

GENERAL NOTES:

1. THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, AND THE CONDITIONS OF THE CONSTRUCTION CONTRACT.
2. THE CONTRACT DOCUMENTS ARE THE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE LANDLORD OR TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
3. THE WORK WILL CONFORM WITH THE REQUIREMENTS OF THE IBC CODE, AND THE REQUIREMENTS OF ALL OTHER AGENCIES HAVING JURISDICTION.
4. ARCHITECT MEANS DBMC DESIGN LLP.
5. TENANT OR OWNER MEANS WAYNE LIN AND CHRISTIE BALCH.
6. "FURNISH" MEANS SUPPLY ONLY, FOR OTHERS TO PUT INTO PLACE.
7. "INSTALL" MEANS SUPPLIED BY OTHERS, TO BE INSTALLED BY CONTRACTOR.
8. "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.
9. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.
10. "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED PRIOR TO RELATED WORK BEING STARTED.
12. DO NOT SCALE DRAWINGS, DIMENSTONS GOVERN. DIMENSTONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED +/- G.C. TO VERIFY DIMENSIONS WITH FIELD CONDITIONS, IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN INDIVIDUAL DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
13. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FACE OF WOOD STUD, EXCEPT AS NOTED.
14. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB OR SUBFLOOR, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR, (A.F.F.).
15. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, SQUARE, WITH SMOOTH, CLEAN, UNIFORM IN APPEARANCE AND WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTINGS SHALL BE TIGHT FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
16. CUT AND FIT COMPONENTS FOR ALTERATION OF EXISTING WORK AND INSTALLATION OF NEW WORK. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.

ABBREVIATIONS:

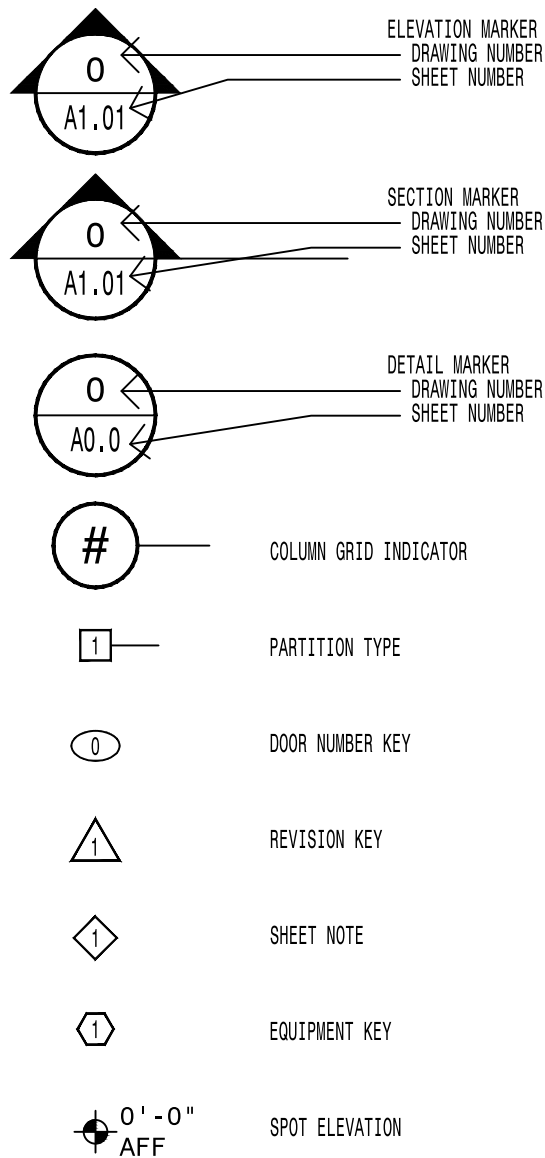
& ∠ @ ⓪ Ø ⊥ #	AND ANGLE AT CENTERLINE DIAMETER OR ROUND PERPENDICULAR NUMBER OR POUND	DBL. DEPT. DTL. DIA. DIM. DISP. DN. D.O. DR. DRN. DS. DNG./ DWGS. DNR. E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. EQ. EQUIP. EXP. EXIST. EXT.	DOUBLE DEPARTMENT DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAIN DOWNSPOUT DRAWINGS DRAWER EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EDGE OF SLAB EQUAL EQUIPMENT ELECTRICAL WATER COOLER EXTERIOR	F.S. FT. FTG. FURN. FURR. FUT. F.V.C. GA. GALV. G.B. GL. GND. GR. GWB. H.B. H.C. HCP. HD. HDW. HND. HGT. H.W. HNDRL. HORIZ. HR. H.V.A.C. I.D. IN. INCAN. INCL. INFO. INSUL. INT. JAN. JT. K.D. KIT K.O. K.P.	FULL SIZE FOOT OR FEET FOOTING FURNITURE FURRING FUTURE FIRE VALVE CABINET GAUGE GALVANIZED GRAB BAR GLASS GROUND GRADE GYPSUM WALLBOARD HOSE BIBB HOLLOW CORE HANDICAPPED HEAD HARDWARE HARDWOOD HEIGHT HOLLOW METAL HANDRAIL HORIZONTAL HOUR HEATING, VENTILATING & AIR CONDITIONING INSIDE DIAMETER/DIMENSION INCH INCANDESCENT INCLUDE(D) (ING) INFORMATION INSULATION INTERIOR JANITOR JOINT KNOCK DOWN KITCHEN KNOCKOUT KICK PLATE	L. LAB. LAM. LAV. LBS. LKR. LT. MAS. MATL. MAX. M.B. M.C.T. M.R. MDF. MECH. MTL. MFR. MIN. MISC. MTD. MUL. MLDG. N. N.I.C. NO. NOM. NTS. OA. O.C. O.D. OFF. O.H. OPNG. OPP. OVD. OZ. P. PL. P.LAM. PLAS. PLBG. PLYWD.	LENGTH LABORATORY LAMINATE LAVATORY POUNDS LOCKER LIGHT MASONRY MATERIAL MAXIMUM MOP BASIN METALIC CEILING TILE MOISTURE RESISTANT MEDIUM DENSITY FIBERBOARD MECHANICAL METAL MANUFACTURER MINIMUM MISCELLANEOUS MOUNTED MULLION MOULDING NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE ON CENTER OUTSIDE DIAMETER/DIMENSION OFFICE OPPOSITE HAND OPENING OPPOSITE OVERHEAD OUNCE PAINT PLATE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD	PNL. POL. PRTN. PT. PTD. Q.T. R. R.C.P. R.D. REF. REFR. REINF. REQ. RESIL. REV. RFL. R.L. RM. RND. R.O. RTN. S. SAFB. SAN. S.C. SCHED. SECT. S.F. S.H. SHT. SHWR. SIM. SPEC. SPKR. SQ. S. STL. STA. STD. STL. STOR. STRUC. SUSP. SYM. SYS.	PANEL POLISHED PARTITION POINT PAINTED QUARRY TILE RISER/RADIUS REFLECTED CEILING PLAN ROOF DRAIN REFERENCE REFRIGERATOR REINFORCED REQUIRED RESILIENT REVISION REFLECTED RAIN LEADER ROOM ROUND ROUGH OPENING RETURN SOUTH SOUND ATTENUATION FIRE BLANKET SANITARY SOLID CORE SCHEDULE SECTION SQUARE FOOT (FEET) SPRINKLER HEAD SHEET SHOWER SIMILAR SPECIFICATION SPEAKER SQUARE STAINLESS STEEL STATION STANDARD STEEL STORAGE STRUCTURE SUSPENDED SYMMETRICAL SYSTEM	T. T.B. TEL. TEMP. TER. T. & G. THK. THRU. T.O.A. T.O.C. T.O.S. TV. TYP. TW UNF. U.O.N. U.N.O. U.L. VB. VCT. VERT. VEST. V.I.F. V.W.C. W. W/ W.C. WD. W/O WP. WSCt. WT.	TREAD TOWEL BAR TELEPHONE TEMPERED TERRAZZO TONGUE & GROOVE THICK THROUGH TOP OF ACCESS FLOOR TOP OF CONCRETE TOP OF STEEL/TOP OF SLAB TELEVISION TYPICAL TOP OF WALL UNFINISHED UNLESS OTHERWISE NOTED UNLESS NOTED OTHERWISE UNDERWRITER'S LABORATORY VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WEST WITH WALL COVERING WOOD WITHOUT WATERPROOF WAINSCOT WEIGHT
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17. COORDINATE AND PROVIDE APPROPRIATE STRUCTURAL BLOCKING/BACKING AND REINFORCING IN PARTITIONS BEHIND ALL WALL MOUNTED ITEMS, WOOD GROUNDS, AND CABINETRY WOOD BLOCKING. ALL CONCEALED WOOD AND WOOD BLOCKING TO BE SOLID FIRE RESISTANT WOOD.
18. MAKE ALL NECESSARY PROVISIONS FOR ITEMS TO BE FURNISHED OR INSTALLED BY TENANT. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. GENERAL CONTRACTOR TO COORDINATE N.I.C. ITEMS WITH APPROPRIATE TRADES.
19. GENERAL CONTRACTOR SHALL REVIEW THE BASE BUILDING CONTRACT DOCUMENTS AND SHALL COMPLY WITH ALL BASE BUILDING REQUIREMENTS AND DESIGN CRITERIA.
20. THE GENERAL CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN ANY LOCATIONS AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCT WORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. WHAT ELEMENTS ARE TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO NOT FORSEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURE.
21. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE CONTRACTOR AND SUB-CONTRACTORS SHALL FULLY COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, SOFFITS, MULLIONS, RAISED FLOOR GRIDS, HOUSEKEEPING AND UTILITY EQUIPMENT PADS, ELECTRICAL/ TELEPHONE OUTLETS, LIGHT SWITCHES, THERMOSTATS, AND OTHER MAJOR ELEMENTS WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
22. GENERAL CONTRACTOR IS RESONSIBLE FOR AND SHALL PROVIDE PROTECTION FOR ANY EXISTING FINISHES INCLUDING ELEVATORS, LOBBIES, AND CORRIDORS OF THE BASE BUILDING.
23. MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION SYSTEMS, SHOP DRAWINGS AND LAYOUTS SHALL BE SUBMITTED AS SOON AS POSSIBLE AFTER AWARD OF CONTRACT TO THE ARCHITECT ALLOWING ADEQUATE TIME FOR REVIEW. NO CONSTRUCTION SHALL PROCEED UNTIL THE ARCHITECT SUBMITS APPROVAL OF THESE DRAWINGS.
24. ALL GLASS AND GLAZING USED IN THIS PROJECT SHALL CONFORM TO REQUIREMENTS OF THE CONSUMER PRODUCT SAFETY COMMISSION AND ALL FEDERAL REQUIREMENTS.
25. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS, INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.
26. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
27. EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.

28. WITHIN FIVE (5) DAYS FROM CONTRACT DATE, PREPARE AND SUBMIT AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK, WITH SUB-SCHEDULES OF RELATED ACTIVITIES WHICH MAY AFFECT THE PROGRESS.
29. ALL WORK SHALL COMPLY WITH APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL COMPLY. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO THE CURRENT APPLICABLE EDITIONS OR PUBLICATIONS LISTED UNDER THE BUILDING DATA. APPLICABLE CODES ON COVER SHEET.
30. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE/SHE SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
31. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD EQUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.
32. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDINGLY TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR: THEY DO NOT ILLUSTRATE EVERY SUCH CONDITION AND DETAIL.
33. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION: NOR WILL PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT WHETHER PARTIAL OR FINAL SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
34. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL TITLE OF A SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECTS AS THOUGH PRINTED IN CONTRACT DOCUMENTS.
35. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN "COMMON PRACTICE" OR "COMMON USAGE" WOULD REQUIRE.
36. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTE.

37. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROCESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNER MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OF HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.
38. WITH REFERENCE TO REFLECTED CEILINGS, CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED AND PREPARE COMPOSITE SHOP DRAWINGS TO INSURE LOCATIONS AND CLEARANCES FOR FIXTURES, DUCTS, CEILINGS, SPRINKLER HEADS, GRILLES, ETC., NECESSARY TO MAINTAIN THE SPECIFIED FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR AS NOTED ON THE DRAWINGS. CLARIFY CONFLICTS AND LOCATIONS WITH THE ARCHITECT BEFORE PROCEEDING.
39. ALL TELEPHONE AND DATA WORK SHALL BE COORDINATED BY THE CONTRACTOR WITH TENANT OR TENANTS REPRESENTATIVE.
40. ARCHITECT, ACTING AS THE OWNER'S DESIGNATED AGENT FOR DESIGN OF THIS PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE BY ARCHITECT. THIS FUNCTION OF THE ARCHITECT WILL APPLY BOTH TO THE CONTRACT AS INITIALLY SIGNED, AND TO CHANGES TO THE CONTRACT BY MODIFICATION DURING PROGRESS OF WORK.
41. REFERENCES TO MAKES, BRANDS, MODELS, ETC., IS TO ESTABLISH TYPE AND QUALITY DESIRED: SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE OR WHEN MADE ACCORDING TO PROCEDURES FOR SUBSTITUTIONS.
42. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT OF HIS WORK. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.
43. CORING, DRILLING OR OTHER SUCH WORK IN OR ADJACENT TO OCCUPIED AREAS SHALL BE PERFORMED AT OTHER THAN NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS UOTHERWISE INDICATED.
44. UTILITY OUTAGES SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED.
45. ALL WORK IN OCCUPIED AREAS SHALL BE PERFORMED AT OTHER THAN NORMAL WORKING HOURS UNLESS OTHERWISE INDICATED. THE AFFECTED PREMISES SHALL BE CLEAN AND RESTORED TO NORMAL OPERATING CONDITIONS UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE, ODOR, NUISANCE AND THE LIKE TO THE PREMISES AND OCCUPANCY.
46. DISCREPANCIES BETWEEN GENERAL, PLAN OR SHEET NOTES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION OR RESOLUTION.
47. OCCASIONAL REFERENCE TO ONE OR MORE SPECIFIC NOTES WITHIN THE GENERAL PLAN OR SHEET NOTES SHALL NOT IN ANY WAY DIMINISH OR ELIMINATE THE FULL FORCE AND EFFECT OF ALL OTHER NOTES, IN RELATION TO ONE ANOTHER OR NOT SPECIFICALLY REFERENCED.

DRAWING SYMBOLS:



LIN & BALCH RESIDENCE

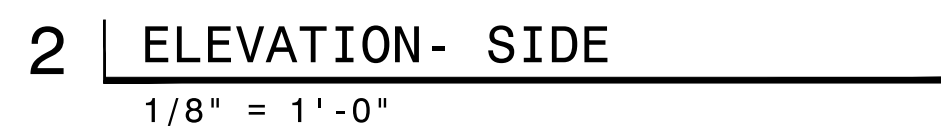
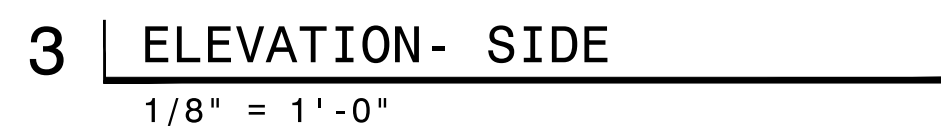
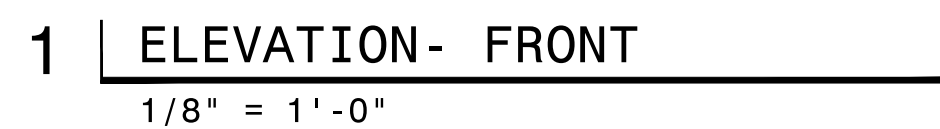
6812 LAUREL STREET, NW
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GENERAL NOTES

A0.1
Board Online Adjustment
District of Columbia
CASE NO.19045
EXHIBIT NO.9



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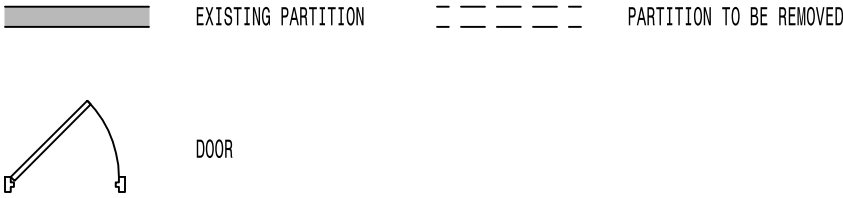
1	PERMIT SET	02/12/15
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DATE	10/22/14
PROJECT NO:	2014-030
DRAWN BY:	DBMC
CHECKED BY:	DBMC

EXISTING ELEVATIONS

A0.3

DEMO PLAN LEGEND



GENERAL NOTES

- 1. PATCH AND REPAIR OR REPLACE ALL EXISTING WALL FINISHES SCHEDULED TO REMAIN
- 2. CONTRACTOR SHALL FIELD VERIFY ACCURACY OF EXISTING DRAWINGS.
- 3. COORDINATE EXTENT OF DEMOLITION WITH NEW WORK REQUIRED.
- 4. CONTRACTOR SHALL COORDINATE WITH OTHER DISCIPLINES AND CUT ANY OPENINGS REQUIRED TO FACILITATE INSTALLATION OF NEW EQUIPMENT, DUCTWORK, PIPING, ETC.
- 5. ALL SWITCHES, WIRES, RECEPTACLES AND LIGHTS SHOWN ON DEMO PLANS TO BE REMOVED. THOSE ELEMENTS NOT DISPLAYED TO REMAIN.

SHEET NOTES

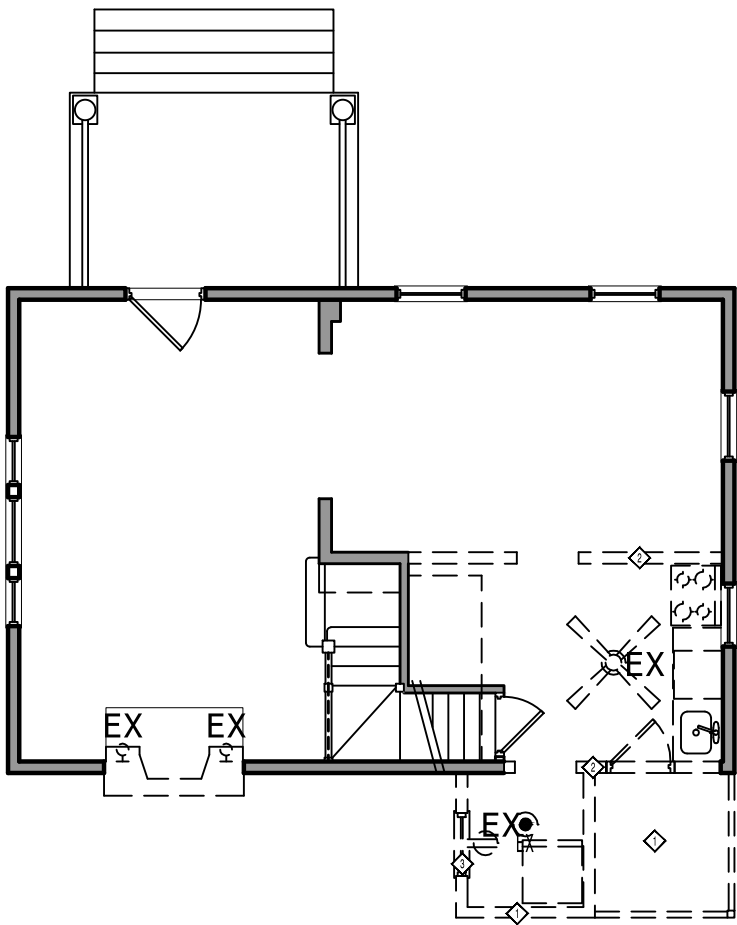
- 1. MAINTAIN AS MUCH OF THE EXISTING STRUCTURE AS POSSIBLE; REPLACE IN KIND DAMAGED MEMBERS AS REQUIRED.
- 2. REMOVING EXISTING BEARING WALL; SUPPORT FLOOR ABOVE AS REQUIRED.
- 3. REMOVE WINDOW AND WALL.
- 4. THICKER DASHED LINE INDICATES AREA OF CONCRETE SLAB TO BE DEMO'D.
- 5. EXISTING SUPPORT BEAM TO REMAIN.
- 6. EXISTING HEATING UNIT TO REMAIN.
- 7. EXISTING WATERHEATER TO REMAIN.
- 8. REMOVE CEILING THROUGHOUT.
- 9. EXISTING WASHER/DRYER TO REMAIN.
- 10. REMOVE ALL WALL TILE AND BUILT-IN STORAGE UNITS. STRIP DOWN TO BEAR STUDS THROUGHOUT BATHROOM.
- 11. SALVAGE DOOR TO REUSE.

1 PERMIT SET 02/12/15

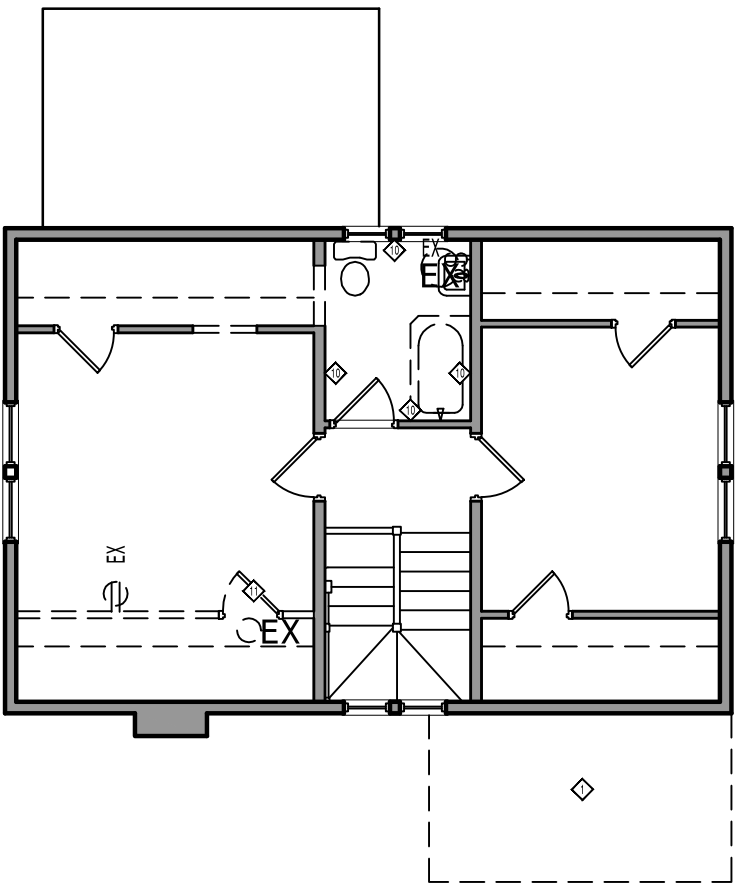
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DEMOLITION PLANS

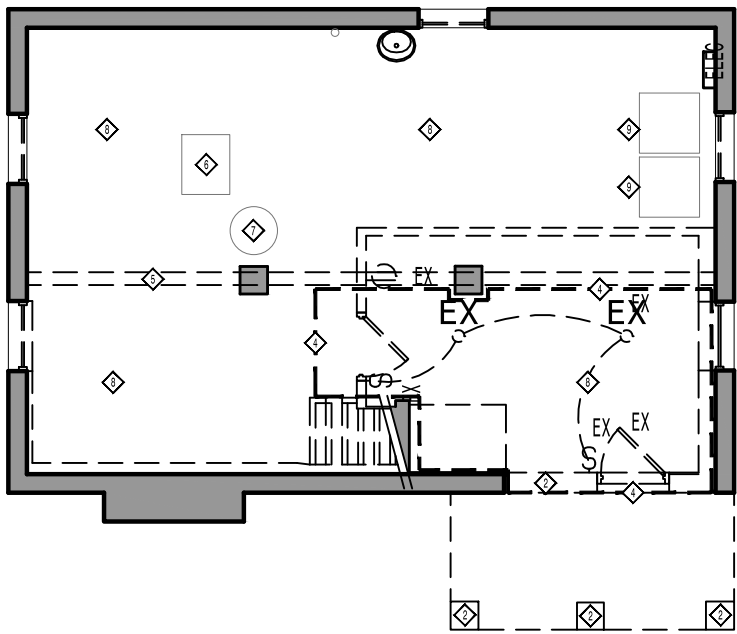
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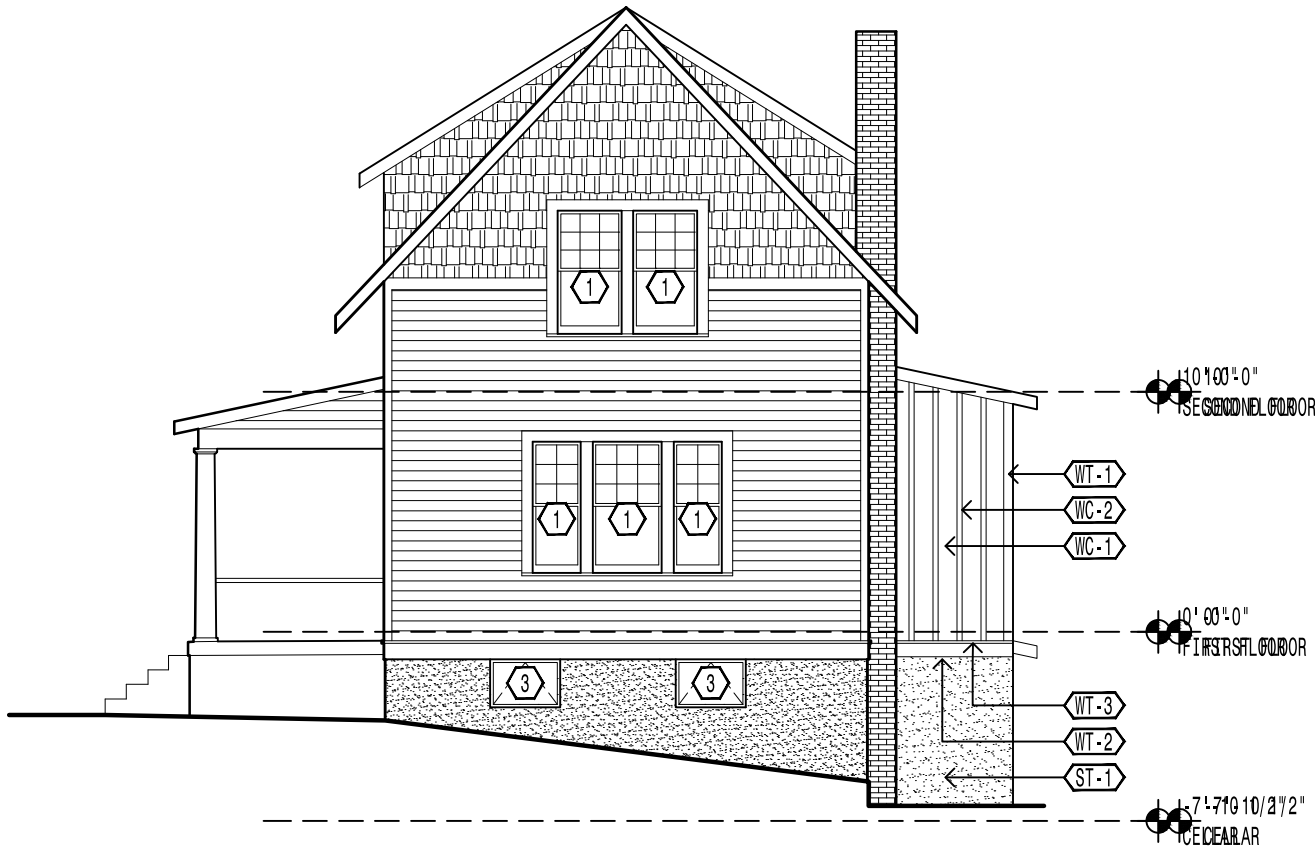
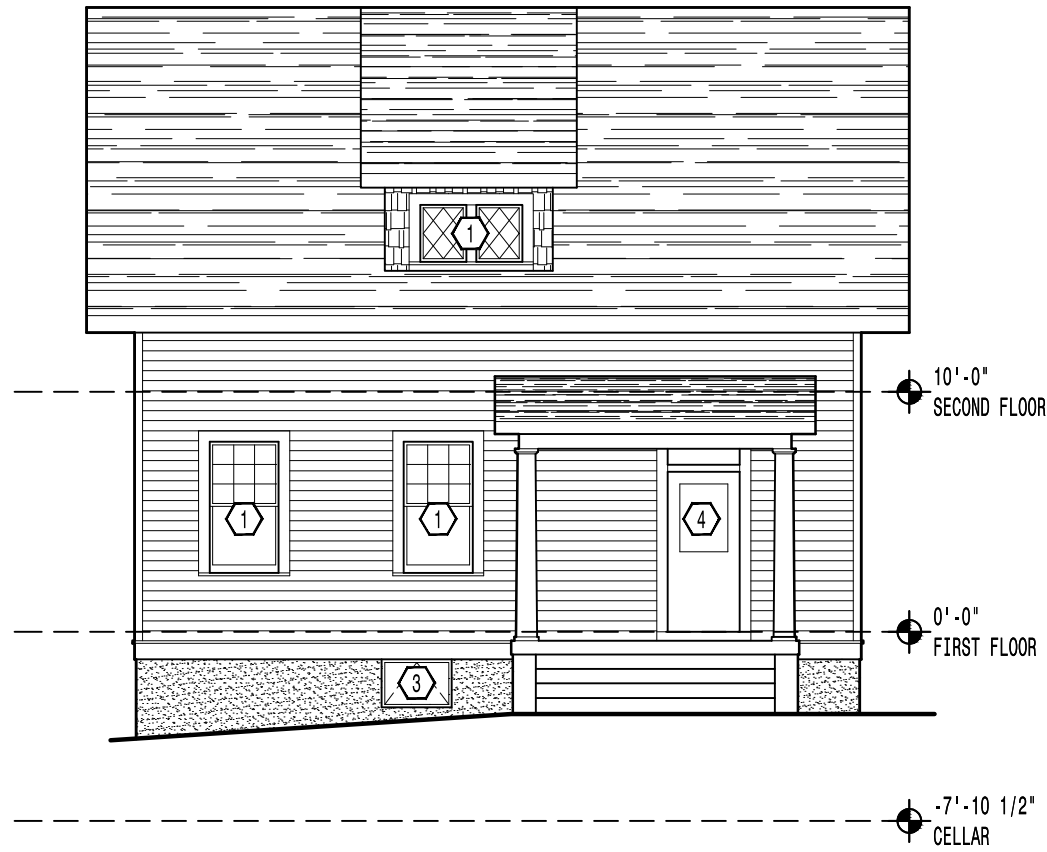
1 DEMO PLAN - FIRST FLOOR
1/8" = 1'-0"



3 DEMO PLAN - SECOND FLOOR
1/8" = 1'-0"



2 DEMO PLAN - CELLAR
1/8" = 1'-0"

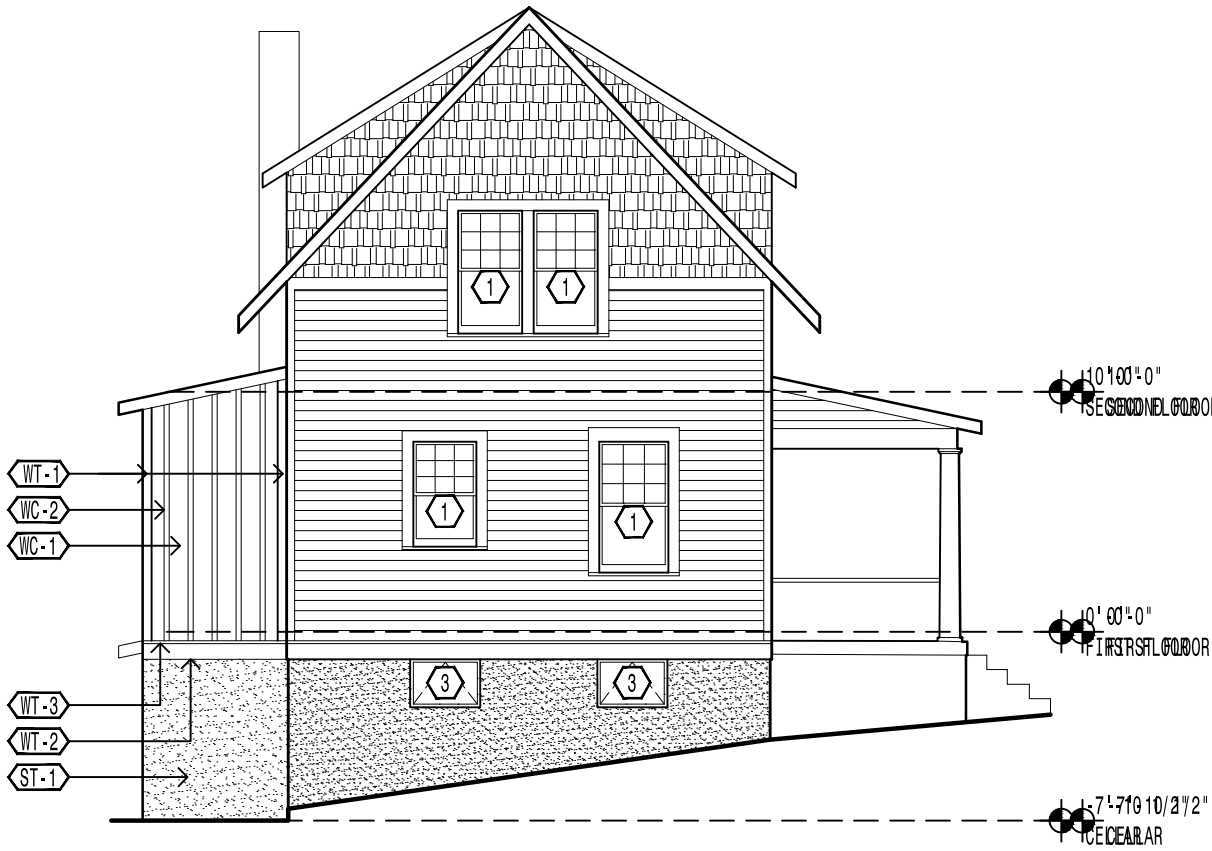
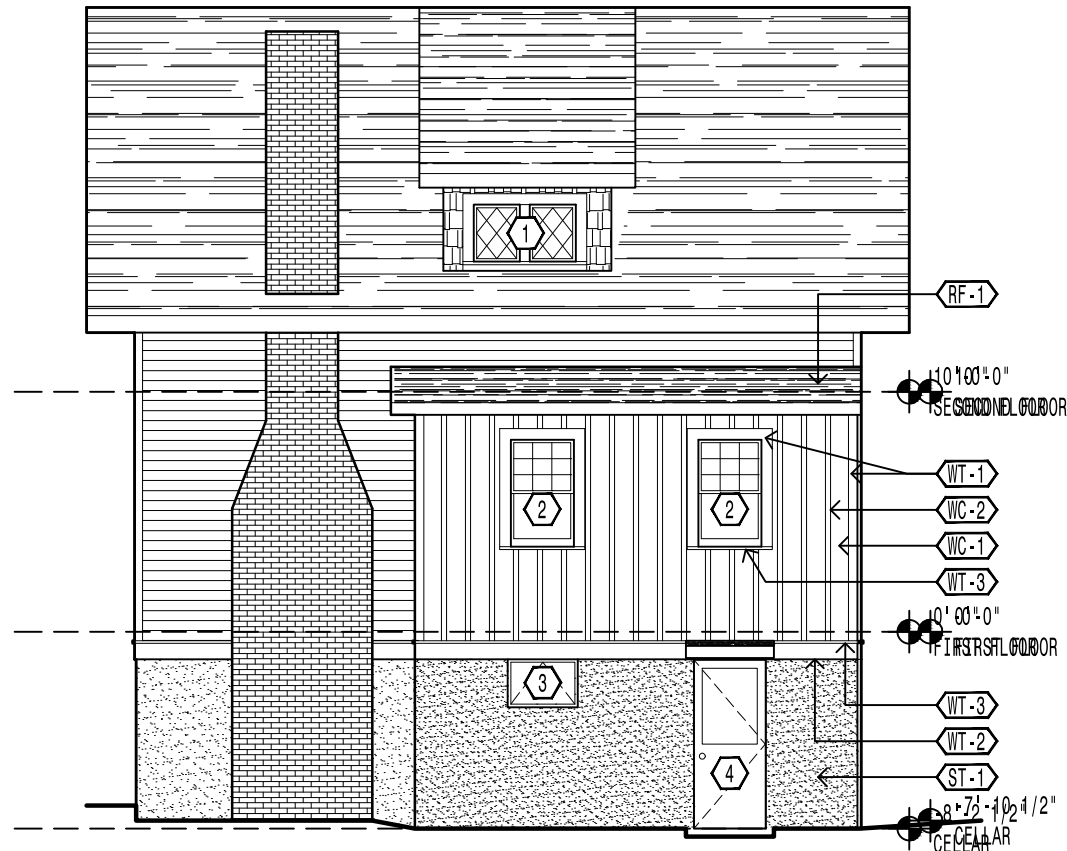


1 ELEVATION

1/4" = 1' - 0"

2 ELEVATION

1/4" = 1' - 0"



3 ELEVATION

1/4" = 1' - 0"

4 ELEVATION

1/4" = 1' - 0"

WINDOW SCHEDULE

- 1 REPLACEMENT WINDOW- DOUBLE HUNG WINDOW- WOOD CLAD, ENERGY STAR, JELD-WEN TRADITIONAL PLUS OR EQUAL.
- 2 DOUBLE HUNG WINDOW- 31-1/2"W X 53-1/2"H ROUGH OPENING, WOOD CLAD, NAILING FIN, ENERGY STAR, JELD-WEN TRADITIONAL PLUS OR EQUAL.
- 3 AWNING WINDOW- 35"W X 24"H MASONRY OPENING, WOOD CLAD, NAILING FIN, ENERGY STAR, JELD-WEN W-2500 OR EQUAL.
- 4 EXTERIOR FRONT DOOR- 36"W X 6'-8"H, 1-3/4" THICK, STAIN GRADE SOLID WOOD STILE AND RAIL DOOR W/ HALF GLASS LITE, JELD-WEN AURALAST OR EQUAL, SEE DOOR SCHEDULE FOR HARDWARE.

MATERIAL SCHEDULE

- R-1 ROOFING 1- ASPHALT FIBERGLASS SHINGLES, 3 TAB 12" X 36", CERTAINTEED XT-30 OR EQUAL, STEEP SLOPE ROOF REQ. SPOT OF ROOFING CEMENT UNDER EACH TAB CORNER PER MFR. INSTRUCTIONS.
- WC-1 WALL CLADDING 1- EXTERIOR FIBER-CEMENT PANEL SIDING, HARDIEPLANK SELECT CEDARMILL OR EQUAL, 4' X 8' SHEETS-5/16" THICK.
- WC-2 WALL CLADDING 2- EXTERIOR FIBER-CEMENT BOARD, HARDIETRIM BATTEN BOARD OR EQUAL, 2-1/2" WIDE X 3/4" THICK, RUSTIC GRAIN FINISH.
- WT-1 WALL TRIM 1- EXTERIOR FIBER-CEMENT BOARD, HARDIETRIM BOARD 4/4 NT OR EQUAL, 5-1/2" WIDE X 3/4" THICK, SMOOTH FINISH.
- WT-2 WALL TRIM 2- EXTERIOR FIBER-CEMENT BOARD, HARDIETRIM BOARD 4/4 NT OR EQUAL, 8" EXPOSED, 3/4" THICK, SMOOTH FINISH.
- WT-3 WALL TRIM 3- EXTERIOR FIBER-CEMENT BOARD, HARDIETRIM BOARD 4/4 NT OR EQUAL, 1" EXPOSED HORIZONTIALLY, 3/4" THICK, SMOOTH FINISH.
- ST-1 STUCCO 1- TBD.

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DBMC

DBMC DESIGN LLP
1363 PERRY PLACE, NW
WASHINGTON DC, 20010
202-713-1073

1 PERMIT SET 02/12/15

DATE 10/22/14

PROJECT NO: 2014-030

DRAWN BY: DBMC

CHECKED BY: DBMC

ELEVATIONS

A2.0

1. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS.
2. ALL PARTITIONS TO BE TYPE 1 U.N.O.
3. ALL DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD U.N.O.
4. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANES.
5. ALL PARTITIONS TO STRUCTURE ARE FOR ACOUSTICAL SEPARATION AND/OR SECURITY, NOT FOR FIRE RATING U.N.O.
6. PARTITION TYPES ABOVE DOOR ARE TO BE SAME AS THE ADJACENT PARTITION U.N.O.
7. PARTITIONS SHOWN TO ALIGN WITH THE FACE OF EXISTING CONSTRUCTION OR NEW PARTITIONS SHOULD ALIGN FINISHED FACE TO FINISHED FACE. LAMINATE ADDITIONAL LAYER OF GIB FROM NEW TO EXISTING CONSTRUCTION AS REQUIRED TO PRODUCE FLUSH APPEARANCE WITH NO VISIBLE JOINTS.
8. ALL DOOR OPENINGS LOCATED 4" FROM ADJACENT WALL U.N.O.
9. FLASH ALL WINDOWS AND EXTERIOR DOORS PER MANUFACTURER SPECS.
10. PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED AT ALL WALL-HUNG SHELVING, CABINETS, WOOD PANELS, EQUIPMENT, LIGHT FIXTURES AND OTHER MILLWORK WITHIN WALL CONSTRUCTION.
11. PROVIDE BRACING AT ALL DOORS AND GLAZED OPENINGS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
12. CONTRACTOR TO PROVIDE ADEQUATE DEPTH IN PARTITION FRAMING AT COLUMNS & COORDINATE STUD LOCATION FOR ALL TELEPHONE / DATA / ELECTRICAL DEVICES TO BE INSTALLED AT THAT LOCATION.
13. CONTRACTOR TO FILL ALL EXISTING AND NEW HOLES AND / OR VOIDS IN FLOORS AND RATED WALLS WITH APPROVED "FIRESTOP" MATERIAL AS REQUIRED TO MAINTAIN FIRE RATING OF FLOOR ASSEMBLY AND WALLS.
14. EXISTING INTERIOR SURFACES THAT WILL BE EXPOSED TO VIEW SHALL BE REPAIRED, FILLED, AND PATCHED AS REQUIRED FOR A VISUALLY FLUSH, UNIFORM AND NEAT SURFACE TO RECEIVE FINAL APPLIED FINISH.
15. REFINISH ALL WOOD FLOORS THROUGHOUT FIRST AND SECOND FLOORS, PATCH/REPAIR AS REQUIRED.

1. SEE ENLARGED PLAN FOR KITCHEN EQUIPMENT ON A3.0.
2. SEE ENLARGED PLAN FOR BATHROOM EQUIPMENT ON A3.1.
3. ELECTRICAL- UPGRADE TO 200 AMP, SEE ELECTRICAL RISER DIAGRAM ON A3.1.
4. ALIGN STUDS BELOW EXISTING WOOD BEAM, GNB TO COVER BEAM.
5. EXISTING CONCRETE FLOOR TO REMAIN.
6. HARDWOOD FLOORS, PROVIDE 3/4" PLYWOOD OVER CONCRETE.
7. PROVIDE CERAMIC TILE IN BASEMENT BATHROOM.
8. PROVIDE WATERPROOFING AND 4" OF CONCRETE BELOW GRADE.

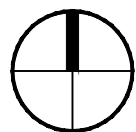
WALL TYPES

1. (1) LAYER 1/2" GNB BOTH SIDES, 2X4 WOOD STUDS SPACED 16" O.C.
- 1A. (1) LAYER 1/2" GNB BOTH SIDES, 3-1/2" SOUND ATTENUATION BATT INSULATION, 2X4 WOOD STUDS SPACED 16" O.C.
- 1B. (1) LAYER 1/2" GNB INT. SIDE, 2" CLOSED CELL SPRAY FOAM INSULATION R-VALUE 13, 2X4 WOOD STUDS SPACED 16" O.C.
2. 1/2" GNB INT. SIDE, 2X2 WD. FURRING
3. 1/2" GNB INT. SIDE, 3-1/2" WOOD STUDS @16" O.C., 3.5" CLOSED CELL SPRAY FOAM INSULATION R-VALUE 20, 7/16" ZIP SYSTEM WALL SHEATHING EXT. SIDE, 5/16" HARDIEPLANK LAP SIDING
- 3A. 1/2" GNB INT. SIDE, EXIST. WOOD STUDS, 3.5" CLOSED CELL SPRAY FOAM INSULATION R-VALUE 20, EXIST. SHEATHING EXT. SIDE, EXIST. SIDING
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4. INSIDE BATHROOM TILE, SCHULTER-KERDI WATERPROOFING MEMBRANE, 1/2" FIBER-CEMENT BOARD, EXIST. WOOD STUDS, 3-1/2" SOUND ATTENUATION BATT INSULATION, EXIST. PLASTER
- 4A. (1) LAYER 1/2" GNB, EXIST. WOOD STUDS, 3-1/2" SOUND ATTENUATION BATT INSULATION, EXIST. PLASTER

- A. EXTERIOR DOOR- 36"W X 6'-8"H, 1-3/4" THICK, SOLID WOOD, PAINTED, 3/4 LOW-E GLASS LITE, ENTRY LOCKSET MTD. 36" AFF, DEADBOLT, SATIN NICKEL FINISH, THRESHOLD, THREE BUTT HINGES, WEATHERSTRIPPING
- B. BEDROOM/BATHROOM DOOR- 30"W X 6'-8"H, 1-3/8" THICK, MOLDED WOOD COMPOSITE SOLID CORE, PANELED, PAINTED DOOR, PRIVACY LOCKSET, SATIN NICKEL FINISH, MTD. 36" AFF, THREE BUTT HINGES, MARBLE THRESHOLD
- C. CLOSET DOOR- 24"W X 6'-8", 1-3/8" THICK, MOLDED WOOD COMPOSITE SOLID CORE, 5-PANELED, PAINTED DOOR, PASSAGE LEVERSET EXTERIOR SIDE ONLY, SATIN NICKEL FINISH, MTD. 36" AFF, THREE BUTT HINGES
- D. CLOSET DOOR- REUSE EXISTING 5-PANELED DOOR, PAINTED DOOR, REUSE EXISTING HARDWARE AND HINGES
- E. SLIDING BARN DOOR- 30"W X 6'-8"H, 1-3/8" THICK, MOLDED WOOD COMPOSITE SOLID CORE, 5-PANELED, PAINTED DOOR, BARNDOORHARDWARE OR EQUAL- STANDARD FLAT TRACK, 402 STRAIGHT, BLACK
- F. SHOWER DOOR- 30"W X 6'-8"H, 1/2" TEMPERED GLASS, FRAMELESS, PULL-HARDWARE, TWO HINGES, BRUSHED NICKEL

1. WASHING MACHINE- EXISTING TO REMAIN
2. DRYER- ELECTRIC- EXISTING TO REMAIN
3. HEATER- EXISTING TO REMAIN
4. WATER HEATER- EXISTING TO REMAIN
5. WIRE SHELF- 15" DEEP, MTD. 60" AFF.
6. AIR CONDITIONER CONDENSER, 2 TONS, ELEC 208-230/1/60
7. UTILITY SINK AND FAUCET
8. 5- WIRE SHELVES- 12" DEEP

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A1.0

- SHEET NOTES** 

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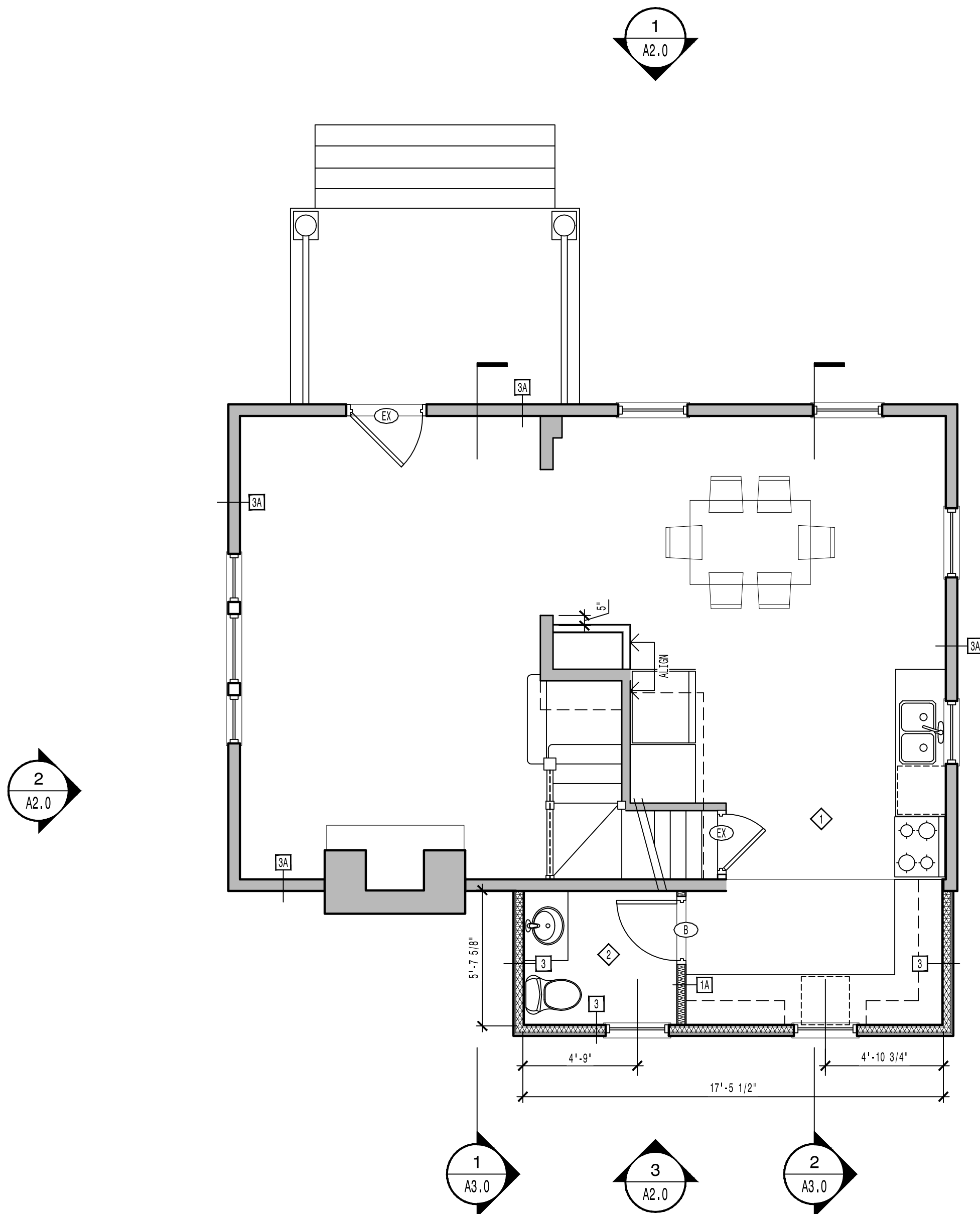
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OBMC

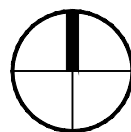
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FLOOR PLAN- FIRST

A1.1



1 | PLAN - FIRST

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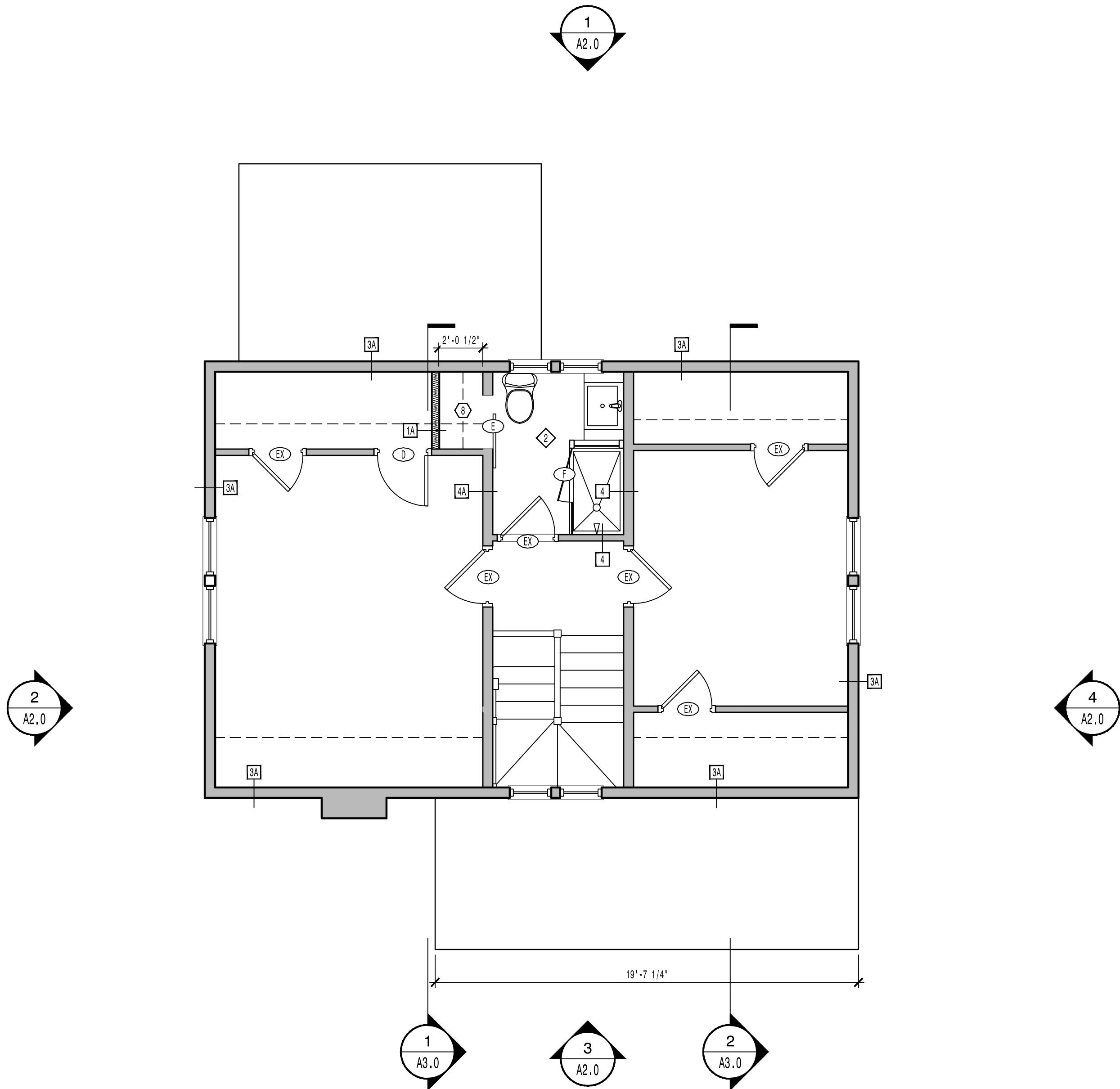
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FLOOR PLAN- SECOND

A1.2



1 | PLAN - SECOND

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