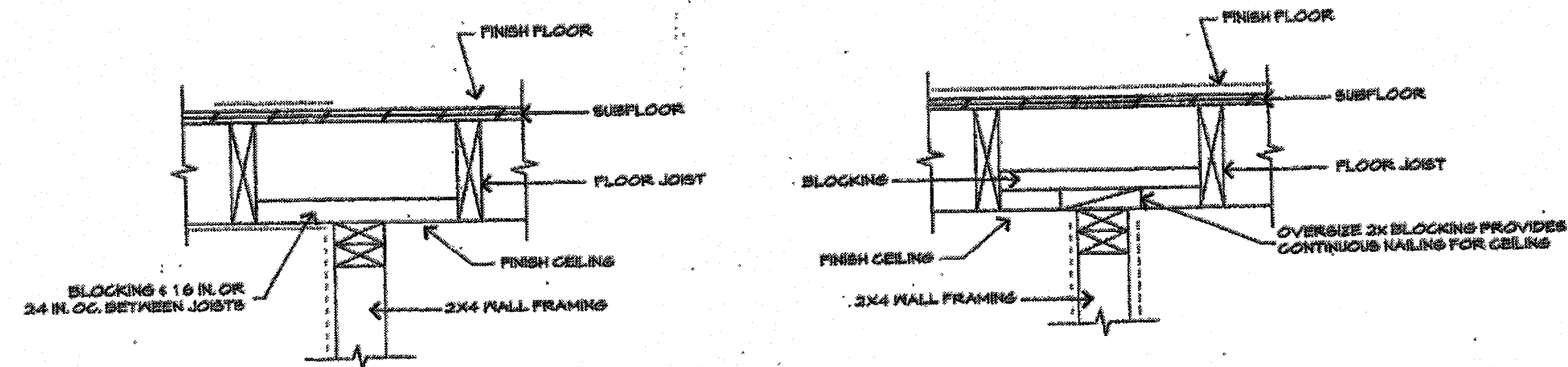
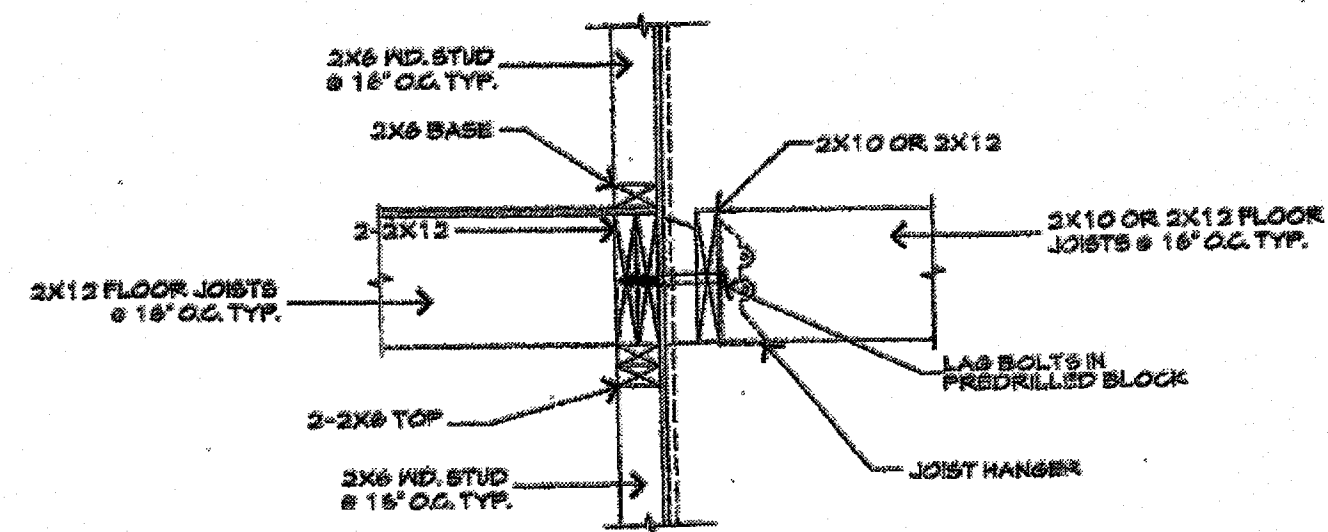
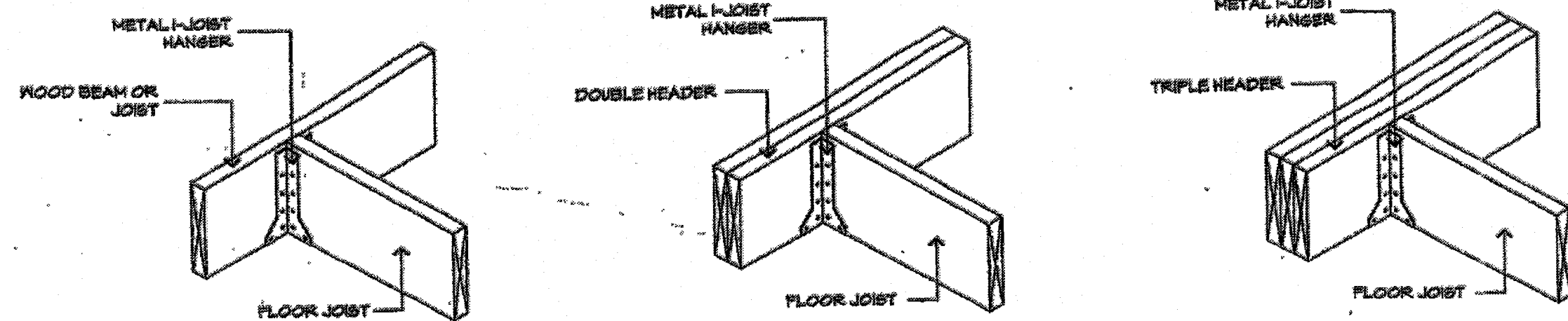


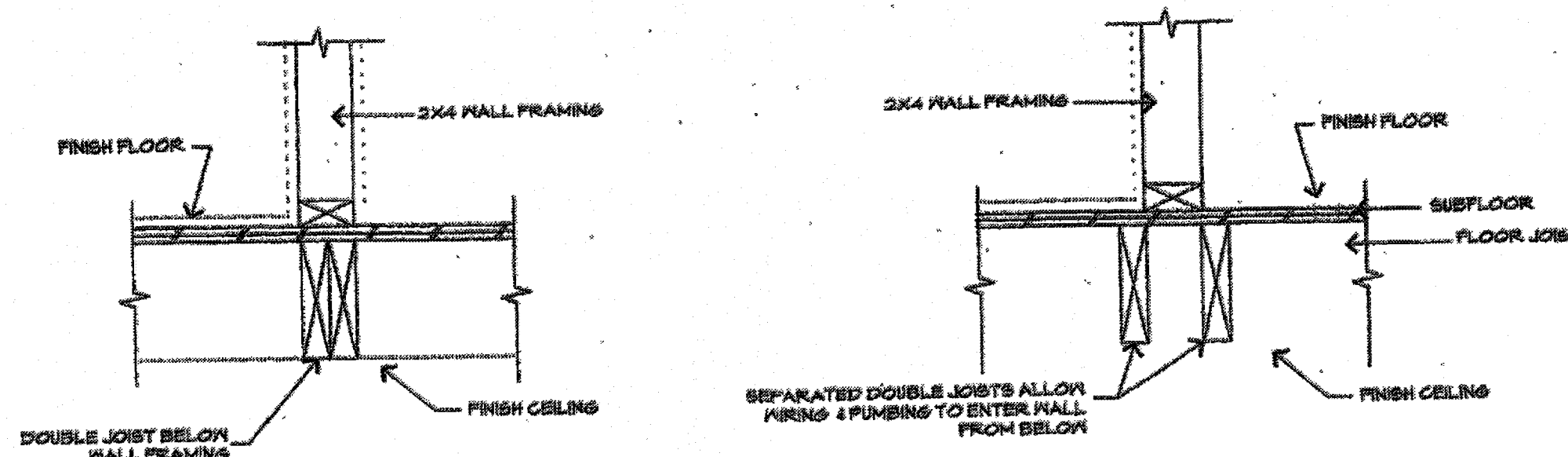
JOISTS & BEARING FRAMING



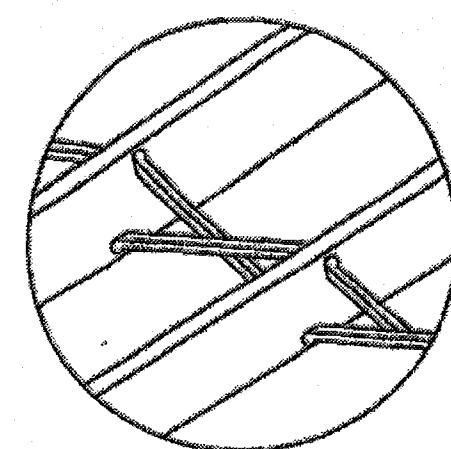
JOISTS & STUD FRAMING (INTERIOR)



FLOOR JOIST CONNECTIONS
NOT TO SCALE

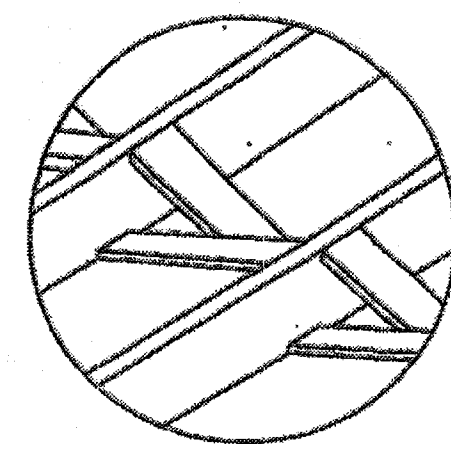


JOISTS-STUD FRAMING (EXTERIOR)



METAL BRIDGING

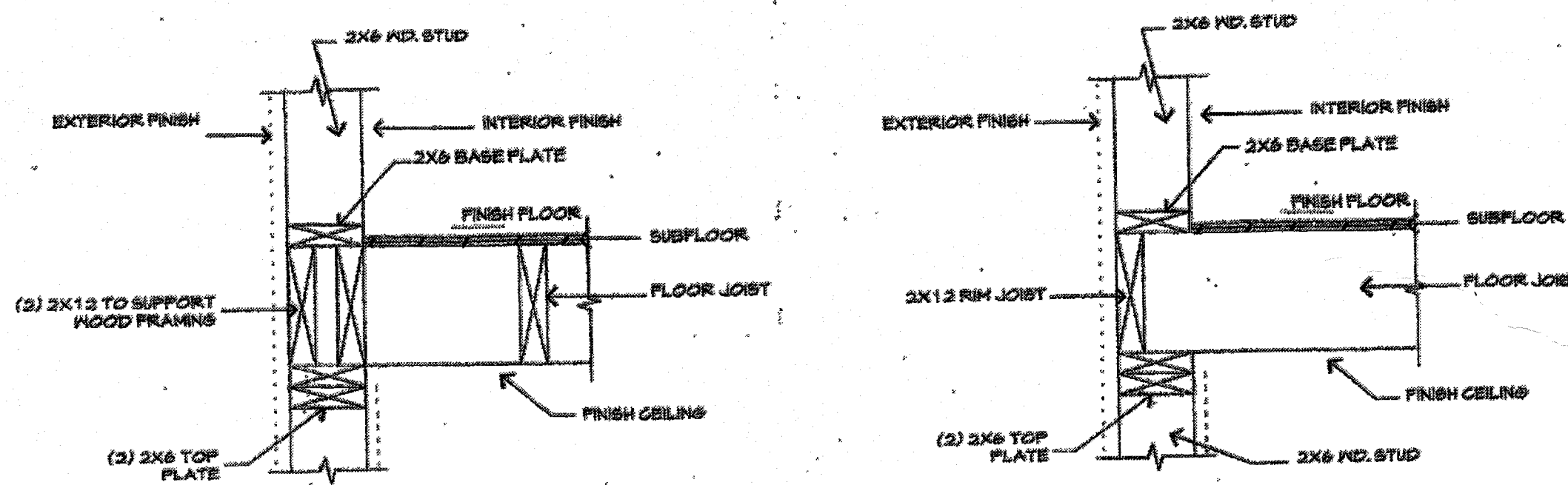
METAL PIECES SHOULD NOT TOUCH EACH OTHER.



CROSS BRIDGING

5/4X8 OR 5/4X4 OR 2X3 OR 1X4 BOARDS ARE NAILED IN A CROSS PATTERN BETWEEN JOISTS. PIECES SHOULD NOT TOUCH EACH OTHER.

FLOOR JOIST BRIDGING
NOT TO SCALE

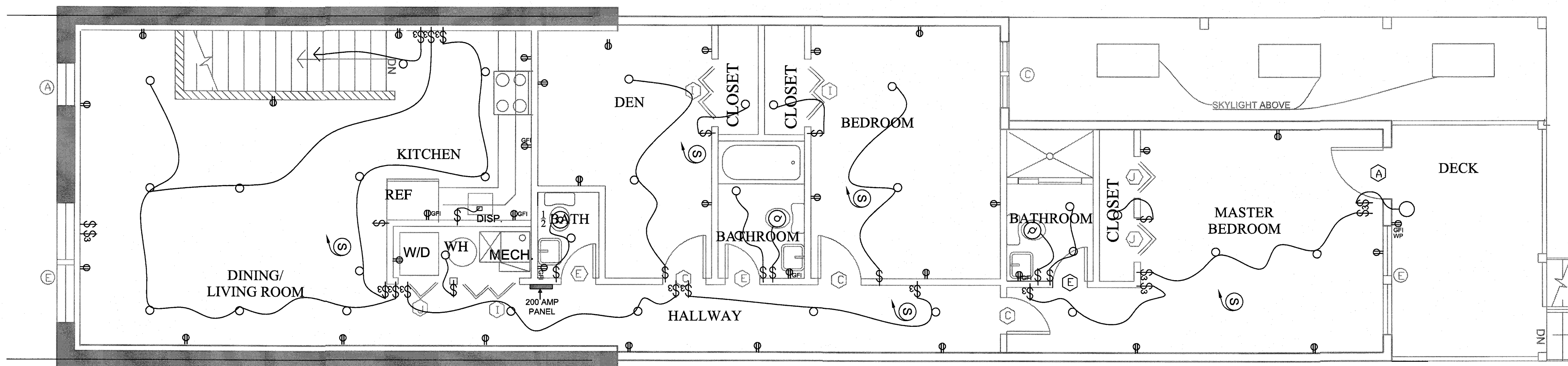


WALL-FLOOR DETAIL
NOT TO SCALE

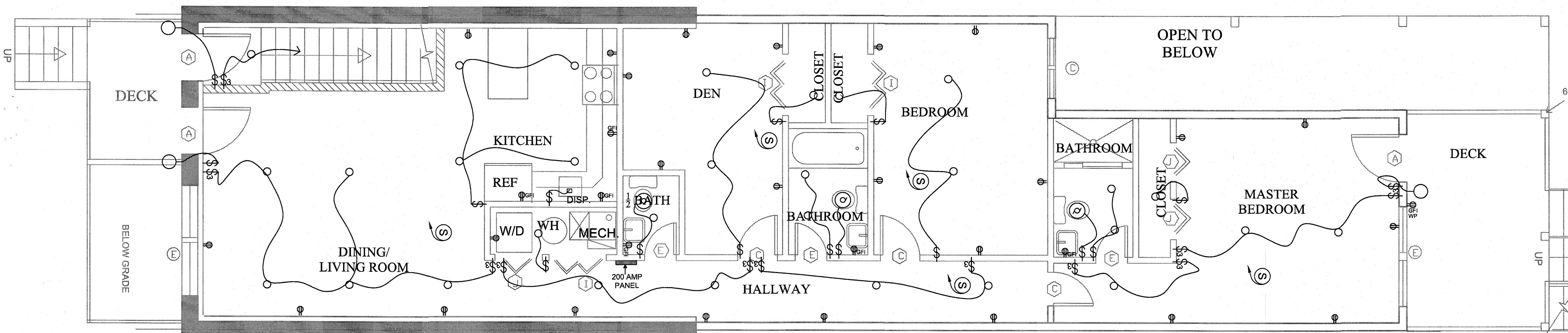


HOUSE RENOVATION
AND ADDITION
1117 ALLISON STREET N.W.

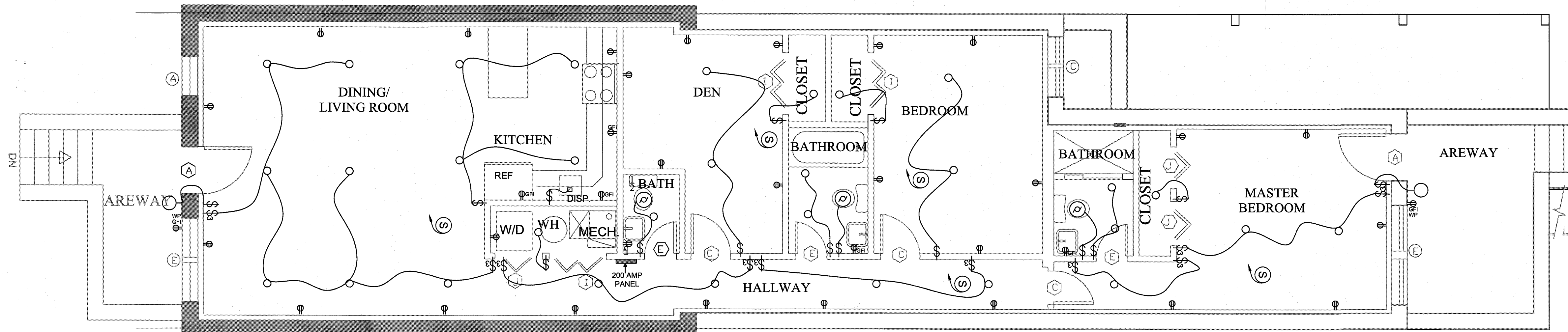
A9



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"

PANEL:		SERVICE: 208/120V, 1PH, 3W		ENTER TORQUE AT:			
FEEDER: 3#1+1#6G		MTG. RECESSED		LOCATION:			
DESCRIPTION		LOAD KVA	P O L E	T R I P	C K T	LOAD KVA	DESCRIPTION
LIGHTS	1.2	#A	#B	1	20	1	KITCHEN RECEPTACLES
BATHROOM RECEPTACLES	1.5	1	1	20	3	1.5	KITCHEN RECEPTACLES
BATHROOM RECEPTACLES	1.5	1	1	20	5	1.5	DINNING RML RECEPT.
CLOTHES DRYER	2.5	2	2	30	7	1.4	CLOTHES WASHER
HOT WATER HEATER	2.5	2	2	30	11	0.9	LAUNDRY RECEPTACLES
CONDENSING UNIT	1.1	2	1	15	13	1.0	AHU
DISPOSAL	1.4	1	1	20	21	1.3	RECEPTACLES
DISHWASHER	1.4	1	1	20	19	1.3	RECEPTACLES
SPACE ONLY							SPACE ONLY
TOTAL (KVA) = 32.4		#A = 1		#B = 15.2		VOLT (DEMAND)	
AIC RATING 10 KAC							
NOTE: PROVIDE #14AWG CONDUCTORS FOR 15A; #12AWG FOR 20A; #10AWG FOR 30A; #8AWG FOR 40A; #6AWG FOR 50A; #4AWG FOR 60A; #3AWG FOR 70A; #2AWG FOR 80A; #1AWG FOR 90A; #0AWG FOR 100A; #00AWG FOR 125A; #000AWG FOR 150A; #0000AWG FOR 200A; #00000AWG FOR 250A; #000000AWG FOR 300A; #0000000AWG FOR 350A; #00000000AWG FOR 400A; #000000000AWG FOR 450A; #0000000000AWG FOR 500A; #00000000000AWG FOR 550A; #000000000000AWG FOR 600A; #0000000000000AWG FOR 650A; #00000000000000AWG FOR 700A; #000000000000000AWG FOR 750A; #0000000000000000AWG FOR 800A; #00000000000000000AWG FOR 850A; #000000000000000000AWG FOR 900A; #0000000000000000000AWG FOR 950A; #00000000000000000000AWG FOR 1000A.							

LOAD CALCULATIONS (TYPICAL OF EACH UNIT)

GENERAL LIGHTING (1933X3)	5799 VA
SMALL APPL. (WATER HEATER)	4500VA
OTHER APPL. (DRYER)	
RANGE	
DISH WASHER	
DISPOSAR	
MACROWAIVE	
GAS FURN	26340 VA
TOTAL	36639 VA
FIRST 10000 @ 100%	10000 VA
36639 - 10000 = 26639 X 0.4	10656 VA
10000 + 10656 = 20656 / 240	86 AMP
USE 200 AMP	

USE 600 AMP FOR FEEDER

FOR 3 UNITS = 86X3 = 258

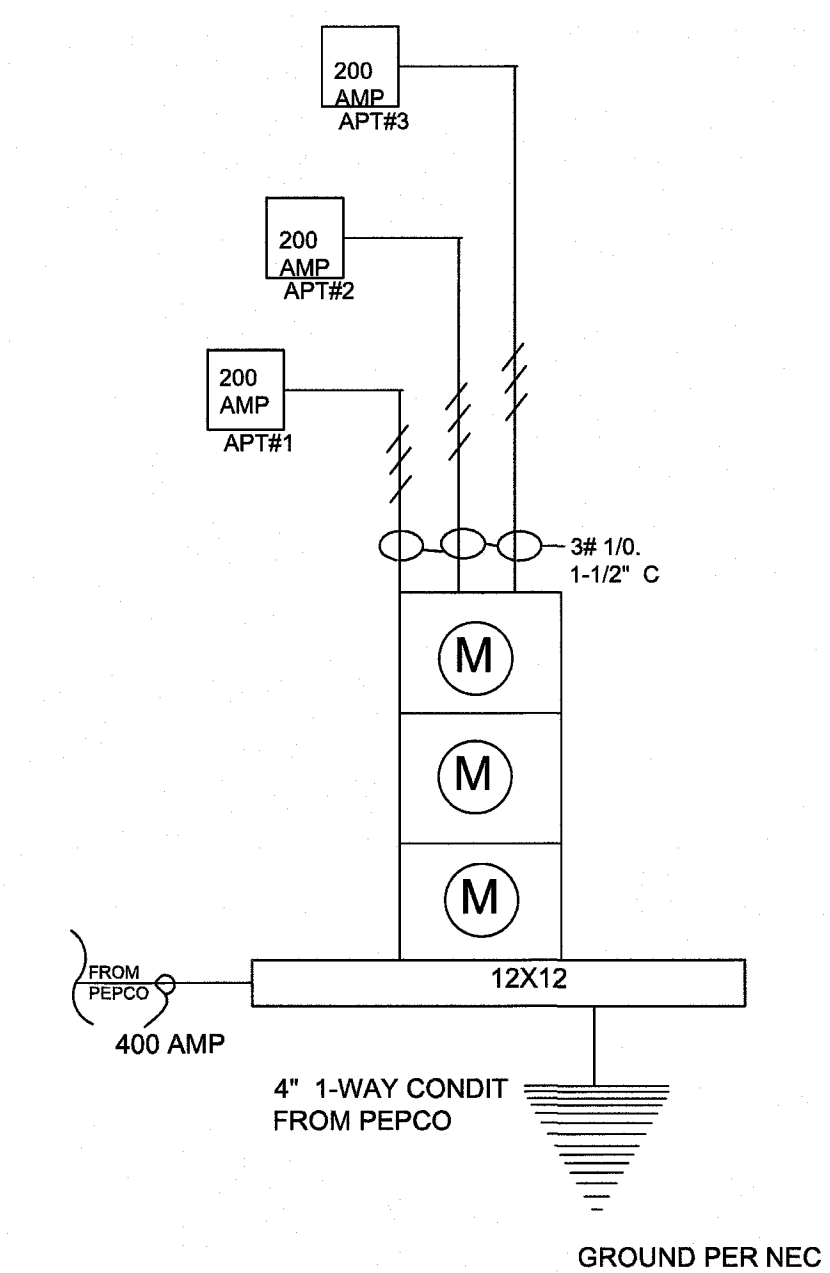
MULT. UNIT FACTOR = 0.45 X 258 = 116 AMPS

FOR FUTURE DEMAND = 116 X 1.25 = 145 AMPS

USE 400 AMPS

ELECTRICAL LEGEND

- ELECTRICAL PANEL
 - ⊙ SINGLE POLE SWITCH
 - ⊙ DIMMER SWITCH
 - ⊙ THREE-WAY SWITCH
 - LIGHT ABOVE VANITY/PORCH LIGHT/SCULPT
 - WALL/CEILING MOUNTED OR RECESSED INCANDESCENT LIGHT FIXTURE
 - FULL CHAIN LIGHT
 - POWER FIXTURE IN CEILING
 - GROUND FAULT OUTLET
 - CEILING FAN
 - DUPLEX OUTLET
 - DEDICATED OUTLET
 - QUAD OUTLET
 - JUNCTION BOX
 - HARD WIRED SMOKE DETECTOR AND INTERCONNECTED
 - BRANCH CIRCUIT WIRING CONCEALED IN WALLS AND/OR CEILING
 - EMERGENCY LIGHTING/EXIT
- ALL SMOKE DETECTORS SHALL BE HARDWIRED, INTERCONNECTED, AND BATTERY BACKUP.



POWER RISER DIAGRAM
SCALE: N.T.S

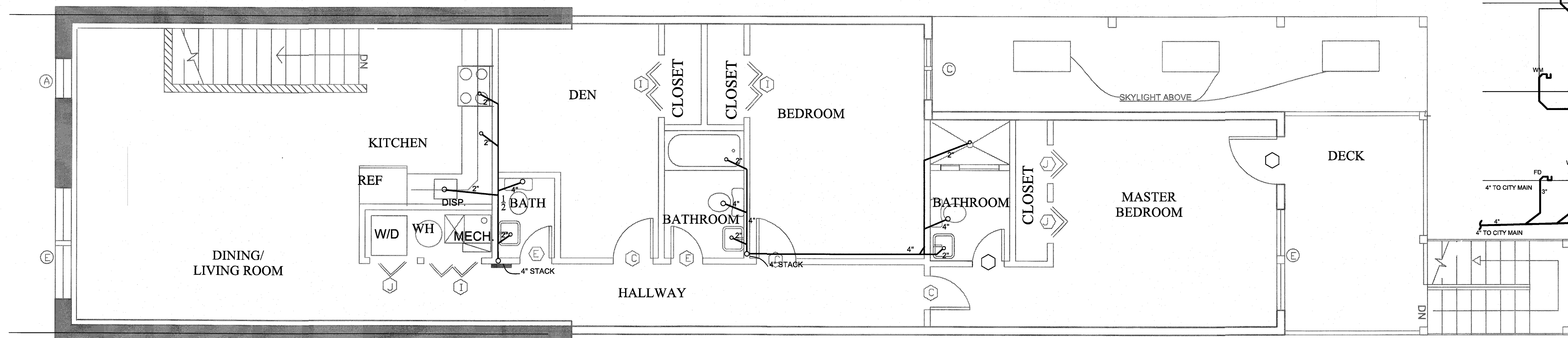
NOTE:
- PROVIDE AFCI PROTECTION IN ALL BEDROOM OUTLETS AND RECEPTACLES AS PER NEC 2011 EDITION ART. 210.12 B AND IRC 2012 E3802.12

- ALL RECEPTACLE OUTLETS IN THE DWELLING SHALL BE OF 'AFCI' TYPE UNO.

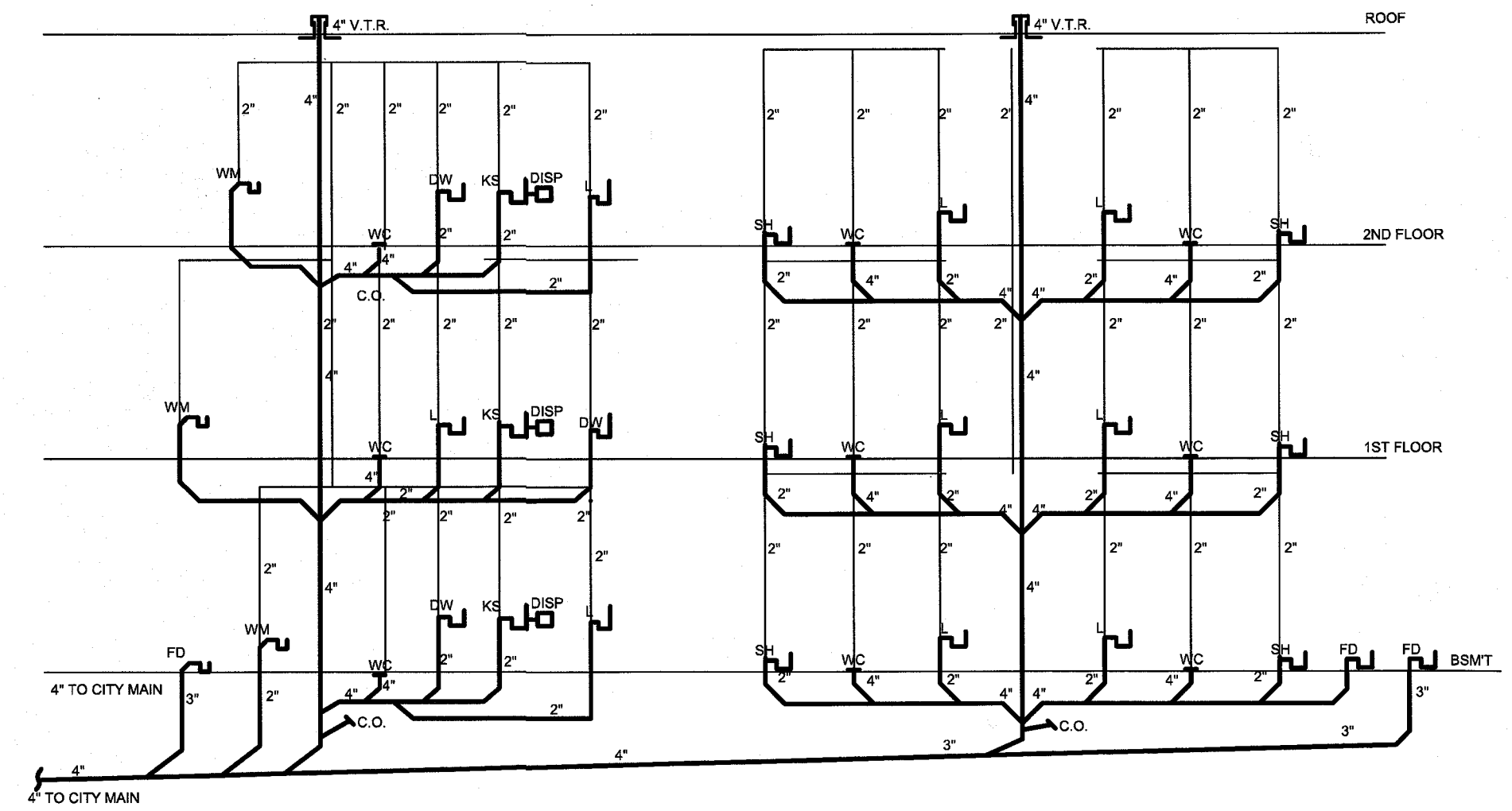
HOUSE RENOVATION
AND ADDITION
1117 ALLISON STREET N.W

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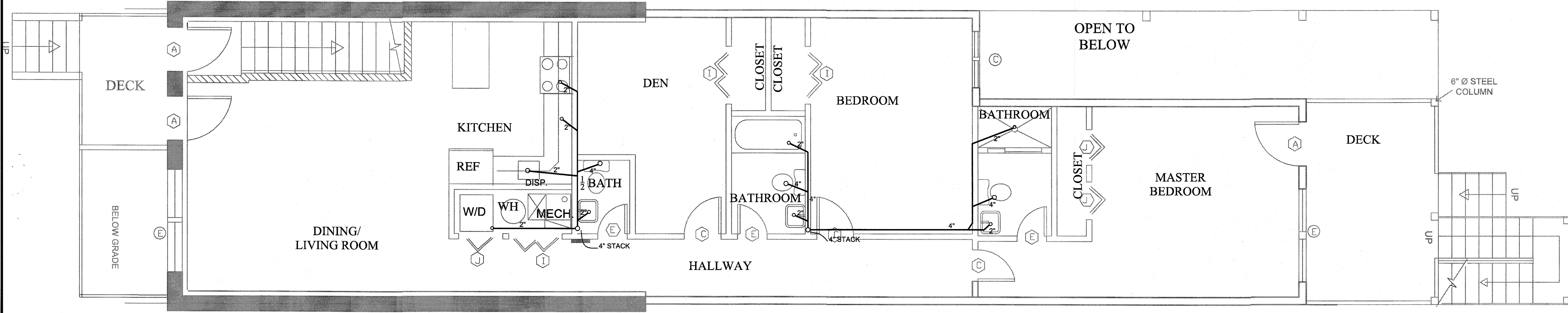
E1



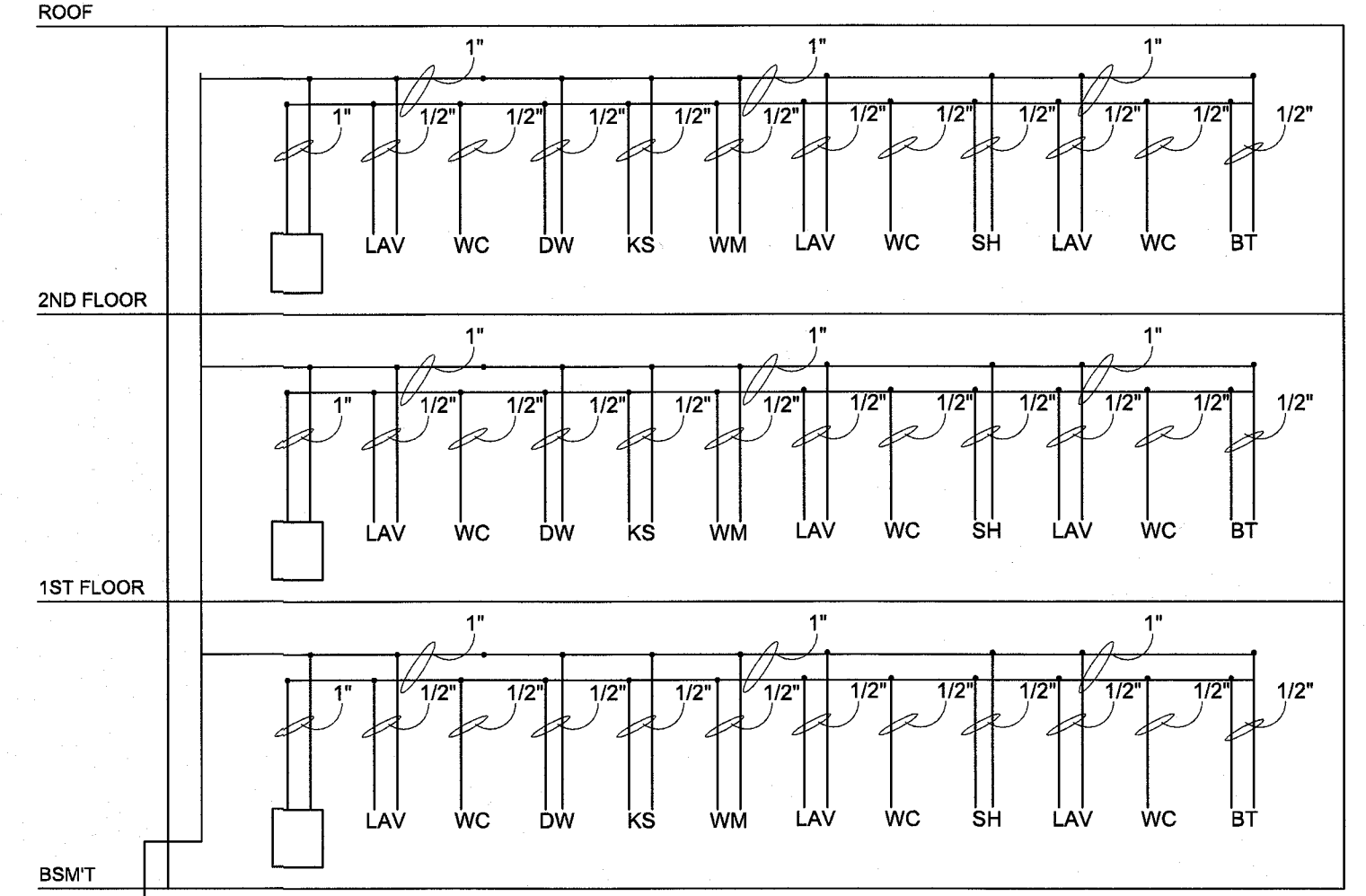
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



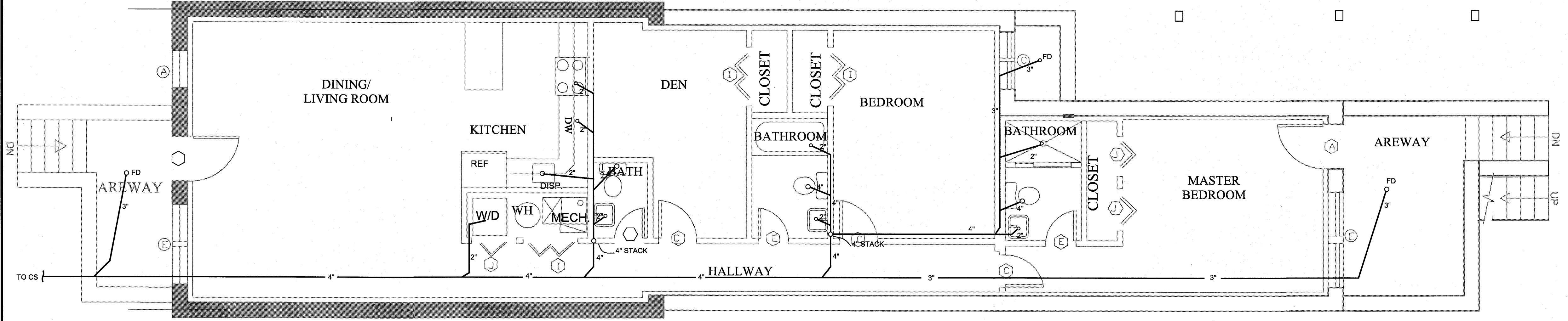
PLUMBING RISER DIAGRAM



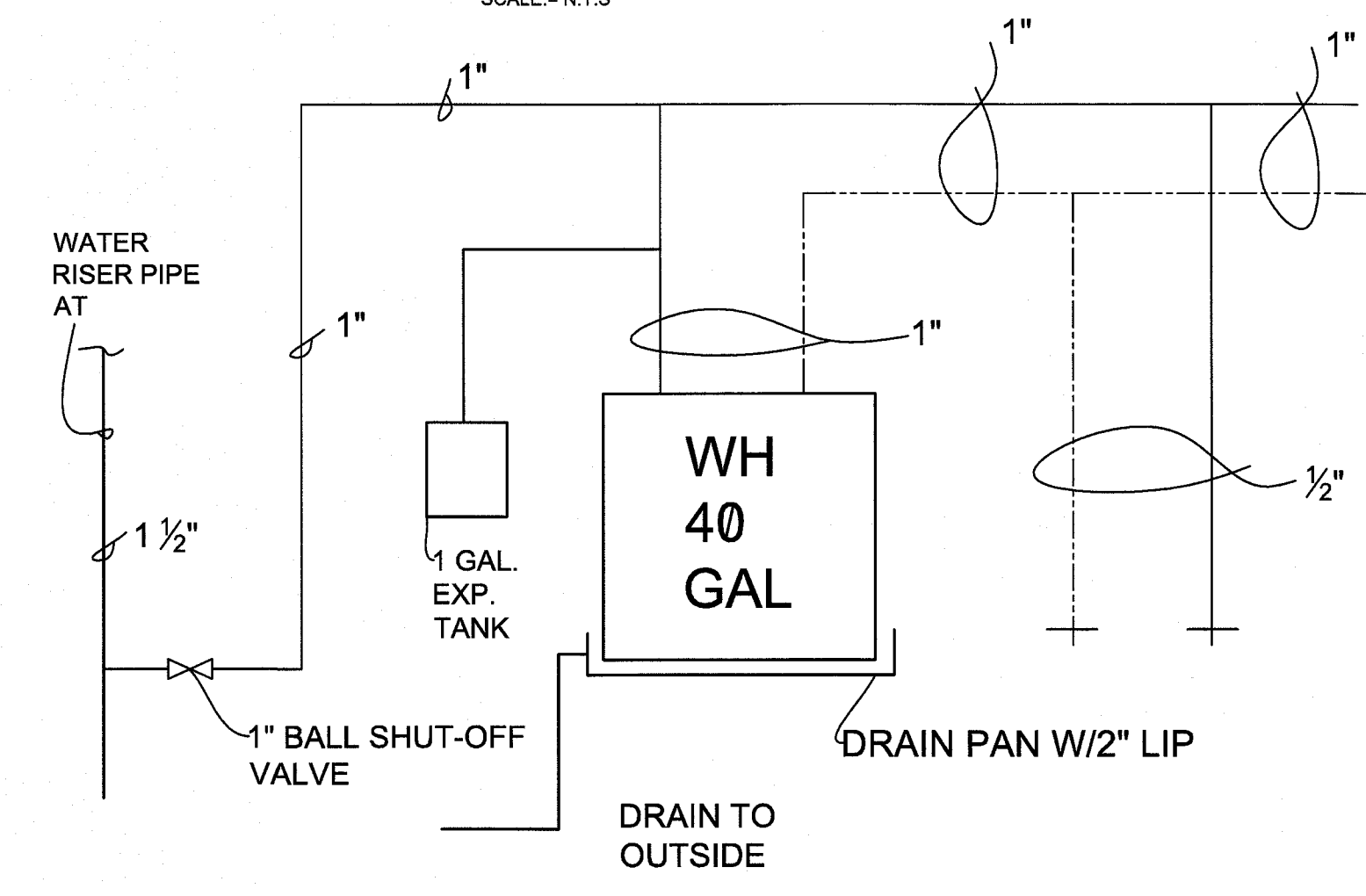
PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



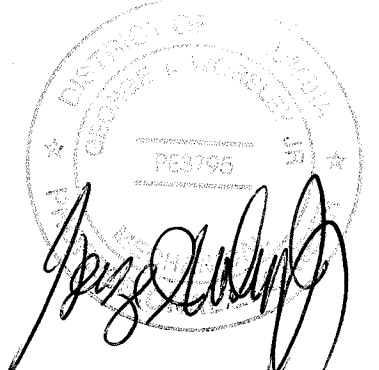
WATER RISER DIAGRAM
SCALE= N.T.S



PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



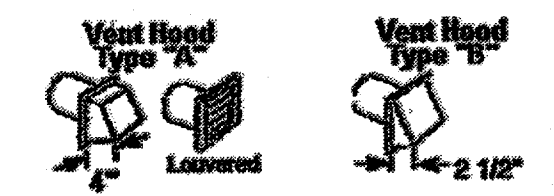
HOUSE RENOVATION AND ADDITION 1117 ALLISON STREET N.W	P1
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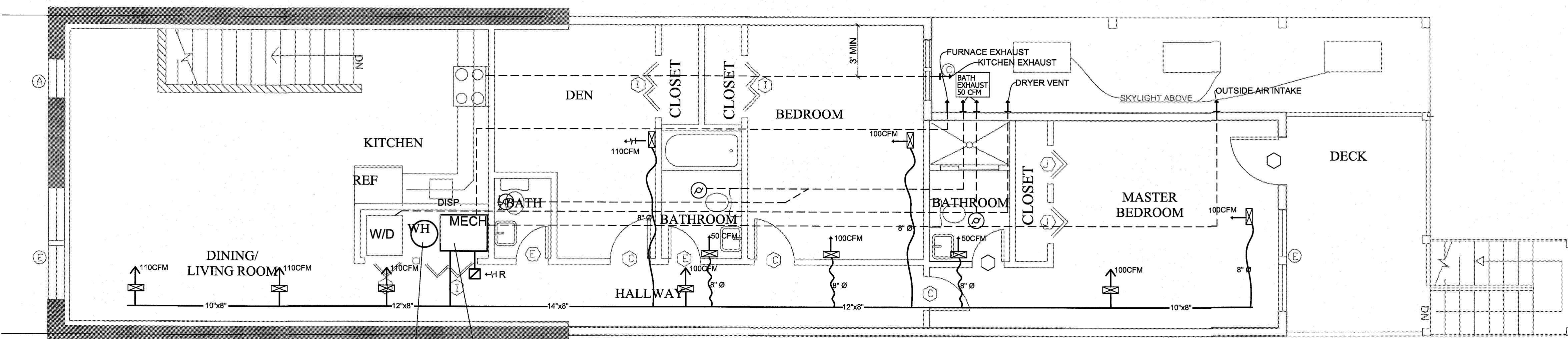
Dryer Venting Comparison Chart

The chart below shows the manufacturer recommendations** for maximum vent length under various conditions. The recommendations can change from model to model even on the same brand's products so consult the manufacturer's manual or installation instructions for your specific model.

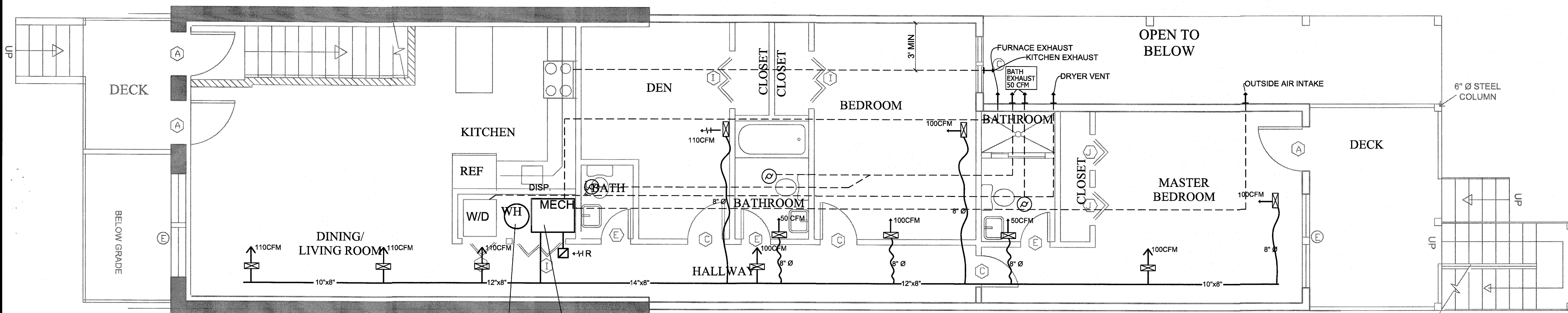
Vent length for vertical installations should likely be "considerably" less than the maximum lengths quoted which are geared to regular horizontal vent installations.



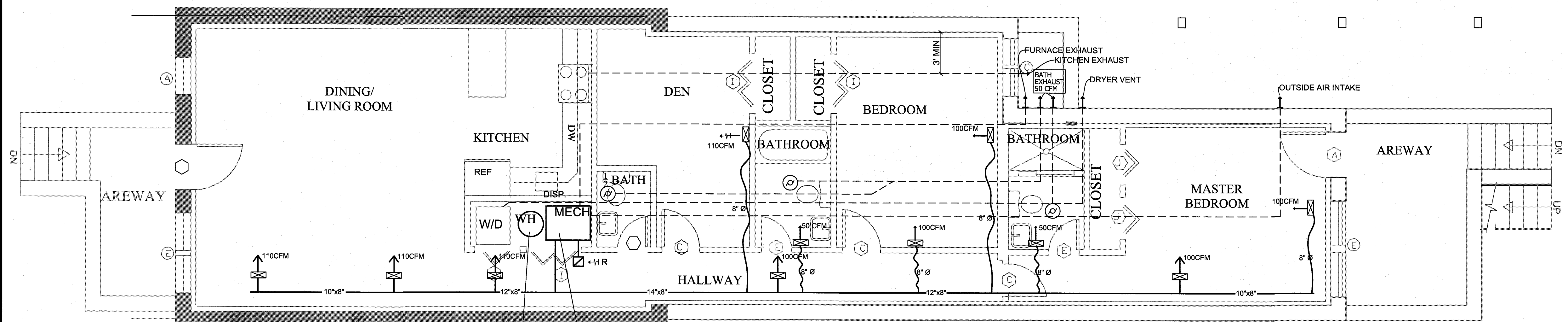
Brand	Vent Material	Hood Type	Maximum Vent Length with 90° elbows			
			0 elbows	1 elbow	2 elbows	3 elbows
Amana Speed Queen (domestic)	Rigid Metal	A	44 ft.	34 ft.	26 ft.	20 ft.
	Rigid Metal	B	34 ft.	26 ft.	20 ft.	14 ft.
	Flexible Metal	B	20 ft.	16 ft.	12 ft.	8 ft.
Frigidaire White Westinghouse Tappan, Gibson	Rigid Metal	A	60 ft.	52 ft.	44 ft.	32 ft.
	Rigid Metal	B	48 ft.	40 ft.	32 ft.	24 ft.
	Flexible Metal	B	30 ft.	22 ft.	14 ft.	10 ft.
GE (6.0+ capacity electric models)	Rigid Metal	A	60 ft.	52 ft.	44 ft.	32 ft.
	Rigid Metal	B	48 ft.	40 ft.	32 ft.	24 ft.
	Flexible Metal	B	30 ft.	22 ft.	14 ft.	10 ft.
GE (5.7 capacity gas & electric)	Rigid Metal	A	60 ft.	52 ft.	44 ft.	32 ft.
	Rigid Metal	B	48 ft.	40 ft.	32 ft.	24 ft.
	Flexible Metal	B	30 ft.	22 ft.	14 ft.	10 ft.
GE (5.0+ capacity gas models)	Rigid Metal	A	45 ft.	35 ft.	25 ft.	15 ft.
	Rigid Metal	B	30 ft.	20 ft.	10 ft.	-
	Flexible Metal	B	15 ft.	10 ft.	-	-
Camco GE, Moffat, McClary	Rigid Metal	A	45 ft.	35 ft.	25 ft.	-
	Flexible Metal	B	30 ft.	20 ft.	10 ft.	-
Magic Chef Admiral, Norge	Rigid Metal	A	45 ft.	35 ft.	25 ft.	-
	Flexible Metal	B	30 ft.	20 ft.	10 ft.	-
Maytag MDE... models	Rigid Metal	A	65 ft.	54 ft.	44 ft.	36 ft.
	Rigid Metal	B	50 ft.	48 ft.	38 ft.	30 ft.
	Flexible Metal	B	35 ft.	32 ft.	28 ft.	25 ft.



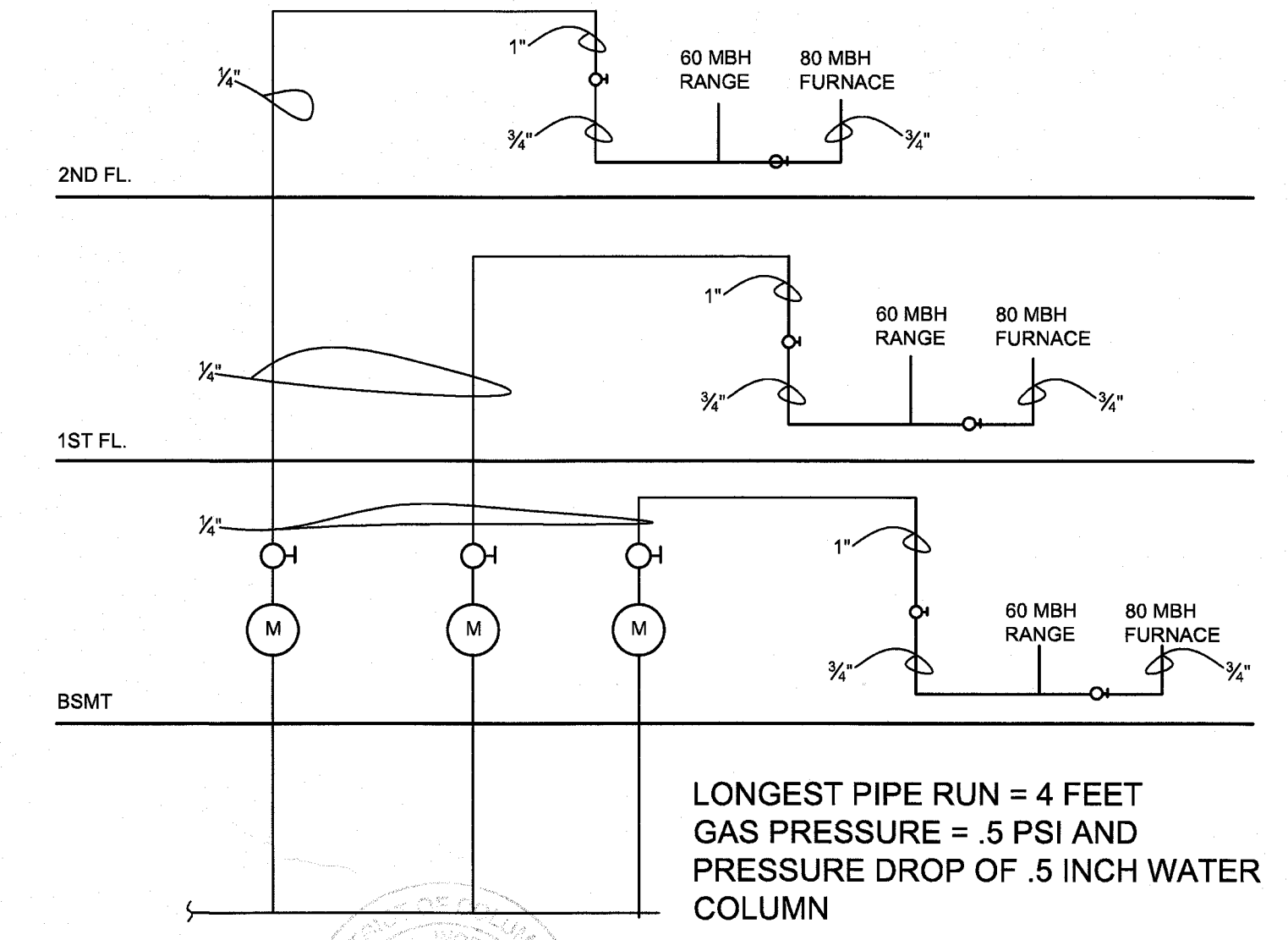
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



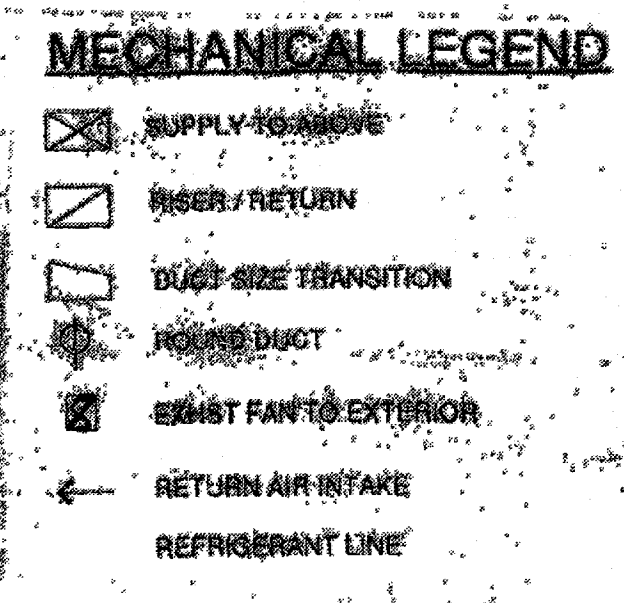
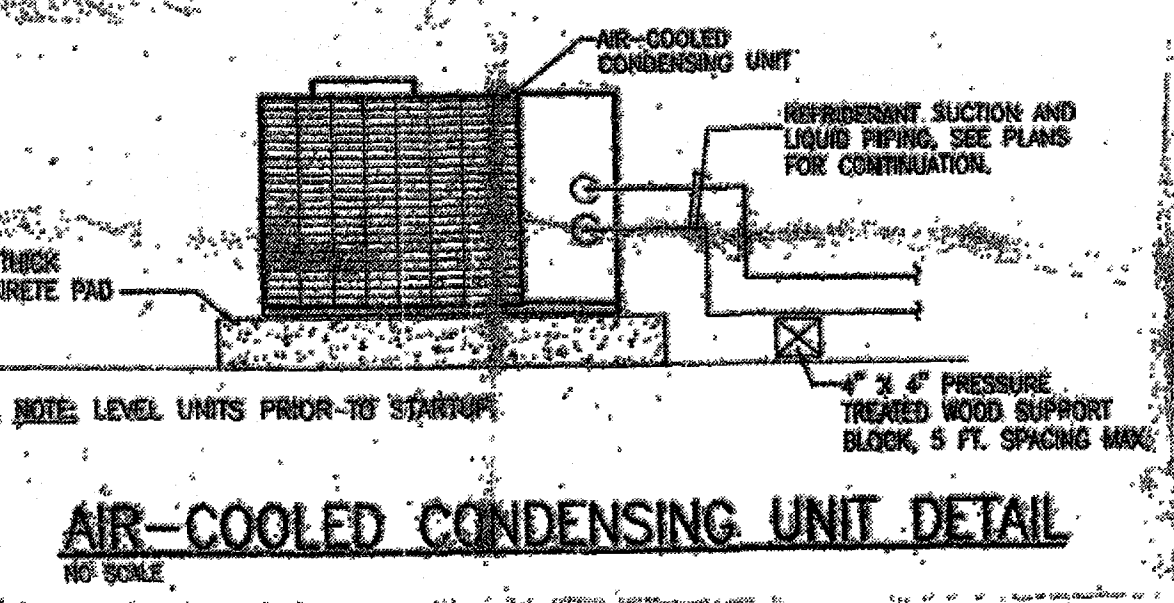
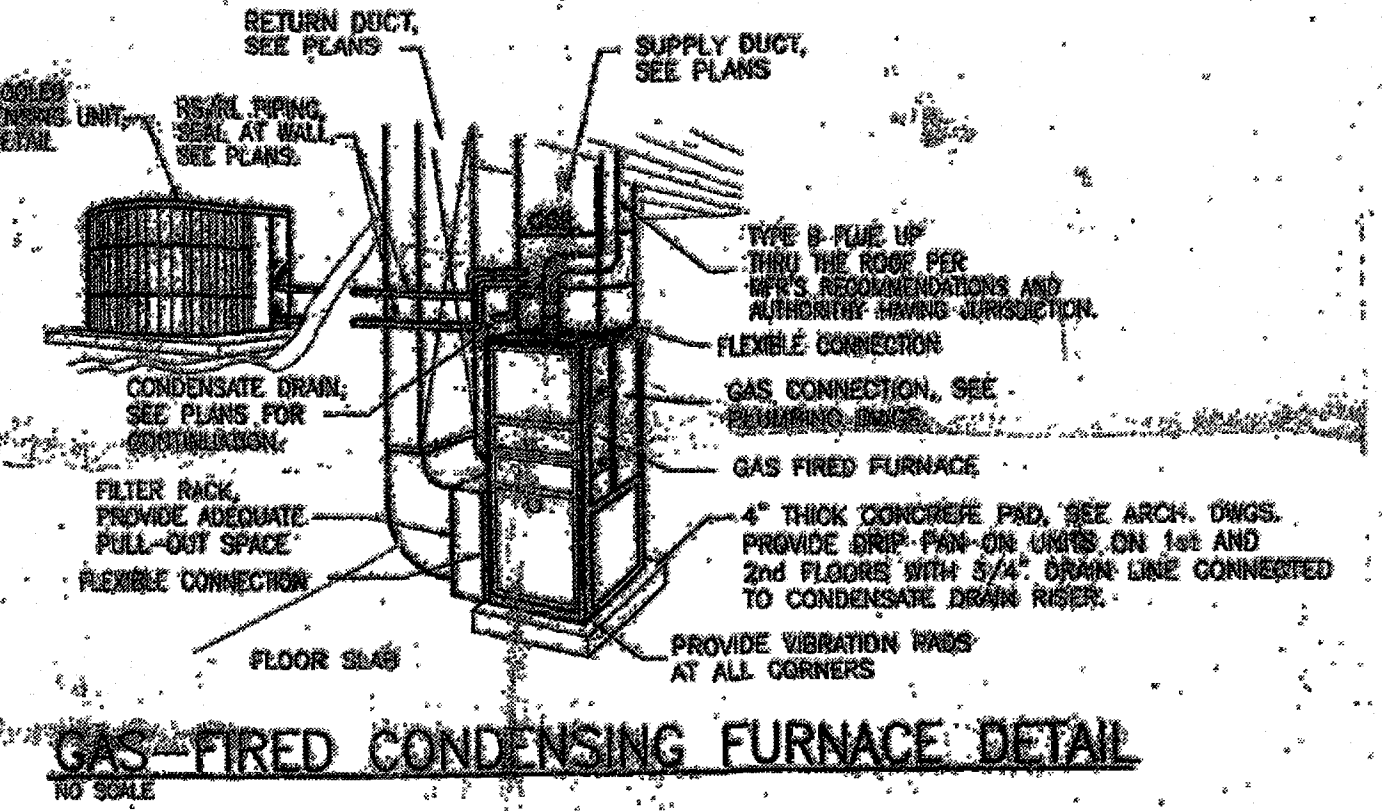
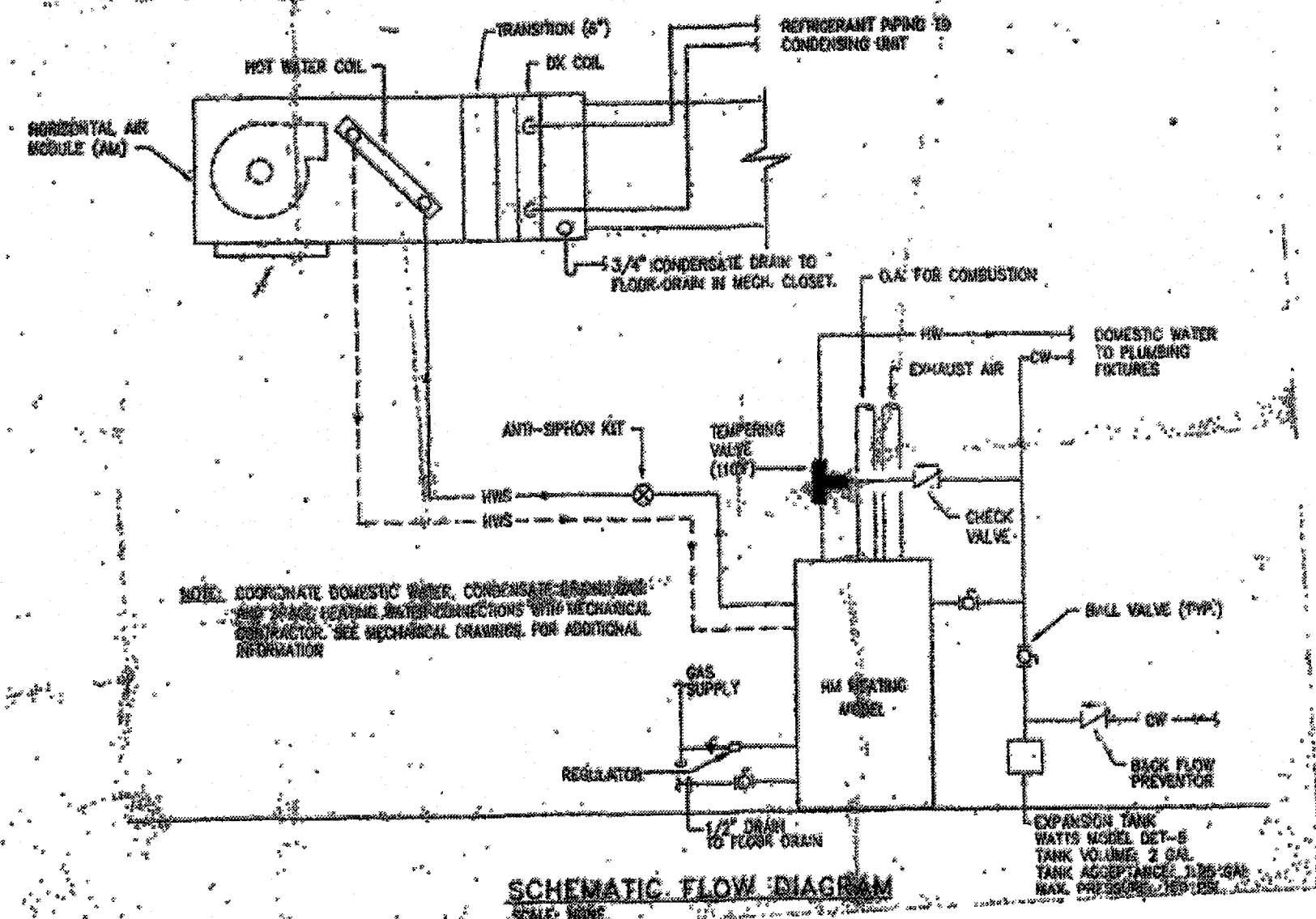
PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



GAS RISER DIAGRAM

HOUSE RENOVATION
AND ADDITION
1117 ALLISON STREET N.W.

M1



GENERAL NOTES - HVAC

ALL WORK SHALL BE IN ACCORDANCE WITH 2004 CODE & LDC CODE, CONSIDERED AS MINIMUM REQUIREMENTS.

ALL DUCTWORK SHALL BE GALVANIZED STEEL CONSTRUCTION, FINISHED AND SUPPORTED IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA STD. A DUCT CODE REQUIREMENT. THE SUPPLY DUCT WORK SHALL BE OF 2" V.C. AND RETURN DUCT SHALL BE OF 2" V.C. THE MINIMUM GAGES SHALL BE AS FOLLOWS:

MINIMUM SIZE	20 GA.	22 GA.
0 - 12"	20 GA.	22 GA.
12 - 18"	20 GA.	22 GA.
18 - 24"	20 GA.	22 GA.
24 - 30"	20 GA.	22 GA.

ALL DUCTWORK SHALL BE FABRICATED FROM FIELD TAKEN DIMENSIONS AND NOT FROM DRAWING. CEILING CLEARANCE, PRIOR TO DUCT FABRICATION, SHALL VERIFY WITH ALL ELECTRICAL, PLUMBING AND ARCHITECTURAL WORK. ADJUSTMENTS TO SECTORS WILL BE MADE AS REQUIRED PER ABOVE AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH NEW REFLECTED CEILING.

VERIFY ALL DIMENSIONS, CONDITIONS AND CONDITIONS AND COORDINATE WORK WITH ALL TRADES PRIOR TO STARTING WORK.

PROVIDE TURNING VANES, SPLITTER DAMPERS AND VOLUME DAMPERS AS NECESSARY TO BALANCE THE AIR QUANTITIES AS SHOWN BY THE DRAWING BY MEANS OF BALANCING DAMPERS OR PROFESSIONAL ENGINEER. PROVIDE VOLUME DAMPERS AT ALL THE SUPPLY AND RETURN BRANCHES.

ALL DUCT OR PIPE PENETRATION THROUGH ROOF OR WALL SHALL BE CALLED AND SEALED. THE CONTRACTOR SHALL NOT CUT STRUCTURAL COMPONENTS WITHOUT APPROVAL OF OWNER'S ARCHITECT.

CONTRACTOR SHALL VISIT SITE TO FIELD VERIFY POINTS OF CONNECTION TO EXISTING FACILITIES AND SYSTEMS PRIOR TO THE JOB.

ALL WORK SHALL BE COORDINATED WITH OWNER TO MAINTAIN PREMISES IN ORDER AND CLEAN FROM DEBRIS.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE WORK TO BE DONE AND SHALL EXAMINE THE SITE AND CONSIDER THE CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE IN THE PERFORMANCE OF THE CONTRACTED WORK. SUBSEQUENTLY IN THIS CONTRACT, FOR ANY ERRORS THEREIN HEREIN, THE CONTRACTOR IS HEREBY ADVISED THAT HE WILL BE REQUIRED TO CORRECT ALL RECORDED PRACTICES FOR FIRE AND SAFETY PRECAUTIONS FOR THE PROTECTION OF THE FACILITY.

DIFFUSERS, REGISTERES AND GRILLES SHALL BE METAL, AIRE OR EQUAL. ALL AIR OUTLETS SHALL BE OF COLOR TO MATCH ADJACENT CEILING OR WALLS AND OF ALUMINUM CONSTRUCTION. COORDINATE LOCATION OF CEILING DIFFUSERS WITH LIGHTS.

SHOBT SIX (6) COPIES OF ALL HVAC EQUIPMENT FOR APPROVAL BY ARCHITECT.

KITCHEN APPLIANCE SCHEDULE

SYM.	DESCRIPTION	NOTE
A	RANGE	30" GAS, SELF-CLEANING
B	DISHWASHER	24" GAS, SELF-CLEANING
C	SINK	24" UNDERCOUNTER
D	SINK HOOD	24" VENTED
E	RANGE HOOD	30" VENTED
F	GARBAGE DISPOSAL	1/2 HP
G	REFRIGERATOR	24"

NOTE: KITCHEN CABINETS SHALL BE BUILDERS GRADE OR WOOD. ALL COUNTERTOPS SHALL BE PLASTIC LAMINATED.

BATH/TOILET ACCESSORIES

SYM.	DESCRIPTION	MOUNTING HGT.
A	BATHING	FLOOR MOUNTED
B	WATER CLOSET	FLOOR MOUNTED
C	URINAL	19" X 16"
D	WEDGECASE CABINET	18" WAXED 1/2" X 7/8" RECESSED WAINSCOT
E	TUMBLER/TOOTHBRUSH	WALL MOUNTED
F	TOILET PAPER HOLDER	SURFACE MOUNTED
G	SHOWER HEAD	70" ABOVE FLOOR
H	SHOWER ROD	70" ABOVE FLOOR
I	SOAP DISH	RECESSED, 12" ABOVE TOP OF TUB

PLUMBING FIXTURE CONNECTION SCHEDULE

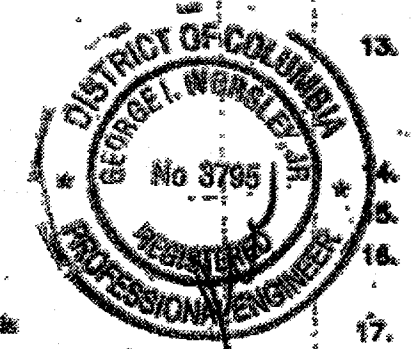
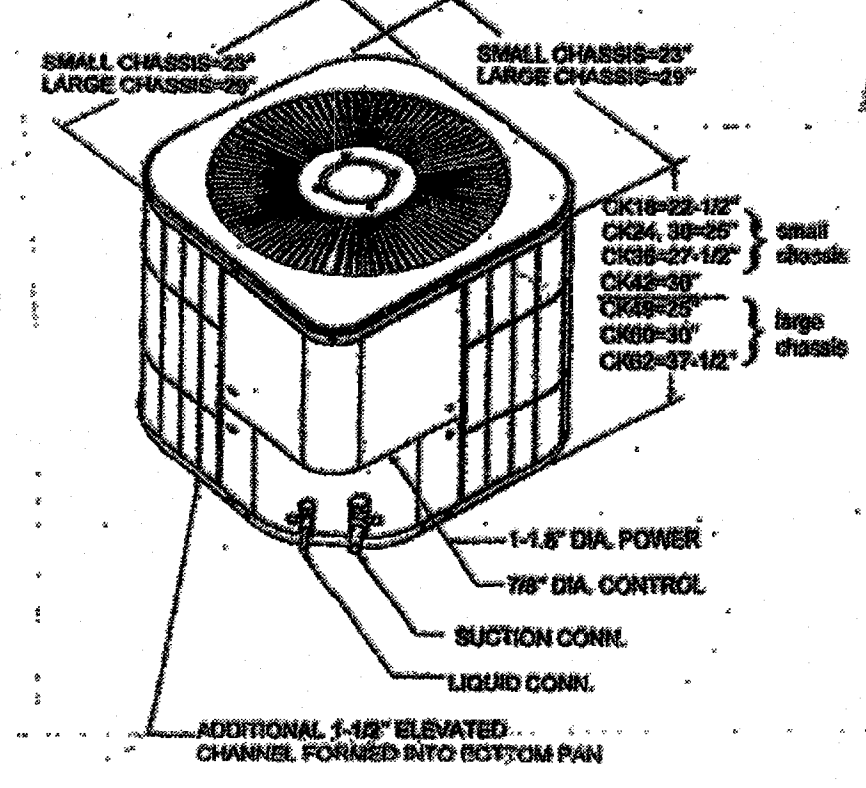
ITEM	DESIGNATION	U	V	CU	HU	ITEM
UC	WATER CLOSET	4"	2"	1/2"	-	FLOOR MOUNTED TANK
DK	KITCHEN SINK	2"	2"	1/2"	1/2"	SINGLE COMPARTMENT W/DRIPSEWER
BH	SHOWER	2"	2"	1/2"	1/2"	
BT	BATH TUB	2"	2"	1/2"	1/2"	
UP1	WASHING MACHINE	2"	2"	1/2"	1/2"	
DU	DISH WASHER	-	-	-	1/2"	

- NOTES:
- STOP VALVES ON EACH FIXTURE, TYPICAL.
 - FLOW CONTROL FITTINGS AT LAVS.
 - AERATOR ON SINK.
 - FOR DISHWASHER, SUPPLY WITH VALVE AND DECK MOUNTED AIR GAP FITTING WITH INLET HOSE CONNECTED TO DISHWASHER DISCHARGE AND OUTLET HOSE CONNECTED TO DISPOSER.
 - AT SHOWER (1 TUB/SHOWER), INSTALL 1/2" PIPING FROM FAUCET TO SHOWER HEAD.
 - AT WASHING MACHINE, PROVIDE RECESSED OUTLET BOX WITH WATER HOSE BIBBS AND DRAIN FITTING.

Physical Data

Model	Liquid Connection	Suction Connection	Type	Approx. Shipping Weight
CK18-1	3/8"	3/4"	Sweet	125
CK24-1	3/8"	3/4"	Sweet	135
CK30-1	3/8"	3/4"	Sweet	140
CK36-1/3	3/8"	3/4"	Sweet	150
CK42-1	3/8"	7/8"	Sweet	160
CK48-1/3	3/8"	7/8"	Sweet	175
CK60-1/3/4	3/8"	7/8"	Sweet	205
CK82-1/4-1A	3/8"	7/8"	Sweet	255

DIMENSIONAL DATA
CK18-82 MODELS

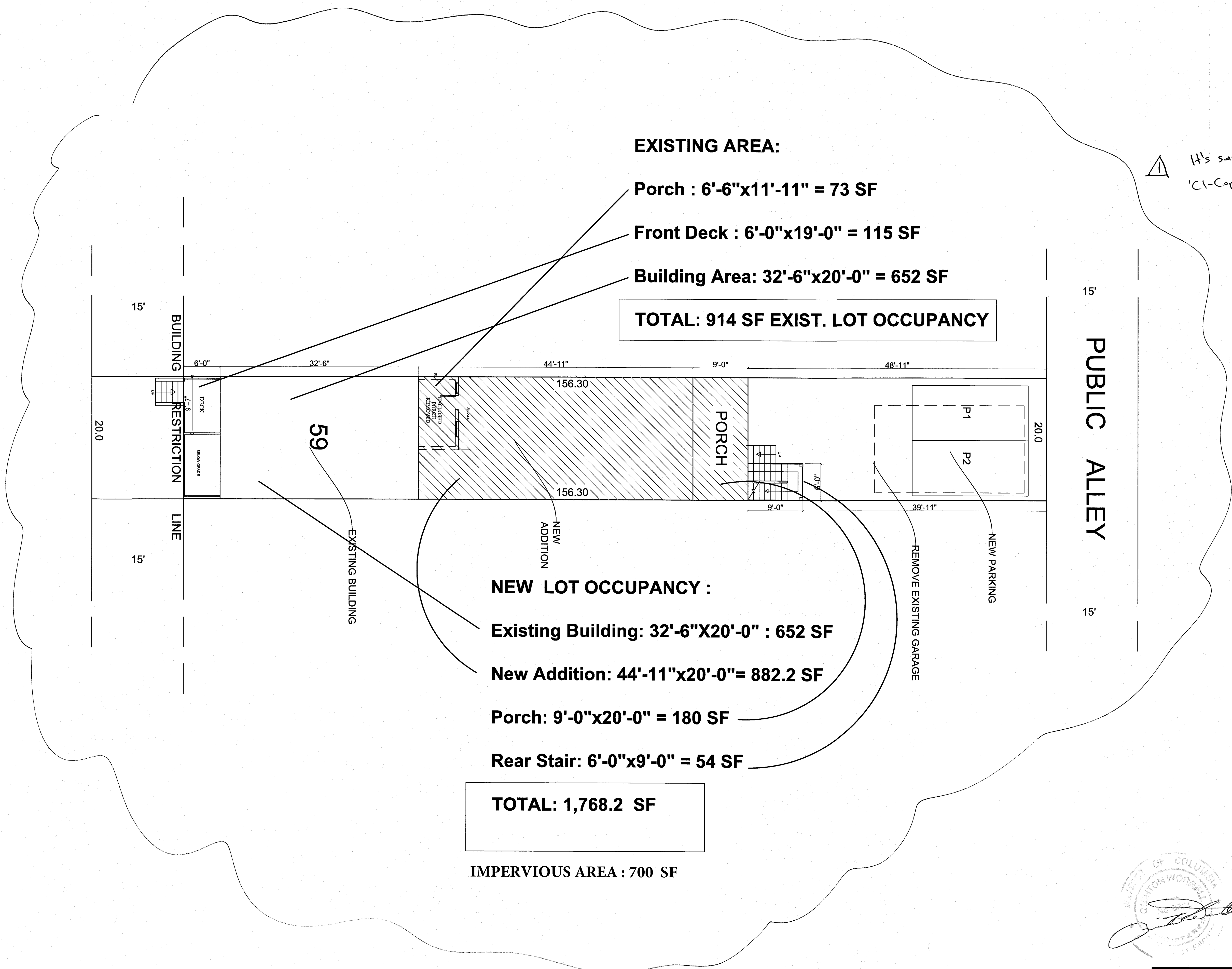


PLUMBING NOTES & SPECIFICATIONS

- ALL DRAWINGS IS ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR PLUMBING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES AND TESTING ORGANIZATIONS.
- ANY INFORMATION CONFLICTING WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL ALL CONFLICTS ARE RESOLVED AND THE CLARIFYING INFORMATION IS ISSUED TO THE CONTRACTOR BY THE ARCHITECT.
- ALL SANITARY SEWER PIPING SHALL BE INSTALLED WITH A 1/4" PER FOOT GRADE UNLESS NOTED OR AS INDICATED OTHERWISE. PROVIDE SLOPE INDICATED THROUGHOUT THE BUILDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEASUREMENT AND CORRECTIVE ALL PIPING TO BE INSTALLED WITH ALL OTHER TRADES, TO ASSURE THAT ALL PIPING SYSTEMS ARE INSTALLED ABOVE FINISHED CEILING OR IN A CONCEALED SPACE. ALL CEILING HEIGHTS INDICATED ON ARCHITECTURAL DRAWINGS AND SCHEDULES SHALL BE MAINTAINED THROUGHOUT THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURAL COMPONENTS SHALL NOT BE CUT, BREACHED OR DAMAGED IN ANY WAY WITHOUT THE STRUCTURAL ENGINEER'S REVIEW AND APPROVAL.
- ALL PIPING SYSTEMS, VALVES, AND EQUIPMENT SHALL BE PROPERLY TESTED.
- ALL PLUMBING EQUIPMENT SHALL CONFORM TO ALL REQUIREMENTS OF THE LOCAL ENERGY CONSERVATION AND PLUMBING CODES.
- THE PLUMBING CONTRACTOR SHALL VERIFY EXISTING BUILDING CONDITIONS AND COORDINATE HIS WORK WITH EXISTING CONDITIONS. ANY CONFLICTS BETWEEN HIS WORK AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO STARTING.
- PLUMBING CONTRACTOR SHALL VERIFY EXISTING INVERTS AND VERIFY THAT ALL FINAL CONNECTIONS CAN BE MADE BEFORE COMMENCING WORK.
- THE PLUMBING CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND PERMITS REQUIRED AS WELL AS FOR TRAVEL, TRAVEL AND TRANSPORTATION CHARGES.
- ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT AND ENGINEER.

GENERAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST NATIONAL ELECTRICAL CODE, THE LIFE SAFETY CODE AND ALL LOCAL CODE AUTHORITIES HAVING JURISDICTION.
- ALL NEW ELECTRICAL EQUIPMENT SHALL BE LABELED BY UL, OR OTHER ACCREDITED AUTHORITY AGENCIES AND TESTING ORGANIZATIONS.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS, EQUIPMENT AND RELATED ITEMS FOR TWELVE MONTHS AFTER FINAL COMPLETION OF WORK AND REPLACE ANY DEFECTIVE MATERIALS, EQUIPMENT AND RELATED ITEMS WITHIN THE GUARANTEE PERIOD.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE CONDITIONS WHICH MAY AFFECT THE BID.
- CONTRACTOR SHALL OBTAIN PERMITS AND PAY ALL FEES. PERMITS SHALL BE GIVEN TO THE OWNER WHEN THE PROJECT IS COMPLETED.
- WIRE, CONNECT AND ENERGIZE ALL EQUIPMENT, DEVICES AND APPLIANCES INDICATED, INCLUDING THE MODULAR FURNITURE.
- ALL NEW OUTLET BOXES SHALL BE LOCATED IN OR ON CLEAR WALL SPACES, NOT IN SHELVES, BEHIND DOORS, CABINETS, ETC. ITEMS IMPROPERLY LOCATED WILL BE RELOCATED AT CONTRACTOR'S EXPENSE.
- ALL ELECTRICAL SYSTEMS, DEVICES AND RELATED ITEMS SHALL BE TESTED, REPLACE ANY AND ALL DEFECTIVE DEVICES, ITEMS OR SYSTEMS BEFORE COMPLETION OF THE PROJECT.
- EQUIPMENT, ITEMS AND APPLIANCES REQUIRING INSPECTION, MAINTENANCE, OR MANUAL OPERATION SHALL NOT BE INSTALLED IN INACCESSIBLE LOCATIONS.
- VERIFY THE TYPE OF CEILING SYSTEM WITH THE GENERAL CONTRACTOR OR CEILING CONTRACTOR TO INSURE THAT ALL LIGHTING FIXTURES ARE COMPATIBLE WITH THE CEILING SYSTEM BEING INSTALLED. DO NOT ORDER LIGHTING FIXTURES UNTIL CEILING TYPE HAS BEEN VERIFIED.
- SUPPORT CEILING MOUNTED LIGHTING FIXTURES DIRECTLY FROM THE BUILDING STRUCTURES. DO NOT SUPPORT FIXTURES FROM PIPING, SUCTWORK OR ANY OTHER EQUIPMENT INSTALLED IN THE CEILING PLenum.
- INSTALL NEW BREAKERS IN EXISTING PANELBOARDS AS NECESSARY. NEW BREAKERS TO MATCH EXISTING CONDITIONS. REARRANGE EXISTING CIRCUITS WITHIN EXISTING PANELS AS NECESSARY. NEW PANELBOARD SHALL BE EQUIPPED WITH COPPER PHASE, NEUTRAL AND GROUND BUS WITH BOLT ON CIRCUIT BREAKERS AND TYPEWRITTEN DIRECTORY.
- ALL WIRE/CABLE SHALL BE COPPER AND ALL WIRE SIZES ARE BASED ON COPPER CONDUCTORS UNLESS OTHERWISE INDICATED. PROVIDE INSULATION TYPE EQUAL TO OR EXCEEDING THE TEMPERATURE RATING OF THE FIXTURES TO WHICH IT CONNECTS.
- MINIMUM SIZE FOR NEW RACEWAY SHALL BE 3/4" C.
- ALL EMPTY CONDUITS SHALL BE EQUIPPED WITH PULL WIRES.
- ALL CONDUITS SHALL BE CAREFULLY SECURED FROM THE BUILDING STRUCTURE.
- EXCEPT AS OTHERWISE INDICATED, PANELBOARD CABINETS SHALL NOT BE USED FOR OTHER PURPOSES THAN CIRCUIT PROTECTION AND DISTRIBUTION POINTS AND SHALL NOT BE USED AS JUNCTION BOXES. PROVIDE JUNCTION BOXES OUTSIDE THE PANEL AS REQUIRED.
- FOR ELECTRICAL HOMERUNS AND WIRING, CONDUITS SHALL BE EMT OR MC AS PERMITTED BY CODE. ALL CONNECTIONS TO EQUIPMENT SUBJECT TO WIRING SHALL BE MADE VIA A W.P. FLEXIBLE METAL CONDUIT. MC MAY BE USED WHERE PERMITTED BY CODE.
- PROVIDE AS-BUILT DRAWINGS TO THE OWNER UPON COMPLETION OF PROJECT.
- PROVIDE 3 MAINTENANCE AND OPERATING MANUALS AND WARRANTIES FOR ALL EQUIPMENT TO THE OWNER UPON COMPLETION OF THE PROJECT.



EXISTING AREA:

Porch : 6'-6"x11'-11" = 73 SF

Front Deck : 6'-0"x19'-0" = 115 SF

Building Area: 32'-6"x20'-0" = 652 SF

TOTAL: 914 SF EXIST. LOT OCCUPANCY

⚠ It's same as SHEET 'C1'.
'C1-Copy' created is to make more readable.

NEW LOT OCCUPANCY :

Existing Building: 32'-6"x20'-0" : 652 SF

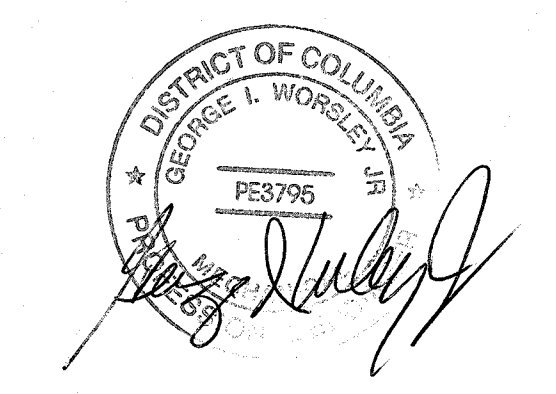
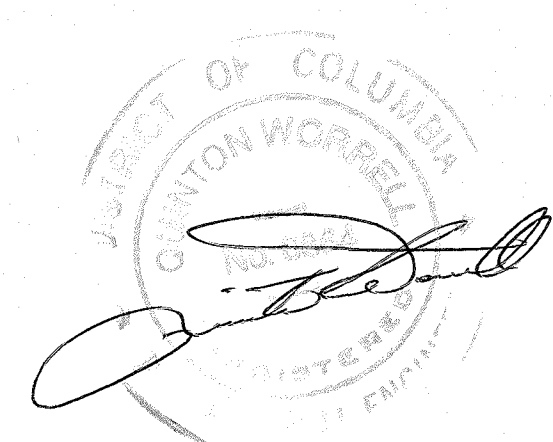
New Addition: 44'-11"x20'-0"= 882.2 SF

Porch: 9'-0"x20'-0" = 180 SF

Rear Stair: 6'-0"x9'-0" = 54 SF

TOTAL: 1,768.2 SF

IMPERVIOUS AREA : 700 SF



C1-COPY

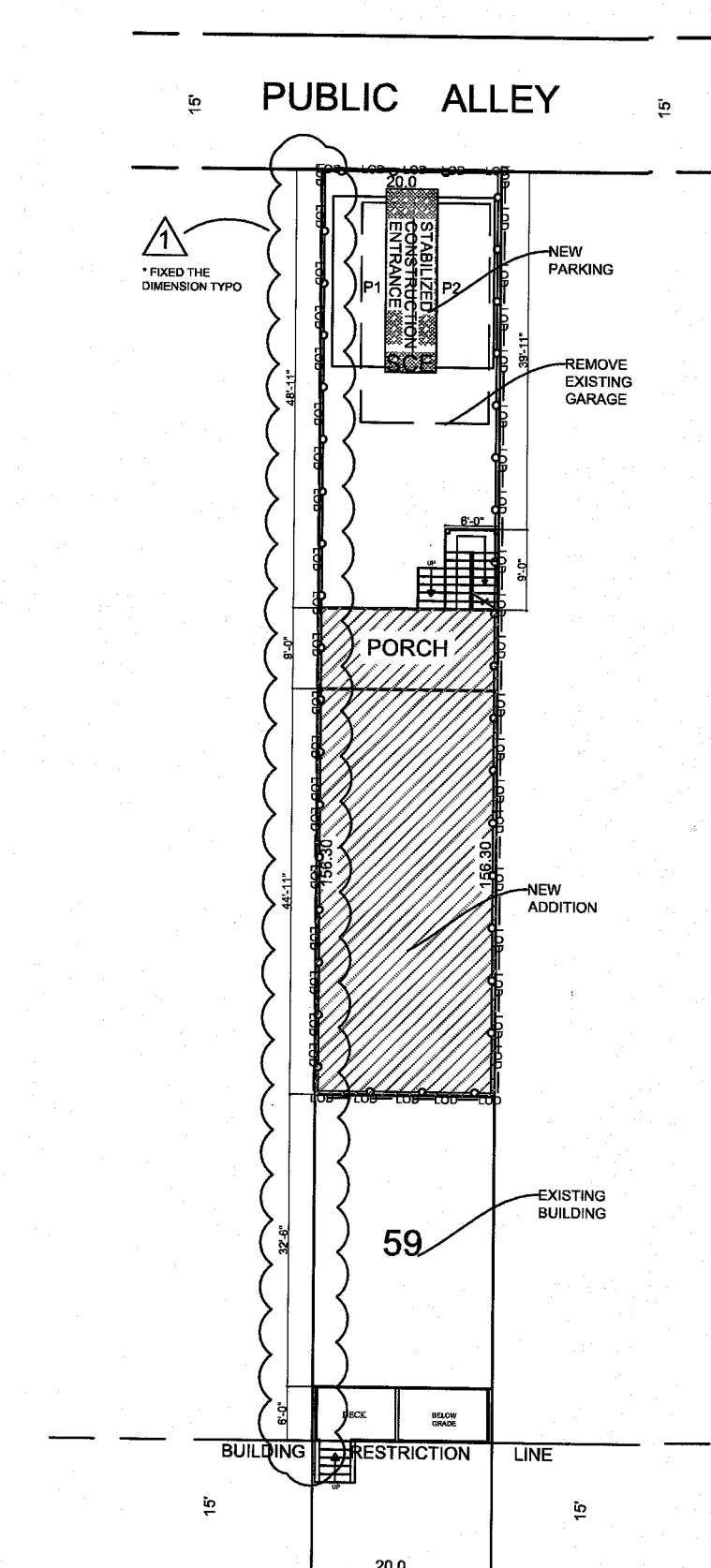
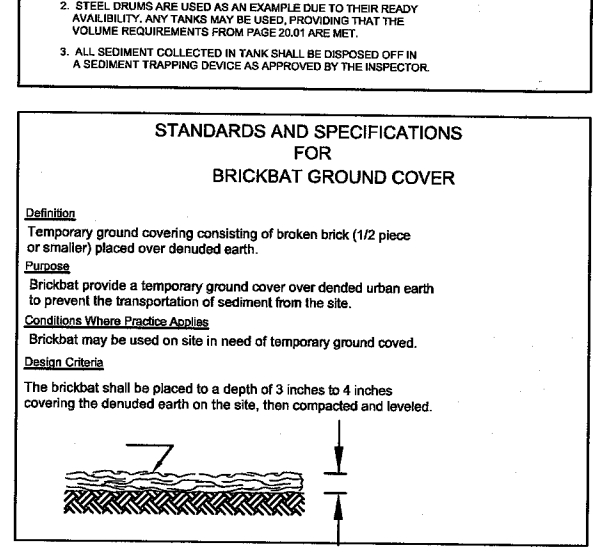
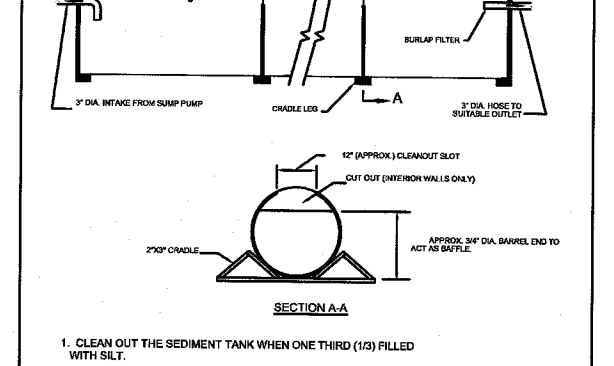
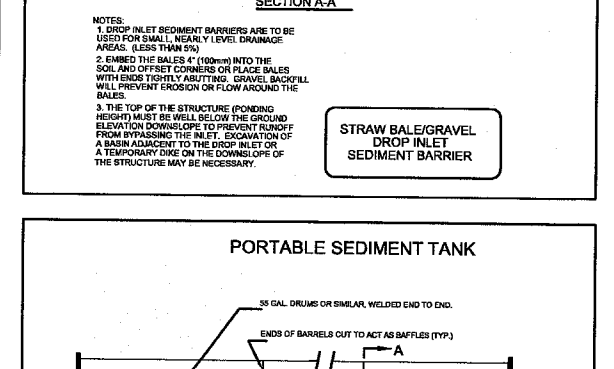
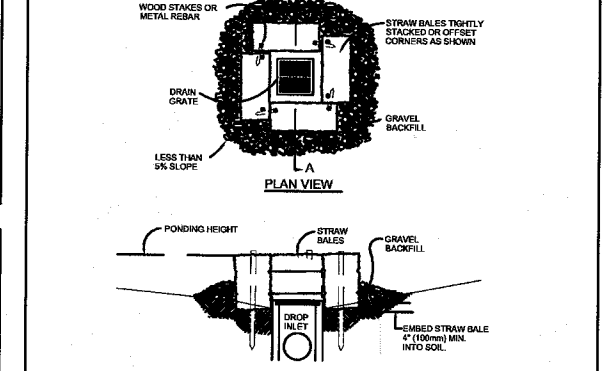
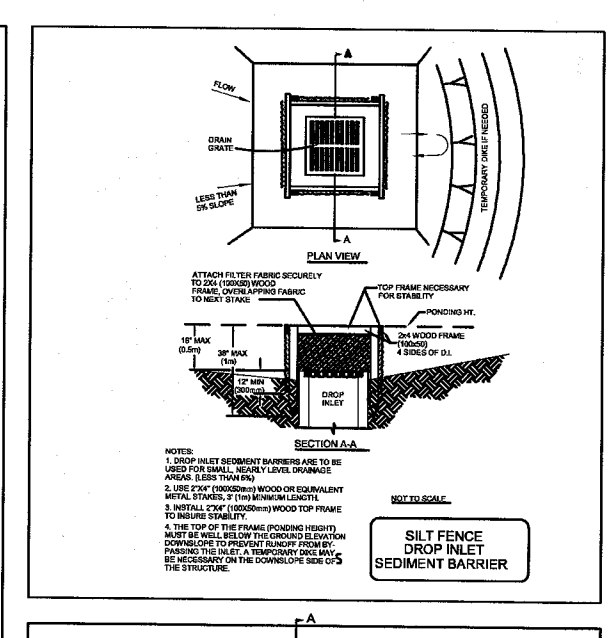
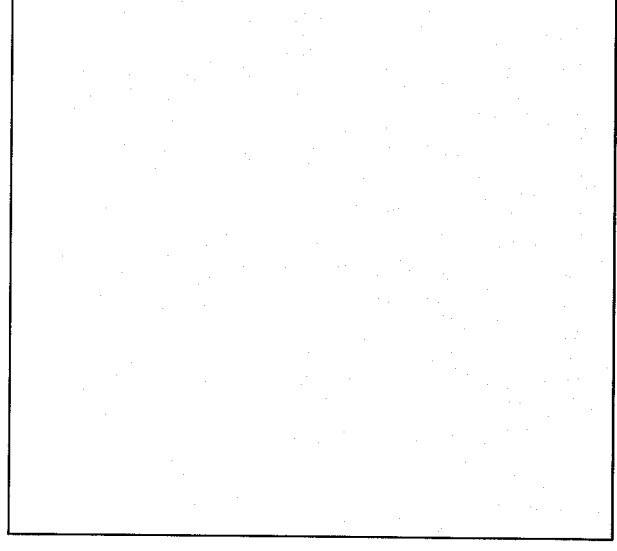
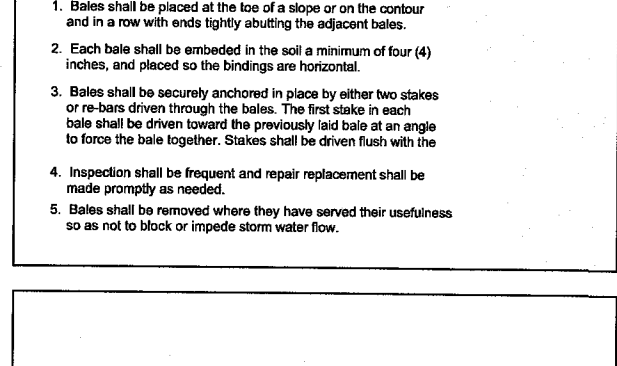
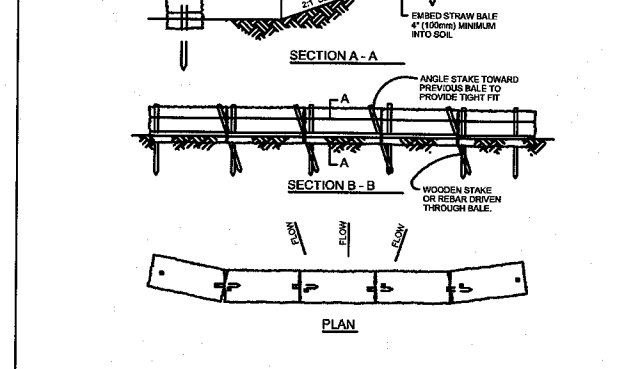
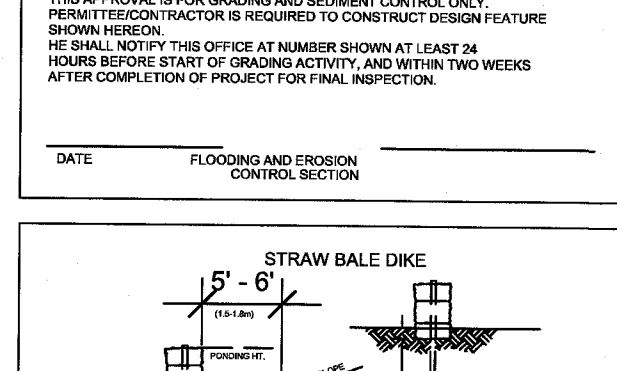
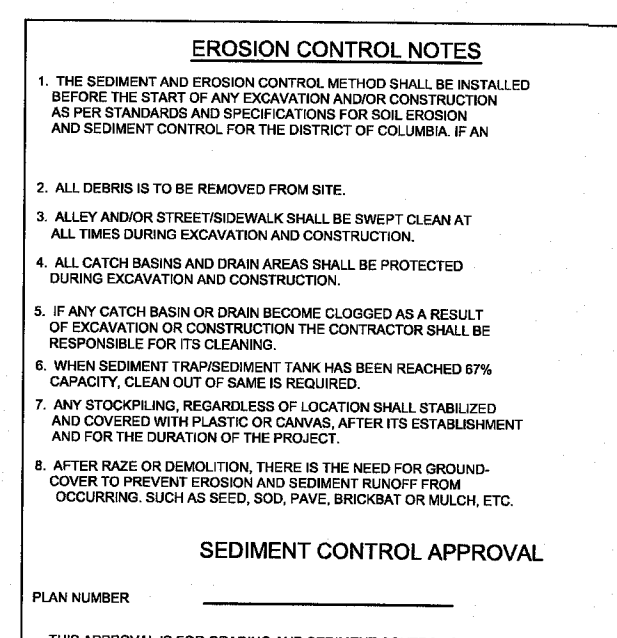
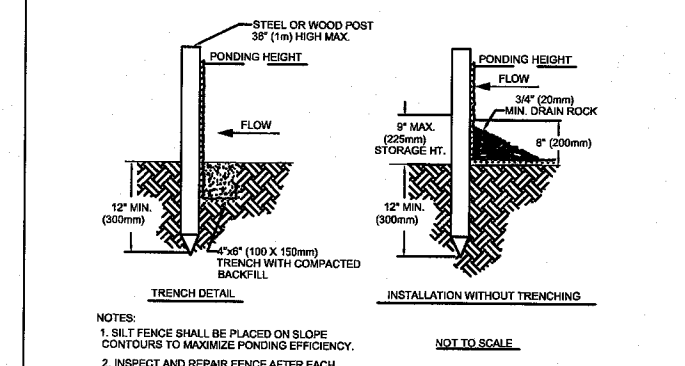
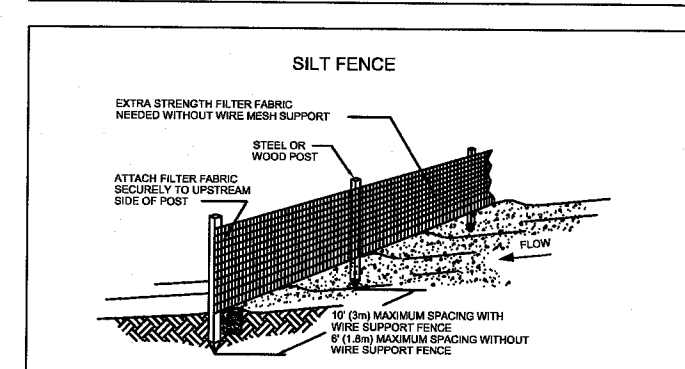
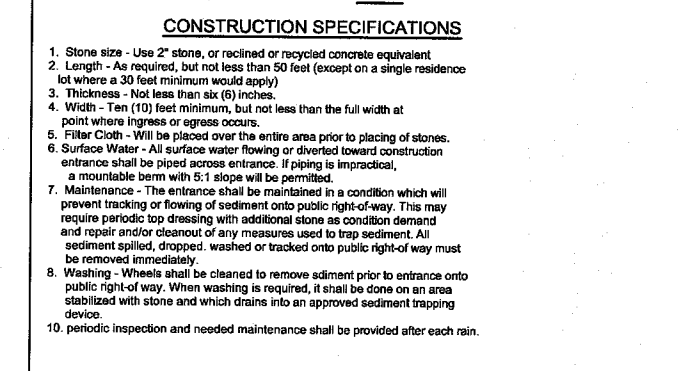
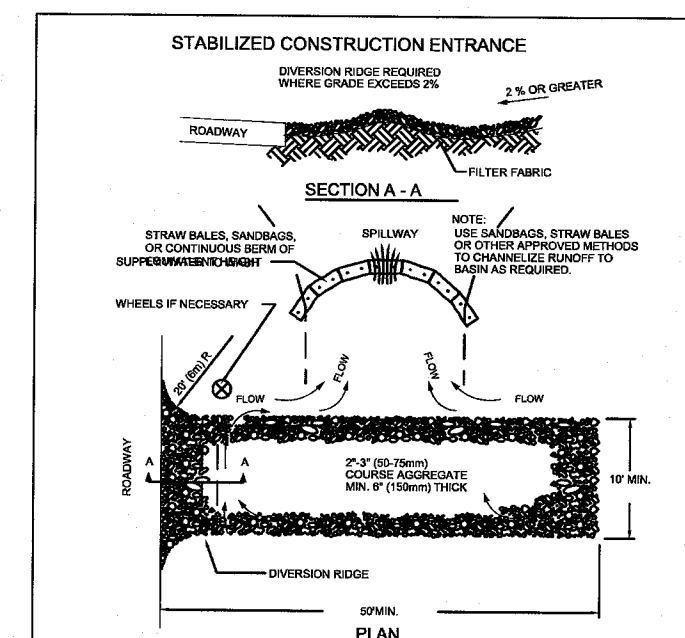
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SOIL EROSION AND SEDIMENT CONTROL NOTES

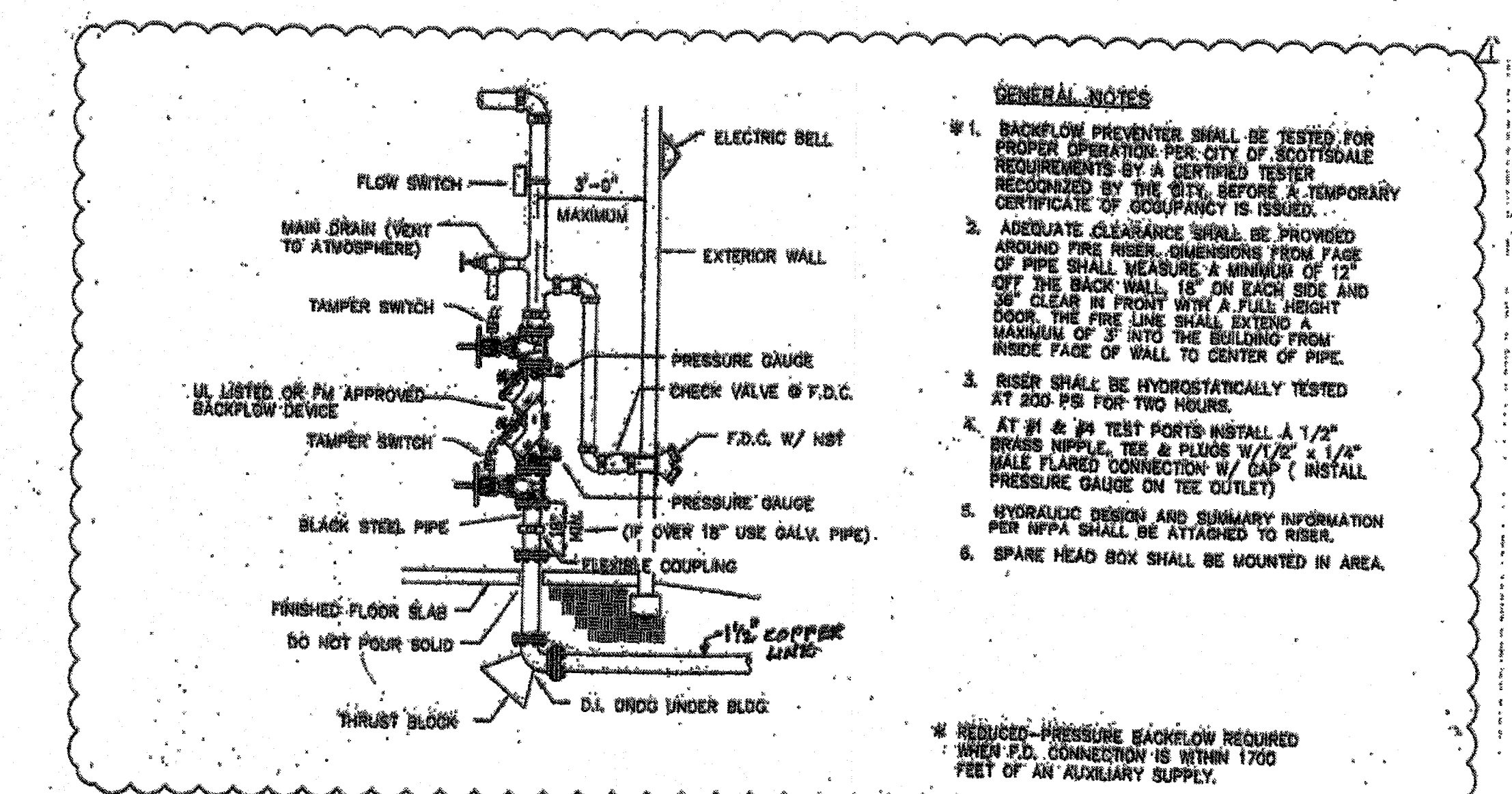
- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN LOCAL GOVERNMENT AGENCY.
- APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE LOCAL GOVERNMENT AGENCY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE LOCAL GOVERNMENT AGENCY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT.
- ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE LOCAL GOVERNMENT AGENCY IMMEDIATELY FOLLOWING ROUGH GRADING.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXIST. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
- ALL DRIVEWAYS MUST BE STABILIZED WITH 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
- NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
- OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
- THE LOCAL GOVERNMENT AGENCY SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
- ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
- ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT LOCAL GOVERNMENT AGENCY FOR SOIL EROSION AND SEDIMENT CONTROL.
- METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A PH OF 4 OR LESS.
- TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE LOCAL GOVERNMENT AGENCY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE LOCAL GOVERNMENT AGENCY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE LOCAL GOVERNMENT AGENCY AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
- ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE LOCAL GOVERNMENT AGENCY STANDARDS.
- NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
- THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

PROJECT NARRATIVE :

This project entails the construction of rear to the building as shown on plan



SCALE: 1" = 20'



FIRE SPRINKLER RISER DETAIL WITH WALL MOUNT FD CONNECTION
SCALE: NOT TO SCALE

GENERAL NOTES

- BACKFLOW PREVENTER SHALL BE TESTED FOR PROPER OPERATION PER CITY OF SCOTTSDALE REQUIREMENTS BY A CERTIFIED TESTER RECOGNIZED BY THE CITY, BEFORE A TEMPORARY CERTIFICATE OF OCCUPANCY IS ISSUED.
- ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK WALL, 18" ON EACH SIDE AND 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LANE SHALL EXTEND A MINIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.
- RISER SHALL BE HYDROSTATICALLY TESTED AT 200 PSI FOR TWO HOURS.
- AT #1 & #4 TEST PORTS INSTALL A 1/2" BRASS NIPPLE, TEE & PLUGS W/ 1/2" & 1/4" MALE FLARED CONNECTION W/ CAP (INSTALL PRESSURE GAUGE ON TEE OUTLET)
- HYDRAULIC DESIGN AND SUMMARY INFORMATION PER NFPA SHALL BE ATTACHED TO RISER.
- SPARE HEAD BOX SHALL BE MOUNTED IN AREA.

PROPERTY BOUNDARY

SCE SCE STABILIZED CONSTRUCTION ENTRANCE

SF SF SILT FENCE

LOD LOD LIMIT OF DIST

SS STOCKPILED SOILS

CONTOUR LINE

LOT AREA : 3126 SF
IMPERVIOUS AREA : 700 SF
LIMIT OF DIST. : 2056 SF
VOLUME OF CUT : 0
LIMIT OF FILL : 0
LOT COVERAGE EXIST : 914 SF
LOT COVERAGE PROPOSED : 1,768.2 SF

HOUSE RENOVATION AND ADDITION
1117 ALLISON STREET N.W.

C1

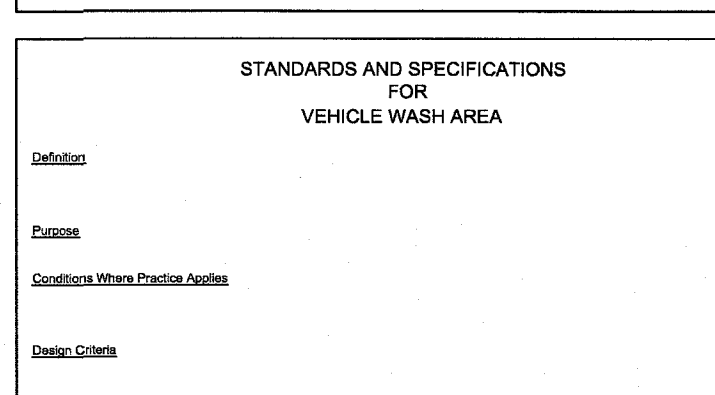
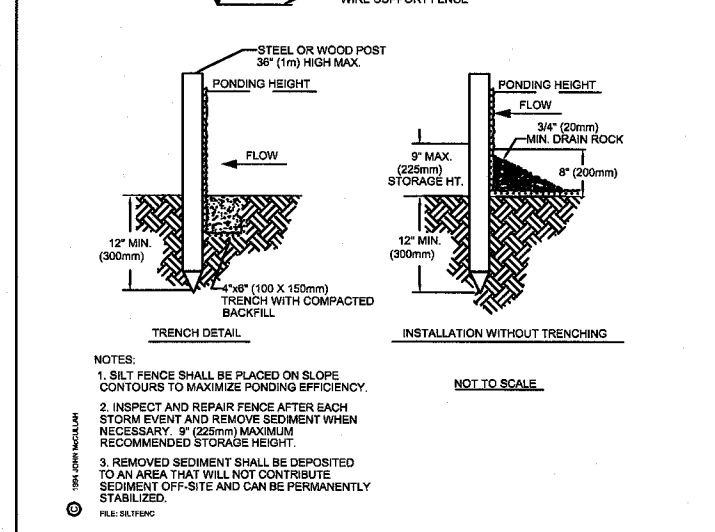
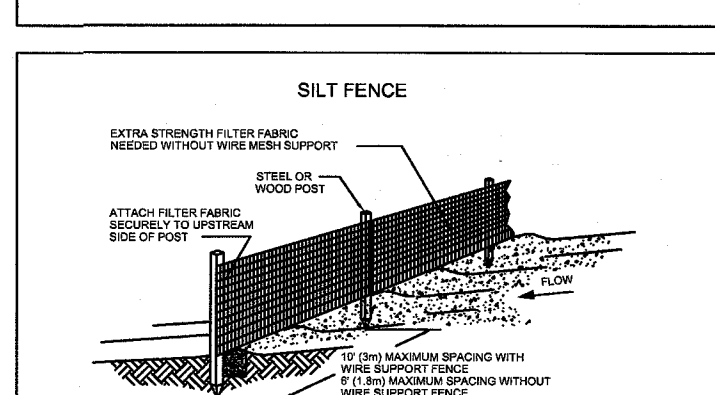
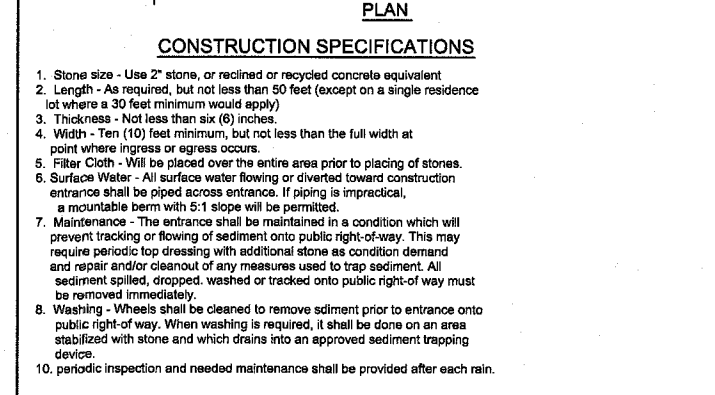
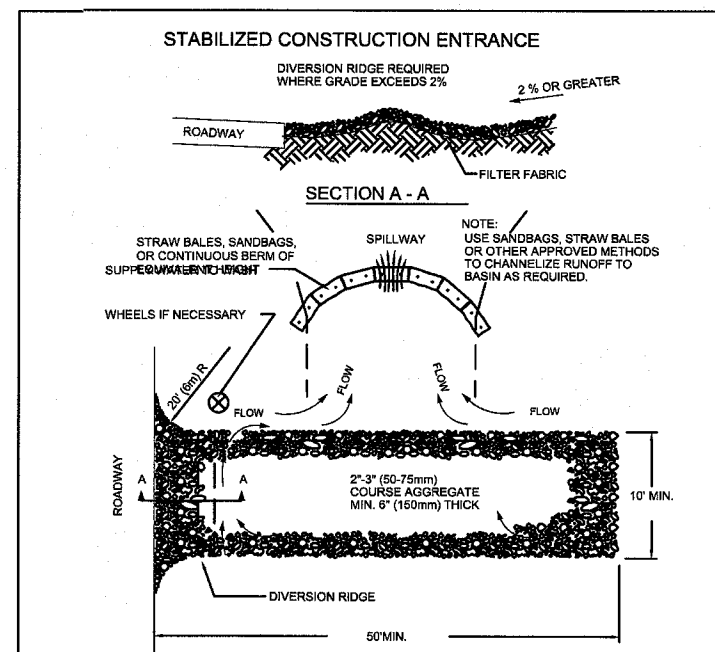
EROSION AND SEDIMENT CONTROL NARRATIVE

The total disturbance area is less than 5,000 SF. Therefore, Stormwater is not required.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
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4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
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6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE LOCAL GOVERNMENT AGENCY IMMEDIATELY FOLLOWING ROUGH GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
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11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
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14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
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16. NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
17. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
20. THE LOCAL GOVERNMENT AGENCY SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
21. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
22. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODWAY, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT LOCAL GOVERNMENT AGENCY FOR SOIL EROSION AND SEDIMENT CONTROL.
24. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS.
25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE LOCAL GOVERNMENT AGENCY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE LOCAL GOVERNMENT AGENCY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE LOCAL GOVERNMENT AGENCY AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
30. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE LOCAL GOVERNMENT AGENCY STANDARDS.
31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

PROJECT NARRATIVE:
This project entails the construction of rear to the building as shown on plan



EROSION CONTROL NOTES

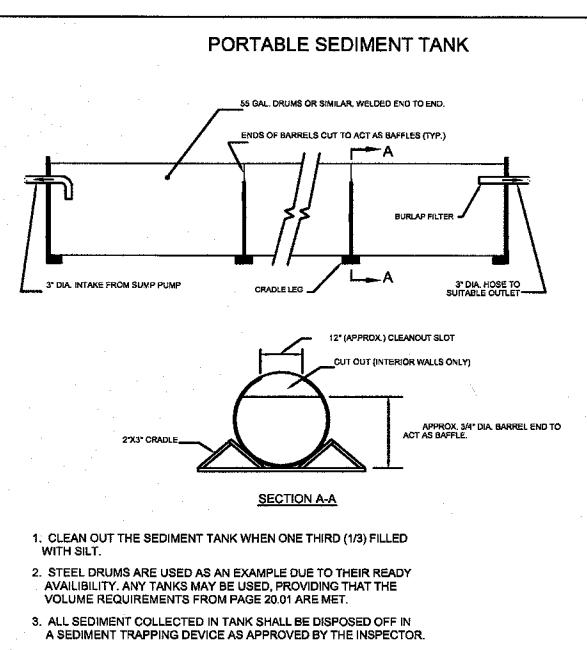
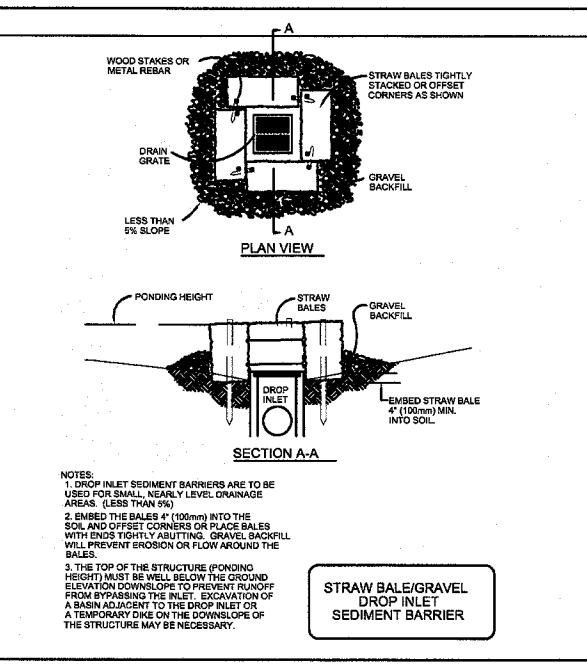
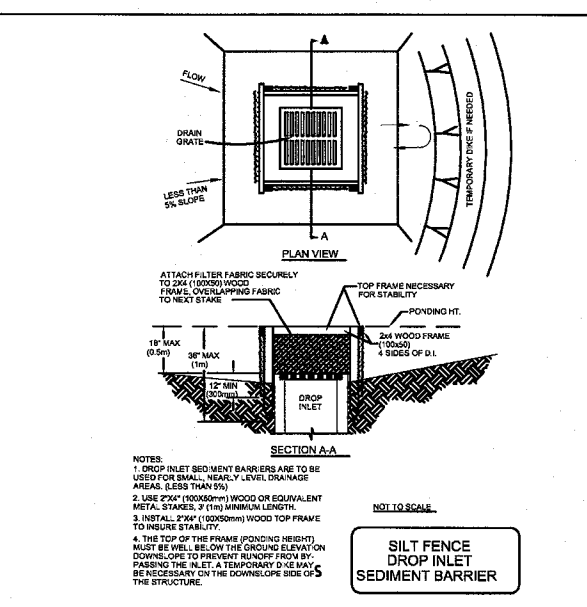
1. THE SEDIMENT AND EROSION CONTROL METHOD SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA, IF AN
2. ALL DEBRIS IS TO BE REMOVED FROM SITE.
3. ALLEY AND/OR STREET SIDEWALK SHALL BE SWEEPED CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL CATCH BASINS AND DRAIN AREAS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
5. IF ANY CATCH BASIN OR DRAIN BECOME CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
6. WHEN SEDIMENT TRAPMENT TANK HAS BEEN REACHED 80% CAPACITY, CLEAN OUT OR BARGE IS REQUIRED.
7. ANY STOCKPILING REGARDLESS OF LOCATION SHALL BE STABILIZED AND COVERED WITH PLASTIC OR CANALS, AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
8. AFTER RAZE OR DEMOLITION, THERE IS THE NEED FOR GROUND-COVERS TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOIL PAVES, BENTONIT OR MULCH, ETC.

SEDIMENT CONTROL APPROVAL

PLAN NUMBER _____

DATE _____

FLOODING AND EROSION CONTROL SECTION



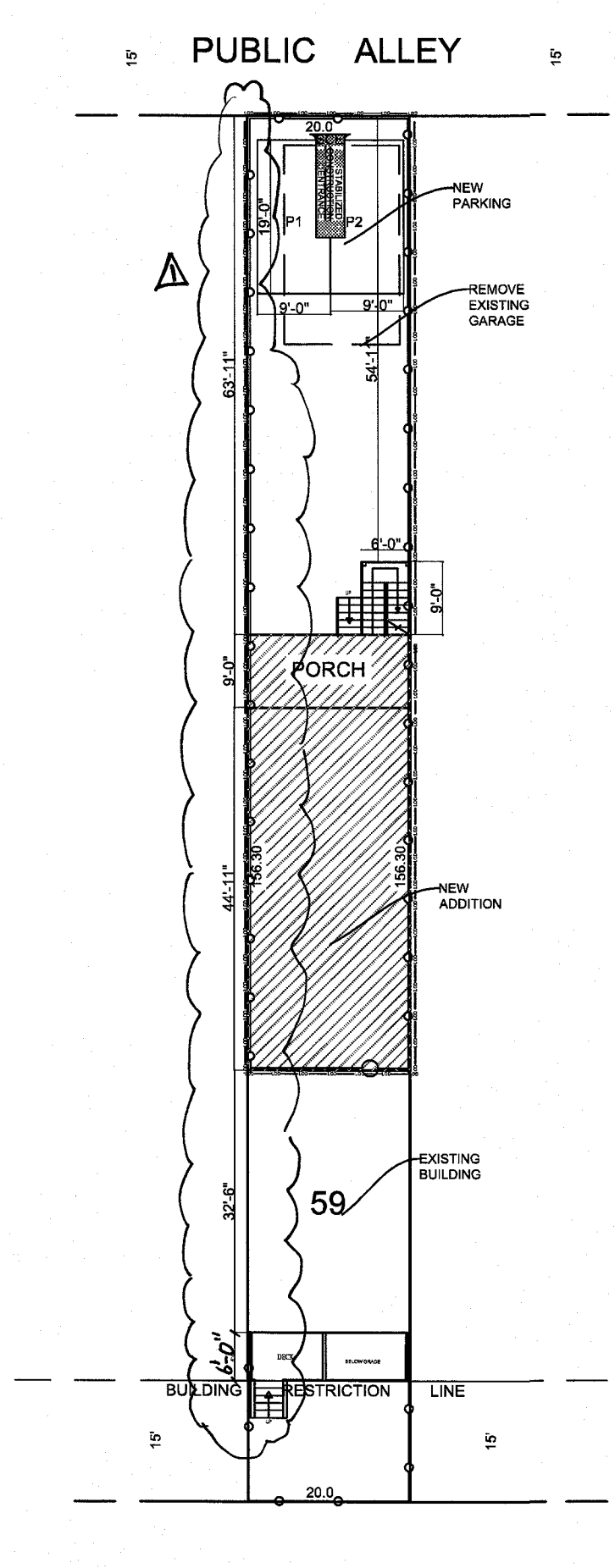
STANDARDS AND SPECIFICATIONS FOR BRICKBAT GROUND COVER

Definition: Temporary ground covering consisting of broken brick (12 pieces or smaller) placed over denuded earth.

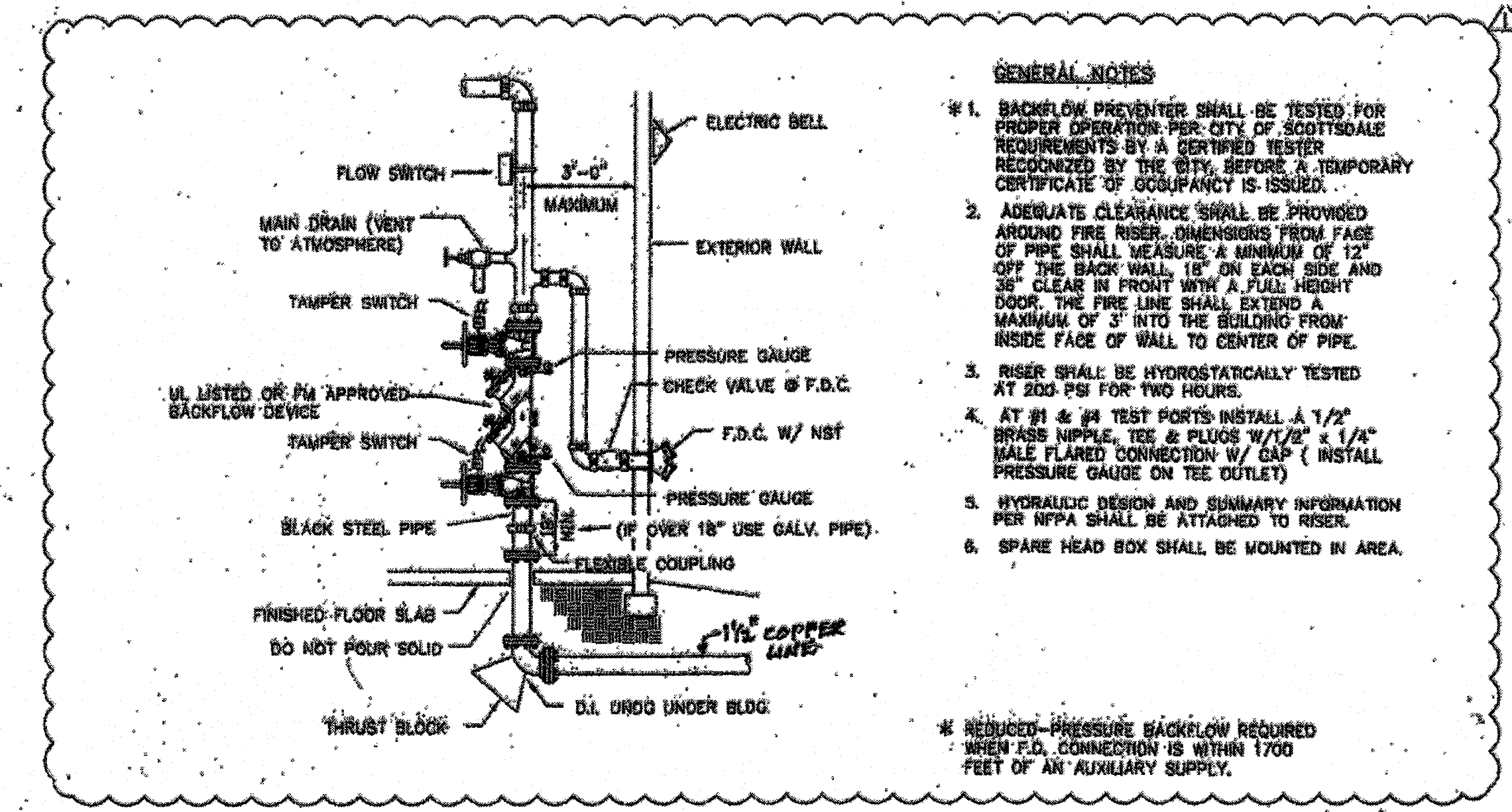
Usage: Brickbat provide a temporary ground cover over denuded earth to prevent the transportation of sediment from the site.

Installation: Brickbat may be used on site in need of temporary ground cover.

Installation: The brickbat shall be placed on a depth of 3 inches to 4 inches covering the denuded earth on the site, then compacted and leveled.



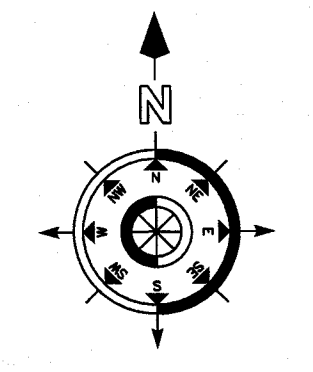
SCALE: 1"=20'



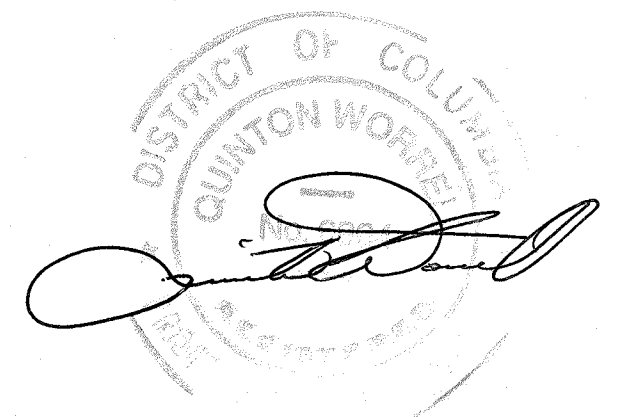
- GENERAL NOTES**
1. BACKFLOW PREVENTER SHALL BE TESTED FOR PROPER OPERATION PER: CITY OF SCOTTSDALE REQUIREMENTS BY A CERTIFIED TESTER RECOGNIZED BY THE CITY, BEFORE A TEMPORARY CERTIFICATE OF OCCUPANCY IS ISSUED.
 2. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK WALL 18" ON EACH SIDE AND 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3" INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.
 3. RISER SHALL BE HYDROSTATICALLY TESTED AT 200 PSI FOR TWO HOURS.
 4. AT #1 & #4 TEST PORTS INSTALL A 1/2" BRASS NIPPLE, TEST PLUGS W/ 1/2" x 1/8" NPT MALE FLARED CONNECTION W/ CAP (INSTALL PRESSURE GAUGE ON TEE OUTLET).
 5. HYDRAULIC DESIGN AND SUMMARY INFORMATION PER NPPA SHALL BE ATTACHED TO RISER.
 6. SPARE HEAD BOX SHALL BE MOUNTED IN AREA.
- * REDUCED-PRESSURE BACKFLOW REQUIRED WHEN F.D.C. CONNECTION IS WITHIN 1700 FEET OF AN AUXILIARY SUPPLY.

FIRE SPRINKLER RISER DETAIL WITH WALL MOUNT FD CONECTION

SCALE: NOT TO SCALE

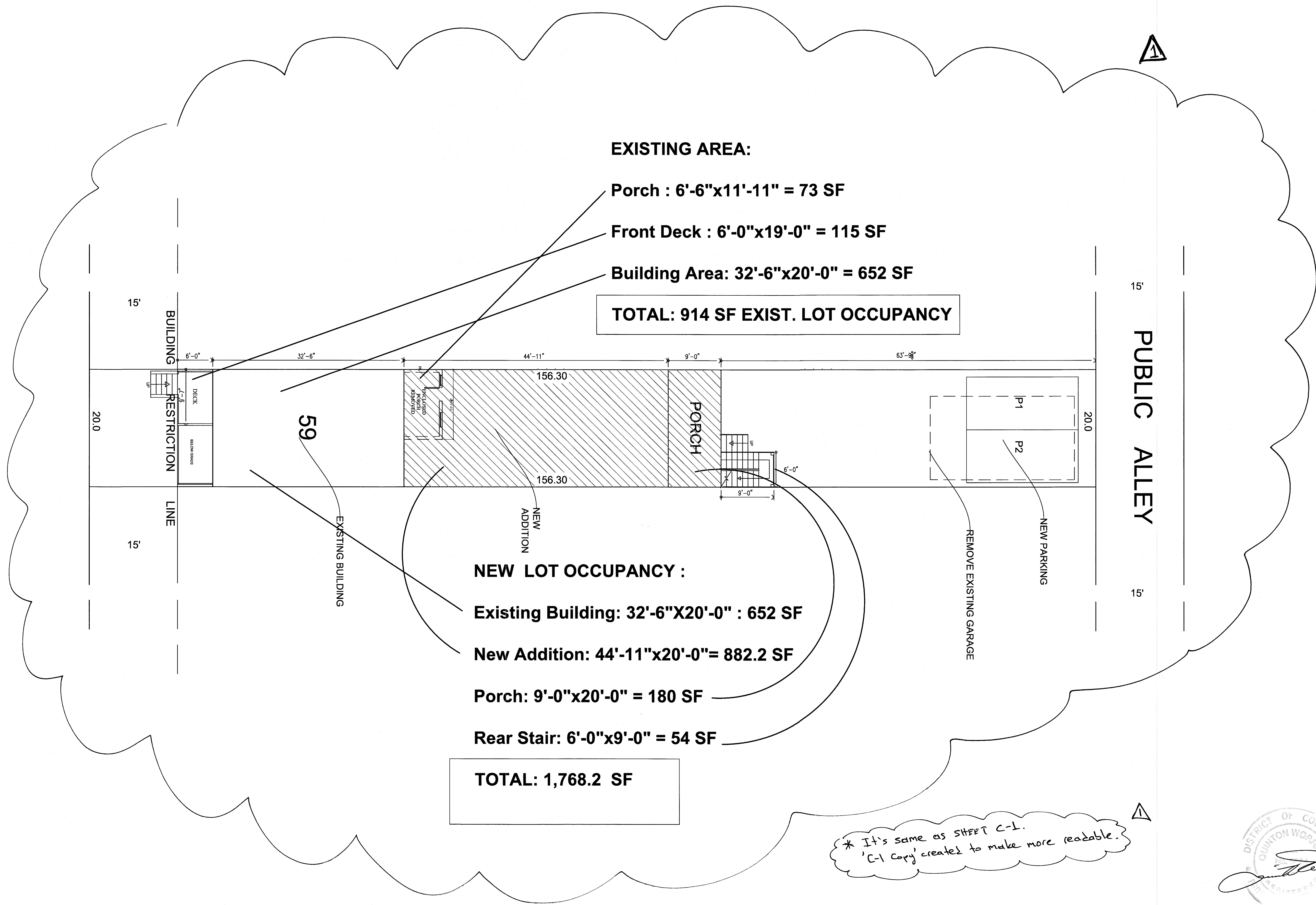


- PROPERTY BOUNDARY
- SCSCE STABILIZED CONSTRUCTION ENTRANCE
- SF SILT FENCE
- LOD LIMIT OF DIST
- SS STOCKPILED SOILS
- CONTOUR LINE
- LOT AREA: 3126 SF
- LIMIT OF DIST = 2366SF
- VOLUME OF CUT = 0
- LIMIT OF FILL = 0
- LOT COVERAGE EXIST: 914 SF
- LOT COVERAGE PROPOSED: 1,769.2 SF

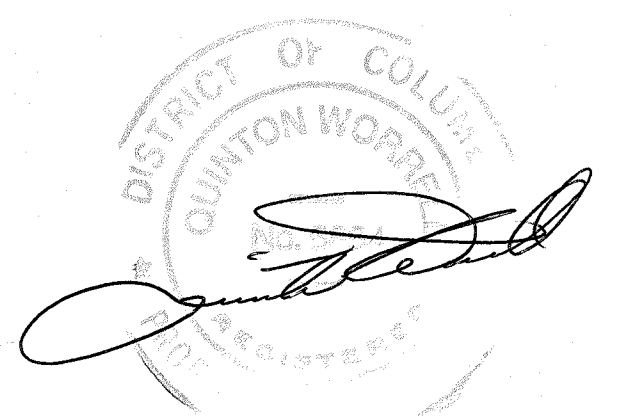


HOUSE RENOVATION AND ADDITION
1117 ALLISON STREET N.W. **C1**

* Fixed the dimensions typo



* It's same as SHEET C-1.
 'C-1 Copy' created to make more readable.



C1-COPY

SCALE: 1/8"= 1'-00

