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November 16, 2015

Marnique Heath, Chairperson
Board of Zoning Adjustment
441 4th Street, NW
Suite 210S
Washington, DC 20001

**Re: Application No. 19056 – 3324 Dent Place NW (Square 1278, Lot 251)
Supplemental Submission of Plans**

Chairperson Heath and Honorable Members of the Board:

On behalf of CLYDECO 2015, LLC, the contract purchaser of the above-referenced property and the applicant in this case, enclosed please find the Supplemental Submission of Plans for the above-referenced application.

The attached plans are illustrative in nature and are to be used by the Board for review of the subject application for zoning relief. Following BZA approval of the subject application, final architectural plans will be submitted to the Old Georgetown Board for its review and approval.

Thank you for your attention to this matter.

Sincerely,

GRIFFIN, MURPHY,
MOLDENHAUER & WIGGINS,
LLP


By: Samantha Mazo

Board of Zoning Adjustment
District of Columbia
CASE NO. 19056
EXHIBIT NO. 40

Enclosure:

Cc: Advisory Neighborhood Commission 2E
c/o Ron Lewis, Chair and SMD 2E02 (via email)
Office of Planning (via email)
Citizens Association of Georgetown c/o Richard Hinds (via email)
John and Martha Walda (via email)
Dr. Robert Alloway and Dr. Susan Childs (via email)
Richard F. Saalfeld (via email)

APPLICABLE BUILDING CODES	
The project conforms to all applicable building codes and zoning regulations for the District of Columbia. All codes refer to the District of Columbia Construction Codes 2013 Supplement, Amendments and all revisions.	
BUILDING IRC 2012:	INTERNATIONAL RESIDENTIAL CODE - 2012, DCMR 12-02
MECHANICAL MEC 2012:	INTERNATIONAL MECHANICAL CODE - 2012, DCMR 12-03
FUEL IFC 2012:	INTERNATIONAL FUEL GAS CODE - 2012, DCMR 12-02
ELECTRICAL:	2005 NEC/NFPA 70 - NATIONAL ELECTRICAL CODE, DCMR12-03
FIRE IFC 2012:	INTERNATIONAL FIRE CODE - 2012, DCMR 12-04
ENERGY EICC 2012:	INTERNATIONAL ENERGY CONSERVATION CODE - 2012, DCMR 12-05
FUEL IFCG 2012:	INTERNATIONAL FUEL GAS CODE - 2012, DCMR 12-02
EXISTING BLDG IECB 2012:	INTERNATIONAL EXISTING BLDG CODE - 2012, DCMR 12-06
PROPERTY IPAC 2012:	INTERNATIONAL PROPERTY MAINTENANCE CODE - 2012, DCMR 12-03
AMENDMENTS:	DCMR12 BUILDING CODE REGULATIONS, 2009
DCMR12 TITLE 11 - ZONING REGULATIONS	
ADDITIONAL:	ADDITIONAL ACCESSIBLE AND USABLE BUILDINGS & FACILITIES

NEW CONSTRUCTION OF SINGLE FAMILY FULLY DETACHED DWELLING

CS	COVER PAGE
A00100	EXISTING SITE PLAN
A0100	PROPOSED SITE PLAN
A0101	FLOOR PLANS
A0201	NORTH ELEVATION
A0202	WEST ELEVATION
A0203	EAST ELEVATION
A0204	SOUTH ELEVATION
A0301	TYPICAL BUILDING SECTION

	A	GRID LINE
	X A-B	SECTION TAG
	X A-B X	INTERIOR ELEVATION
	X A-B X	EXTERIOR ELEVATION
	X A-B	DETAIL TAG
	C. 1-2"	ELEVATION TAG
		ELEVATION TAG
		WINDOW TAG
		DOOR TAG
	AA	WALL TYPE
		DRAWING TITLE

AC	ANCHOR BOLT	GR	GRADE	R	RISER
AB	AIR CONDITIONING	GR	GUTTER	RD	RAD RADIUS
ACT	ACoustical CEILING TILE	GWB	GYPsum WALL BOARD	RD	ROOF DRAIN
AD	ADJUSTABLE	H	HOSE BIB	RS	STEEL REINFORCING BAR
AF	AFTER FINISHED FLOOR	HC	HANDICAP	RC	RECEIVED
BD	BOARD	HD	HEAD	REFR	REFRIGERATOR
BT	BITUMINOUS	HDR	HEADER	REIN	REINFORCED
BLDG	BLOCKING	HDW	HARDWARE	REQ	REQUIRED
BLDG BUILDING		HGR	HANGER	REV	REVERSE
BM	BEAM	HGR	HORIZONTAL	RFQ	ROOFING
BFG	BOTTOM OF FOOTING	H	HEIGHT	RH	RIGHT HAND
BR	BRICK	HVT	HEATING	RM	ROOM
BRG	BEARING	HVAC	HEATING VENTILATING	RO	ROUGH OPENING
C	CORNER	HVAC	HEATING AND AIR CONDITIONING	RTG	RATING
CAB	CABINET	HW	HOT WATER	SC	SCHEDULE
CFM	CUBIC FEET PER MINUTE	HDW	HARDWOOD	SECTION	
CI	CAST IRON	ID	INSIDE DIAMETER	SF	SQUARE FOOT
CLG	CEILING	INS	INSULATION	SHT	SHEET
CLG CLG	CLG MASONRY UNIT	INT	INTERIOR	SH	SIMILAR
COL	COLUMN	J	JAMB	SMR	SMOOT LUMBER
CONC	CONCRETE	JST	JOIST		COMPANY DESIGNATION
CONC CONCRETE		KIT	KITCHEN	SPEC	SPECIFICATION
CPT	CARPET	LAM	LAMINATED	SPKR	SPRINKLER
CTR	CERAMIC TILE	LAV	LAVATORY	SQ	SQUARE
DEM	DEMOLITION	LBS	POUNDS	S&R	SHELF AND ROD
CH	CHIMNEY	LH	LEFT HAND	ST	STANDARD
CHD	CHIMNEY DOUBLE	LT	LIGHT	STL	STEEL
CEN	CENTRAL	MAX	MASONRY	STR	STRUCTURE
DN	DOWN	MAX	MAXIMUM	SUS	SUSPENDED
DR	DOOR	MCE	MCE MECHANICAL	SYS	SYSTEM
DNW	DOWNSPOUT	MEM	MEMBRANE	T	TREAD
DWG	DRAWING	MFR	MANUFACTURER	T & G	TONGUE AND GROOVE
E	EACH	MIN	MINIMUM	TEL	TELEPHONE
ENCL	ENCLOSURE	MISC	MISCELLANEOUS	TEMP	TEMPERATURE
EQ	EQUAL	MD	MOLDING	THK	THICK
EQPT	EQUIPMENT	MO	MASONRY OPENING	TOP	TOP OF FOOTING
EX	EXISTING	MTD	MOUNTED	TOP	TOP OF WALL
EXP	EXPANSION	MTL	METAL	TV	TELEVISION
EXT	EXTERIOR	NO	NUMBER	TY	TYPICAL
EXTR	EXTRUSION CLASS	NC	NOT TO SCALE	UNLESS	UNLESS OTHERWISE NOTED
FD	FLOOR DRAIN	OC	ON CENTER	VP	VAPOR BARRIER
FDN	FOUNDATION	OD	OUTSIDE DIAMETER	VCT	VINYL COMPOSITION TILE
FF	FOIL FACE	OPG	OPENING	VERT	VERTICAL
FIN	FINISH	OPP	OPPOSITE	VIN	VINYL TILE
FL	FLOOR	PC	PRECAST CONCRETE	W	WITH
FLG	FLASHING	PL	PLATE	WO	WOOD
FLM	FLAME RESISTANT MASONRY	PLAM	PLASTIC LAMINATE	W/O	WITHOUT
FS	FEEL SIZE	PLS	PLASTER	WP	WITHOUT
FT	FOOT OR FEET	PLN	PANEL	WR	WATER RESISTANT
FTG	FOOTING	PNT	PANT	WGT	WEIGHT
FLR	FLOOR	PAI	PAIR	WWF	WEIGHTED WIRE FABRIC
G	GAGE	PSF	POUNDS PER SQ FOOT		
GAL	GALVANIZED	PSI	POUNDS PER SQ INCH		
GC	GENERAL CONTRACTOR	PLV	POLYVINYL CHLORIDE		
		PLY	PLYWOOD		

The diagram illustrates three types of truck clearance:

- TYPE A UNIT - TYPICAL CURB SPACE:** Shows a truck with a height of 12' and a width of 8' 6" (8' 6" MIN). The clearance is 6'.
- TYPE B UNIT - CLEARANCE:** Shows a truck with a height of 12' and a width of 8'.
- TYPE C UNIT - CLEARANCE:** Shows a truck with a height of 12' and a width of 8'.

CONTRACTOR SHALL VERIFY AND FAMILIARIZE HIMSELF WITH ALL FIELD CONDITIONS PRIOR TO SUBMITTING PROPOSALS AND COMMENCING CONSTRUCTION. FIELD CONDITIONS NOT AGREEING WITH CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & DESIGNER PRIOR TO BEGINNING WORK. ALL ADDITIONAL WORK NEEDED TO COMPLETE THE PROPOSED PROJECT WHICH IS NOT INDICATED ON DRAWINGS SHALL RECEIVE PRIOR AUTHORIZATION FROM THE HOMEOWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS INDICATED ON DRAWINGS OR SPECIFICATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS INDICATED ON DRAWINGS OR SPECIFICATIONS.

ALL MANUFACTURED / PREFABRICATED ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE WRITTEN MANUFACTURES SPECIFICATIONS.

JOB SITE SHALL BE KEPT IN A CLEAN AND ORDERLY FASHION AT THE END OF EACH DAYS WORK. ALL WARRANTIES, GUARANTIES AND MANUFACTURERS INSTRUCTIONS SHALL BE PRESENTED TO THE HOMEOWNER IN A COMPLETE AND ORDERLY MANNER AT THE CONCLUSION OF CONSTRUCTION. ALL WORK PERFORMED SHALL BE EXECUTED TO GREATER THAN STANDARD BUILDING QUALITY AND SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS OR ANYONE PERFORMING WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPLICABLE RESIDENTIAL CODES, REGULATIONS, AND CONTRACT DOCUMENTS.

BY A LICENSED GENERAL CONTRACTOR ENTERING INTO AGREEMENT WITH THE HOMEOWNER/PROPERTY OWNER, HE AGREES TO KEEP CURRENT ALL INSURANCES, WORKER'S COMPENSATION AS REQUIRED, AND AGREES TO INDEMNIFY/HOLD HARMLESS THE HOMEOWNER/ PROPERTY OWNER FROM ANY ACCIDENTS OCCURRING FROM THE SCOPE OF WORK REQUIRED TO COMPLETE THE PROPOSED PROJECT.

CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING & DISPOSING OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM WORK AT THE JOB SITE. CONTRACTOR SHALL PROVIDE PROTECTION BETWEEN THE NEW CONSTRUCTION AND THE EXISTING BUILDING AND TAKE ADEQUATE MEASURES TO KEEP DUST TO A MINIMUM. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAN THE ENTIRE PREMISES AND TURN OVER ALL KEYS USED DURING CONSTRUCTION, OLD AND NEW. SEE NOTE ABOVE.

ALL EXISTING CONDITIONS SHOULD BE FIELD VERIFIED INCLUDING DIMENSIONS AND STRUCTURE. SOME VARIATIONS COULD EXIST AND IT IS THE RESPONSIBILITY OF OTHERS TO CONFIRM THE INFORMATION HEREIN.

BUILDING CLASSIFICATION:	
USE GROUP (IBC 2012 - 310)	R-2
TYPE OF CONSTRUCTION (IBC 2012 - 602)	TYPE VA

ZONING DATA	EXISTING	PROPOSED
SQUARE:	1278	1278
LOT:	0251	0851
ZONE:	R-3	R-3
YEAR BUILT	RAZED	2015
LOT AREA	5,250 sq. ft.	5,250 sq. ft.
GFA	N/A	3,800 sq. ft.
F.A.R.	N/A	1.4
BUILDING AREA	N/A	1,200 sq. ft.
LOT OCCUPANCY	N/A	22.8%
NO. STORIES ABOVE GRADE	N/A	3
BUILDING HEIGHT	N/A	33-5 1/2"
NO. OF UNITS	1	1
SIDE YARD SET BACKS	N/A	7'-6" EACH SIDE
REAR YARD SET BACK	N/A	8'-0"

KC/DC STUDIOS

RECEIVED

www.elsevier.com

33324 DENT PLACE, NW

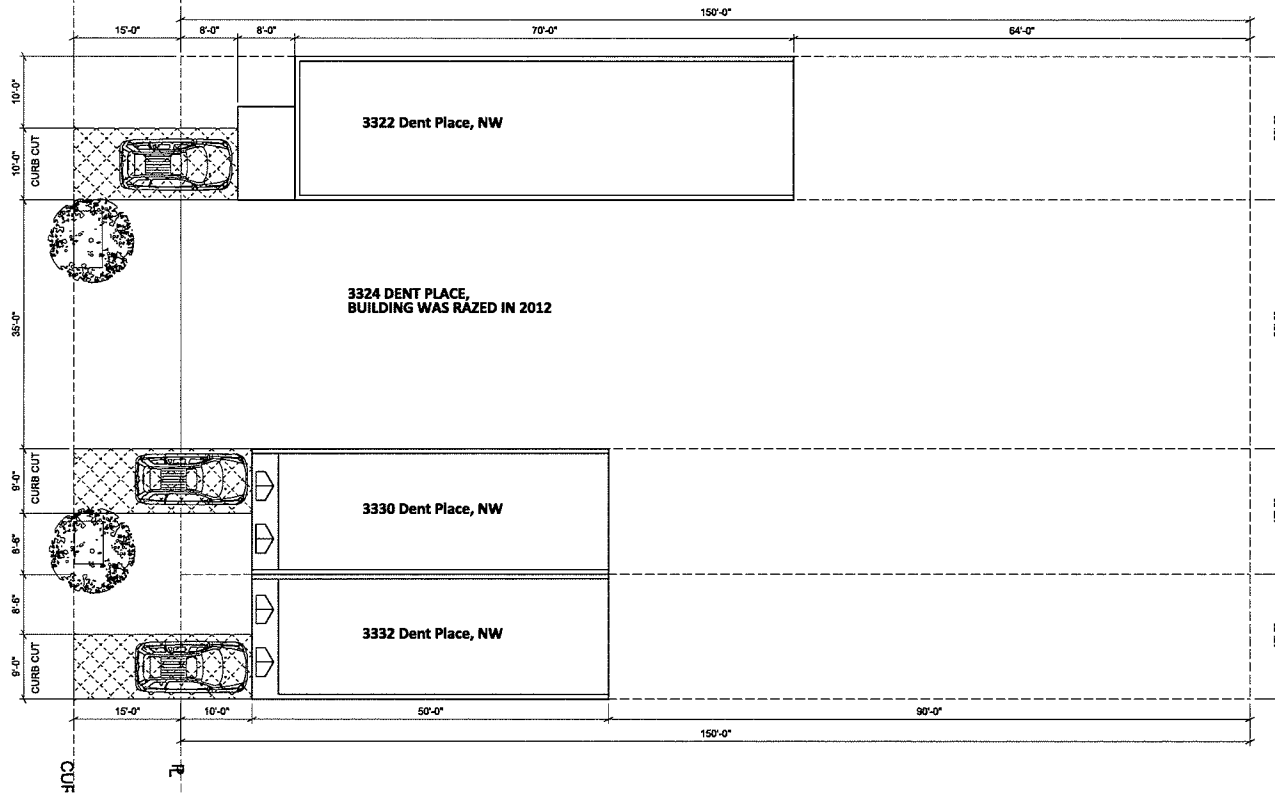
3324 DENT PLACE, NW
WASHINGTON, DC 20007
LOT:251 SQUARE:1278

SCALE: AS NOTED

DATE: 11/15/2015

PROJECT NUMBER: 3324 DENT

CS



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0" 24X36 LAYOUT

 EXISTING CURB CUTS

KC/DC STUDIOS

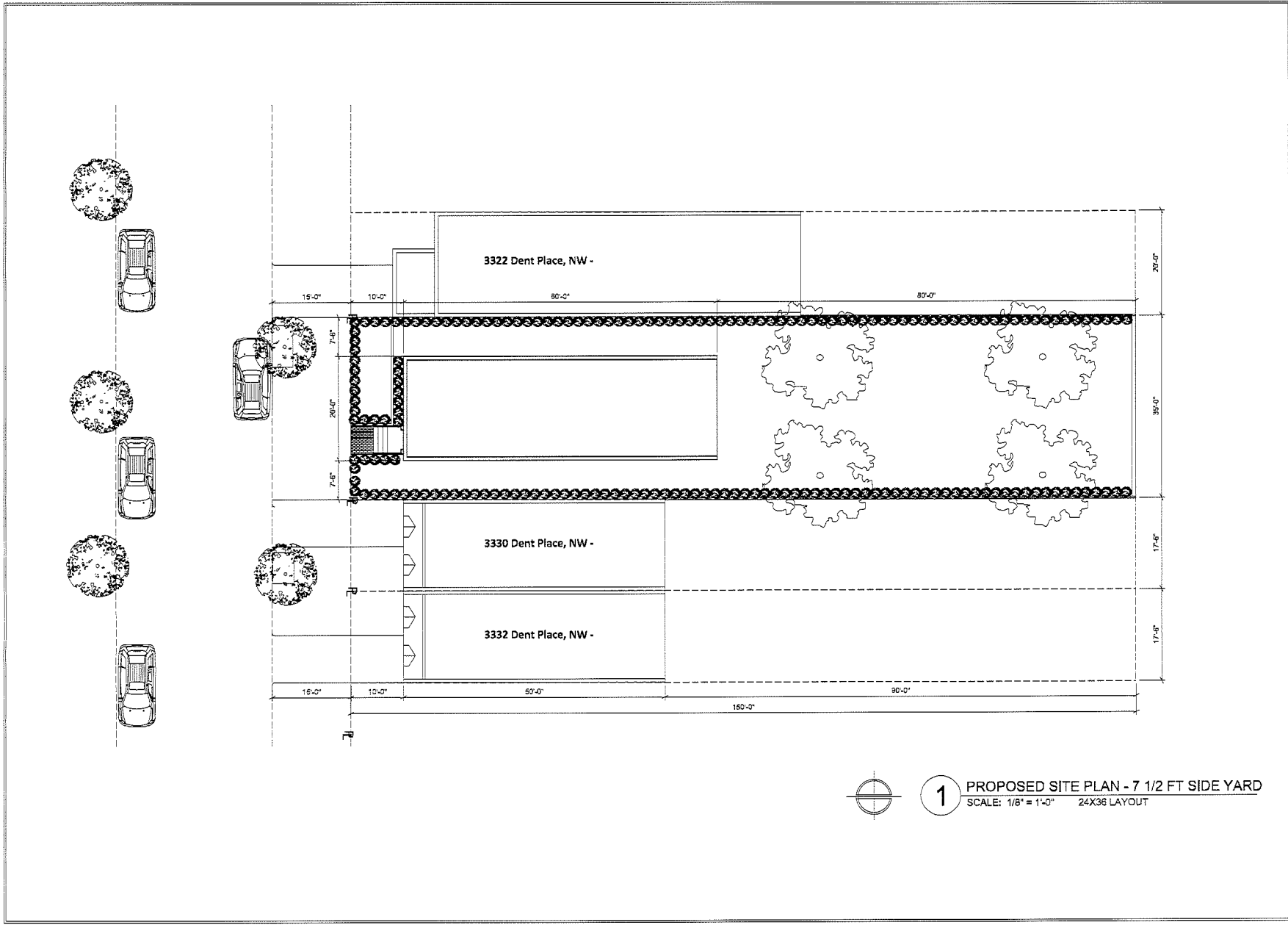
ARCHITECTS - INTERIORS - LANDSCAPE ARCHITECTS
4000 14TH AVE NW
SUITE 200
WASHINGTON, DC 20007
(202) 462-1000
www.kcdcstudios.com

3324 DENT PLACE, NW

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WASHINGTON, DC 20007
LOT: 251 SQUARE: 1278

SCALE: AS NOTED
DATE: 11/15/2015
PROJECT NUMBER: 3324 DENT

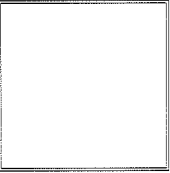
AD101



1 PROPOSED SITE PLAN - 7 1/2 FT SIDE YARD
 SCALE: 1/8" = 1'-0" 24X36 LAYOUT

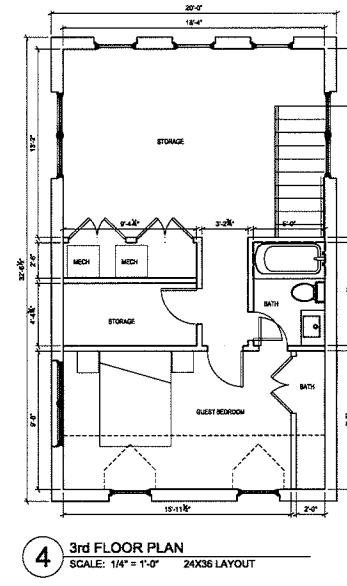
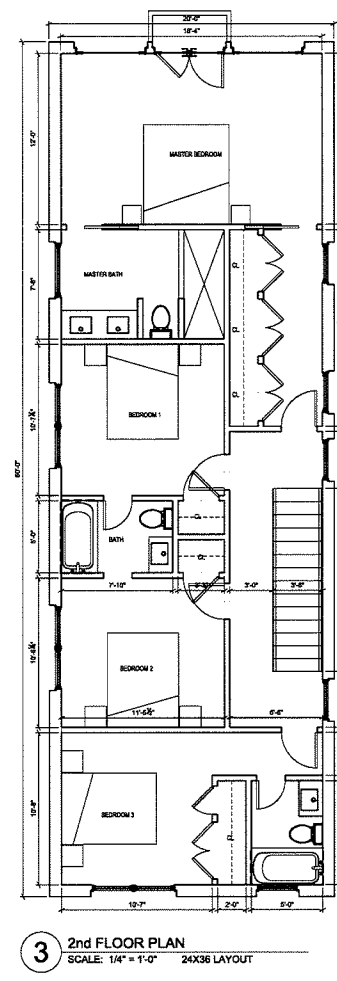
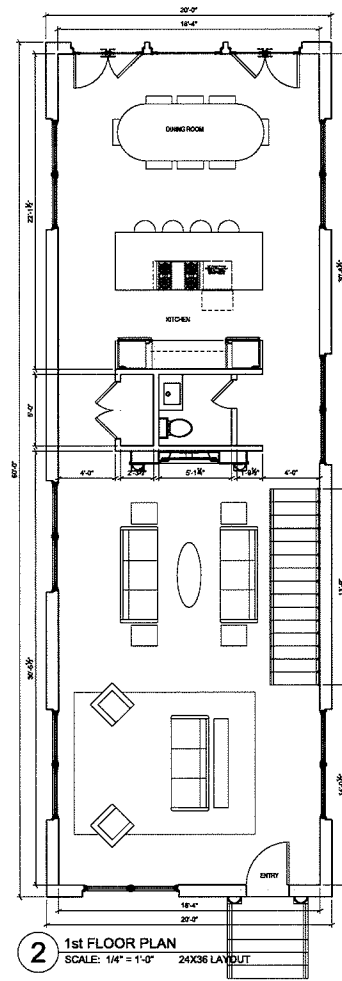
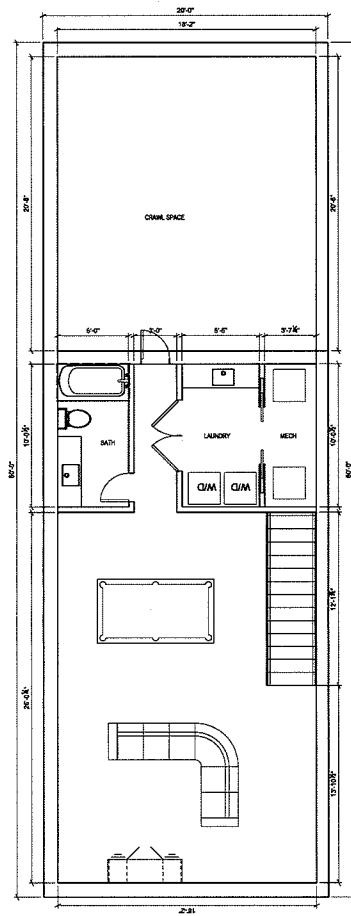
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 ARCHITECTS
 1100 15th St NW, Suite 200
 Washington, DC 20004
 Tel: 202.462.1100
 www.kcdcstudios.com

3324 DENT PLACE, NW
 3324 DENT PLACE, NW
 WASHINGTON, DC 20007
 LOT: 251 SQUARE: 1278



SCALE: AS NOTED
 DATE: 10/15/2016
 PROJECT NUMBER: 3324 DENT

A0103



KC/DC STUDIOS
ARCHITECTS - INTERIORS - EXTERIORS - LANDSCAPE ARCHITECTS
4 HUNTERS
1000 15th St NW, Suite 1000
WASHINGTON, DC 20004

3324 DENT PLACE, NW
3324 DENT PLACE, NW
WASHINGTON, DC 20007
LOT: 251 SQUARE: 1278

SCALE: AS NOTED
DATE: 11/15/2015
PROJECT NUMBER: 3324 DENT

A0101



1 NORTH ELEVATION
SCALE: 3/8" = 1'-0" 24X36 LAYOUT

KC/DC STUDIOS
ARCHITECTS - INTERIORS - EXTERIORS
1000 14TH ST NW
SUITE 200
WASHINGTON, DC 20005

3324 DENT PLACE, NW
3324 DENT PLACE, NW
WASHINGTON, DC 20007
LOT: 251 SQUARE: 1278

SCALE: AS NOTED
DATE: 11/16/2015
PROJECT NUMBER: 3324 DENT

A0201



KC/DC STUDIOS
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1100 14TH ST, NW
WASHINGTON, DC 20005

3324 DENT PLACE, NW

3324 DENT PLACE, NW
WASHINGTON, DC 20007
LOT: 251 SQUARE: 1278

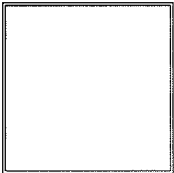
SCALE: AS NOTED
DATE: 11/15/2015
PROJECT NUMBER: 3324 DENT

A0202



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ARCHITECTS - INTERIORS - LANDSCAPE ARCHITECTS
1100 11TH STREET, NW
WASHINGTON, DC 20004

3324 DENT PLACE, NW
3324 DENT PLACE, NW
WASHINGTON, DC 20007
LOT: 251 SQUARE: 1278



SCALE: AS NOTED
DATE: 11/15/2015
PROJECT NUMBER: 3324 DENT

A0203



1 SOUTH ELEVATION
SCALE: 3/8" = 1'-0" 24X36 LAYOUT

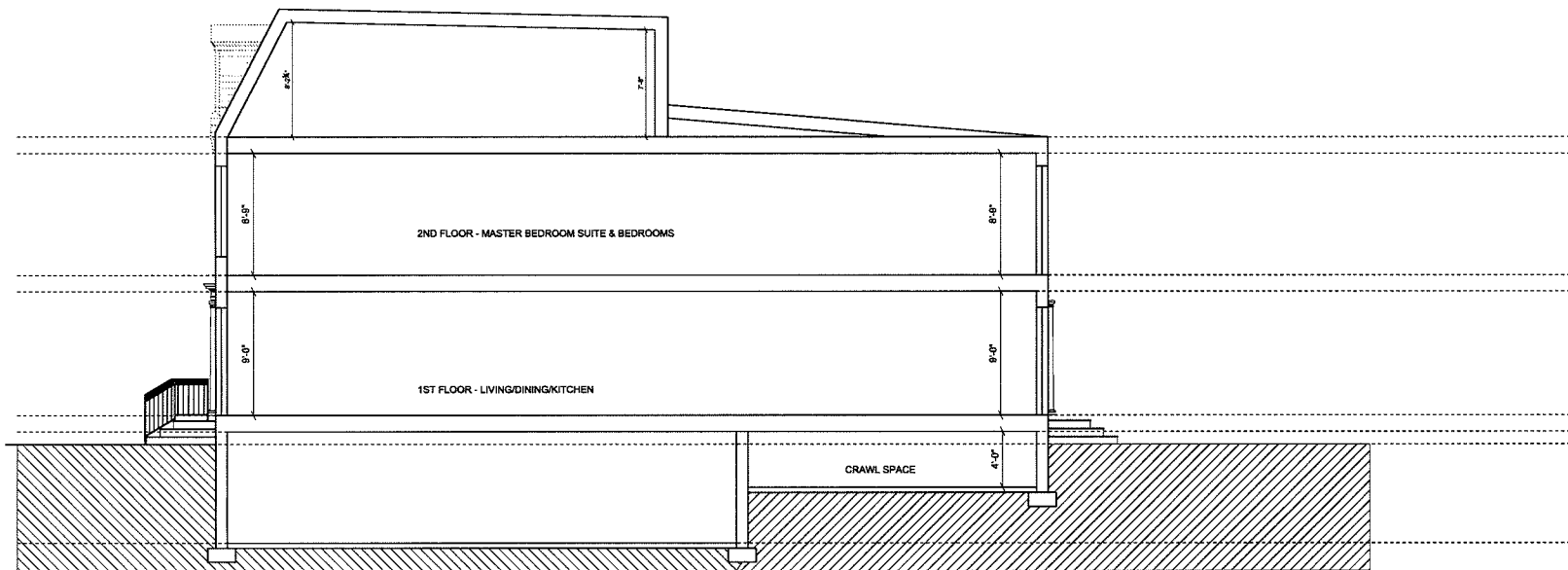
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ARCHITECTS
1000 17TH ST NW
SUITE 200
WASHINGTON, DC 20036

3324 DENT PLACE, NW

3324 DENT PLACE, NW
WASHINGTON, DC 20007
LOT: 251 SQUARE: 1278

SCALE: AS NOTED
DATE: 11/15/2015
PROJECT NUMBER: 3324 DENT

A0204



1 BUILDING SECTION
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

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ARCHITECTS - INTERIORS - EXTERIORS - SUSTAINABLE DESIGN

1100 14TH ST NW
WASHINGTON, DC 20005
202.462.1100

3324 DENT PLACE, NW

3324 DENT PLACE, NW
WASHINGTON, DC 20007
LOT: 251 SQUARE: 1278

SCALE: AS NOTED

DATE: 11/15/2015

PROJECT NUMBER: 3324 DENT

A0301