

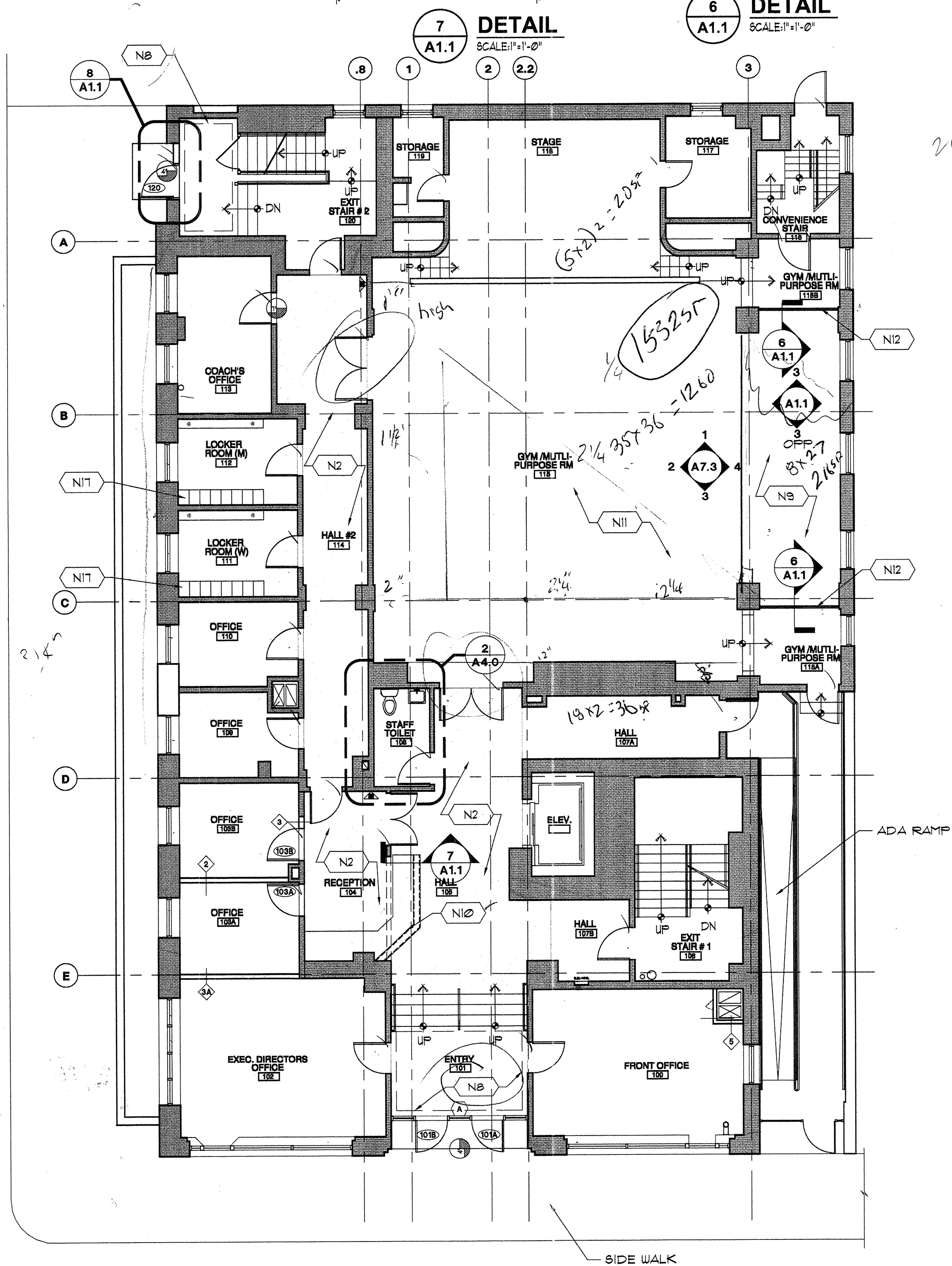
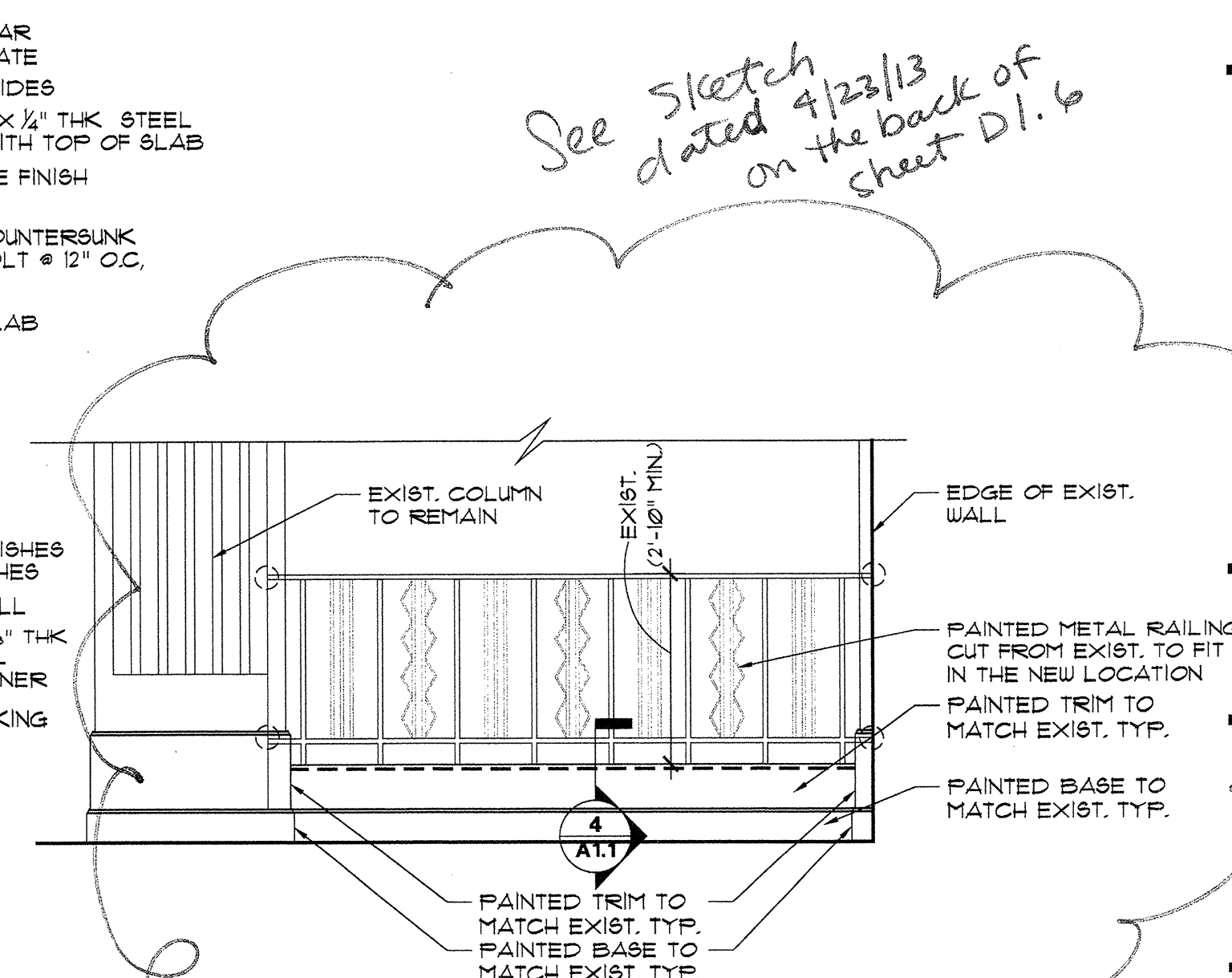
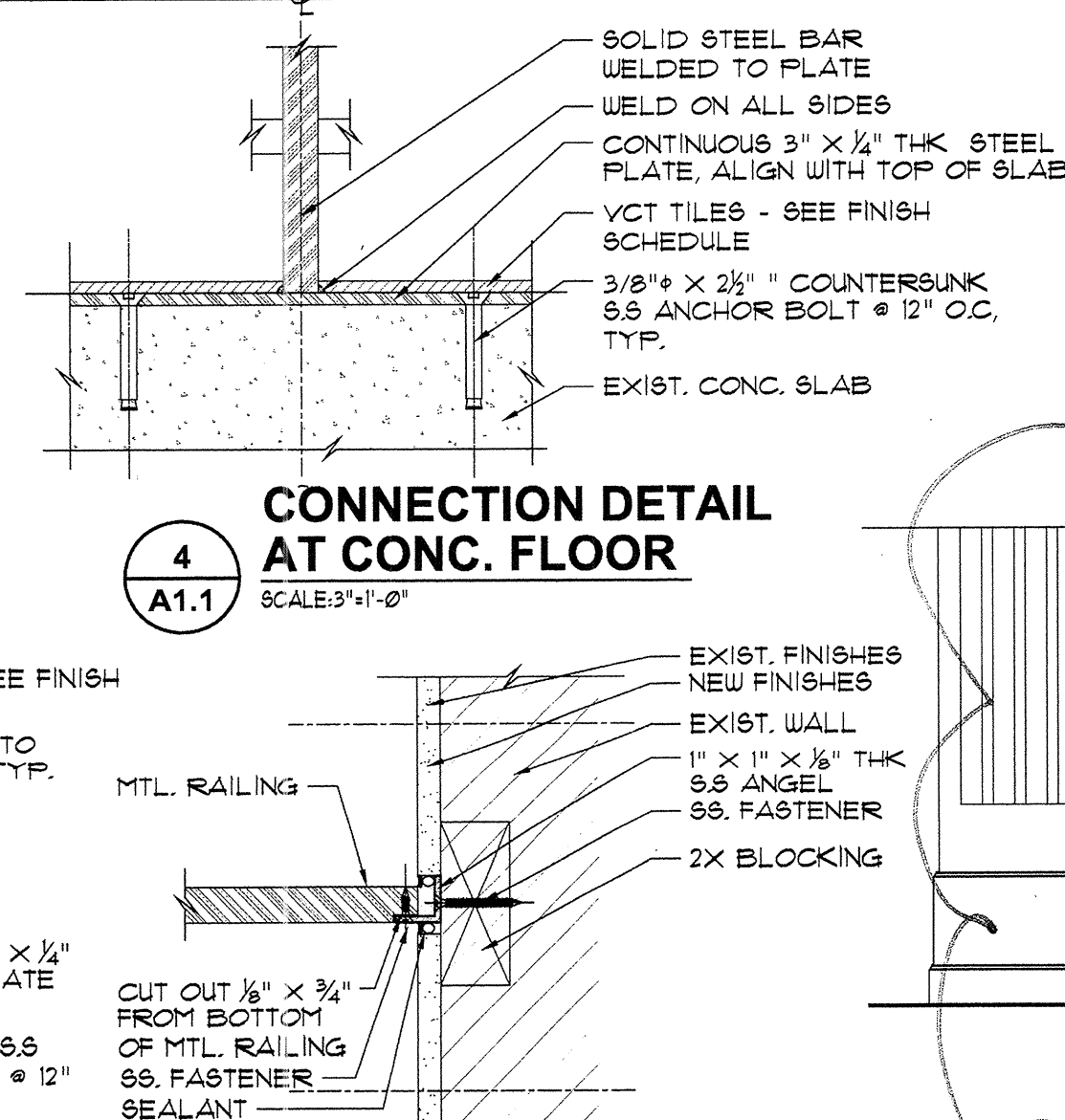
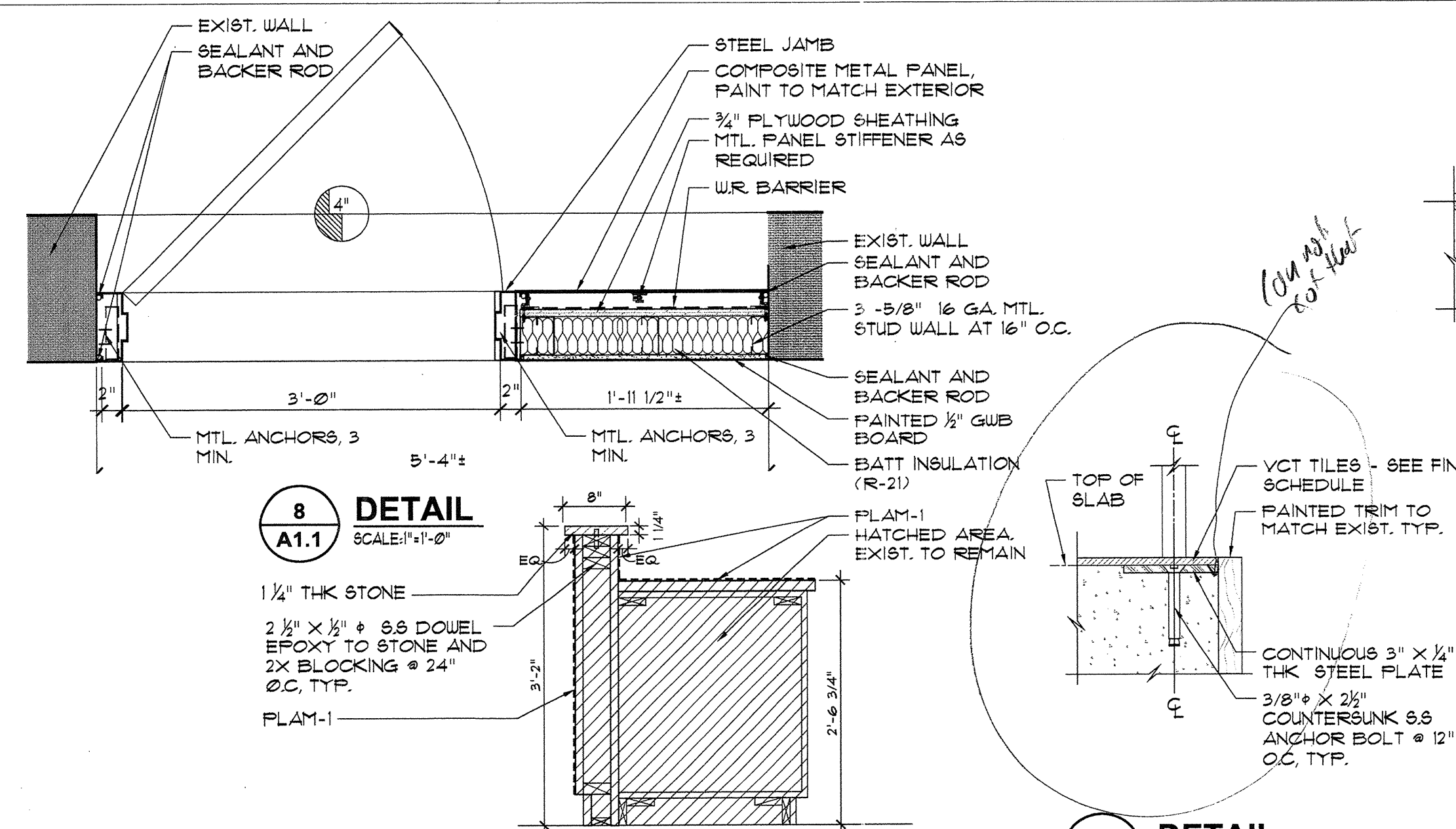
1. NEW CARPET AND PAD IN ALL OFFICES AND RECEPTION AREAS & CLASSROOM. .
2. NEW VCT TILE IN THE REMAINING SPACES, UON.
3. NEW VINYL BASE WITHIN EXTENTS OF CONSTRUCTION UON.
4. NEW FURNITURE WITHIN THE LIMITS OF CONSTRUCTION OFCI.
5. PAINT ALL EXIST. WALLS & CEILINGS TO REMAIN AND NEW THROUGHOUT THE LIMITS OF CONSTRUCTION, TYP.
6. PATCH, REPAIR AND LEVEL FLOORS AS REQUIRED TO RECEIVE NEW FLOORING.
7. ADDITIONAL ELECTRICAL AND DATA OUTLETS TO BE PROVIDED AS REQUIRED TO SUPPORT THE PROPOSED FF&E LAYOUT WITHIN LIMITS OF CONSTRUCTION.
8. PAINT ALL EXIST. DOORS & FRAME TO REMAIN THROUGHOUT THE LIMITS OF CONSTRUCTION.
9. PAINT ALL EXIST. RAILING WITHIN THE LIMITS OF CONSTRUCTION.
10. ALL EXIST. OUTLETS, ITS WIRING TO REMAIN PROTECT DURING CONSTRUCTION, RELOCATE AS REQUIRED & INSTALL NEW COVER TO MATCH COLOR OF ADJACENT WALL.
11. NEW WINDOW BLINDS FOR ALL WINDOWS, TYP. .
12. REPAIR ALL THE FINISHES AND PATCH DRYWALL IN AREAS WHERE NEW DUCTWORK IS INSTALLED, TYP.
13. EXIST. TOILETS ACCESSORIES TO REMAIN, TYP. RELOCATE AS REQUIRED.
14. PAINT ALL EXISTING & NEW EXPOSED ELECTRICAL CONDUITS TO MATCH CEILINGS/WALLS COLOR PAINT, TYP.

N1	NEW CERAMIC WALL TILE, 8x8, TYP.
N2	CLEAN AND REPAIR DAMAGED TERRAZZO FLOORING, TYP.
N3	MARKERBOARD WITH ALUMINUM FRAME.
N4	INSTALL NEW TEMPERED GLASS IN THE EXIST. DOOR
N5	APPLY SEALER AND PATCH EXIST. CONC. FLOOR
N6	TERRON EXPRESS LAVATORY SYSTEM
N7	NEW TOILET PARTITION, TYP.
N8	NEW ENTRY MAT.
N9	FLASH PATCH TO LEVEL CONC. AFTER RAISED SLAB DEMO.
N10	REPAIR & REFINISH EXIST. RECEPTION DECK WITH NEW LAMINATE, REPLACE EXIST. COMPOSITE TOP WITH NEW
N11	NEW ATHLETIC FLOORING.
N12	PAINTED METAL RAILING (CUT FROM EXIST.).
N13	NEW WATER CLOSET.
N14	NEW WALL MOUNTED SINK & DISPOSAL
N15	NEW EYE WASH STATION
N16	ELEVATOR CAB SCOPE OF WORK: REMOVE & REPLACE/REPAIR METAL ALUMINUM SUSPENDED CEILING SPRINK. PROVIDE NEW FROSTED ACRYLIC LENSES IN SUSPENDED CEILING (4 @ APPROX 2'x4' EA) RE-LAMP TUBE FLUORESCENT LIGHT FIXTURES-PAINT WALLS RE-PAINT WALLS INSTALL 4" VINYL BASE REPLACE YCT WITH NEW
N17	METAL LOCKER OFCI
N18	REPLACE P-LAM, INSTALL MISSING CABINETS DOOR (2), REPAIR MILLWORK HARDWARE AND INSTALL NEW CAM LOCKS ON ALL CABINETS DOORS, TYP.
N19	NEW MECH. ROOF TOP UNITS & DUCTWORK
N20	12' X 12' MIN. ACCESS DOOR (GC TO COORDINATE FINAL SIZE IN FIELD)
N21	RELOCATED RECESSED FIRE EXTINGUISHER

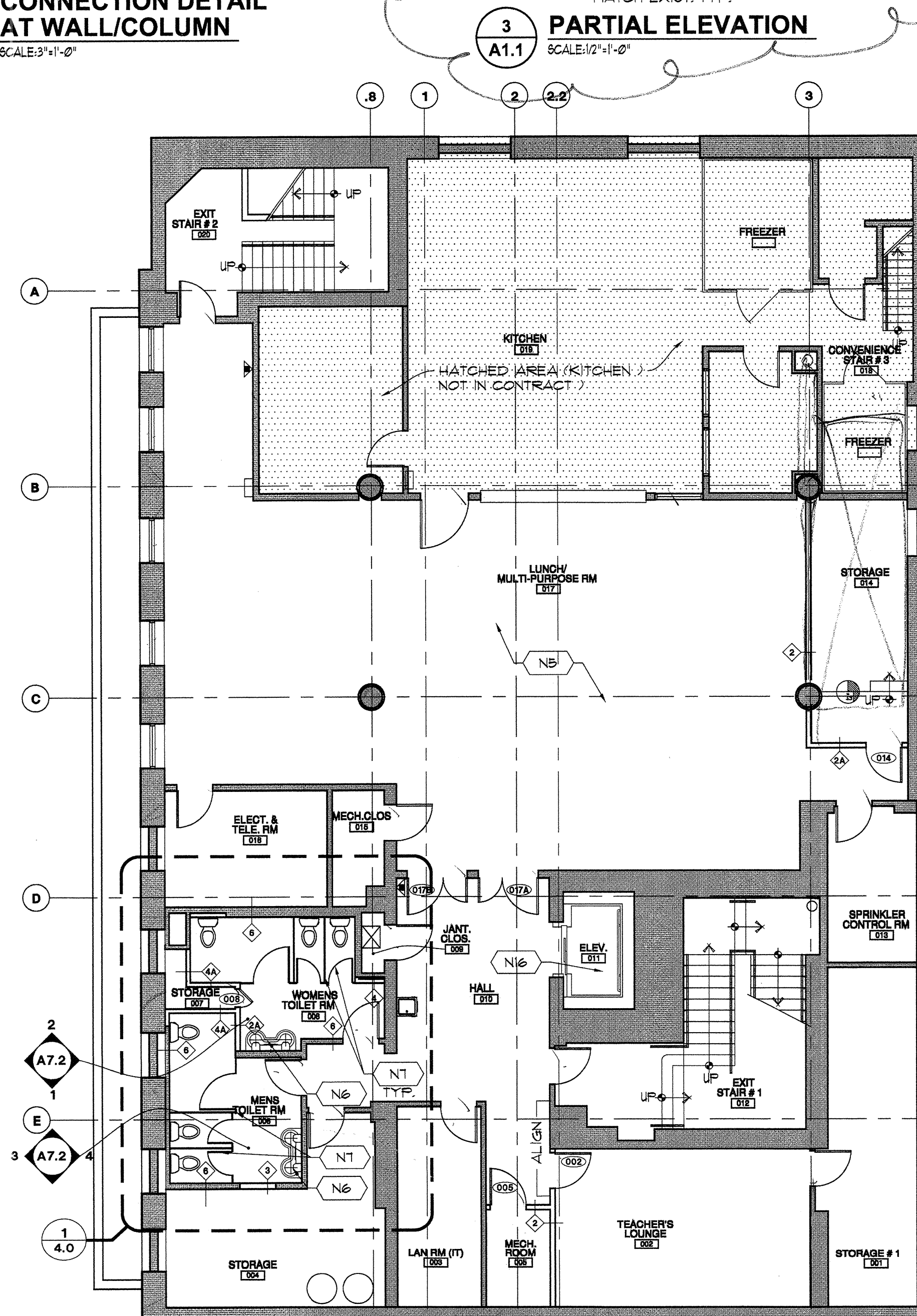
EXIST. WALLS TO REMAIN

NEW WALLS

TERRAZZO FLOORING



PROPOSED
1st FLOOR PLAN
SCALE: 1/8" = 1'-0"



**PROPOSED
LOWER LEVEL PLAN**
SCALE: 1/8" = 1'-0"

See sketch dated 4/23/13 on the back of sheet D1.6

ACG
ARCHITECTS

A PROFESSIONAL CORPORATION

1430 SPRINGHILL RD., SUITE 104
MCLEAN, VIRGINIA 22102
703.749.4545 FAX 703.749.9016

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CONSULTANTS:

HOSPITALITY HIGH SCHOOL INTERIOR MODIFICATIONS

1851 9TH STREET, NW
WASHINGTON, DC

20001

ISSUE:	DATE:
OWNER REVIEW	06.01.12
PROGRESS DD SUBMISSION	07.02.12
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3RD PARTY REVIEW/BID	09.17.12

Sheet Title

**PROPOSED LOWER LEVEL
& 1ST FLOOR PLAN**

Date	Scale
05.25.12	As Noted
Job No.	File
4353	4353-A1.1
Drawing No.	

A1.1

Board of Zoning Adjustment
District of Columbia
CASE NO.19057
EXHIBIT NO.14

GENERAL NEW WORK NOTES

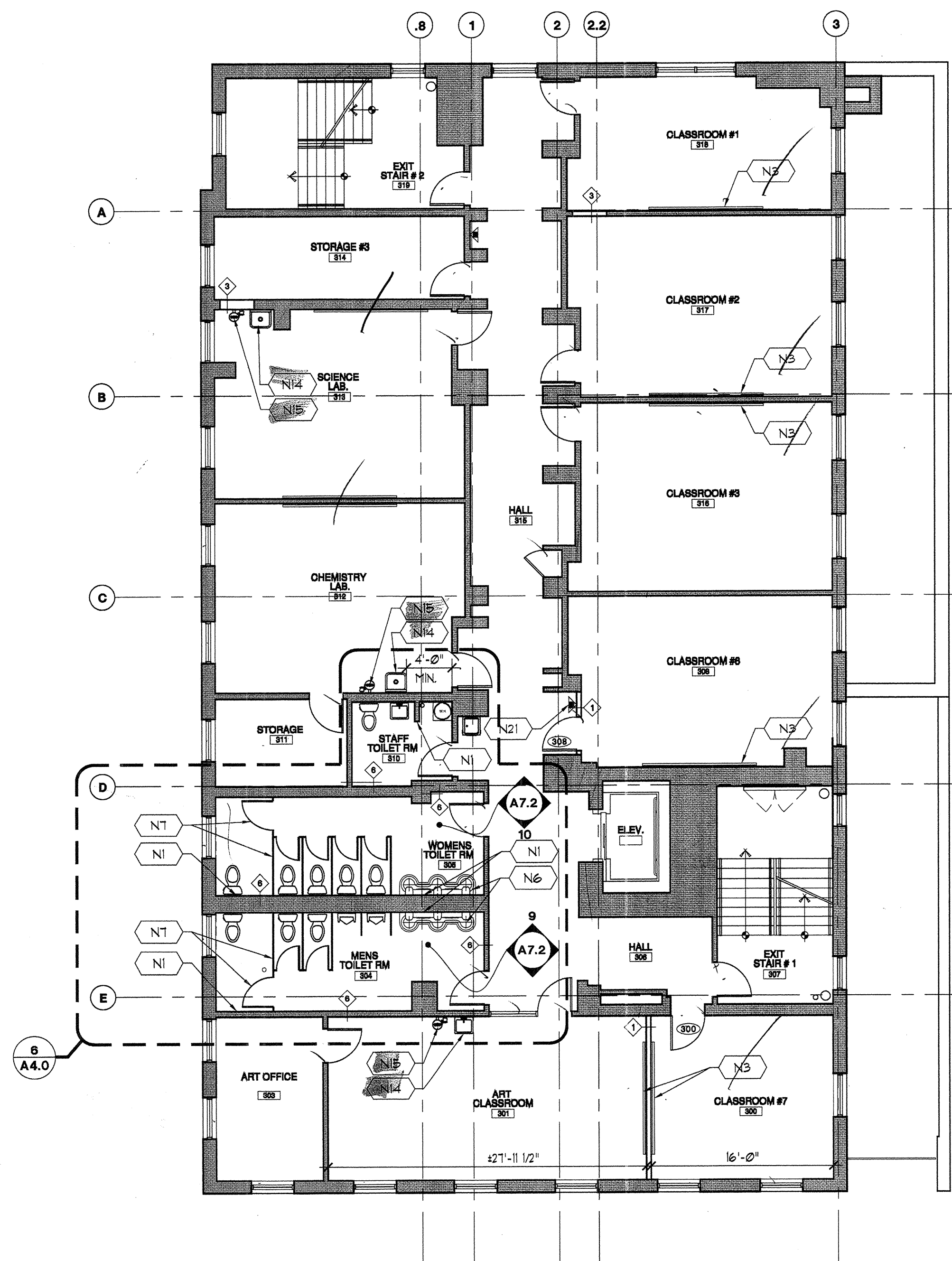
1. NEW CARPET AND PAD IN ALL OFFICES AND RECEPTION AREAS & CLASSROOM.
2. NEW VCT TILE IN THE REMAINING SPACES, UON.
3. NEW VINYL BASE WITHIN EXTENTS OF CONSTRUCTION UON.
4. NEW FURNITURE WITHIN THE LIMITS OF CONSTRUCTION OFCI.
5. PAINT ALL EXIST. WALLS & CEILING TO REMAIN AND NEW THROUGHOUT THE LIMITS OF CONSTRUCTION, TYP.
6. PATCH, REPAIR AND LEVEL FLOORS AS REQUIRED TO RECEIVE NEW FLOORING.
7. ADDITIONAL ELECTRICAL AND DATA OUTLETS TO BE PROVIDED AS REQUIRED TO SUPPORT THE PROPOSED FF&E LAYOUT WITHIN LIMITS OF CONSTRUCTION.
8. PAINT ALL EXIST. DOORS & FRAME TO REMAIN THROUGHOUT THE LIMITS OF CONSTRUCTION.
9. PAINT ALL EXIST. RAILING WITHIN THE LIMITS OF CONSTRUCTION.
10. ALL EXIST. OUTLETS, ITS WIRING TO REMAIN PROTECT DURING CONSTRUCTION, RELOCATE AS REQUIRED & INSTALL NEW COVER TO MATCH COLOR OF ADJACENT WALL.
11. NEW WINDOW BLINDS FOR ALL WINDOWS, TYP.
12. REPAIR ALL THE FINISHES AND PATCH DRYWALL IN AREAS WHERE NEW DUCTWORK IS INSTALLED, TYP.
13. EXIST. TOILETS ACCESSORIES TO REMAIN, TYP. RELOCATE AS REQUIRED.
14. PAINT ALL EXISTING & NEW EXPOSED ELECTRICAL CONDUITS TO MATCH CEILING/WALLS COLOR PAINT, TYP.

NEW WORK NOTES

- N1 NEW CERAMIC WALL TILES, TYP.
- N2 CLEAN AND REPAIR DAMAGED TERRAZZO FLOORING, TYP.
- N3 MARKERBOARD WITH ALUMINUM FRAME.
- N4 INSTALL NEW TEMPERED GLASS IN THE EXIST. DOOR
- N5 APPLY SEALER AND PAINT EXIST. CONC. FLOOR
- N6 TERRON EXPRESS LAVATORY SYSTEM
- N7 NEW TOILET PARTITION, TYP.
- N8 NEW ENTRY MAT.
- N9 FLASH PATCH TO LEVEL CONC. AFTER RAISED SLAB DEMO.
- N10 REPAIR & REFINISH EXIST. RECEPTION DECK WITH NEW LAMINATE, REPLACE EXIST. COMPOSITE TOP WITH NEW
- N11 NEW ATHLETIC FLOORING.
- N12 PAINTED METAL RAILING (CUT FROM EXIST.)
- N13 NEW WATER CLOSET.
- N14 NEW WALL MOUNTED SINK & DISPOSAL
- N15 NEW EYE WASH STATION
- N16 ELEVATOR CAB SCOPE OF WORK: REMOVE & REPLACE/REPAIR BENT ALUMINUM SUSPENDED CEILING SPLINE. PROVIDE NEW FROSTED ACRYLIC LENSES IN SUSPENDED CEILING (4 @ APPROX 2'X4' EA). RE-LAMP TUBE FLUORESCENT LIGHT FIXTURE RE-PAINT WALLS RE-PAINT WALLS INSTALL 4" VINYL BASE REPLACE VCT WITH NEW
- N17 METAL LOCKER OFCI
- N18 REPLACE P-LAM, INSTALL MISSING CABINETS DOOR (2), REPAIR MILLWORK HARDWARE AND INSTALL NEW CAM LOCKS ON ALL CABINETS DOORS, TYP.
- N19 NEW MECH. ROOF TOP UNITS & DUCTWORK
- N20 12" X 12" MIN. ACCESS DOOR (GC TO COORDINATE FINAL SIZE IN FIELD)
- N21 RELOCATED RECESSED FIRE EXTINGUISHER

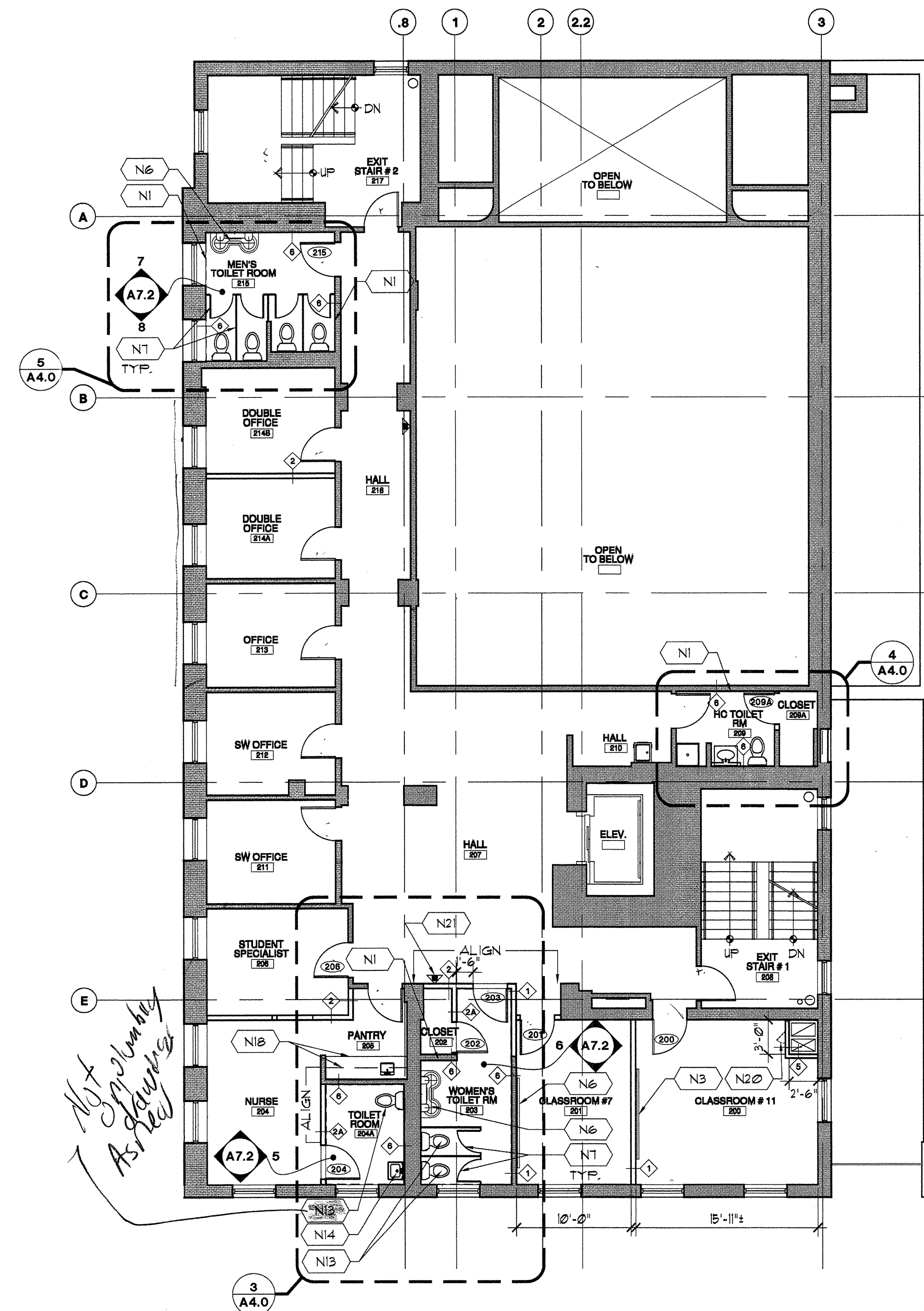
LEGEND

- EXIST. WALLS TO REMAIN
- NEW WALLS
- TERRAZZO FLOORING



**PROPOSED
3RD FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**PROPOSED
2ND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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Sheet Title

**PROPOSED 2ND & 3RD
FLOOR PLAN**

Date	Scale
05.25.12	As Noted
Job No.	File
4353	4353-A12
Drawing No.	

A1.2

GENERAL NEW WORK NOTES

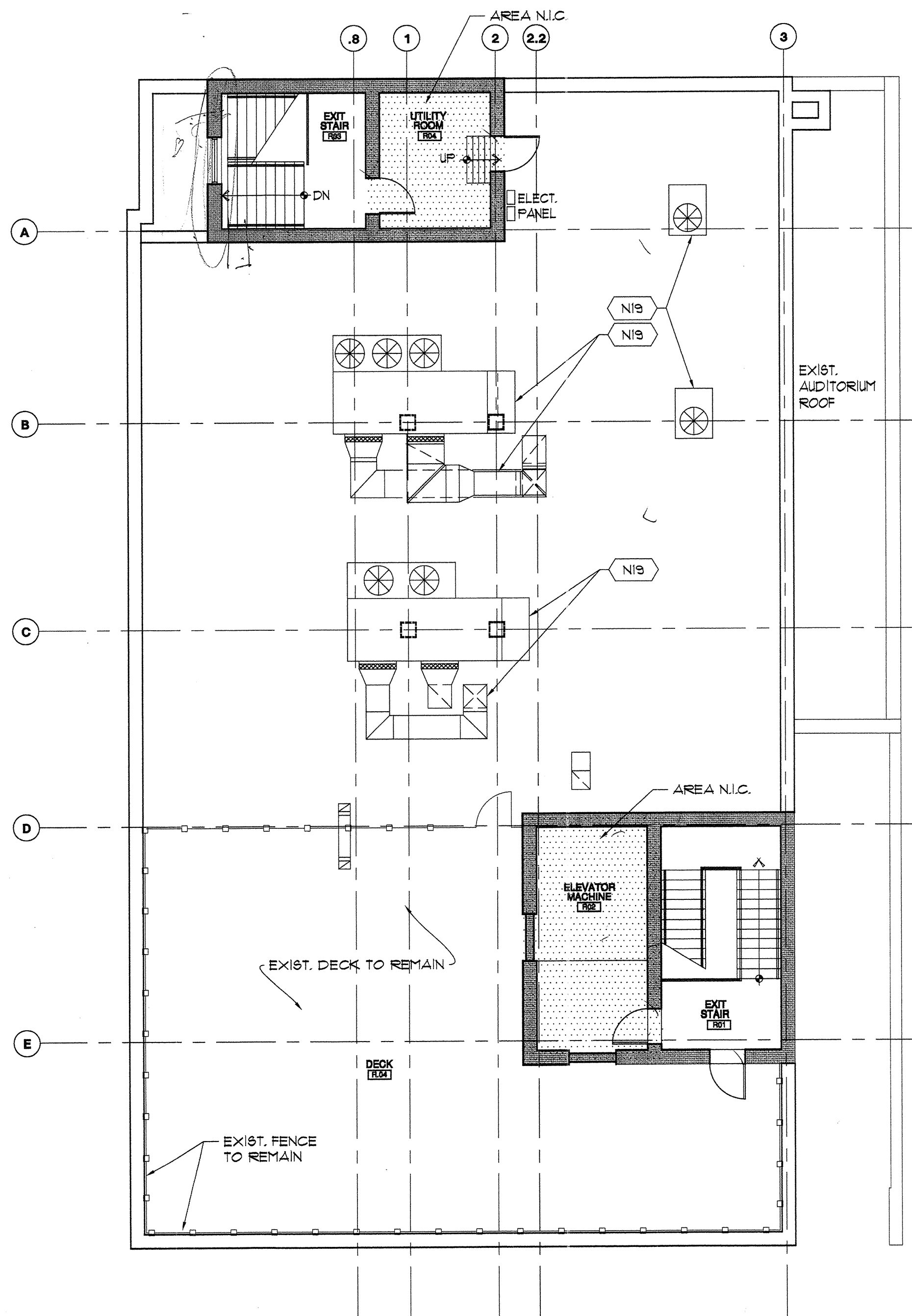
1. NEW CARPET AND PAD IN ALL OFFICES AND RECEPTION AREAS & CLASSROOM.
2. NEW VCT TILE IN THE REMAINING SPACES, UON.
3. NEW VINYL BASE WITHIN EXTENTS OF CONSTRUCTION UON.
4. NEW FURNITURE WITHIN THE LIMITS OF CONSTRUCTION OFCI.
5. PAINT ALL EXIST. WALLS & CEILINGS TO REMAIN AND NEW THROUGHOUT THE LIMITS OF CONSTRUCTION, TYP.
6. PATCH, REPAIR AND LEVEL FLOORS AS REQUIRED TO RECEIVE NEW FLOORING.
7. ADDITIONAL ELECTRICAL AND DATA OUTLETS TO BE PROVIDED AS REQUIRED TO SUPPORT THE PROPOSED FF&E LAYOUT WITHIN LIMITS OF CONSTRUCTION.
8. PAINT ALL EXIST. DOORS & FRAME TO REMAIN THROUGHOUT THE LIMITS OF CONSTRUCTION.
9. PAINT ALL EXIST. RAILING WITHIN THE LIMITS OF CONSTRUCTION.
10. ALL EXIST. OUTLETS, ITS WIRING, TO REMAIN PROTECT DURING CONSTRUCTION, RELOCATE AS REQUIRED & INSTALL NEW COVER TO MATCH COLOR OF ADJACENT WALL.
11. NEW WINDOW BLINDS FOR ALL WINDOWS, TYP.
12. REPAIR ALL THE FINISHES AND PATCH DRYWALL IN AREAS WHERE NEW DUCTWORK IS INSTALLED, TYP.
13. EXIST. TOILETS ACCESSORIES TO REMAIN, TYP. RELOCATE AS REQUIRED.
14. PAINT ALL EXISTING & NEW EXPOSED ELECTRICAL CONDUITS TO MATCH CEILING/WALLS COLOR PAINT, TYP.

NEW WORK NOTES

- N1 NEW CERAMIC WALL TILES, TYP.
- N2 CLEAN AND REPAIR DAMAGED TERRAZZO FLOORING, TYP.
- N3 MARKERBOARD WITH ALUMINUM FRAME.
- N4 INSTALL NEW TEMPERED GLASS IN THE EXIST. DOOR.
- N5 APPLY SEALER AND PAINT EXIST. CONC. FLOOR.
- N6 TERRON EXPRESS LAVATORY SYSTEM.
- N7 NEW TOILET PARTITION, TYP.
- N8 NEW ENTRY MAT.
- N9 FLASH PATCH TO LEVEL CONC. AFTER RAISED SLAB DEMO.
- N10 REPAIR & REFINISH EXIST. RECEPTION DECK WITH NEW LAMINATE, REPLACE EXIST. COMPOSITE TOP WITH NEW.
- N11 NEW ATHLETIC FLOORING.
- N12 PAINTED METAL RAILING (OUT FROM EXIST.).
- N13 NEW WATER CLOSET.
- N14 NEW WALL MOUNTED SINK & DISPOSAL.
- N15 NEW EYE WASH STATION.
- N16 ELEVATOR CAB SCOPE OF WORK:
REMOVE & REPLACE/REPAIR BENT ALUMINUM SUSPENDED CEILING
SPRINKLER. PROVIDE NEW FROSTED ACRYLIC LENSES IN SUSPENDED
CEILING (4 @ APPROX 2'X4' EA).
RE-LAMP TUBE FLUORESCENT LIGHT FIXTURE-RE-PAINT WALLS
RE-PAINT WALLS
INSTALL 4" VINYL BASE
REPLACE VCT WITH NEW
- N17 METAL LOCKER OFCI.
- N18 REPLACE P-LAM, INSTALL MISSING CABINETS DOOR (2), REPAIR
MILLWORK HARDWARE AND INSTALL NEW CAM LOCKS ON ALL CABINETS
DOORS, TYP.
- N19 NEW MECH. ROOF TOP UNITS & DUCTWORK.
- N20 12" X 12" MIN. ACCESS DOOR (GC TO COORDINATE FINAL SIZE IN FIELD).
- N21 RELOCATED RECESSED FIRE EXTINGUISHER.

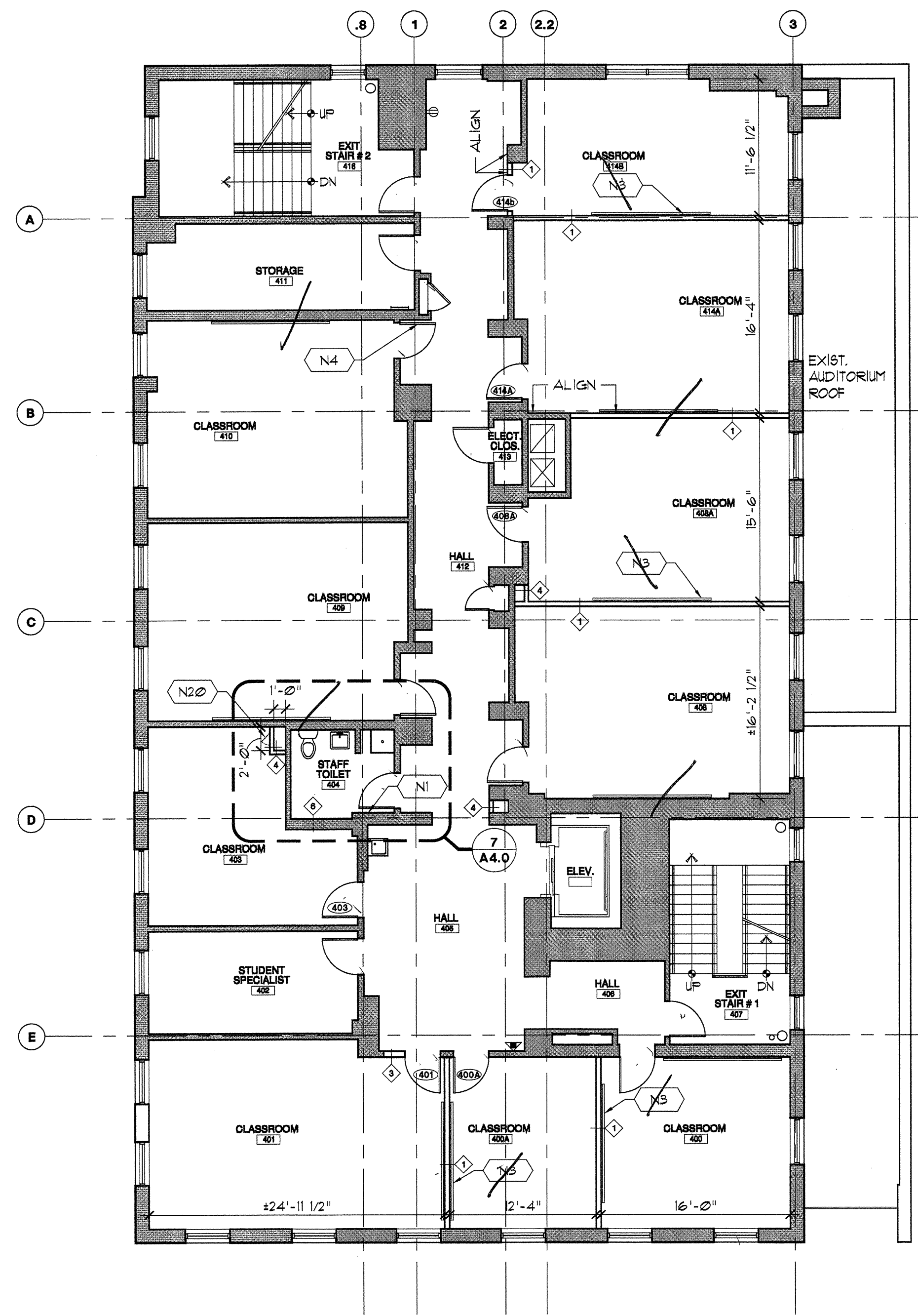
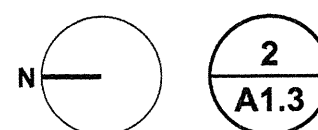
LEGEND

- EXIST. WALLS TO REMAIN
- NEW WALLS
- TERRAZZO FLOORING



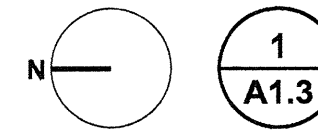
PROPOSED
ROOF PLAN

SCALE: 1/8" = 1'-0"



PROPOSED
4TH FLOOR PLAN

SCALE: 1/8" = 1'-0"



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Sheet Title
PROPOSED 4TH &
ROOF PLAN

Date	Scale
05.25.12	As Noted
Job No.	File
4353	4353-A1.3
Drawing No.	

A1.3