

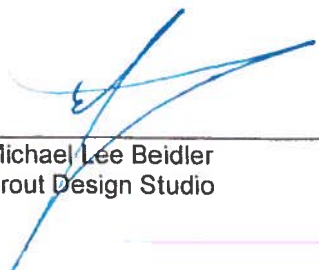


2 September 2015

NEIGHBOR LETTERS OF SUPPORT FOR THE PROPOSED CONSTRUCTION PROJECT AT 1508 CAROLINE ST NW

Dan Gamber	1502 Caroline St NW, Washington, DC 20009	202-251-7425
David McKeown & Michael Phillips	1503 Caroline Street, NW	202.744.4581
Gerald West	1506 Caroline St NW, Washington, DC 20009	202.744.4693
Thomas Engelberger & Richard Haverka	1507 Caroline St NW, Washington, DC 20009	202.705.7687
Patrick Cirillo	1512 Caroline St NW, Washington, DC 20009	202-345-8576
Mary Handley	1513 Caroline St NW, Washington, DC 20009	202.258.9048
Helene Scher	1514 Caroline St NW, Washington, DC 20009	202-232-8371
Maria Dolores Wesson	1517 Caroline St NW, Washington, DC 20009	
Rick Busch	1520 Caroline Street, NW, WDC	202.462.0948
Greg DuRoss	1524 Caroline St NW, Washington, DC 20009	202-550-2472

Please see attached correspondence sent to the ANC Chairman and ANCSMC Noah Smith. All neighbors were provided with drawings of the project and spoken to directly by the applicant.



Michael Lee Beidler
Trout Design Studio

2 1 1 2 W A R D C O U R T N W , W A S H I N G T O N , D C 2 0 0 3 7 - 1 2 0 9

P H O N E 2 0 2 . 6 5 9 . 0 6 0 0

W W W . T R O U T D E S I G N . C O M

Board of Zoning Adjustment
District of Columbia
CASE NO.19044
EXHIBIT NO.31B

From: **Dan Gamber** daniel@gamber.net
Subject: 1508 Caroline St NW
Date: 14 August 2015 at 15:30
To: Noah Smith (ANC 2B09) noah.smith@anc.dc.gov
Cc: Michael Beidler Michael@troubdesign.com, Gerry West gerald.west@mac.com

Hi Noah,

I have inspected the latest plans for 1508. I support what Gerry is proposing.

1508 at present is a shell, contributing nothing to the street.

Caroline Street is a lovely block, but was never 12 (24 semi-detached residences) of identical structures. Half were built with flat fronts, half with notched fronts, half with front doors on the common wall side, half with the front door on the other side. The eastern part was built with rear entrances on the side of the rear kitchen, the western half with the rear entrance on the back wall. The eastern part was built with no outside basement entrance, the western with rear basement entrances. Furthermore, in its first decade 1505 was radically modified - bay, side infill, front porch; and 1506 had a mansard third story added. 1509 had a roof gazebo added some time in the distant past.

As you know, I consider(ed) it quite sensible to add a matching third story to 1508, but the current historic preservation board members demand that anything built new not look like it is old. And there should be no modification visible from the street. The current proposal follows those guidelines. No change would be visible from the street, except that the door to the side porch would be closed in.

Note that removing the side porch would in fact be in conflict with the preservation guidelines. The porch is a part of the original structure as built in 1879.

As for the rear extension: it would be the same length as the existing rear extension on 1506, and far shorter than the existing extension on the rear of 1512. (In fact, several houses on Caroline have longer rear extensions. And 1510 has a rear extension also, though not as long. The extensions are quite obvious on Google Earth - except for 1510. I guess that is because of the color.)

As for any shadow impact - the extension would be on the south side of no other structure save 1508, and would have no impact on the adjacent back yards for most of the day.

I realize that this proposal would require a slight variance on the zoning lot coverage, but it would in no way violate the look or spirit of Caroline Street.

Dan Gamber
1502 Caroline St NW
Washington, DC 20009
202-251-7425

From: **David McKeown** dmckeown@gmail.com
Subject: **1508 Caroline Street NW**
Date: **25 August 2015 at 21:55**
To: Noah Smith@dupontcircleinc.net
Cc: michael@troutdesign.com, **Michael Phillips** mphillips1503@gmail.com

Dear Noah,

We are writing in support of the planned renovations for 1508 Caroline Street NW. As long-term (19 years) owners/residents of Caroline Street we have a vested interest how things on Caroline Street progress. We have reviewed the proposed Trout designs and have no issues or concerns. We think the design is well suited for Caroline Street and the historic nature of the neighborhood. I would also like to point out that the house beside us (1505 Caroline) is built to the property line and has never been an issue for us.

Again, we want to voice our full support for prompt approval of this project without any reservations.

Thank you and feel free to contact us if additional input is needed.

Regards,
David McKeown m 202.744.4581
Michael Phillips m 202.441.0683
1503 Caroline Street NW

August 21, 2015

Mr. Noah Smith
Chairman of ANC 2B
SMD Commissioner, 2B09.

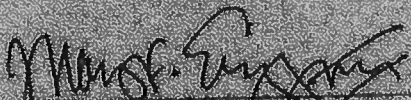
Dear Noah,

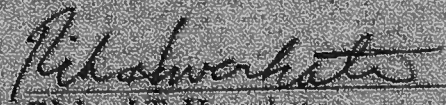
We have met and spoken with Mr. Gerald West about his proposed project at 1508 Caroline Street, NW, and have reviewed the drawings for the project he is proposing there. We find the project to be reasonable and feel that it will not detract from the Historic Character of Caroline Street or the overall sense of openness and space we enjoy here on the block.

We therefore wanted to let you know that we support the project as proposed in the design by Trout Design Studio in the drawings dated August 2015 and trust that you will reflect this support as our representative on the ANC2B.

Thank you and feel free to reach out to us should you have any questions about this correspondence.

Sincerely,


Thomas F. Engelberger III


Richard T. Haverkate

1507 Caroline Street, NW
Washington, DC 20009
(202) 703-7687

August 2015

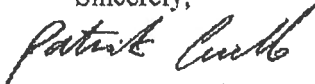
Dear Noah Smith,
Chairman of ANC 2B
SMD Commissioner, 2B09.

I met with Mr. Gerald West to discuss his proposed project at 1508 Caroline Street, NW, and have carefully reviewed the project's drawings. I find the project to be reasonable and consider that it will not detract from the Historic Character of Caroline Street or the overall sense of openness and space we enjoy here on the block. In fact, as a long time home owner and resident of Caroline St., I believe the project would improve the condition and ambience of the street, and importantly, it would increase the nominal values of the surrounding properties.

I therefore support the project as proposed in the design by Trout Design Studio in the latest drawings, and trust that you will reflect this support as my representative on the ANC2B.

Thank you and feel free to contact me should you have any questions about this correspondence.

Sincerely;

A handwritten signature in black ink, appearing to read "Patrick Cirillo". The signature is fluid and cursive, with the first name "Patrick" being more prominent than the last name "Cirillo".

Patrick Cirillo

1512 Caroline Street, NW.
Washington, D.C. 20009
202-345-8576

From: **Gerald West** gerald.west@mac.com
Subject: **Fwd: 1508 Caroline Street, NW**
Date: **2 September 2015 at 11:45**
To: **Michael Beidler** michael@troutdesign.com

Michael, This is the letter Mary sent me so I guess you should have it to.
Gerald

Begin forwarded message:

From: Mary Hanley <mfhanley@yahoo.com>
Subject: Fw: 1508 Caroline Street, NW
Date: August 25, 2015 1:13:37 PM EDT
To: Gerald West <gerald.west@mac.com>
Reply-To: Mary Hanley <mfhanley@yahoo.com>

Gerry: My letter and I sent a note to Michael and David because I think they're the only other ones that have an adjacent property built to the property line. If they haven't written, you should tweak them and send some of the sample letters you sent to me. I'd love to see Rick's letter, by the way.

----- Forwarded Message -----

From: Mary Hanley <mfhanley@yahoo.com>
To: "noahsmith7009@gmail.com" <noahsmith7009@gmail.com>
Cc: "michael@troutdesign.com" <michael@troutdesign.com>
Sent: Tuesday, August 25, 2015 1:09 PM
Subject: 1508 Caroline Street, NW

Noah: I am anxious to weigh in on the plans for the property, 1508 Caroline St. which I've examined closely. Most of us are very excited that Gerry West is now the owner of this house that has been in disrepair for many years and are looking forward to his and Trout Design's plans to renovate it. It's a shame that this plan has been held up for so long especially with all the changes Gerry has made to his original plans that were approved by two DC historical organizations. I am still very disappointed that the third story was not approved by the City as I believe it would have enhanced his properties and our entire block.

It's difficult to understand why immediate adjacent neighbors would object to the plans as it would especially enhance the value of their property. The current structure has been there for many, many years and an extension of it seems completely harmless...to anyone. As a matter of fact, if you look directly across the street, the entire property there is built to the property line without any disruption of airflow or anything else.

I have lived on Caroline Street for 28 years and seen many, many changes, most for the good. This is one of the best yet and the sooner it gets started, the better for everyone, in my opinion.

I have no objections to the Trout Design drawings of 8/5/2015 and truly hope you will support this project as our ANC2B representative.

Thank you and feel free to contact me if I can answer any questions.

Mary Hanley

Mary F. Hanley

h: 202-328-7659

c: 202-258-9048

mfhanley@yahoo.com

From: **Helene Scher** hscher1514@gmail.com
Subject: **1508 Caroline St. NW**
Date: **16 August 2015 at 15:49**
To: **Noah Smith (ANC2B09)** noah.smith@anc.dc.gov
Cc: **Gerry West** gerald.west@mac.com, **Michel Beidler** michael@troutdesign.com

Dear Noah,

I have studied the latest plans for 1508 and am quite excited at the prospect that long-awaited street improvements may finally be underway. I fully support what Gerry West is proposing.

Caroline Street is a lovely block and is certainly not enhanced by a house standing empty. The houses have never been identical; there are two different basic designs, and two houses have a third story, added long ago. Nevertheless the street has a wonderful overall sense of cohesiveness and openness that we all enjoy. I find that what Gerry is proposing is reasonable and will not at all detract from the Historic Character of Caroline Street.

I wanted to let you know that I support the project as proposed in the design by Trout Design Studio in the drawings dated 8/5/2015. I trust that you will reflect this support as our representative on the ANC2B.

Thank you, and do not hesitate to contact me should you have any questions.

Sincerely,

Helene Scher
1514 Caroline St. NW
Washington, DC 20009

202-232-8371

14 August 2015

Dear Noah Smith,
Chairman of ANC 2B
SMD Commissioner, 2B09.

I have met and spoken with Mr. Gerald West about his proposed project at 1508 Caroline Street, NW, and have reviewed the drawings for the project he is proposing there. I find the project to be reasonable and feel that it will not detract from the Historic Character of Caroline Street or the overall sense of openness and space we enjoy here on the block.

I therefore wanted to let you know that we support the project as proposed in the design by Trout Design Studio in the drawings dated 8/5/2015 and trust that you will reflect this support as our representative on the ANC2B.

Thank you and feel free to reach out to me should you have any questions about this correspondence.

Sincerely;



MARIA DOLORES WESSON

1517 Caroline Street, NW.
Washington, D.C. 20009
202

From: RBusch1520@aol.com
Subject: 1508 Caroline Street, NW
Date: 24 August 2015 at 8:38
To: noahsmith2009@gmail.com, noah.smith@dupontcircleinc.net
Cc: gerald.west@mac.com, Michael@troutdesign.com

Dear Noah,

At Gerald West's request, I am sending you this note indicating that I do not oppose his plan to add a 1-story addition on the west side of his property at 1508 Caroline Street, NW, starting near the rear of his property, out to the property line. Nor do I oppose the proposed 2-story addition on the rear of the property. I trust that his architect will include an appropriate gutter and downspout along the western edge of the proposed 1-story addition so that water from hard rains and melting snow does not drain onto the adjoining property (1510 Caroline Street, NW) to the west.

Richard Busch
1520 Caroline Street, NW
202.462.0948
Rbusch1520@AOL.COM

From: **Greg DuRoss** washtyreg@outlook.com
Subject: **1508 Caroline Street NW**
Date: 19 August 2015 at 18:35
To: noahsmith2009@gmail.com, **Noah Smith** Noah.Smith@dupontcircleand.net
Cc: **Michael Beidler** michael@troutdesign.com

Dear Noah,

I am writing in support of the renovation plans for 1508 Caroline Street. I have reviewed the plans with the property owner, Gerald West. It is my understanding that there are no zoning or historic preservation issues.

The planned renovations will not detract from the historic character of the neighborhood. In fact, they will vastly improve the condition of a dilapidated house and property suffering from years of neglect, thereby improving the neighborhood and likely increasing the market value of the immediate adjacent properties. I have examined the issues of restricted light and air flow. The fact is that the space between houses on Caroline Street varies, and in some instances it is less than the space between 1508 and 1510 so to the extent this is even an issue it is easily rectified with some pruning of trees and shrubs. From what I can see, light and air flow will be vastly improved if the adjacent property owner in 1510 would cut back the out of control trees and shrubs that are on the property of 1510 but which intrude on the airspace of 1508.

I understand that some people do not want to see any change but Mr. West has already vastly scaled back his plans and the plans he presents are plans that represent improvement for the neighborhood. I have no objection to the plans dated August 5, 2015, and I hope that my support persuades you that this is a project that you should support.

Sincerely,

Gregory R. DuRoss
1524 Caroline Street NW
202-550-2472