACK,
BUT LESS THAN THE REQUIRED 20' SETBACK. RELIEF
REQUESTED TO ALLOW FOR THIS.



PROPOSED BUILDING SETBACK

July 2015



BLOCK SETBACKS

July 2015

EMERALD STREET, NE

ALLEY

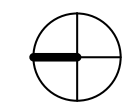
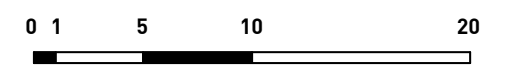
ADJACENT 2-STORY ROWHOUSE

ADJACENT 2-STORY ROWHOUSE

EXISTING NONCONFORMING COURT

15' - 2"

4' - 2"



EXISTING COURT

July 2015

EMERALD STREET, NE

ALLEY

ADJACENT 2-STORY ROWHOUSE

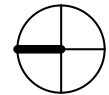
ADJACENT 2-STORY ROWHOUSE

15' - 2"

4' - 2"

RELIEF REQUESTED FOR NO
CHANGE IN COURT DIMENSIONS

0 1 5 10 20



PROPOSED COURT

July 2015

EMERALD STREET, NE

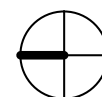
ALLEY

ADJACENT 2-STORY ROWHOUSE

ADJACENT 2-STORY ROWHOUSE

PROPOSED NEW SHED (ACCESSORY USE BUILDING).
THE SHED WILL BE THE SAME HEIGHT AS THE NEW DECK FENCE
AND BE OF THE SAME MATERIAL. RELIEF REQUESTED FOR
INCREASE IN LOT OCCUPANCY TO ALLOW FOR NEW SHED

0 1 5 10 20



PROPOSED SHED

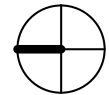
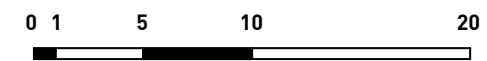
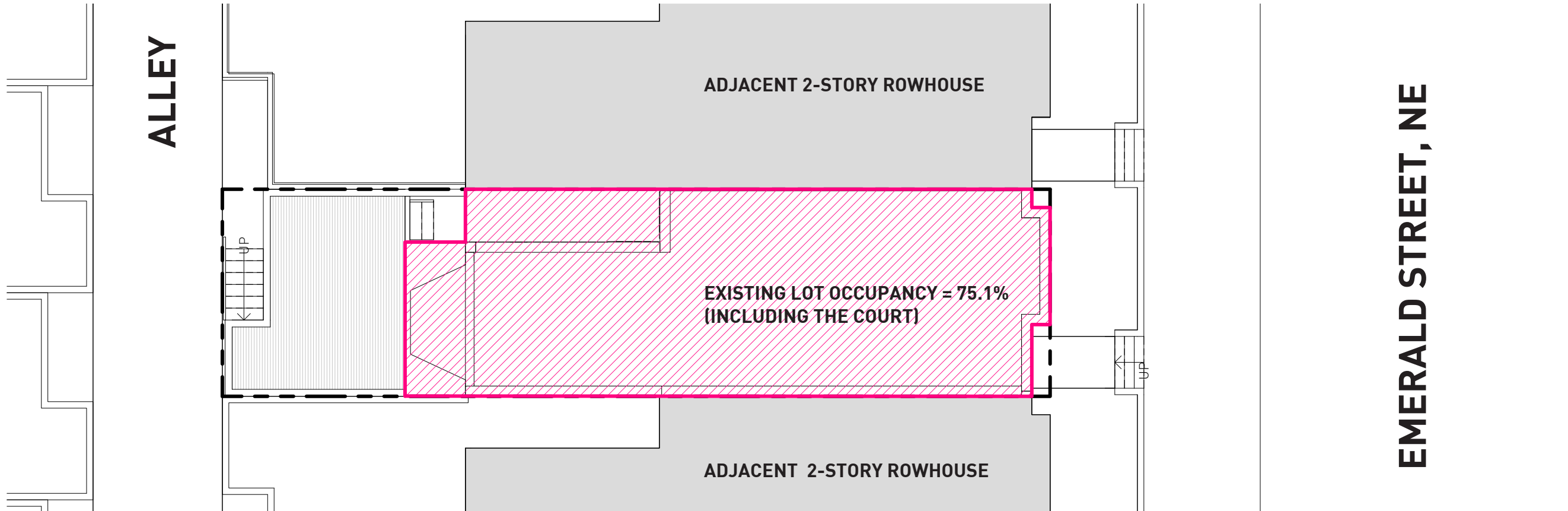
July 2015



THERE ARE MANY SHEDS IN THE HEIGHBORHOOD

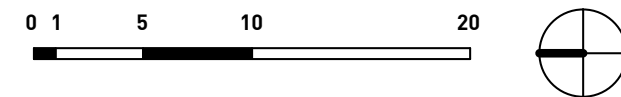
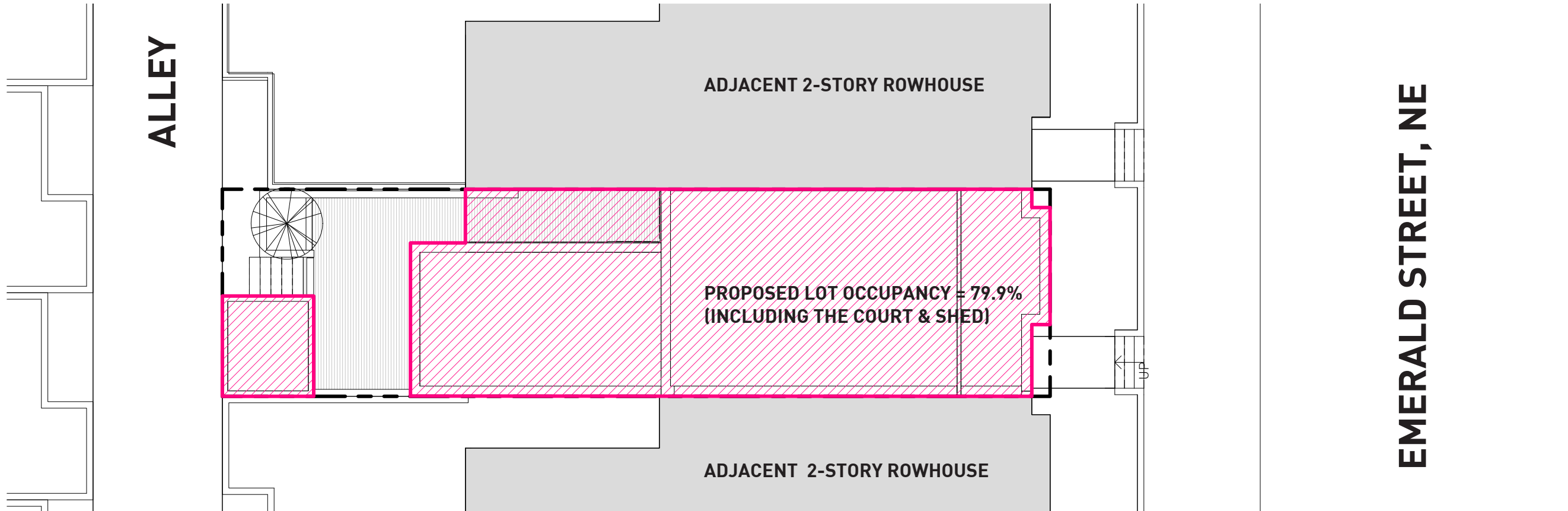
VIEW OF ALLEY - LOOKING EAST

July 2015



EXISTING LOT OCCUPANCY

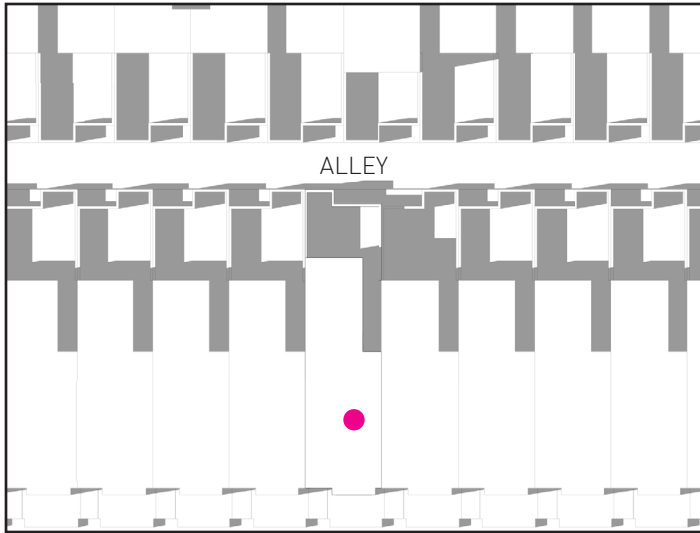
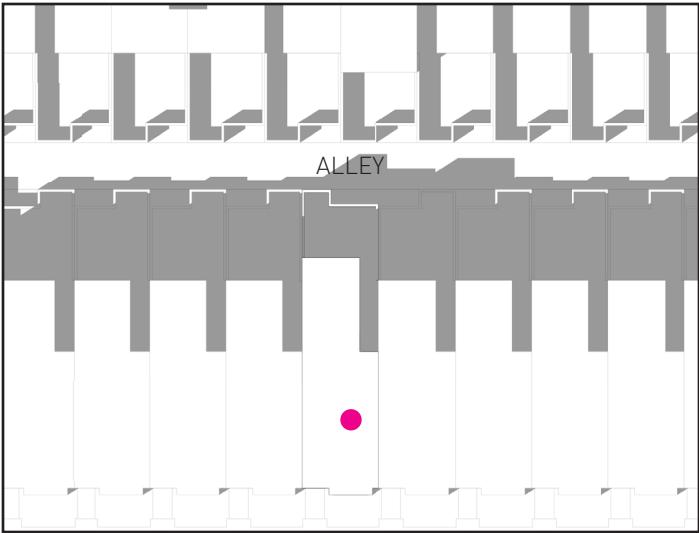
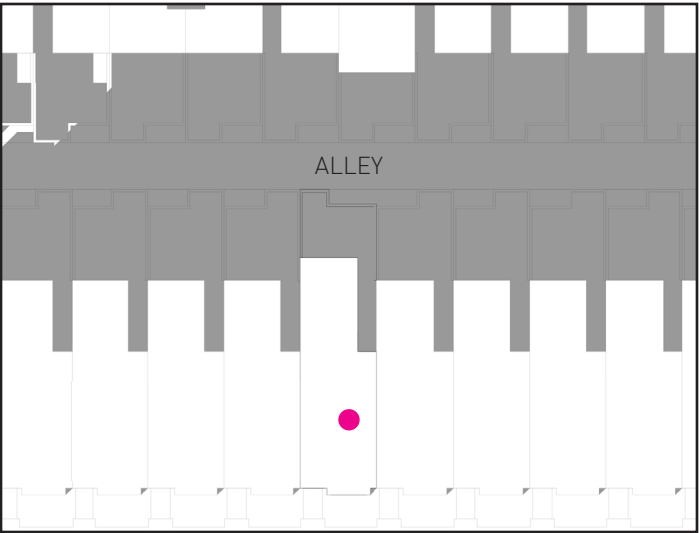
July 2015



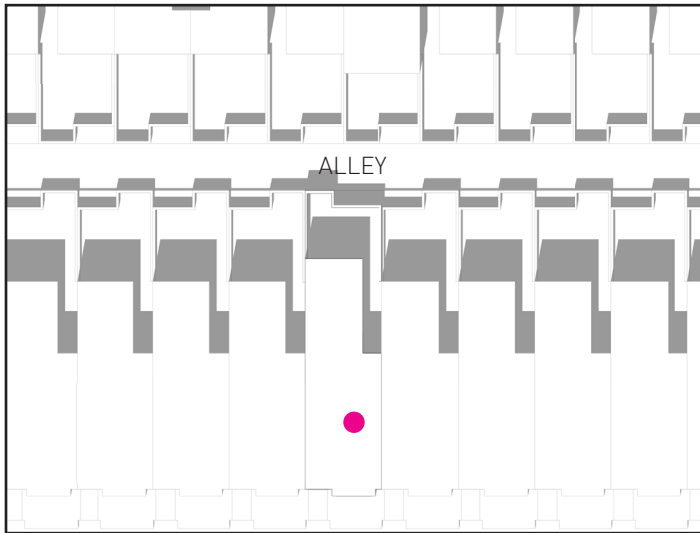
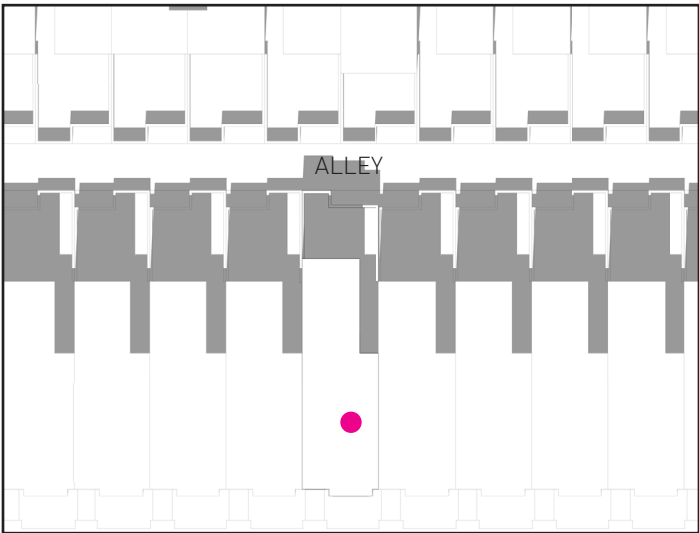
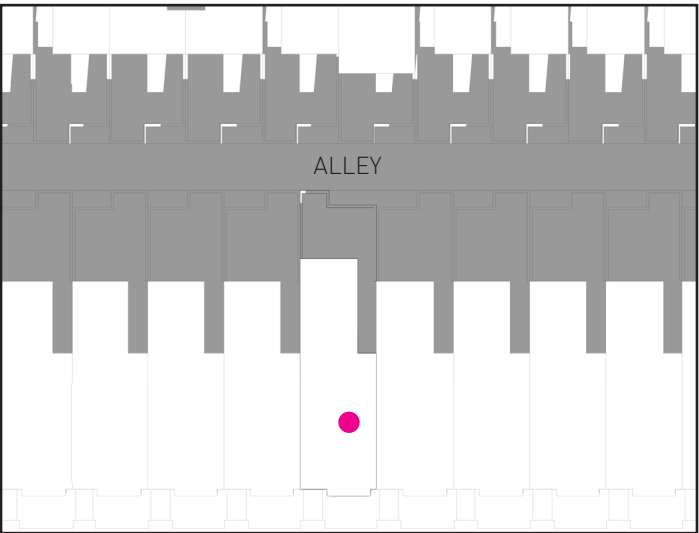
PROPOSED LOT OCCUPANCY

July 2015

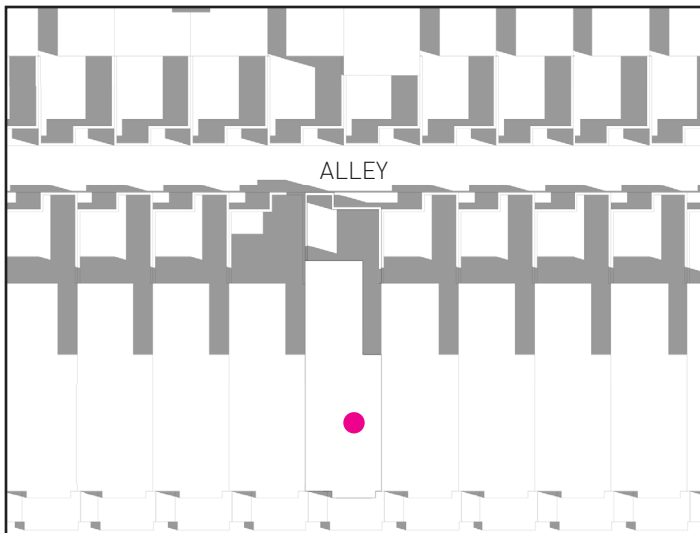
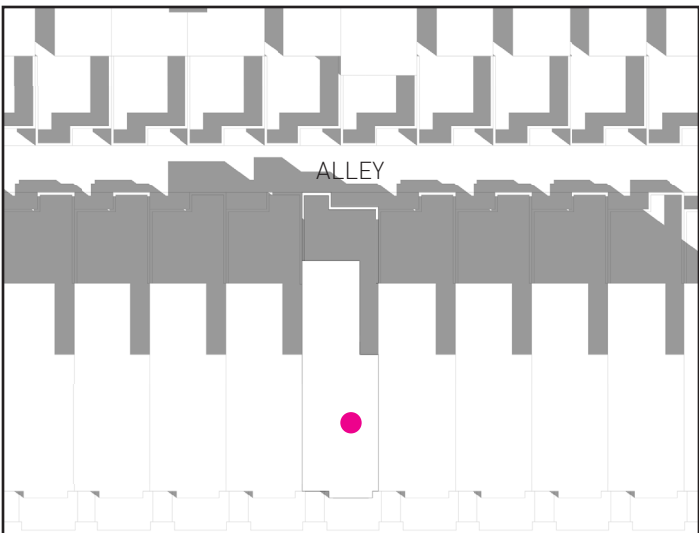
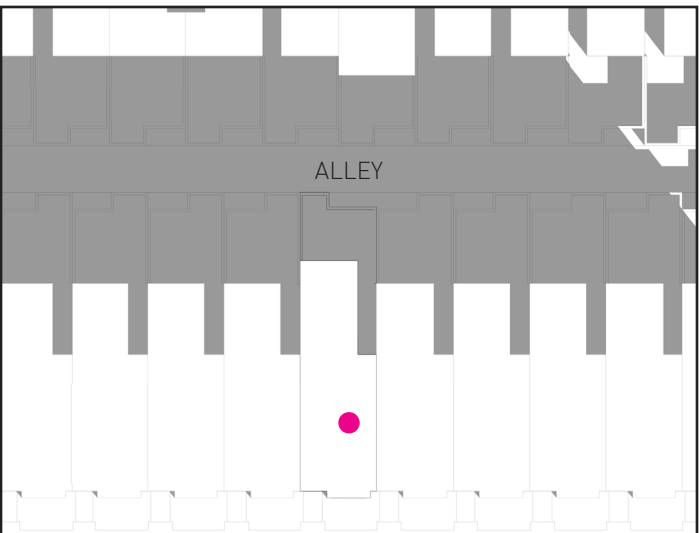
3PM



NOON



9AM



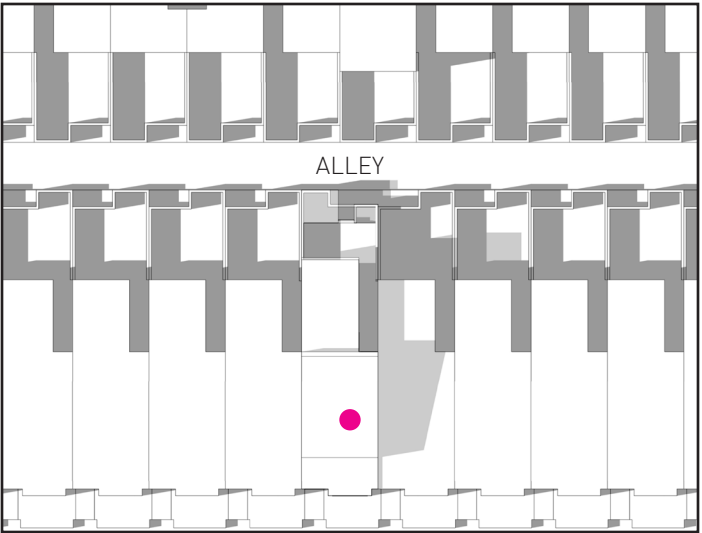
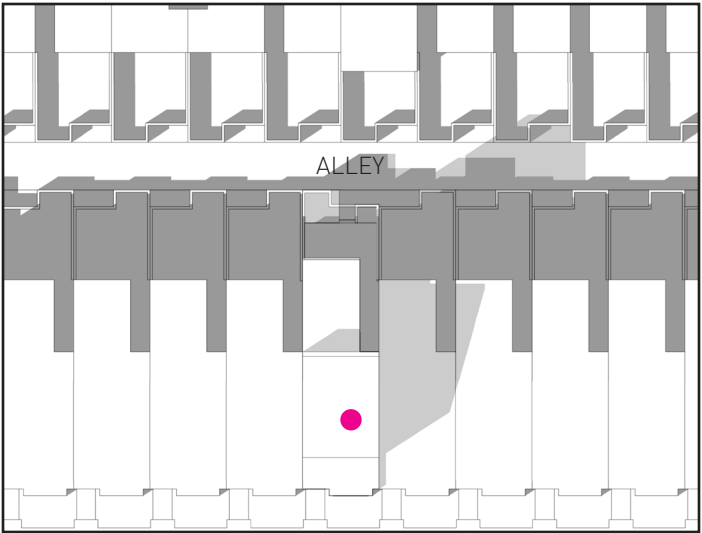
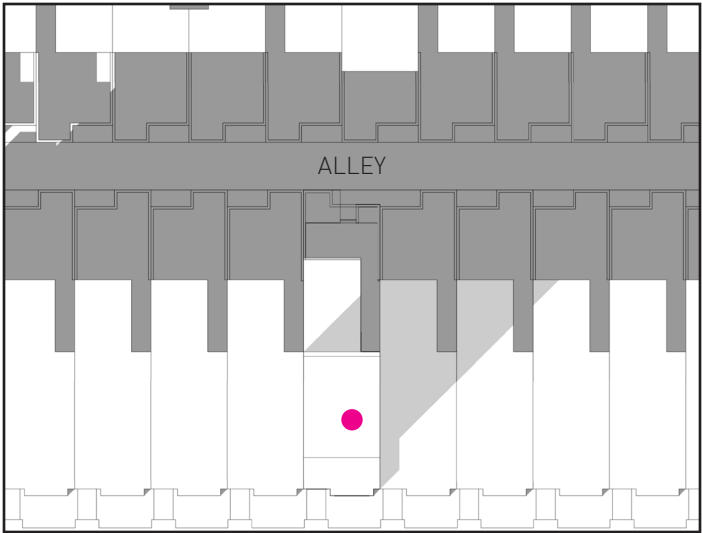
WINTER SOLSTICE

SPRING/FALL EQUINOX

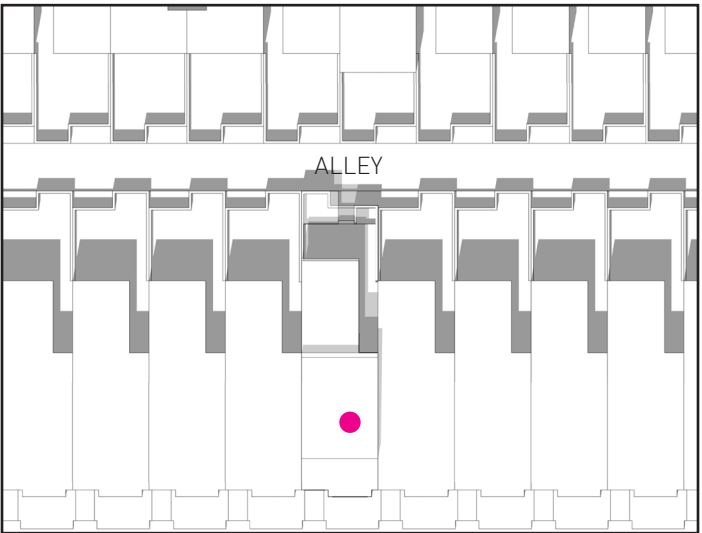
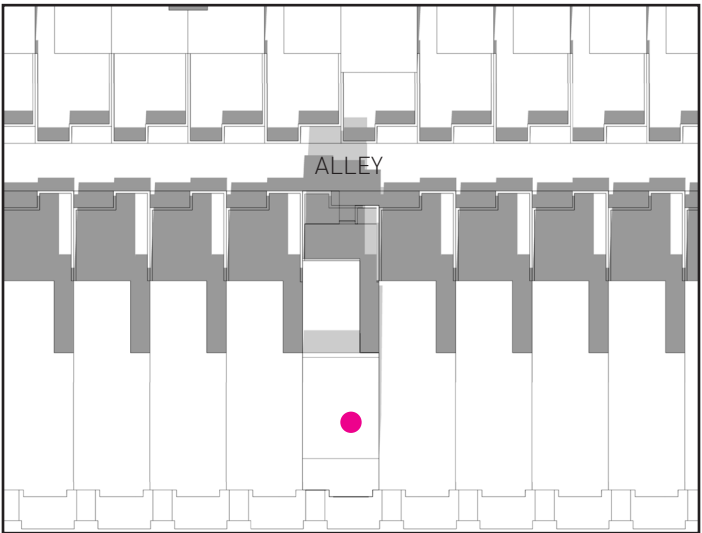
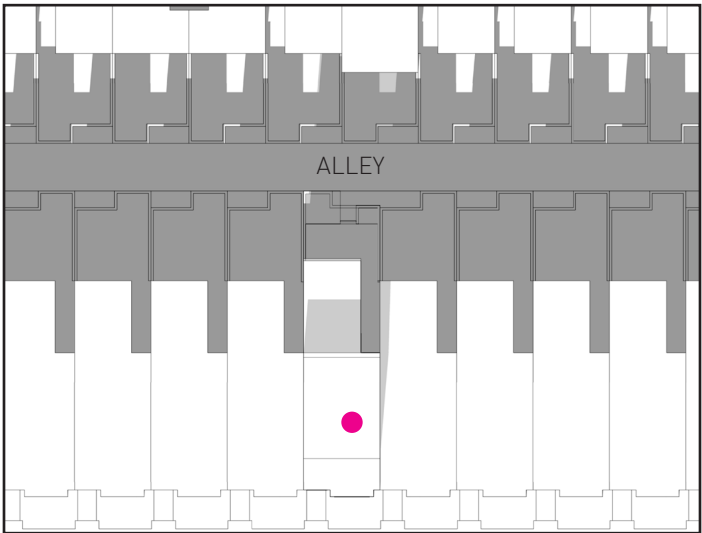
SUMMER SOLSTICE

SHADOW STUDY - EXISTING CONDITIONS

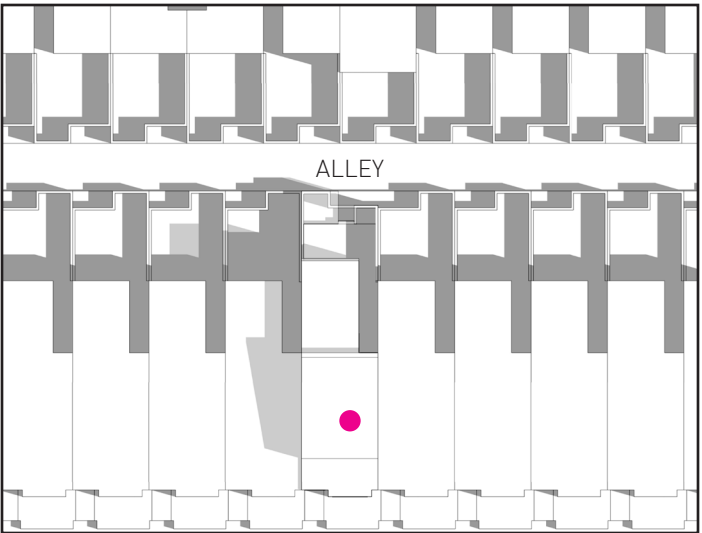
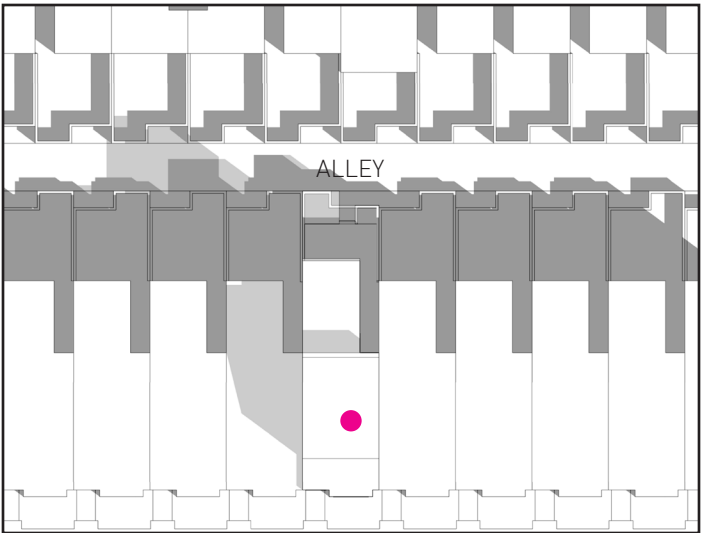
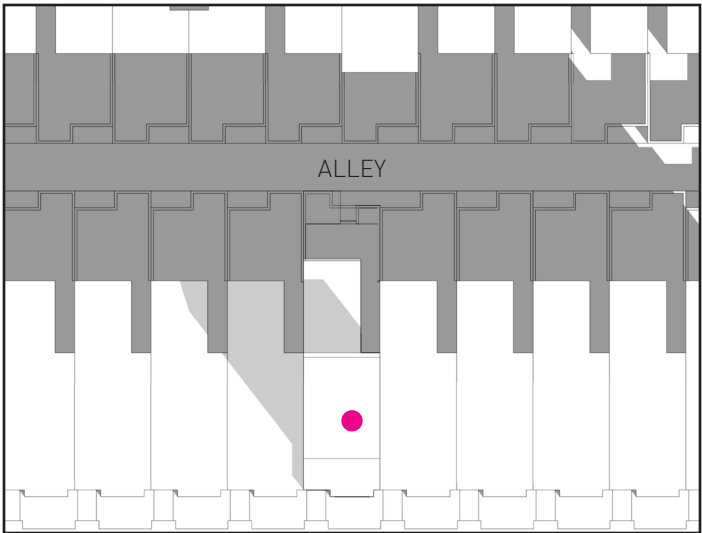
3PM



NOON



9AM



WINTER SOLSTICE

SPRING/FALL EQUINOX

SUMMER SOLSTICE

SHADOW STUDY - PROPOSED ADDITION

NOTE: LIGHT GREY INDICATES DIFFERENCE FROM EXISTING