

GENERAL NOTES

1. THE WORK CONSISTS OF THE FURNISHING OF ALL LABOR, MATERIAL, EQUIPMENT, SERVICE, SUPERVISION AND PERFORMING ALL WORK CALLED FOR IN THE COMPLETION OF THE NEW CONSTRUCTION OF 1028 D STREET, NE, INCLUDING SITE IMPROVEMENTS AS SET FORTH IN THE ARCHITECTURAL, STRUCTURAL, HEATING, VENTILATION, AIR CONDITIONING, PLUMBING, AND ELECTRICAL AND THE ACCOMPANYING WRITTEN SPECIFICATIONS BOOK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING THE ATTACHED DRAWINGS AND THE SCOPE OF WORK AS BEING INTEGRATED INTERDEPENDENT DOCUMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LICENSED TRADE PERMITS AND SCHEDULING ALL INSPECTIONS INCLUDING FINAL OCCUPANCY AS REQUIRED BY THE D.C. DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS, PEPCO, WASHINGTON GAS COMPANY, BELL ATLANTIC AND OTHER AFFECTED UTILITY COMPANIES.
3. ALL CHARGES, CONTRIBUTIONS, COSTS AND OTHER MEANS OF REIMBURSEMENT ASSOCIATED WITH THE INSTALLATION AND SERVICE BY LOCAL AUTHORITIES AND UTILITY COMPANIES SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID AND FINAL CONTRACT PRICE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COST OF ALL UTILITIES USED IN THE PERFORMANCE OF THE WORK.
4. ALL WORK SHALL BE DONE IN A LEGAL MANNER. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE CODES, REGULATIONS AND LAWS OF THE D.C. DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS (DCRA). WHEN THE DRAWINGS OR SPECIFICATIONS OMIT ANY PARTICULAR AREA GOVERNED BY THE CODES, THOSE CODES SHALL BE USED AS BEING THE MINIMUM IN CASES WHERE THE DRAWINGS OR SCOPE OF WORK INDICATE LESSER REQUIREMENTS.
5. THESE NOTES ARE GENERAL IN NATURE AND APPLY TO THE ENTIRE BUILDING WHETHER OR NOT SPECIFICALLY NOTED OR REFERENCED ON EACH FLOOR. THE DRAWINGS INDICATE THE GENERAL EXTENT OF DEMOLITION WORK AND MAY NOT INCLUDE ALL DEMOLITION WHICH WILL BE REQUIRED FOR NEW CONSTRUCTION. FIELD VERIFY ALL.
6. THE CONTRACTOR SHALL FURNISH TO THE OWNER ALL WARRANTIES AND BONDS OF AFFIDAVIT FROM SUPPLIERS AND MANUFACTURERS ON THE NEW ROOF, ALL MECHANICAL EQUIPMENT, APPLIANCES AND OTHER ITEMS AS MAY BE REQUESTED IN THE BODY OF THE SCOPE OF WORK. THE CONTRACTOR SHALL ALSO FURNISH TO THE OWNER A 3-RING LOOSE LEAF NOTEBOOK OF ALL OPERATING AND MAINTENANCE MANUALS OF ANY AND ALL EQUIPMENT PROVIDED AND INSTALLED UNDER THIS CONTRACT.
7. DIMENSIONS SHOWN IN NOMINAL SIZES ARE FOR THE PURPOSE OF DESCRIBING THE CONSTRUCTION AND ARE NOT TO BE TAKEN AS THE ACTUAL SIZE OF THE COMPONENT.
10. ALL WORK SHALL CONFORM TO THE CURRENT CODE STANDARDS OF THE TRADES. INSTALL ALL MANUFACTURED ITEMS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE PLUMBING, MECHANICAL, ELECTRICAL, AND BUILDING SECURITY SYSTEMS FULLY OPERATIONAL. PROVIDE LIGHTING FIXTURES, ELECTRICAL OUTLETS AND SWITCHES AS SHOWN ON THE DRAWINGS OR AS IS NECESSARY TO PROVIDE A COMPLETE INSTALLATION FOR THE INTENDED OCCUPANCY.
15. DO NOT SCALE THE DRAWINGS. WHERE DIMENSIONS BETWEEN SMALL AND DETAIL DRAWINGS DIFFER, DETAIL DIMENSIONS SHALL GOVERN.
16. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGHOUT THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO ARCHITECT BEFORE DOING WORK RELATED TO THAT BEING INSPECTED.
17. THE ARCHITECTURAL DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SYSTEMS, SUCH AS INCIDENTAL WORK IS ALSO A PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND ASCERTAIN WORK NEEDED, AND DO THAT WORK IN ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST. TRADE, PRODUCT, OR MANUFACTURER'S NAMES OR CATALOG NUMBERS SHOWN ON THE DRAWINGS FOR NEW PRODUCTS ARE TO ESTABLISH QUALITY REQUIRED. IN EACH CASE ADD, BY INFERENCE, AFTER TRADE, PRODUCT, OR MANUFACTURER'S NAME, THE PHRASE "OR APPROVED EQUAL." TRADE, PRODUCT OR MANUFACTURER'S NAMES OR CATALOG NUMBERS, AND INDICATIONS OF PRODUCT TYPES, SUCH AS "GLASS FIBER INSULATION," SHOWN ON THE DRAWINGS FOR EXISTING PRODUCTS ARE BELIEVED TO BE ACCURATE. IF THEY ARE DISCOVERED INACCURATE, NOTIFY ARCHITECT IMMEDIATELY AND DO NOT PROCEED WITHOUT INSTRUCTIONS. DETERMINE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTER, WINDOW JAMS OR MULLION, OR OTHER SIMILAR FIXED ITEM.

20. THE WORK WILL REQUIRE ALL NEW INTERIOR FINISHES INCLUDING VINYL COMPOSITION TILE, SHEET VINYL TILE AND CARPETING.
21. ALL FLOOR AREAS MUST BE MADE LEVEL.
22. INTERIOR SURFACES OF ALL EXTERIOR WALLS SHALL RECEIVE NEW 4" FURRING WITH BATT INSULATION. PROVIDE NEW MOOD BASES THROUGHOUT.
23. DOORS SHALL CONSIST OF NEW PREHUNG, HOLLOW CORE METAL PANEL DOORS AND FRAMES AT ALL DOORS OPENING ONTO EXTERIOR. ALL WINDOWS SHALL BE REPLACED WITH DOUBLE HUNG DOUBLE GLAZED THERMAL BREAK WINDOWS WITH SCREENS.
24. THE BUILDING SHALL RECEIVE ALL NEW GAS FIRED HEATING AND ELECTRICAL COOLING SYSTEMS, VENTILATION AND PLUMBING SUPPLY/ DRAINAGE AND ELECTRICAL POWER AND WIRING SYSTEMS THROUGHOUT AS DELINEATED ON THE ACCOMPANYING DRAWINGS.

PROPOSAL OF
1028 D STREET, NE.
WASHINGTON, DC.

ABBREVIATION LIST

ABV	ABOVE	HD	HANDICAPPED	S OR SO	SOUTH
AFCI	ARC FAULT CIRCUIT INTERRUPTER	HGT	HEIGHT	SHT.	SHEET
AFF	ABOVE FINISH FLOOR	HORIZ.	HORIZONTAL	SD.	STORM DRAIN
APPROX.	APPROXIMATE	ID	INSIDE DIAMETER	SEC	SEDIMENT AND
BKR	BREAKER	ID.	IDENTIFICATION		EROSION CONTROL
BLDG.	BUILDING	INV.	INVERT	SF.	SQUARE FEET
CAB.	CABINET	LEN.	LENGTH	SS	SANITARY SEWER
CLO.	CLOSET	LT, LTG	LIGHTING	SP	SPACE
COL.	COLUMN	MECH.	MECHANICAL	SPKLR.	SPRINKLER
CONC.	CONCRETE	MET.	METAL	STL.	STEEL
CORR.	CORRIDOR	MTD.	MOUNTED, MOUNTING	SW.	SWITCH
DET.	DETAIL	MIN.	MINIMUM	TBD	TO BE DETERMINED
DN.	DOWN	N. OR NO.	NORTH	TELE.	TELEPHONE
DWG.	DRAWING	N.T.S.	NOT TO SCALE	THRU.	THROUGH
E	EAST	NIC.	NOT IN CONTRACT	TYP.	TYPICAL
ELE.	ELEVATION	OD	OUTSIDE DIAMETER	V	VOLT
ELEC.	ELECTRIC, ELECTRICITY	PNL	PANEL	VERT.	VERTICAL
EM.	EMERGENCY	PWD	POWDER	UTIL.	UTILITY
EQUIP.	EQUIPMENT	PWR	POWER	W	WEST
EX. OR EXIST.	EXISTING	P.V.C.	POLY VINYL-CHLORIDE PIPE	WH	WATER HEATER
FA.	FIRE ALARM	R	RADIUS	WIC	WALK IN CLOSET
FR.	FRAME	REINF.	REINFORCED	WP	WEATHER PROOF
FT.	FEET	RM.	ROOM		
FURN.	FURNACE	RNG.	RANGE		
G, GND	GROUND				
GFCI	GROUND FAULT CIRCUIT INTERRUPTER				

CODE REFERENCE

APPLICABLE CODES:

BUILDING: 2006 ICC INTERNATIONAL BUILDING CODE (IBC)
4 DCMR 12A-2008 BUILDING CODE SUPPLEMENT.

MECHANICAL: 2006 ICC INTERNATIONAL MECHANICAL CODE (IMC)
4 DCMR 12E-2008 MECHANICAL CODE SUPPLEMENT.

PLUMBING: 2006 ICC INTERNATIONAL PLUMBING CODE (IPC)
4 DCMR 12F-2008 PLUMBING CODE SUPPLEMENT.

ELECTRICAL: 2006 ICC INTERNATIONAL ELECTRICAL CODE NFPA NEC 2005
4 DCMR 12C-2008 ELECTRIC CODE SUPPLEMENT.

FIRE: 2006 ICC INTERNATIONAL FIRE CODE (IFC)
4 DCMR 12H-2008 FIRE CODE SUPPLEMENT.

ENERGY: 2006 ICC INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
4 DCMR 12I-2008 ENERGY CONSERVATION CODE SUPPLEMENT.

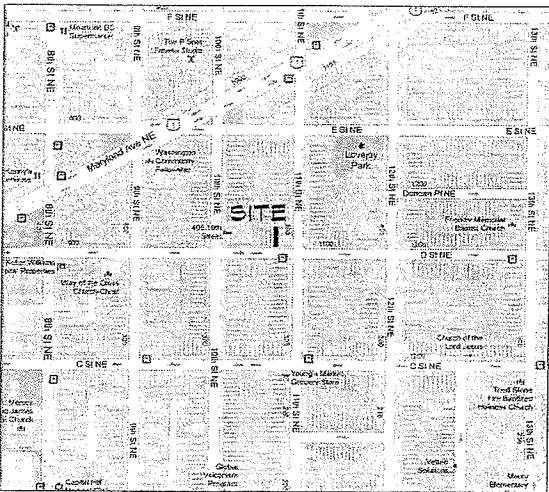
FUEL GAS: 2006 ICC INTERNATIONAL FUEL GAS CODE (IFGCG)
4 DCMR 12D-2008 FUEL GAS CODE SUPPLEMENT.

ACCESSIBILITY: 2006 ICC INTERNATIONAL BUILDING CODE (IBC)/CHAPTER 11/ANSI A 117.1
2003 4 DCMR 12A-2008 SUPPLEMENT/CHAPTER 11A



VICINITY MAP

SCALE: 0 100M
0 200FT.



GRAPHIC SYMBOLS

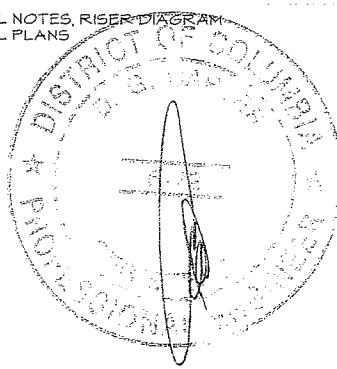
1	DETAIL NUMBER	1	PARTITION TYPE
2	WALL SECTION	2	WINDOW TYPE
3	SHEET WHERE DETAIL APPEARS	3	DOOR NUMBER
4	BUILDING SECTION	4	REVISION NUMBER
5	DETAIL MARK	5	NEW WALL
6	INTERIOR ELEVATION	6	WALL TO BE REMOVED
7	SHEET WHERE DETAIL APPEARS		

MATERIAL SYMBOLS

1	EARTH	1	METAL
2	CONCRETE MASONRY UNIT	2	ROUGH LUMBER
3	BRICK	3	FINISHED WOOD
4	POURED CONCRETE	4	PLYWOOD (LARGE SCALE)
5	GRAVEL FILL	5	PLYWOOD (SMALL SCALE)
6	MARBLE	6	RIGID INSULATION
7	SAND, PLASTER, GYPSUM WALL BOARD	7	BATT INSULATION

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M-2	MECHANICAL PLANS
M-3	MECHANICAL PLANS
M-4	SPECIFICATIONS
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CODE ANALYSIS

ZONING: R-4
FAR
LOT OCCUPANCY: 600
LOT: 801
SQUARE: 962
HEIGHT RESTRICTION: 35'-0"
SIDE YARD: N/A
SIZE OF LOT: 1,038 SF
BUILDING INFORMATION: 1028 D STREET, NE
BUILDING DESCRIPTION: RESIDENTIAL
JURISDICTION: WASHINGTON, DC
SQUARE FOOTAGE: 1ST FLOOR: 560.0 SF
2ND FLOOR: 560.0 SF
3RD FLOOR: 560.0 SF

HEIGHT OF BUILDING: 35'-0"
USE GROUP: CONSTRUCTION TYPE: DWELLING SEPARATION WALLS: 2 HRS.
ROOF LIVE LOAD=30PSF AND 1 TFSF FOR DEAD LOAD
SLEEPING ROOM 30PSF AND 10PSF FOR DEAD LOAD
WIND LOAD=20PSF, SNOW LOAD 25PSF PLUS DRIFTING OR 30PSF EQUIVALENT UNIFORM LOAD, WHICH IS GREATER.



2626 TUNLAW RD., #304
WASHINGTON, DC. 20007
TEL: 202 338 8074
FAX: 202 333 5301

PROJECT TITLE

1028 D STREET, NE.
WASHINGTON, DC.

PROJECT NUMBER

PROJECT STATUS

SHEET TITLE

COVER SHEET

DRAWN BY

APPROVED BY

REVISION

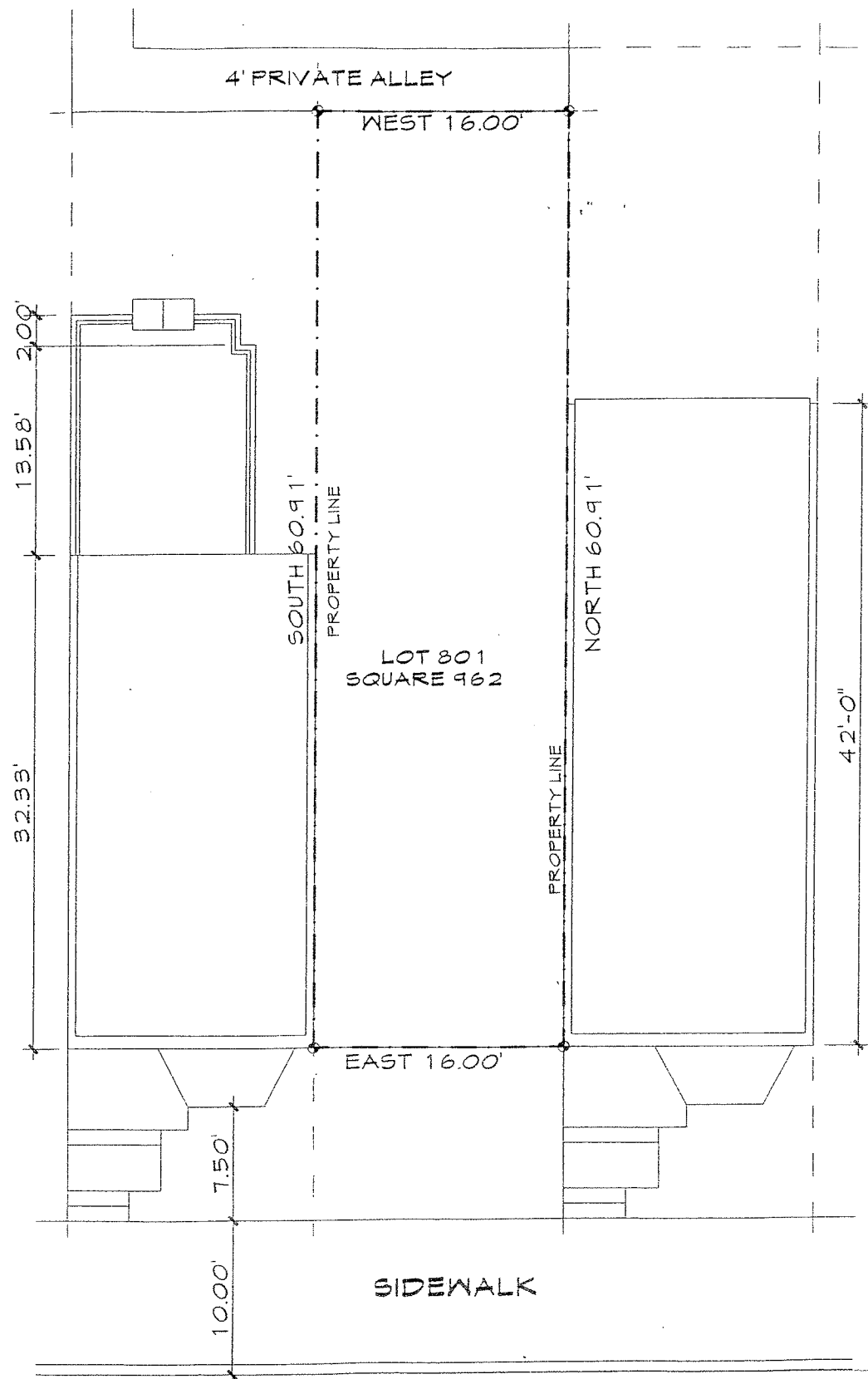
NO.	DATE	DESCRIPTION
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SCALE: AS INDICATED

CS-1

Board of Zoning Adjustment
District of Columbia
CASE NO. 19084
APR 21 2013
EXHIBIT NO. 7

DC NORTH



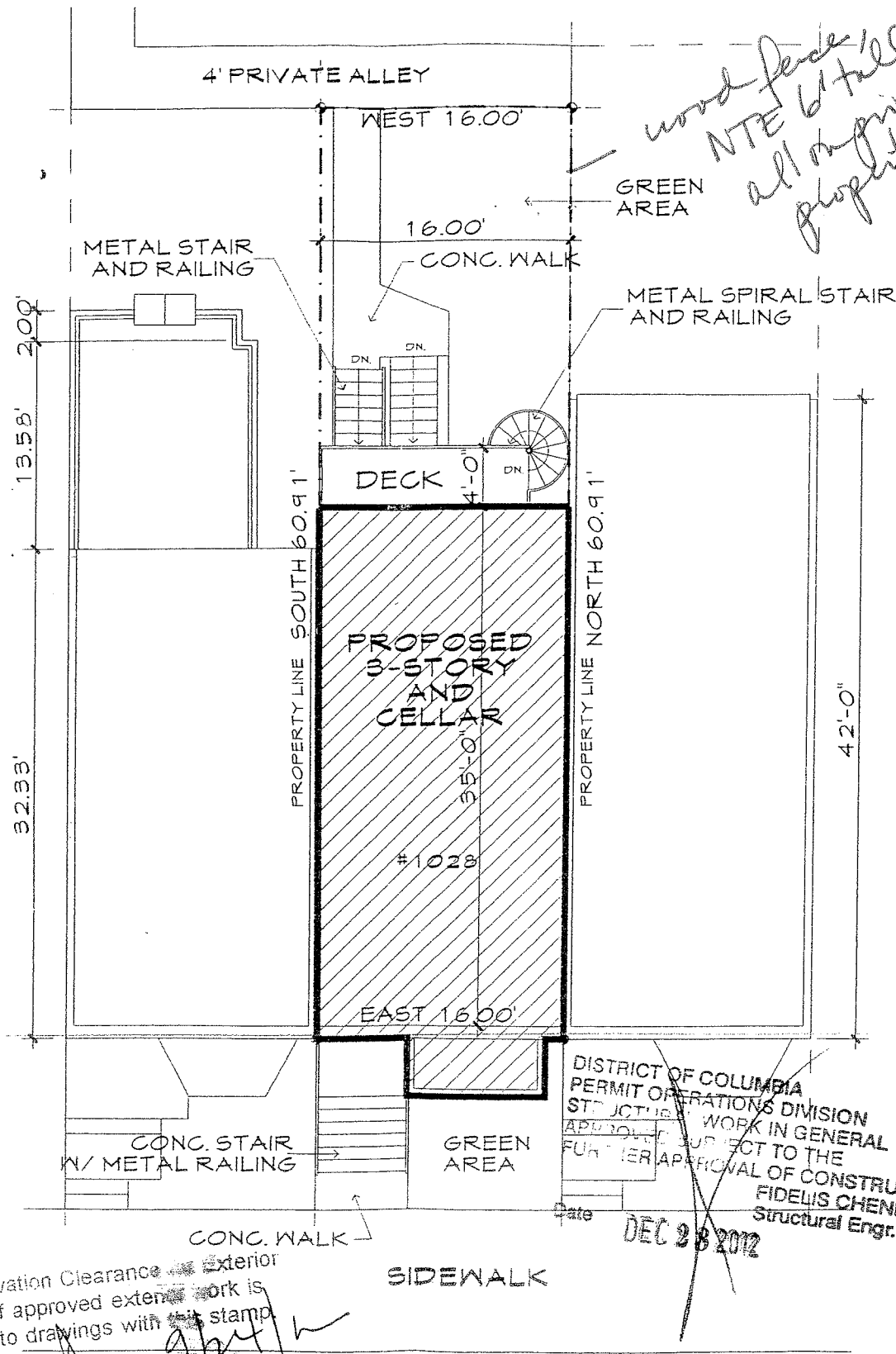
Historic Preservation Clearance
Work. Scope of approved exterior work is
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Signature and date:

D STREET, N.E.

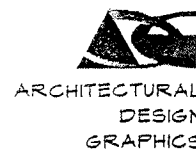
EXISTING
SITE PLAN
SCALE: 1"=10'

DC NORTH



wood fence
NTE 6' tall
all on private
property

DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
STRUCTURAL WORK IN GENERAL
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FIDELIS CHENDI
Structural Engr. Section
Date DEC 28 2012



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1028 D STREET, NE.
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PROJECT STATUS

SHEET TITLE

EXISTING
AND
PROPOSED
SITE PLANS

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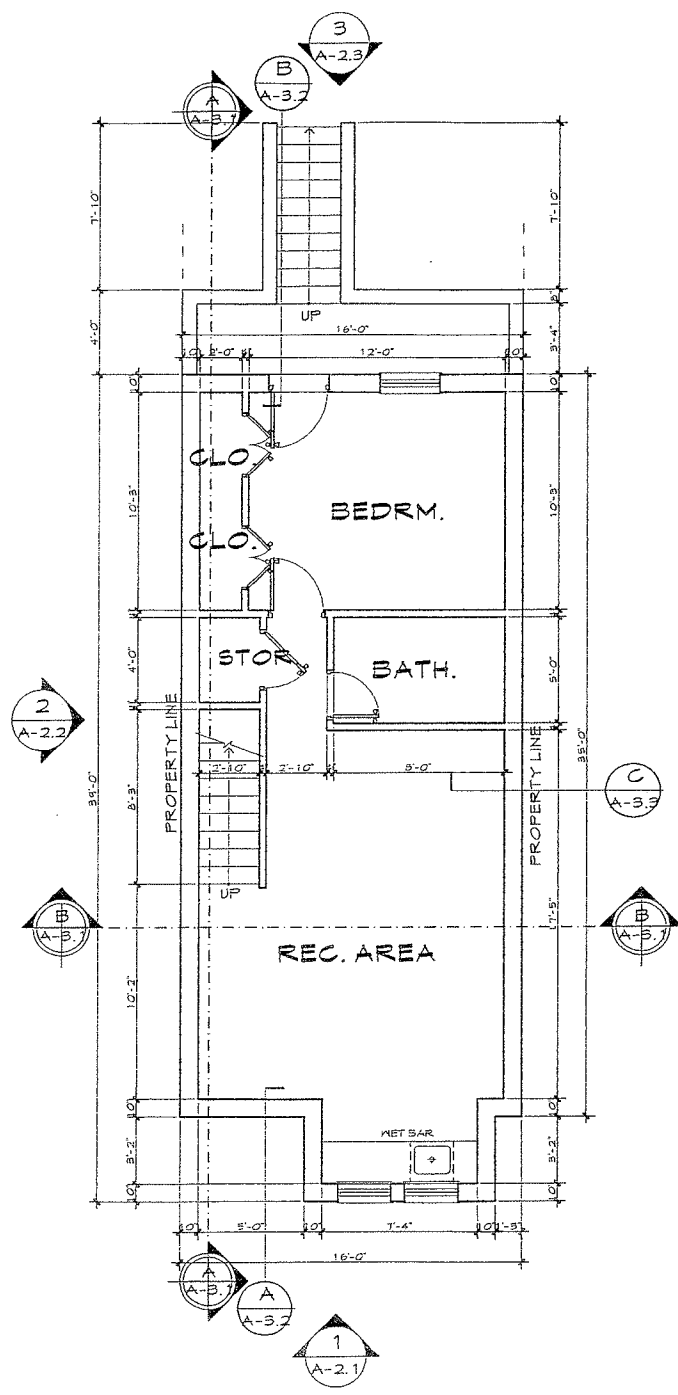
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NO.	DATE	DESCRIPTION

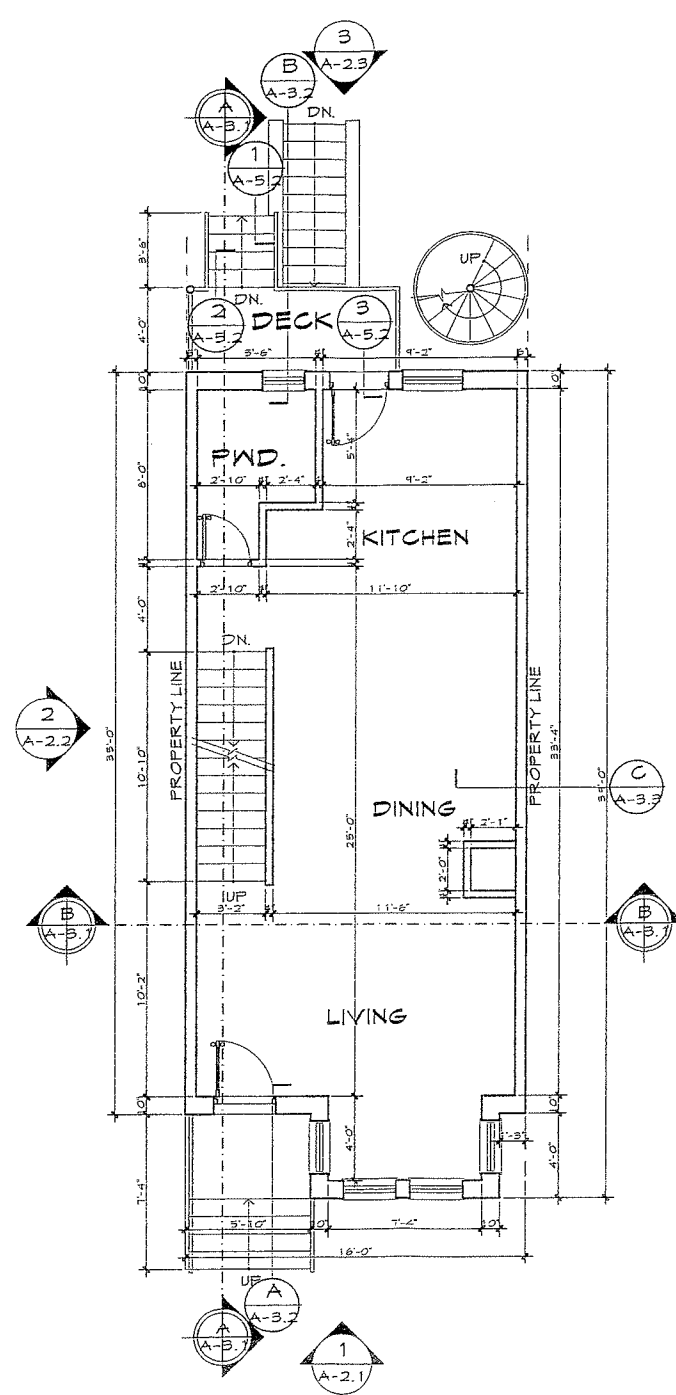
SCALE: 1"=10'-0"

C-1

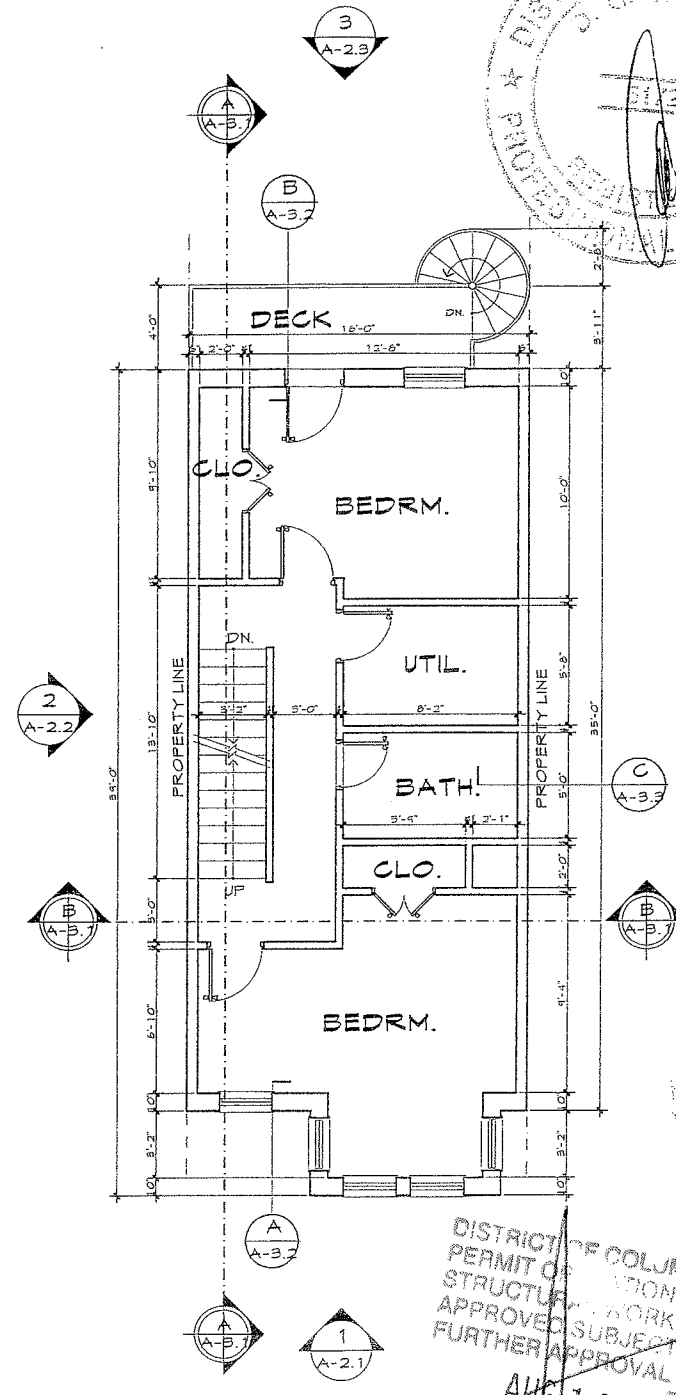
DATE: SEPT. 04, 2012



CELLAR PLAN
SCALE: 1/8" = 1'-0"

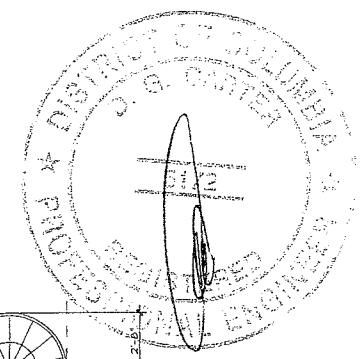


FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:
ALL BEDROOMS (I.E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IBC 2006, 1009.1; IRC 2000, 310). THIS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. WITH A MINIMUM CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (IBC 2006, SECTION 1009.3; IRC 2006, SECTION 310.1)
ALL BATHROOM WINDOWS ARE SAFETY GLAZING.



ARCHITECTURAL DESIGN GRAPHICS
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PROJECT NUMBER
PROJECT STATUS
SHEET TITLE

FLOOR PLANS

DRAWN BY
APPROVED BY
Signature and date: *[Signature]* 12/17

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FIDELIS CHEN
Structural Engr. Section

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SCALE: 1/4" = 1'-0"

A-1.1

DATE: APR 21, 2013



ARCHITECTURAL DESIGN
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SHEET TITLE

FLOOR PLANS

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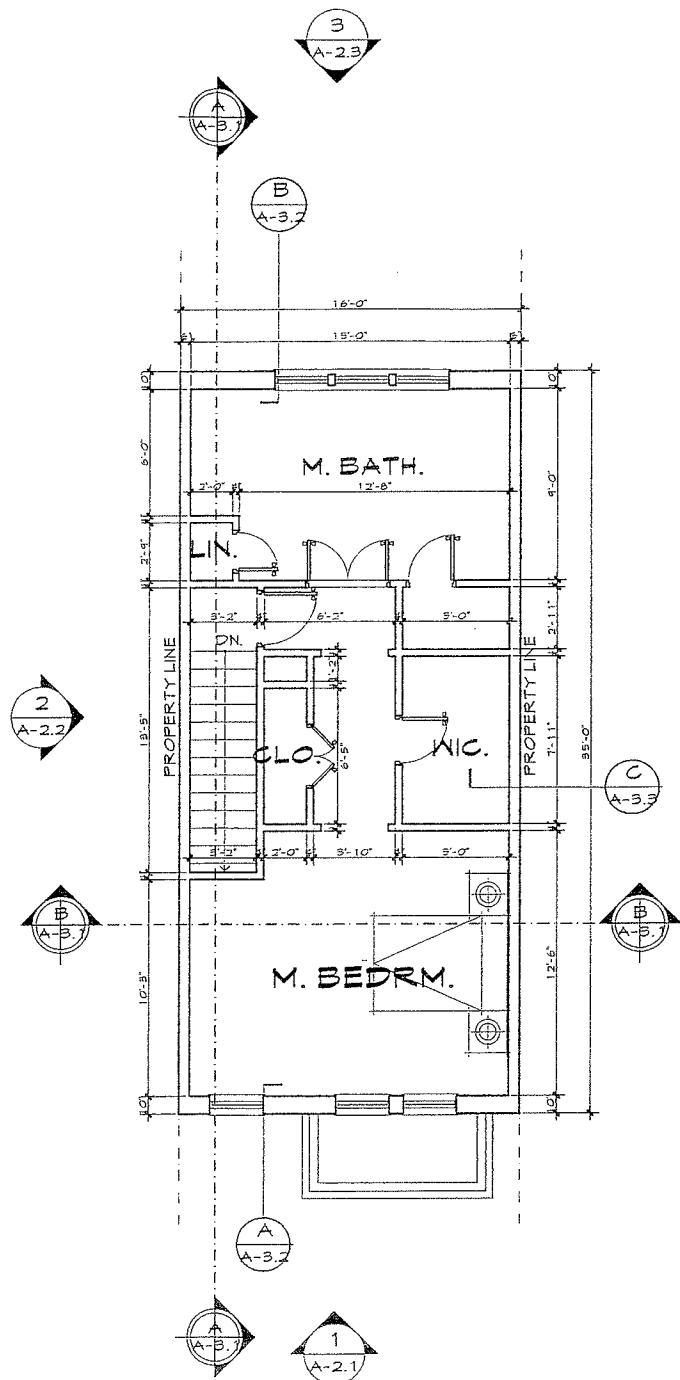
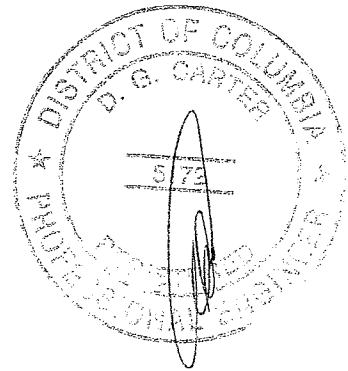
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REVISION		
NO.	DATE	DESCRIPTION

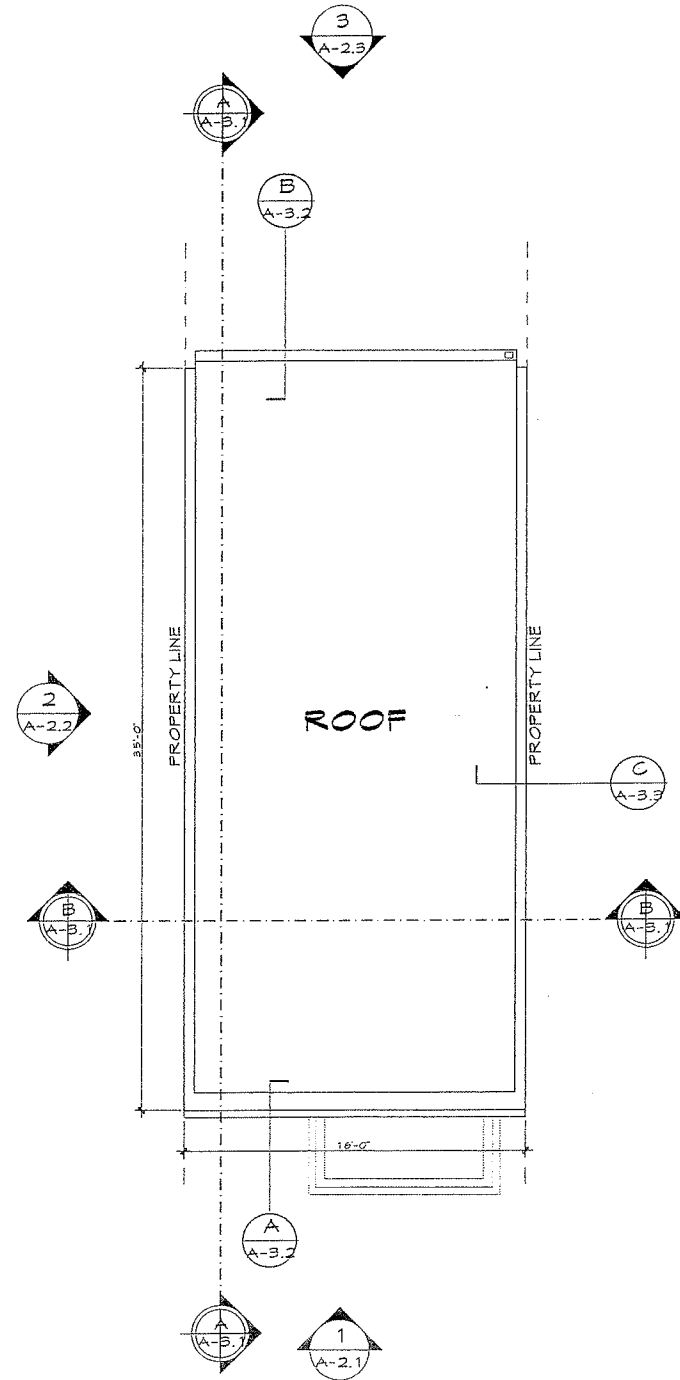
SCALE: 1/4" = 1'-0"

A-1.2

DATE: APR. 21, 2013



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

NOTE:

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ALL BATHROOM WINDOWS ARE SAFETY GLAZING.

Historic Preservation Certificate
Work. Scope of approved exterior
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ARCHITECTURAL DESIGN
GRAPHICS

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PROJECT TITLE

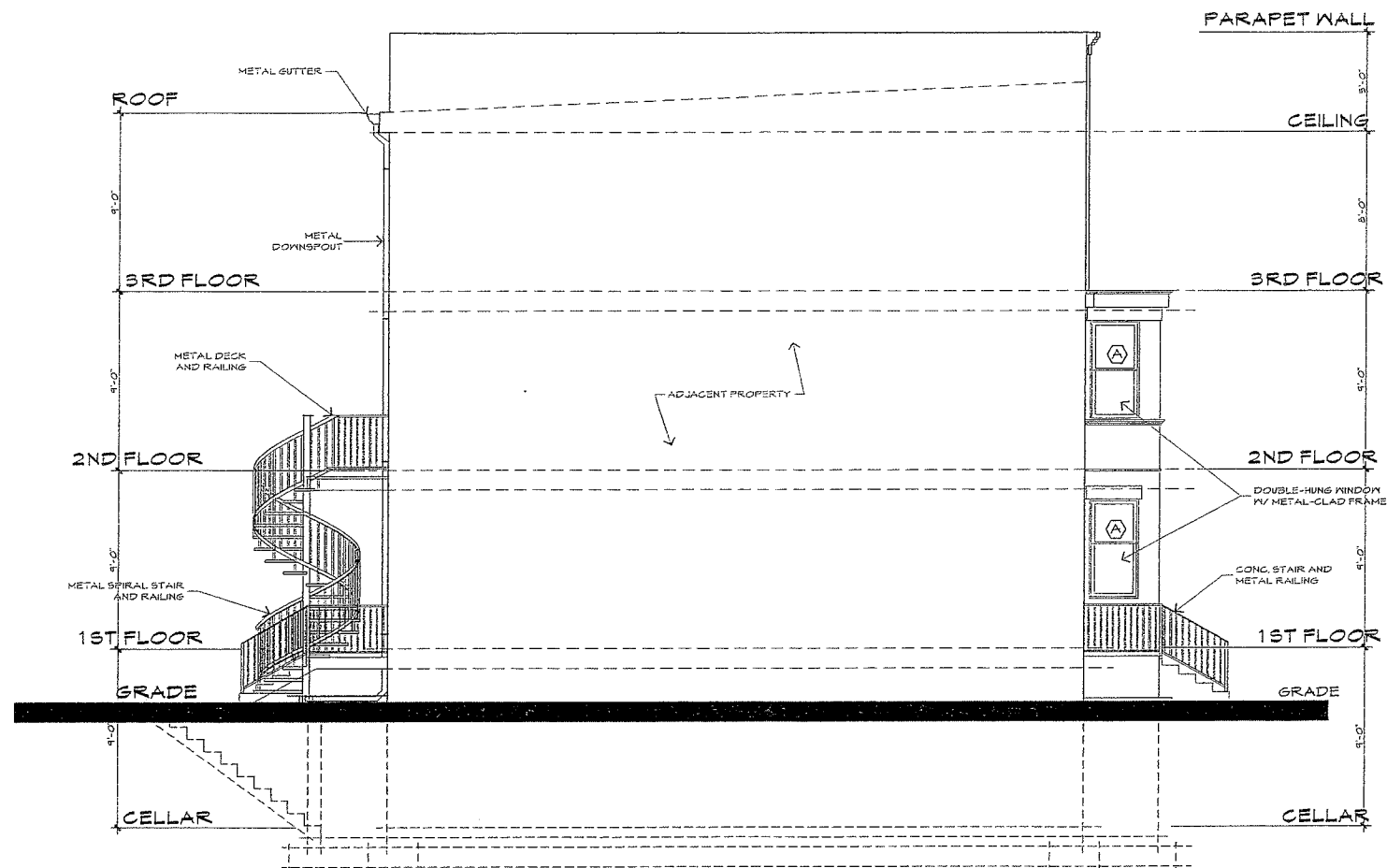
1028 D STREET, NE.
WASHINGTON, DC.

PROJECT NUMBER

PROJECT STATUS

SHEET TITLE

ELEVATION



② WEST ELEVATION
SCALE: 1/8" = 1'-0"

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Signature and date

[Signature] 6/2/13

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APPROVED BY

REVISION		
NO.	DATE	DESCRIPTION

SCALE: 1/4" = 1'-0"

A-2.2

DATE: APR. 21, 2013

DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED FOR SUBJECT TO THE
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Structural Engr. Section



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TEL: 202 338 8074
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PROJECT TITLE

1028 D STREET, NE.
WASHINGTON, DC.

PROJECT NUMBER

PROJECT STATUS

SHEET TITLE

ELEVATION

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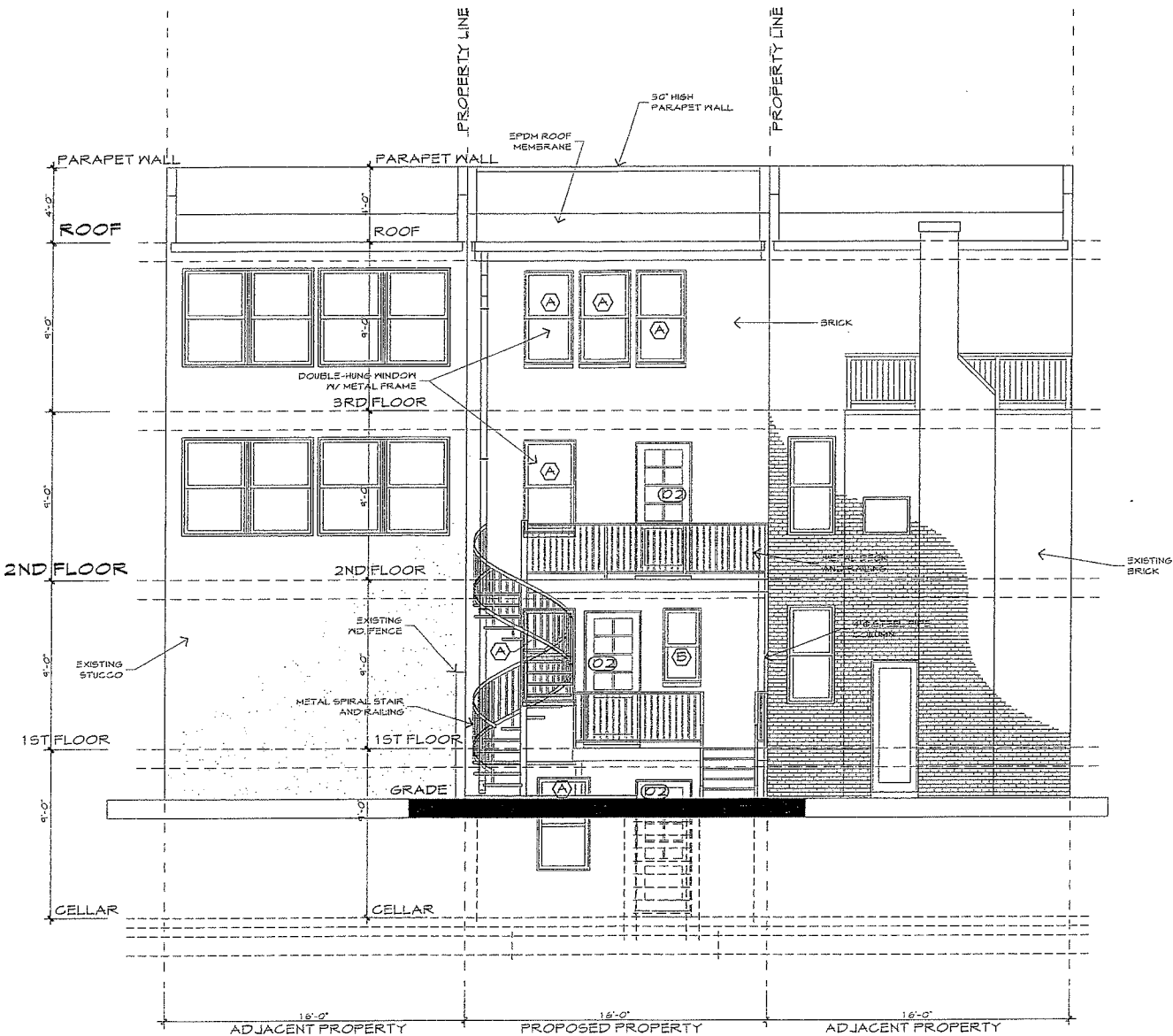
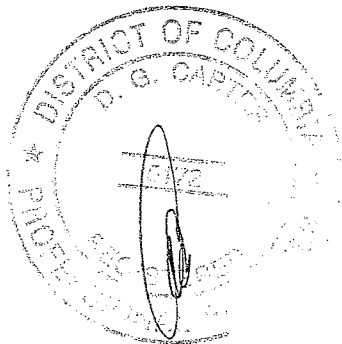
REVISION

NO.	DATE	DESCRIPTION
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SCALE: $1/4" = 1'-0"$

A-2.3

DATE: APR. 21, 2013



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

AUG 12 2013