

The drawings, plans, mass specifications and/or details contained on this document (the drawings) are the creation and sole property of Trout, Inc. (the creator). No reproduction, use of the drawings or their intellectual content is authorized without expressed written consent of the creator.



1508 ALLEY AERIAL - PROPOSED



1508 CAROLINE ST - PROPOSED

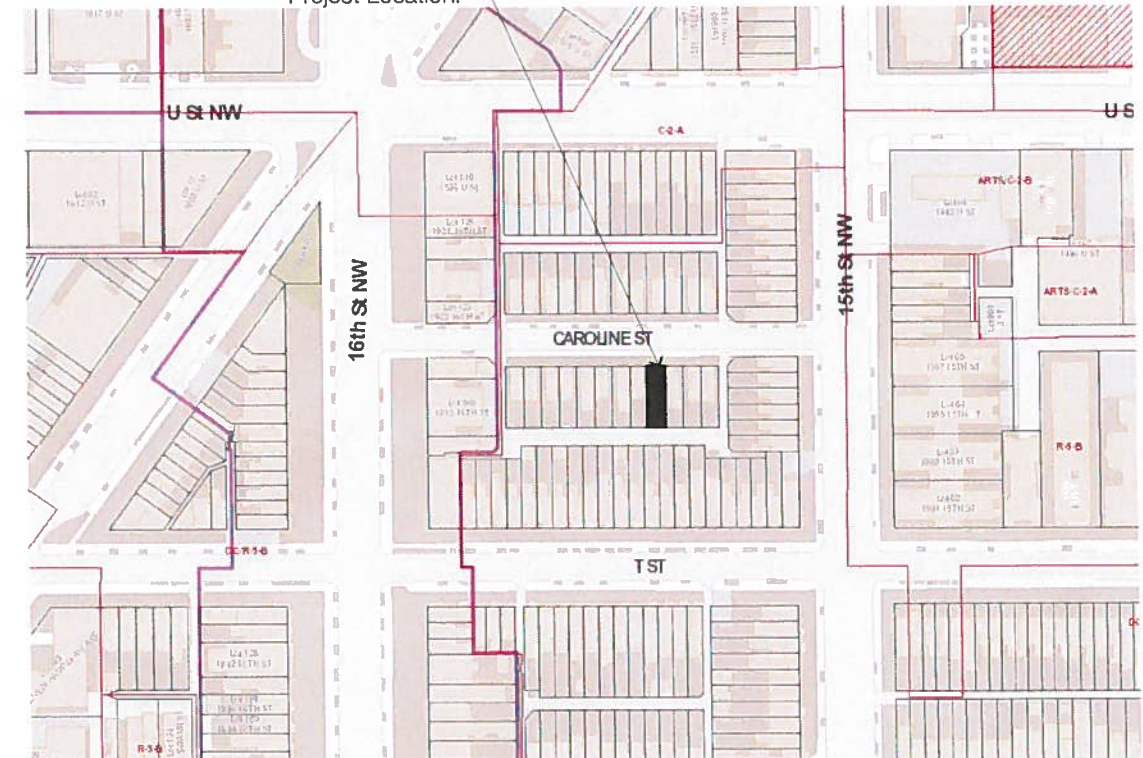
1508 CAROLINE ST

ADDITION & ALTERATIONS

1508 CAROLINE ST NW
Washington, D.C.

PROJECT DATA

Zone :	DC/R-4
Lot:	59
Square:	190
Lot Size:	1428 sq ft
Existing C/O:	Residential use, single family dwelling
Proposed C/O:	Residential use, 2 family dwelling
FAR allowed:	N/A
FAR proposed:	N/A
Lot occupancy allowed:	60%
Existing lot occupancy:	46% - 650 sq ft
Proposed lot occupancy:	61% - 874 sq ft
	9% - 128 sq ft nonconforming side yard
Max. Height allowed;	50 feet
Existing Height:	21'5"
Proposed Height:	28'7"
Minimum Rear Yard Req:	20 ft
Existing rear yard:	29'2"
Proposed Rear yard:	20'0"
Parking Required:	None \$2100.5
Project Location:	

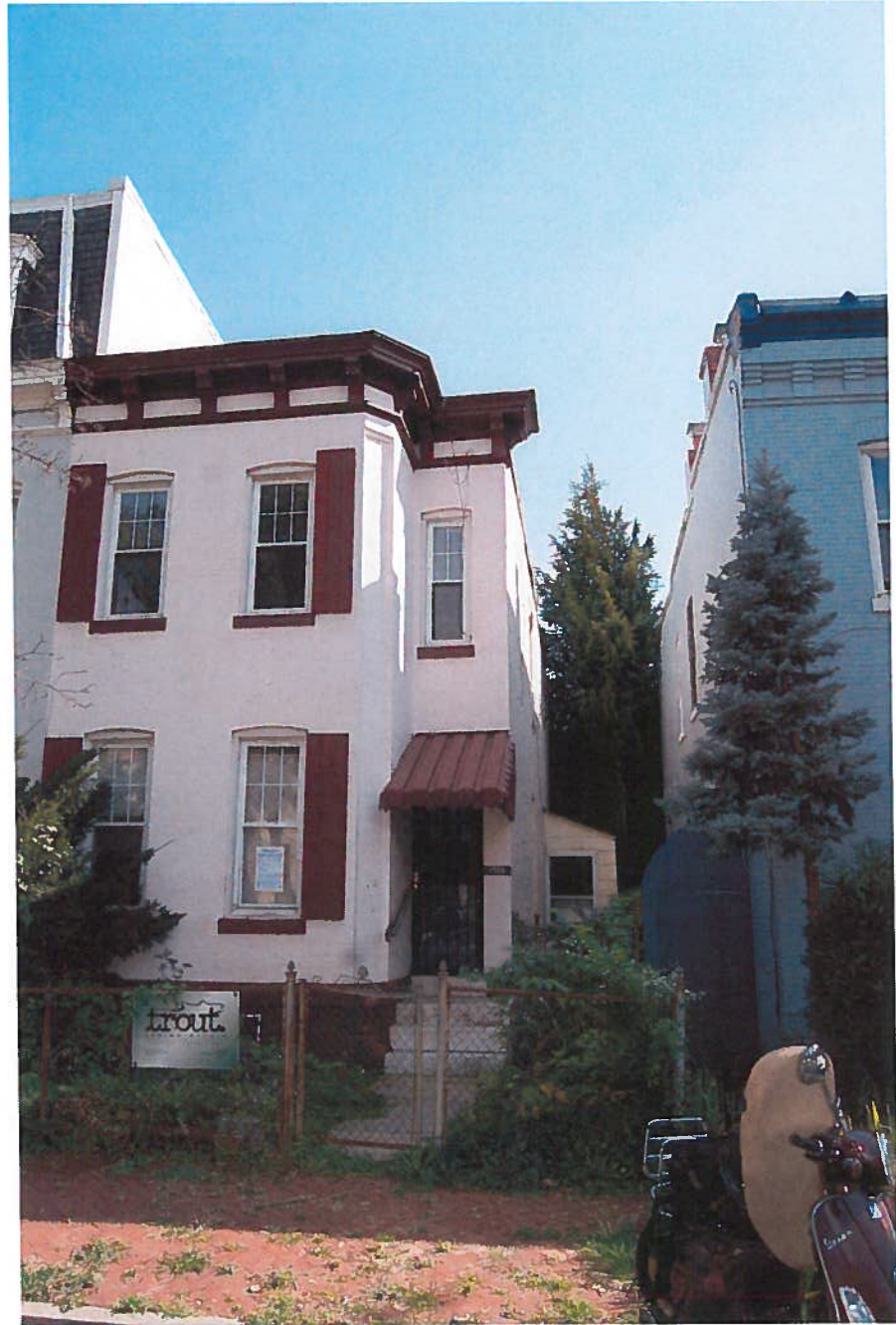




3 ALLEY CONDITION



2 ALLEY ELEVATION



1 CAROLINE ST ELEVATION



2112 West Court Ave
Washington, DC 20007
(202) 594-0000
Fax: (202) 626-1001

OFFICE

PO Box 145
Washington, WV
(304) 874-4118

www.TROUTDESIGN.com

EXISTING CONDITIONS PHOTOS

ADDITION & ALTERATIONS

PROJECT NAME

1508DC

DATE

Thursday, 04 June 2015

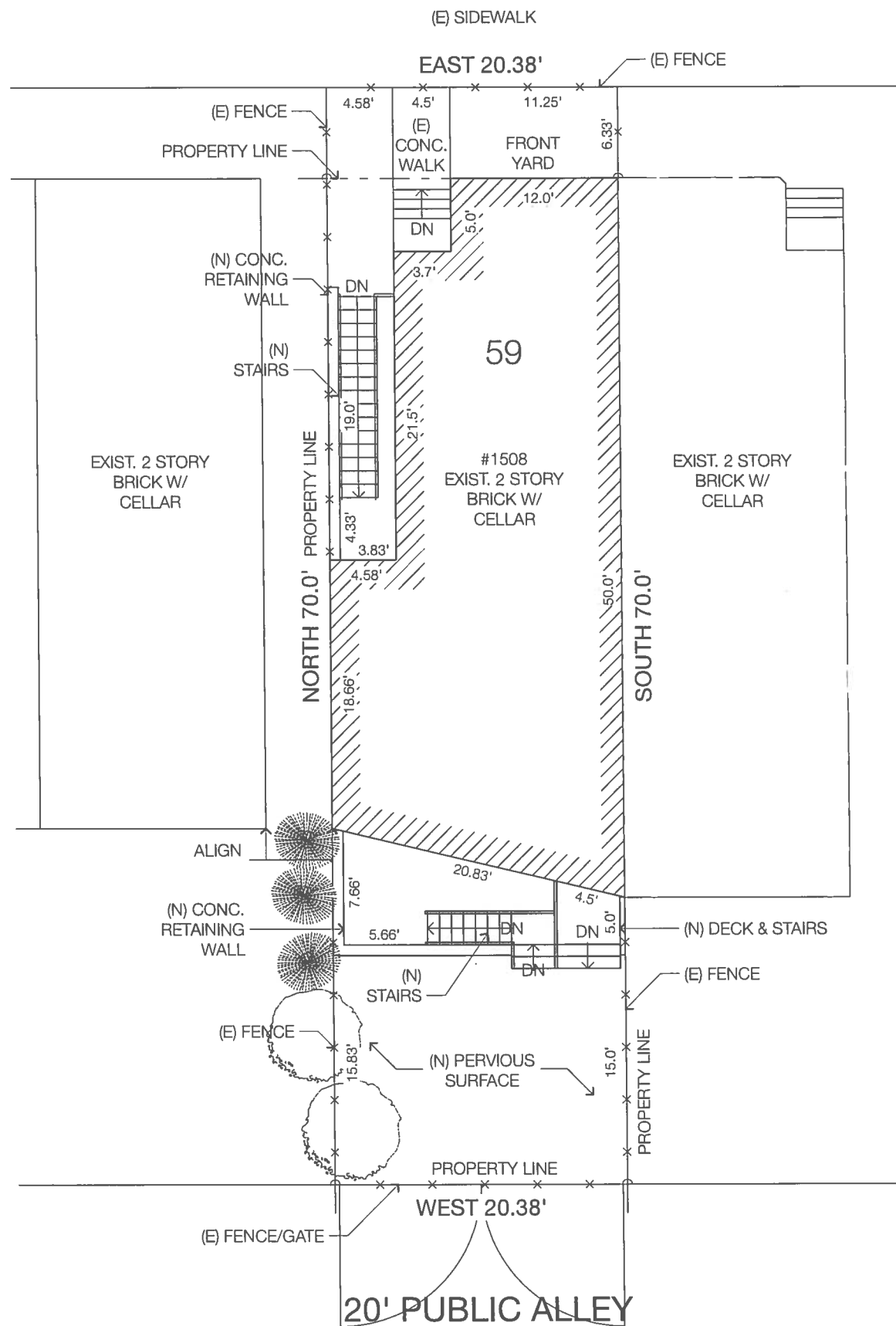
SCALE

PRINTING

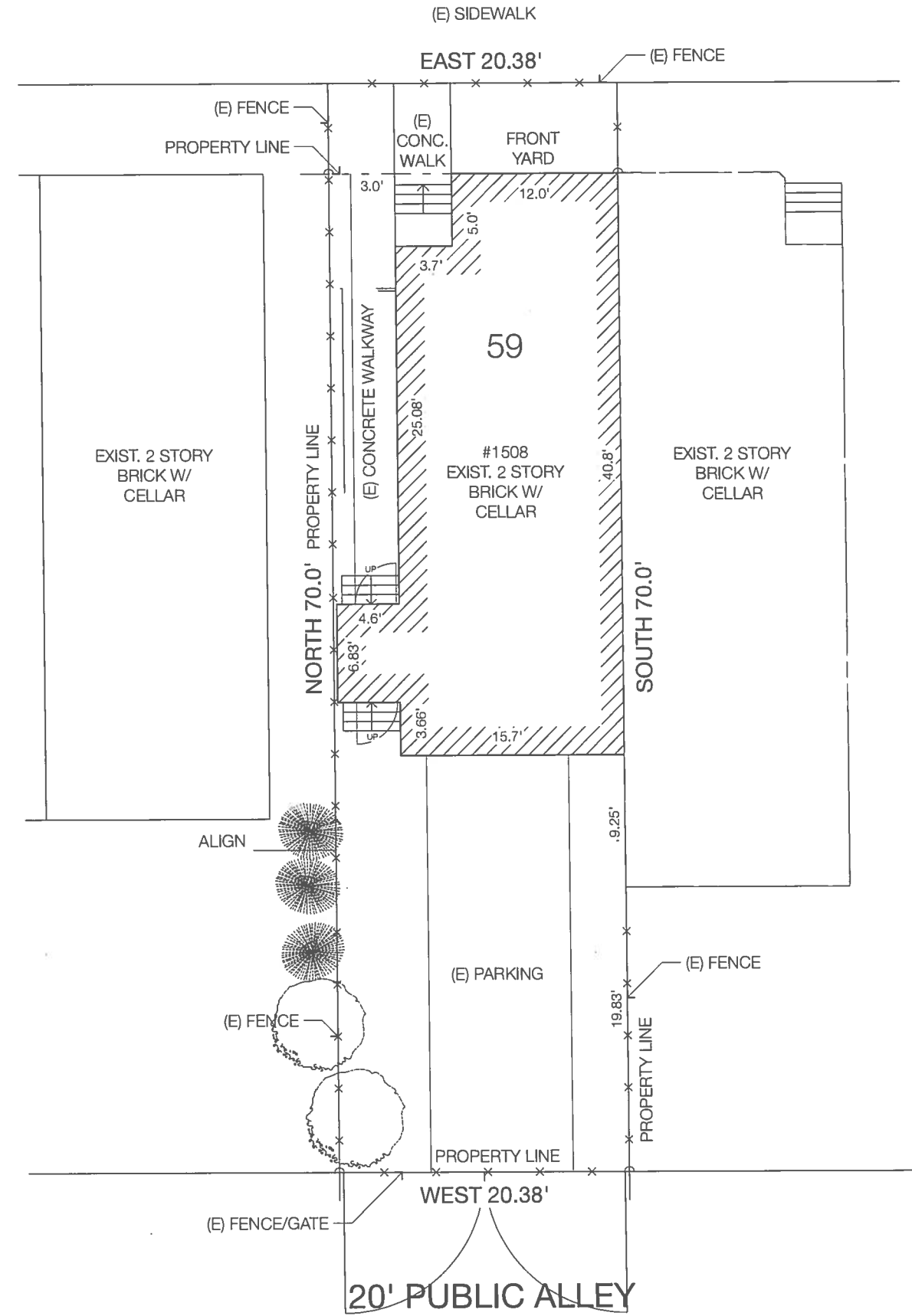
Tuesday, September 8, 2015

A-01

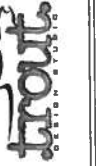
The drawings, plans, notes and specifications and/or details contained on this document (the drawings) are the creation and sole property of Trout, Inc. (the creator). No reproduction, use of the drawings or this intellectual content is authorized without expressed written consent of the creator.



2 ARCHITECTURAL SITE PLAN - PROPOSED
SCALE: 1" = 10'



1 EXISTING SITE PLAN
SCALE: 1" = 10'



Trout
2117 West Coast Ave
Washington, DC 20009
Tel: (202) 655-1000
Fax: (202) 655-1001
www.troutdesign.com

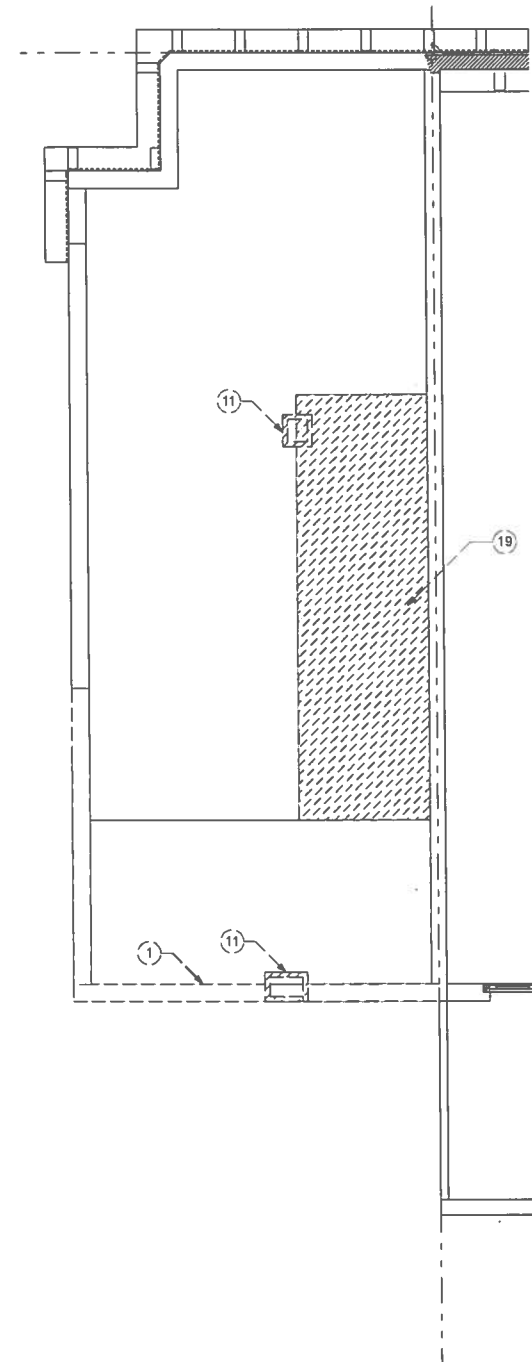
EXISTING SITE PLAN
ADDITION & ALTERATIONS

PROJECT NAME
1508DC

DATE SCALE PRINTING
Thursday 04, June 2015
Tuesday, September 8, 2015

A-02

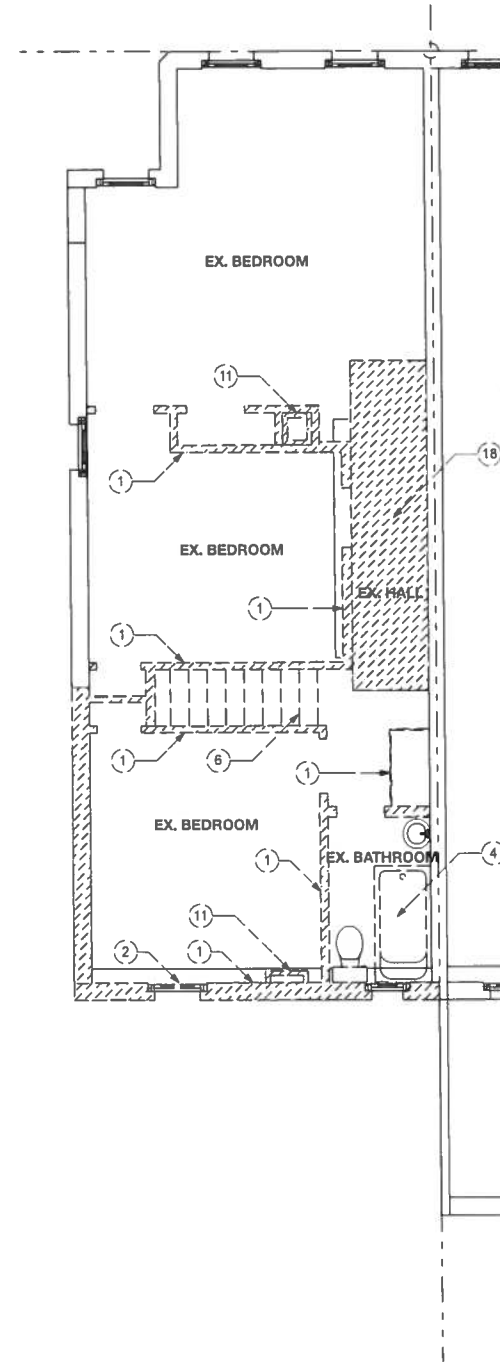
The drawings, plans, ideas specifications and/or details contained on this document (the drawings) are the creation and sole property of Trout, Inc. (the creator). No reproduction, use of the drawings or their intellectual content is authorized without expressed written consent of the creator.



4 ROOF DEMO PLAN
SCALE: 1/8" = 1'-0"

DRAWING LEGEND

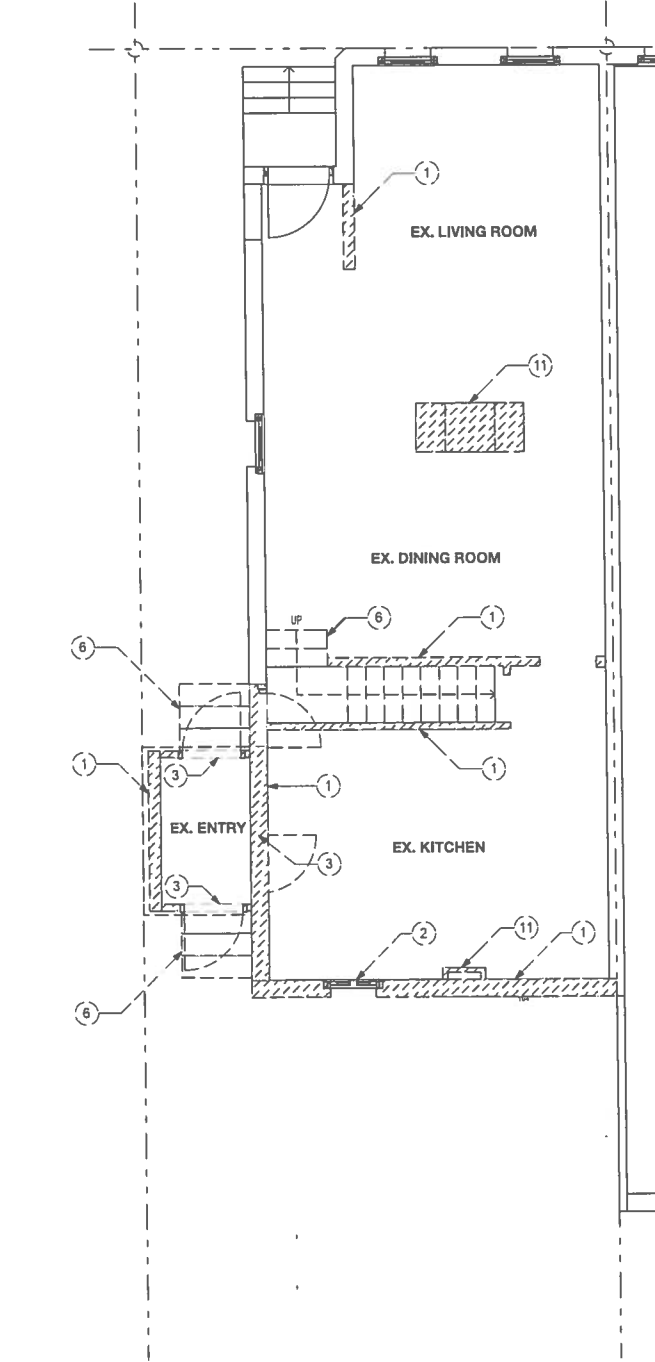
- WALLS TO REMAIN
- WALLS TO BE REMOVED.



3 SECOND DEMO PLAN
SCALE: 1/8" = 1'-0"

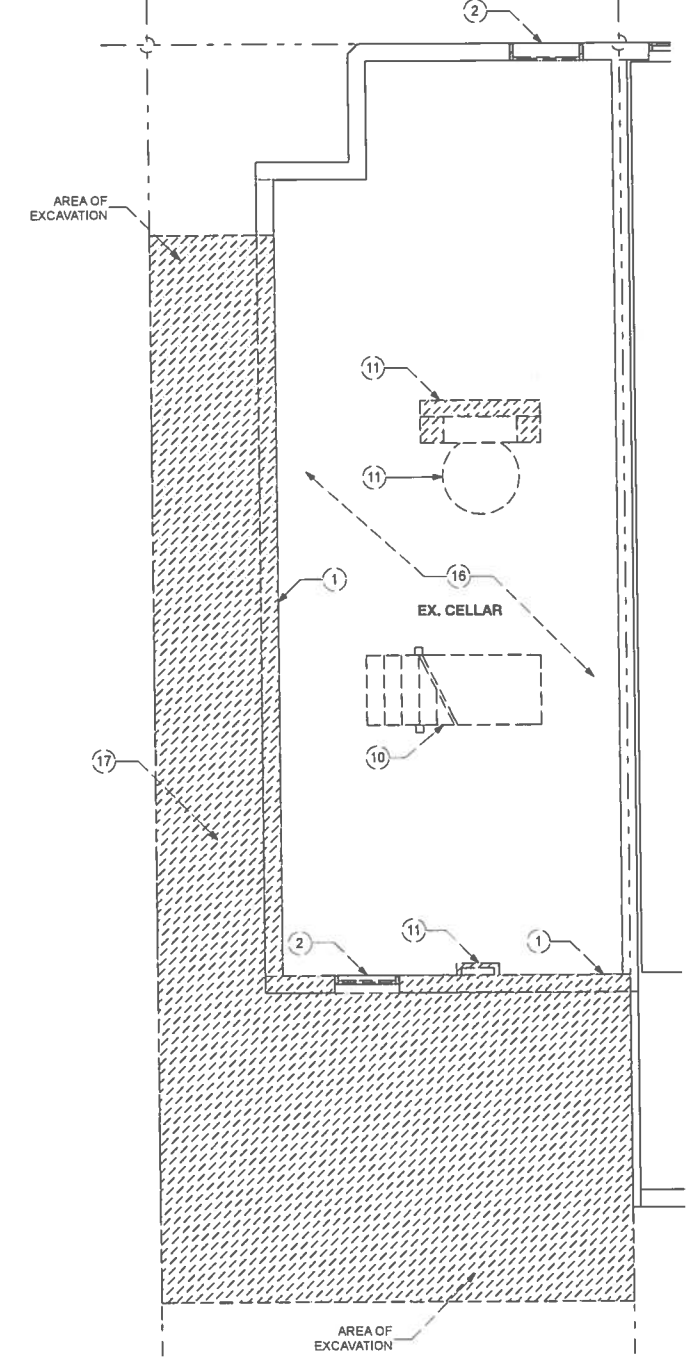
Demolition Plan Notes:

1. Remove existing wall/trim/base as indicated or as needed--see new work.
2. Remove existing window & window parts. Prepare opening to receive new installation.--See new work & schedules.
3. Remove existing doors & door related parts, salvage for possible reuse.
4. Remove existing bathroom fixtures & finishes.
5. Remove existing rear porch & structure.
6. Remove existing wood stairs/railings.



2 FIRST DEMO PLAN
SCALE: 1/8" = 1'-0"

7. Remove existing conc. walls & stairs.
8. Remove existing columns/piers. Stabilize as req'd. See struct. prior to removal.
9. Remove all existing kitchen cabinets appliances & countertops--salvage for reuse.
10. Remove interior basement stairs.
11. Remove existing masonry chimney.
12. Remove existing radiators--clean, strip & refinish for possible reuse.
13. Remove existing column covers--Struct. elements to remain.



1 CELLAR DEMO PLAN
SCALE: 1/8" = 1'-0"

14. Remove existing railings--repair by cleaning, sanding & refinish--prepare for reinstallation.
15. Remove existing rear reading room structure & roof - see new work.
16. Entire basement to be underpinned & excavated to new finished ceiling height of 9'-0". Approx. - 2'-4", V.I.F.
17. Excavate & underpin front porch to 4" below new basement level.
18. Remove existing flooring and joists.



Trout, Inc.
2117 West Coast Ave
Westport, NY 10580
Tel: (914) 361-1111

Office 1

2117 West Coast Ave
Westport, NY 10580
Tel: (914) 361-1111

www.troutdesign.com

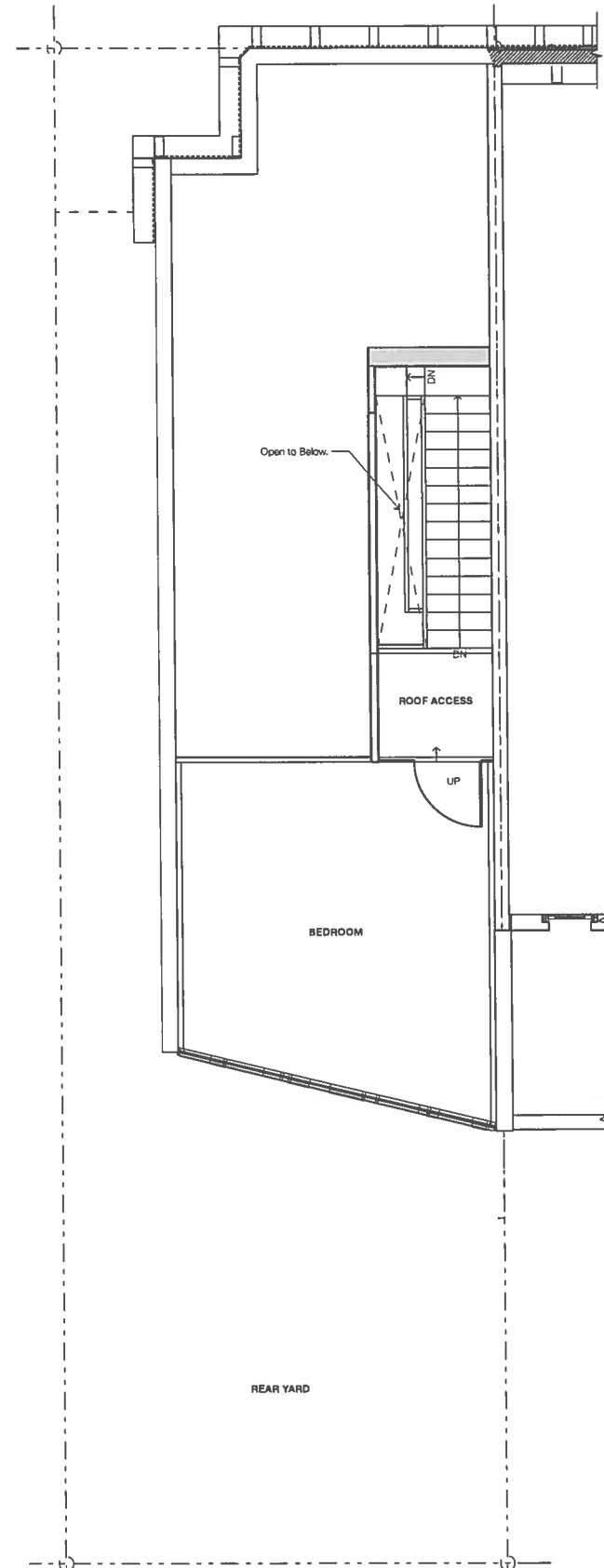
DEMO PLANS
ADDITION & ALTERATIONS

PROJECT NAME
1508DC

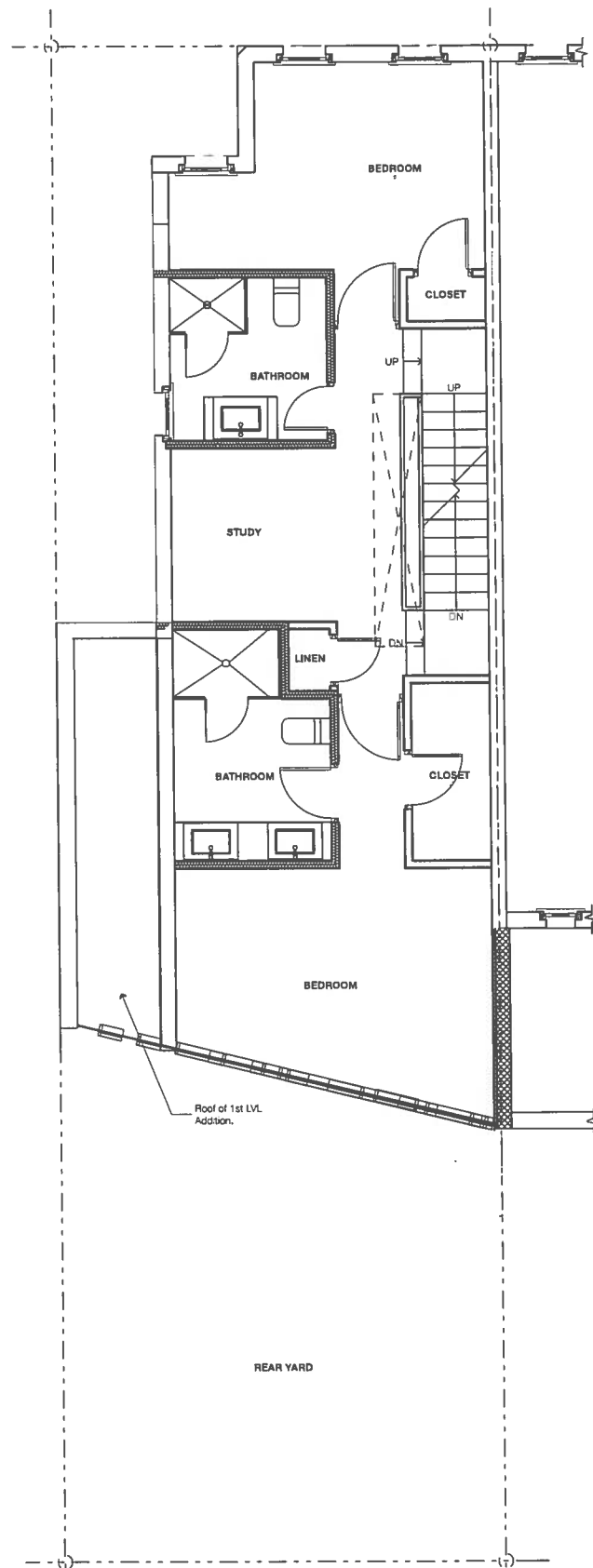
DATE Thursday 04, June 2015
SCALE
PRINTING Tuesday, September 8, 2015

A-03

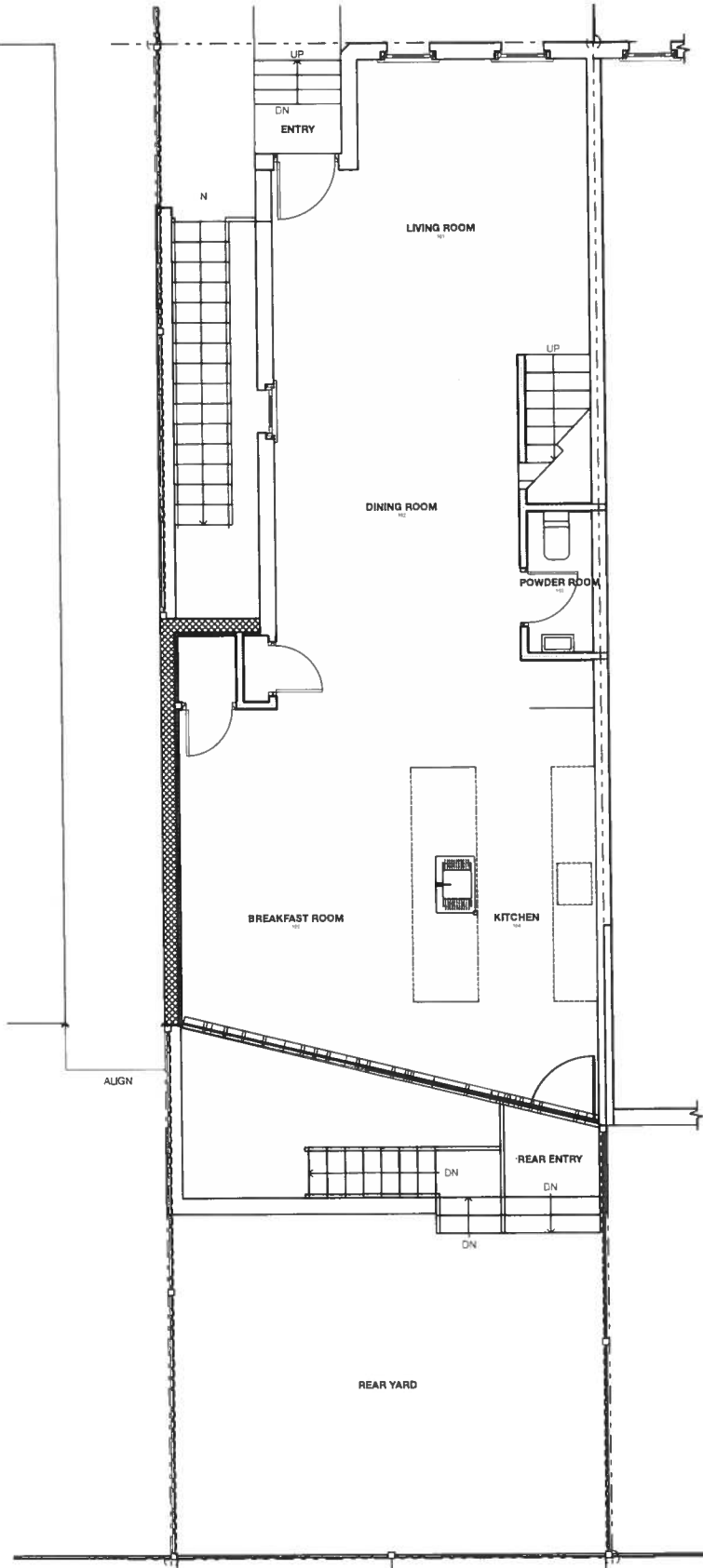
The drawings, plans, ideas, specifications and/or details contained in this document (the drawings) are the creation and sole property of Trout, Inc. (the creator). No reproduction, use of the drawings or their intellectual content is authorized without expressed written consent of the creator.



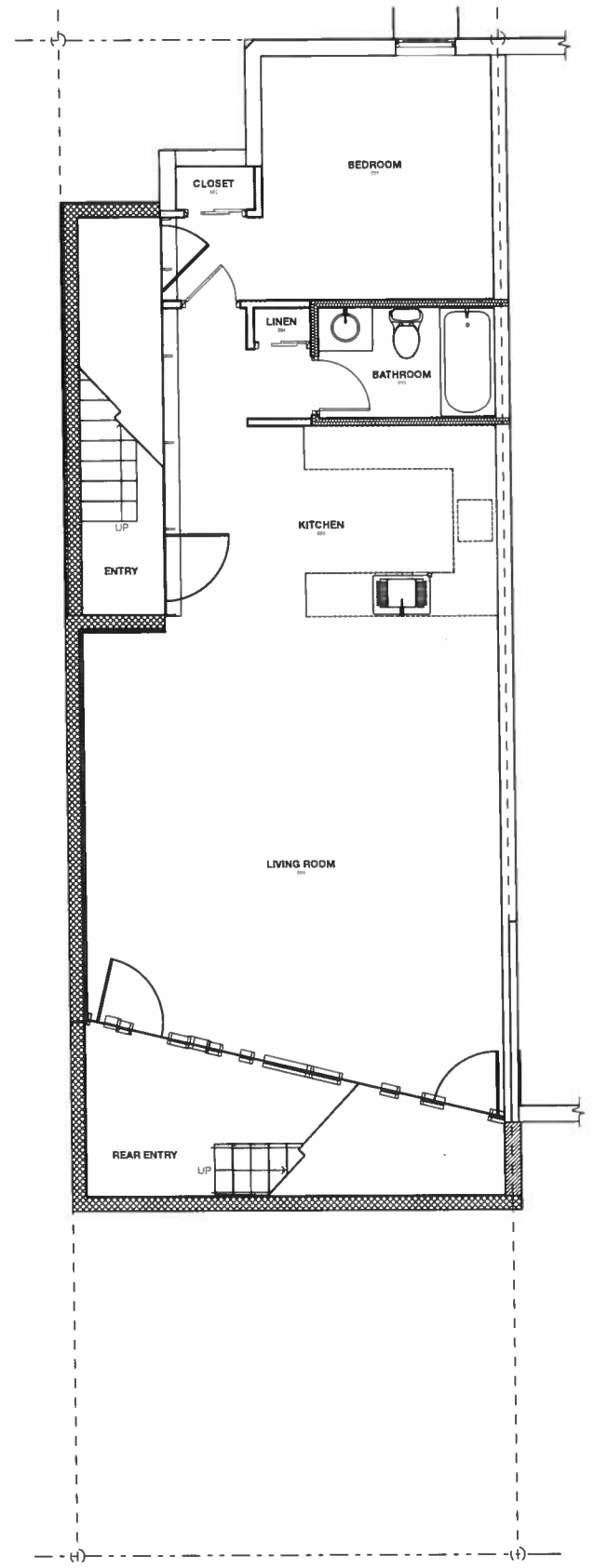
4 **PROPOSED ROOF PLAN**
SCALE: 1/8" = 1'-0"



3 **PROPOSED SECOND PLAN**
SCALE: 1/8" = 1'-0"



2 **PROPOSED FIRST PLAN**
SCALE: 1/8" = 1'-0"



1 **PROPOSED CELLAR PLAN**
SCALE: 1/8" = 1'-0"



Trout
1115 Woodland Ave.
Washington, DC 20001
Tel: (202) 655-1091
Fax: (202) 655-1091
www.troutdesign.com

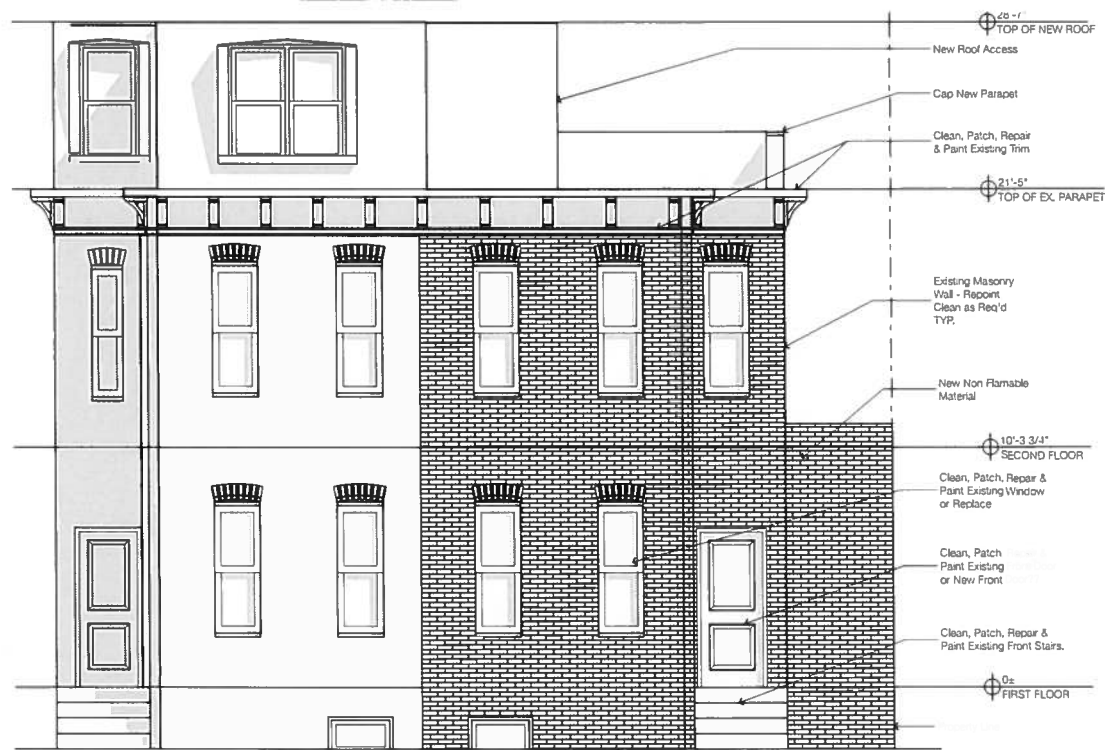
PROPOSED PLANS
ADDITION & ALTERATIONS

PROJECT NAME
1508DC

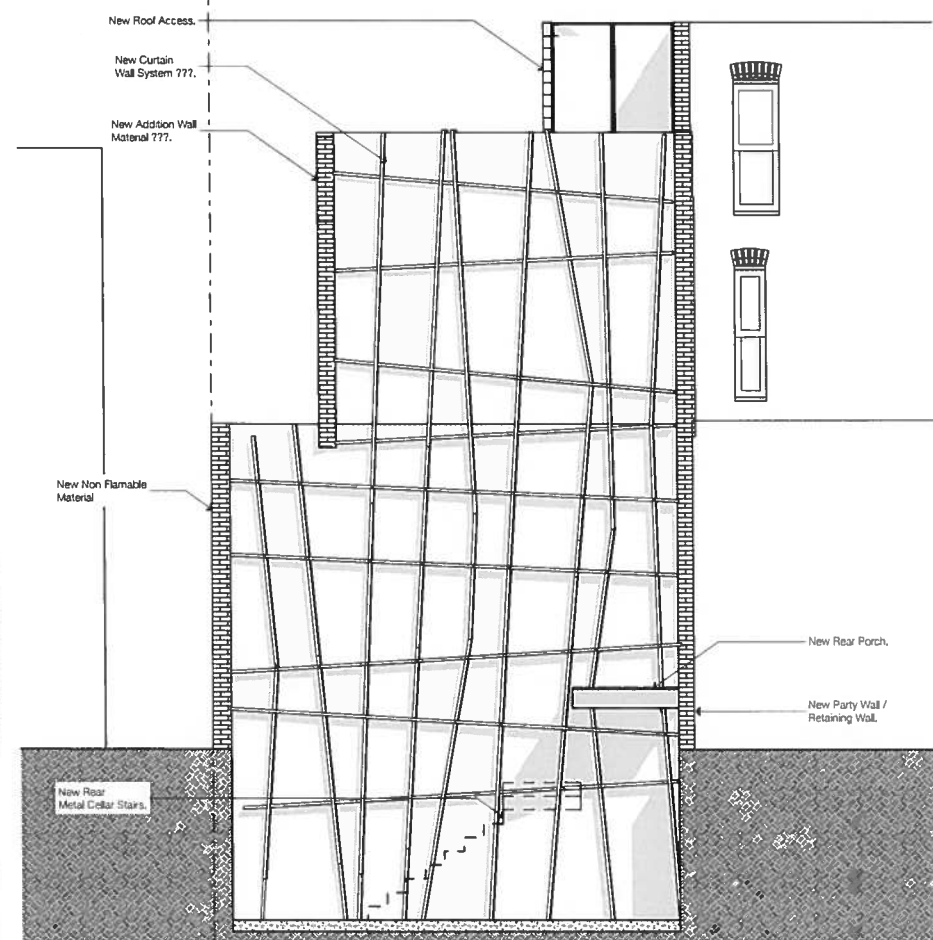
DATE
Thursday 04,
June 2015
SCALE
1/8" = 1'-0"
PRINTING
Tuesday, September
8, 2015

A-04

The drawings, plans, plots, specifications and/or details contained on this document (the drawings) are the creation and sole property of Trout, Inc. (the creator). No reproduction, use or the drawings or their intellectual content is authorized without expressed written consent of the creator.

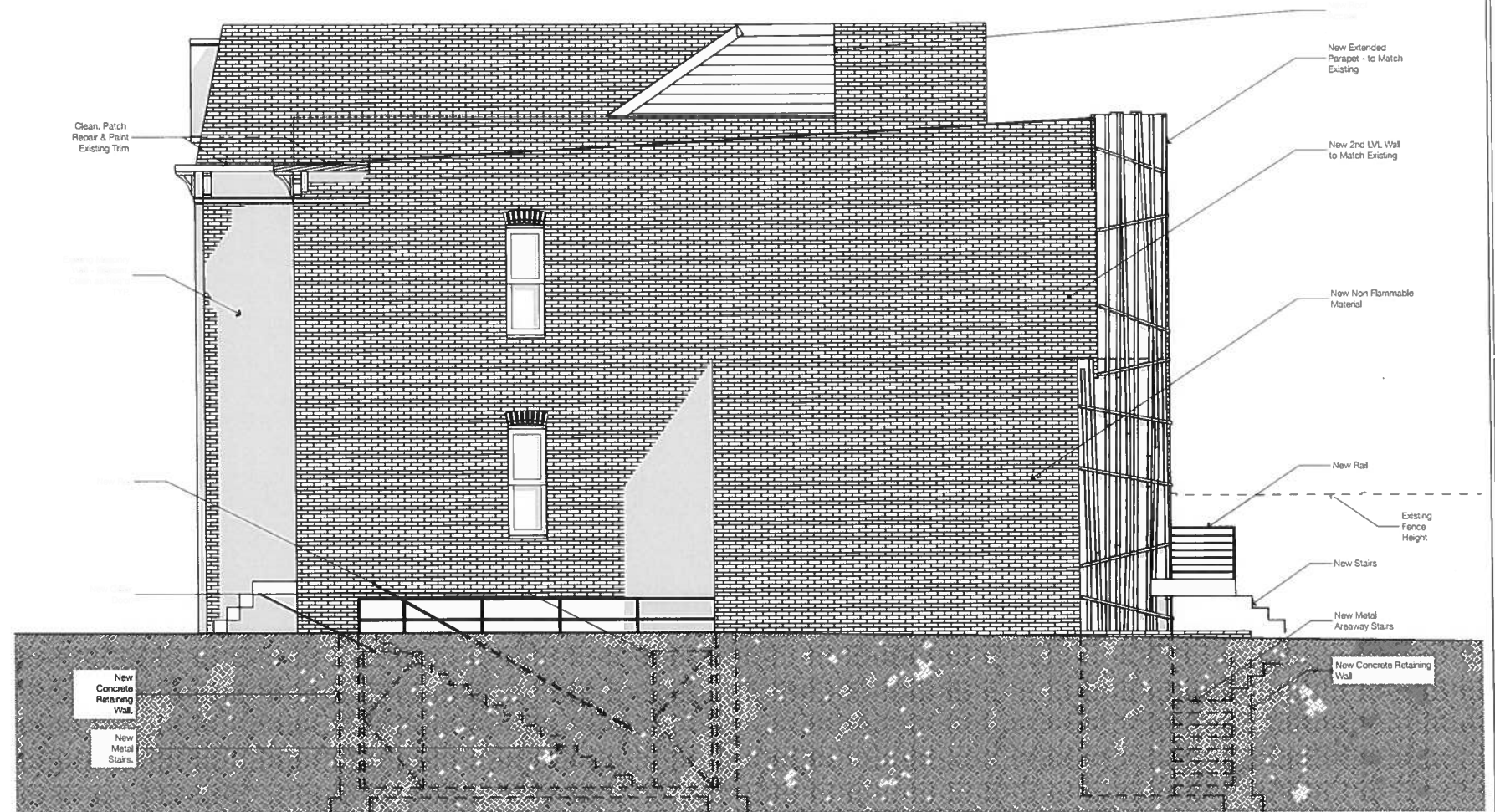


③ **PROPOSED NORTH ELEVATION**
SCALE: 1/8" = 1'-0"



② **PROPOSED SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"

teamwork://bim.troutdesign.com/1508DC_Caroline ST 9/8/15 12:17 PM



① **PROPOSED WEST ELEVATION**
SCALE: 1/8" = 1'-0"



P.O. Box 150
Washington, DC 20011
(202) 655-1091
(202) 655-1091

Office 1

2015 used under the
Washington, DC
(202) 655-1091
Fax (202) 655-1091

www.troutdesign.com

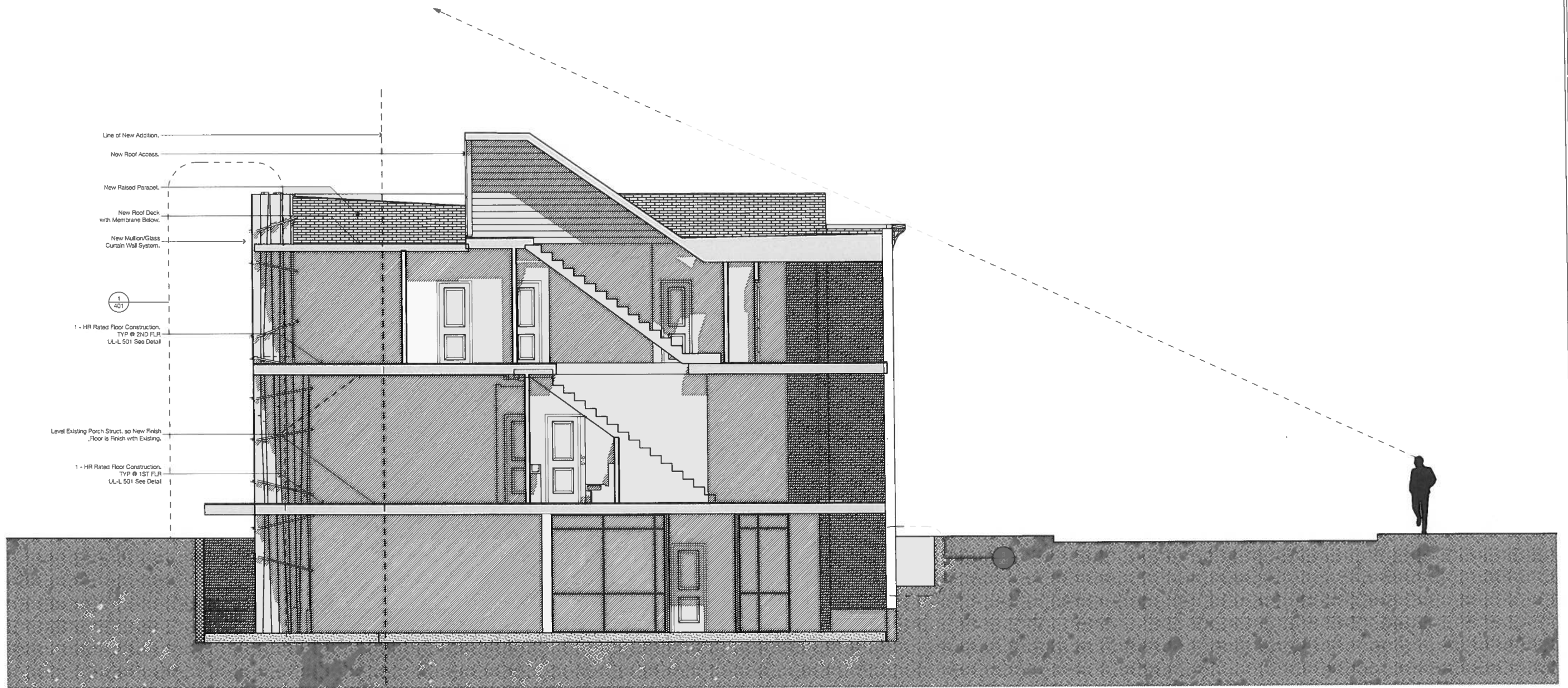
PROPOSED ELEVATIONS
ADDITION & ALTERATIONS

PROJECT NAME
1508DC

DATE Thursday 04, June 2015
SCALE
PRINTING Tuesday, September 8, 2015

A-05

The drawings, plans, elevations and/or details contained on this document (the drawings) are the creation and sole property of Trout, Inc. (the creator). No reproduction, use of the drawings or their intellectual content is authorized without expressed written consent of the creator.



1

PROPOSED SECTION

SCALE: 1/8" = 1'-0"

teamwork://bim.troutdesign.com/1508DC_Caroline ST 9/8/15 12:17 PM



PO Box 158
Vancouver, WA
(360) 575-4115

Office 11
www.troutdesign.com

2115 West Coast Ave
Vancouver, WA
(202) 651-0000
fax (202) 651-1891

PROPOSED SECTION ADDITION & ALTERATIONS

PROJECT NAME
1508DC

DATE
Thursday 04,
June 2015
SCALE
TUESDAY, SEPTEMBER
8, 2015
PRINTING

A-06

The drawings, plans, ideas specifications and/or details contained on this document (the drawings) are the creation and sole property of Trout, Inc. [the creator]. No reproduction, use of the drawings or their intellectual content is authorized without expressed written consent of the creator.



2

VIEW ALONG WESTSIDE ALLEY



1

VIEW FROM 1510 REAR YARD

A-07

DATE
Thursday 04,
June 2015
SCALE
1" = 1'-0"
PRINTING
Tuesday, September
8, 2015

PROJECT NAME
1508DC

PERSPECTIVE VIEWS
ADDITION & ALTERATIONS

Office 1
2113 West Court NW
Washington, DC
20007-1091
Tel: (202) 655-1091
Fax: (202) 655-1091
www.troutdesign.com

Trout
DESIGN