

GENERAL NOTES

KITCHEN/ADDITION/ RENOVATION;

- △ District of Columbia Building Permit to be obtained and paid for by homeowner.
- △ Preliminary research assumes "special exception" permit to be filed with city, 4-6 week lead time.
- △ Homeowner understands that project materials will not be ordered by Case until building permit is secured by client.
- △ Engineering fees are to be paid by Case and are included in this proposal.
- △ Plumbing & Electrical Permits/Inspections will be obtained by Case and are included in proposal.
- △ Provide site and dust protection as practical from home entry to areas of work.
- △ Owner to remove all loose/personal items from the project work area prior to the start of work. Efforts spent by Case to move personal items addressed on a time and materials work order.

DEMOLITION/HAUL AWAY by Case:

- △ Demolish and haul away existing exterior and interior walls per demolition plan.
- △ Case to demolish and haul away the existing kitchen components, existing kitchen base and wall cabinets, counter tops, existing backsplash, sink, sink faucet, and electrical fixtures as noted on demo plans. Demo (1) existing AC supply register and cap off in floor. Remove existing radiator and cap off copper supply.
- △ Demolish existing kitchen soffits, pantry shelves, and (2) existing windows; west facing kitchen wall window above sink and right-most bay window in dining room.
- △ During production Case to relocate existing refrigerator into living room space temporarily.
- △ Option provided to homeowner for removal of entire kitchen plywood substrate so that client may install their own insulation. Option for Case to install new ¾" plywood tongue & groove subfloor.

STRUCTURE/ROUGH CARPENTRY/INSULATION by Case;

- △ We assume existing structure scheduled to remain is in good condition/will not require reworking except as noted in plans.
 - △ Addition constructed on 6 x 6 pressure treated pine (PTP) pier posts per drawings. Wrap posts in 1x white PVC trim.
 - △ Floor framing assumes (2) 2 x 10 beams attached to existing structure and bearing on new posts, with 2x10 floor joists @ 16" o.c. and with ¾" tongue and groove subflooring. 5/8" MDO plywood will be installed at the underside of floor joists, R-30 batt insulation.
 - △ Exterior wall framing assumes 2x6 wood studs w/ ½" plywood sheathing and Tyvek house wrap.
 - △ Roof framing assumes 2 x 12 hipped roof rafters @ 16" o.c., with ½" plywood sheathing and 30# felt paper. Tie-in roof framing to existing structure as per plans. R-49 batt insulation.
 - △ Furnish/Install white PVC 5/4 x 8 exterior skirt board, 1x6 fascia board, 5/4x4 corner boards, and 1x8 soffits.
 - △ Furnish/Install white PVC lattice board below new addition.
 - △ Furnish/Install James Hardie fiber cement lap siding (pre-primed and pre-painted) per plan.
 - △ Furnish/Install (2) Velux 2' x 4' FS-2005 Fixed Skylights per plan.
 - △ Provide insulation per code. Combination of fiberglass batt to include, 6" R-19 and 15 1/2" R-49. Insulate/Seal top plates/penetrations, recessed light penetrations w/ air seal materials.
 - △ Client will supply and install additional insulation in existing kitchen floor bay while the flooring framing is exposed during rough-in plumbing/gas work. Ample notice will be provided to client.
 - △ We assume the existing insulation to be adequate. No change has been anticipated except as specifically noted.
- NOTE: Due to possible pre-existing deflection of the existing floor joists, it may result in a small hump in the floor where the new floor meets the existing.
- No reworking of the existing floor has been included to remedy this situation, if it exists. Any work to remedy the situation will be at additional cost.
- Not Included; No work has been included in proposal for leveling of existing floors and ceilings.
- Note: On occasion floors and ceilings are found to be out of level. While this may not be visible to the naked eye this condition may become evident with the installation of crown molding or large base molding. In the event of this we will bring to homeowners attention and provide solutions'.

ROOFING/ROOF REPAIRS TO EXISTING RESIDENCE by Case;

- △ Replace slate roof on existing bay window in its entirety to blend and furnish with fiberglass shingle roof so as to tie-in to new shingles on new structure.
- △ Furnish/Install Landmark 30 year fiberglass shingles to blend w/existing.
- △ Furnish/Install Ice Shield Freeze Guard/ Copper Apron Flashing/ Copper Step Flashing/ Aluminum Drip Edge, Vinyl Soffit and Fascia Cover
- △ If client wishes to upgrade exterior doors, hinges, hardware, locks, handles, windows, etc. from standard settings, Case can evaluate these updates and bill them as a separate contract or on a Time and Material Basis.

WINDOWS by Case;

- △ Furnish/Install (4) Andersen 200 Series double hung windows w/out grilles to blend with existing, pine interior, white vinyl clad exterior, w/screens. Window trim by Case.

MECHANICAL:

- HVAC:
- △ Furnish/Install Mitsubishi ductless mini-split heat pump system to supply heating and cooling per plan. BY OTHERS-Not Included in this proposal
- △ Interior unit located high on interior wall in kitchen per drawings, location verified in field.
- △ Case to cap off (1) existing HVAC register in kitchen affected by new kitchen cabinet layout.

PLUMBING by Case:

- △ Case to rough-in and install (1) single bowl kitchen sink and faucet, (1) disposal, (1) dishwasher, (1) icemaker with high impact water line or copper water line (determination will be made in the field), (1) gas range hook up, new garbage disposal.
- △ Note-Case assumes to install the following plumbing fixtures but this may change as materials are client supplied.
- △ Install owner-provided Elkay Undermount Single Bowl Stainless Steel sink, 18 Gauge, 30.5" x 18.5" x 10" with sound guard. Model #EELUH281610.
- △ Install owner-provided Hansgrohe Axor Citterio Pullout Spray Kitchen Faucet with High-Arch Spout in Stainless finish. Model #AX39835801
- △ Install owner-provided ¾ Badger Garbage Disposer with Air switch. Model #IBADGER5XP
- △ Install owner-provided Hansgrohe Contemporary soap dispenser in stainless finish. Model #HO4539800.
- △ Note: We assume existing plumbing is in good condition and to code.

KITCHEN ELECTRICAL by Case:

- △ Relocate Outlets/Switches per plans to meet NEC.
- △ Furnish/Install (14) recessed lights w/LED bulbs and trim.
- △ Furnish/Install (2) three way switch per plans.
- △ Furnish/Install (3) single pole switch per plan
- △ Furnish/Install (2) new island mounted electrical outlets.
- △ Furnish/Install (12) new duplex electrical outlets.
- △ Furnish/Install (9) new dedicated circuits.
- △ Furnish/Install (2) existing GFCI devices.
- △ Additional owner-supplied surface mounted fixtures will be addressed on a Time & Materials work order and are not included.

DINING ROOM ELECTRICAL by Case;

- △ Furnish/Install (6) Lightolier recessed lights w/LED bulbs and trim.
 - △ Furnish/Install (2) three way switch per plans.
 - △ Furnish/Install (1) 15 Amp circuit to support dining room recessed lighting.switch per plans.
 - △ Additional Changes to electrical service from street to residence have not been anticipated or included.
- HVAC ELECTRICAL by Case;
- △ Furnish/Install (1) 20 Amp circuit to support Mitsubishi Mini-split Heating/Cooling unit per plans.
 - △ Furnish/Install (1) Weather Proof GFCI receptacle.
 - △ Furnish/Install (1) 12/2 wire and (1) 18/2 wire from exhaust hood fan to air handler.

Miscellaneous Mechanical Notes;

- △ Recessed light locations are subject to joist location and/or existing conditions. Additional lights, if desired, or reworking to accommodate the recessed fixtures will be at additional cost.
- △ Security/fire system/telephone/antenna/cable wiring or relocation, if required, is to be arranged and paid for by Owner(s).
- △ Any additional electrical work required by Inspector to meet current code standards will be at additional cost.
- △ Changes to the electrical service from the street have not been anticipated or included.
- △ Smoke detectors included are shown on the plans. Any additional smoke detectors required will be at an additional cost.
- △ No change to the existing hot water heater has been included.

DRYWALL FINISH by Case:

- △ Patch and Repair drywall as required at Kitchen and Dining Room space. If ceiling requires additional floating that is required or requested by home owner will be addressed on Time & Materials work order.
- △ Painting By Others-Not Included: Paint ceiling, walls, trim, pantry doors,(Color TBD).

KITCHEN CABINETS & COUNTER TOPS: Provided by Others- Not included;

- △ Client agrees to take responsibility to purchase/order cabinet materials, accept delivery, and perform cabinet installation without the assistance of the Case design or production team.
- △ Cabinet Paint Color is "Designer White" in semi-gloss finish. Door Style is "Belmont" with recessed center panel with a full overlay construction, plywood box construction with 5pc drawer front and full extension soft close drawers. Cabinetry features generous drawer and spice storage in base cabinets at perimeter and island, island wainscot panels, and tall buffet base and wall cabinets for plate storage.
- △ Client to furnish/install kitchen cabinetry hardware (knobs or pulls).
- △ Client to furnish/install Counter Tops/Furnish/Install Cambria Torquay 3cm quartz counter top with standard edge profile, no backsplash.

TILE FINISHES: Provided by Others – Not included;

- △ Homeowner to furnish/install kitchen tile backsplash behind cooktop.

INTERIOR TRIM FINISHES;

- △ By Others-Not included: Homeowner to furnish and install all baseboard and door trim to blend with existing in residence.
- △ Case to furnish and install new window trim (4) to blend with existing in residence.
- △ Case to frame rough opening for pocket door installation by homeowner.
- △ Homeowner to furnish/install new full lite pocket door at pantry w/opaque glass on upper, one panel on lower half of door.
- △ By Others-Painting on ceiling, doors, window trim assumes Sherwin Williams Best. (Color TBD).
- △ Trim carpentry supplied by homeowner (with the exception of the window trim) to be stock one-piece finger-jointed material (base, door, window) in standard profiles, custom trim has not been anticipated or included.
- △ NOTE: Finger-jointed material does not lend itself to stain.
- △ Any new interior doors are to be equipped with a standard, brass-finished Schlage knob with the exception of homeowner provided brass finger latch at pocket door.

FINISHES/NOTES:

- △ Prefinished hardwood flooring in kitchen and refinishing of existing hardwood flooring has not been included in this proposal and is to be by Others.
- △ Appliances have not been included in this proposal. Owner to arrange for delivery and acceptance of appliances. Case cannot be responsible for any damage associated with Owner not inspecting appliances at the time of delivery by others.
- △ Appliance installation is by Case.

Drawing Index

Sht.	Description
1	CONTRACT NOTES
2	EXISTING/DEMO PLAN
3	PROPOSED KITCHEN PLAN
4	PROPOSED KITCHEN PERSPECTIVES
5	PROPOSED KITCHEN MECHANICAL PLAN
6	PROPOSED ADDITION ELEVATIONS
7	FOUNDATION AND FRAMING PLANS
8	SECTION DETAILS
9	PLUMBING/GAS DIAGRAMS
9	Total No of Sheets

APPLICABLE CODES

- GENERAL CODE NOTES:
- Plans conform with IRC 2006 & DCMR 12 Supplement of 2008
 - All wood in contact with soil or masonry foundations to be pressure treated-AC treated SYP or equivalent. All fasteners used with ACQ treated lumber will meet the ASTM standard A153 and A653, class 185
 - All framing lumber to be SPF #2 unless indicated otherwise.

Design criteria used are as follow:

- Roof load - 30 lbs/sf
- Roof and floor dead load - 10 lbs/sf
- Seismic design category B
- Termite damage subjectivity - heavy
- Winter design temperatur - 19 degrees F
- Subjectivity to damage from weather - heavy
- Subjectivity to decay - moderate
- Floor live load in non-sleeping areas - 40 lbs/sf
- Floor live load in sleeping areas - 30 lbs/sf
- Wind speed - 90 mph
- Frost line depth - 30"
- Floor hazard - zone C

- Concrete - 3,000 psi compressive strenght at 28 days
- Subfloors - ¾" APA subfloor/underlayment rated, tongue and groove, glued and nailed to joists
- Roof sheathing - 1/2" OSB with spacers
- Roofing - 215 lb per square asphalt shingles over 15 lbft.

REVISED PERMIT PLANS

Board of Zoning Adjustment
District of Columbia
Case No. 19033
EXHIBIT NO.9



Bethesda
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Proj. Number: 19830739

Proj. Designer: S. SCHOLL

Designer: MANN/SHORE

Proj. Manager: T. CRAZE

BLOCK/COMET RESIDENCE
3348 MILITARY ROAD, NW
WASHINGTON, DC 20015

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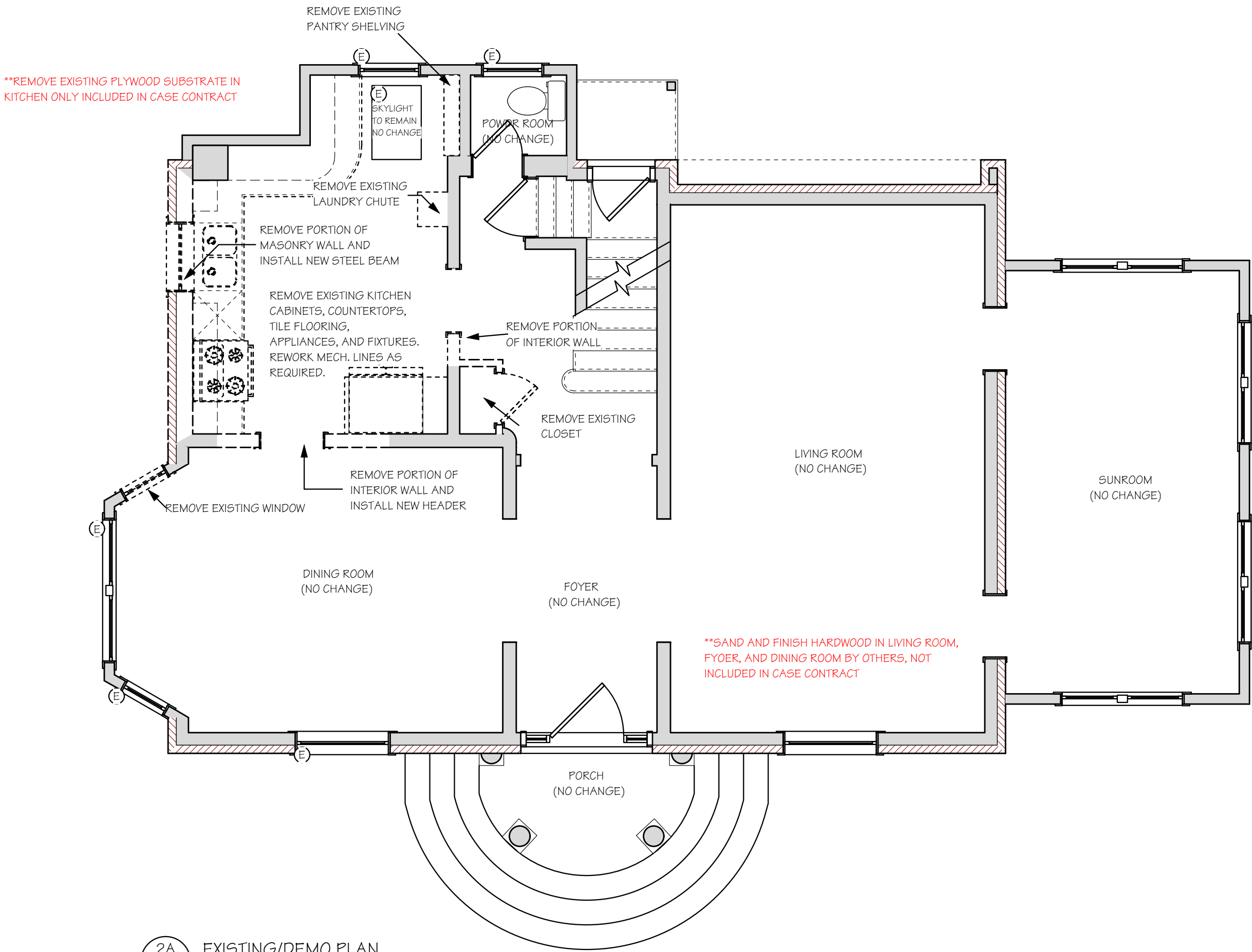
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Scale: No Scale Date: 3/11/15

Sheet: 02 Of: 09

02 09



2A EXISTING/DEMO PLAN
A Scale: 1/4" = 1'-0"

REVISED PERMIT PLANS

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BY CASE; FURNISH/INSTALL NEW WINDOWS (4)
AND SKYLIGHTS (2) PER PLAN INCLUDED IN CASE CONTRACT

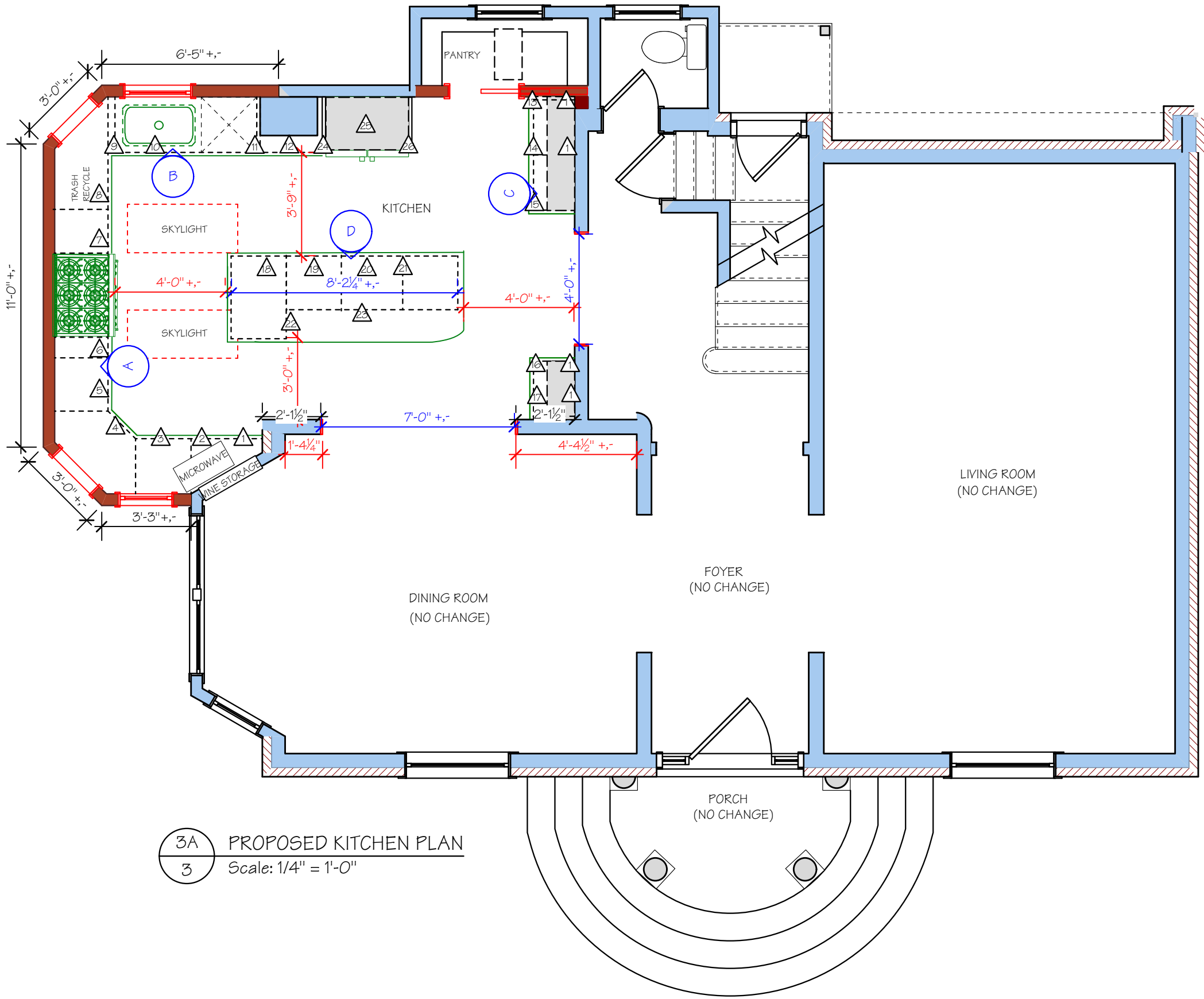
BY CASE; ENLARGE EXISTING OPENINGS INTO KITCHEN WITH
ARCH DETAIL SIMILAR TO EXISTING IN HOME INCLUDED IN CASE CONTRACT

BY CASE; DRYWALL REPAIRS INCLUDED IN CASE CONTRACT
**BY OWNER ALL PAINTING NOT INCLUDED IN CASE CONTRACT

BY CASE, INSTALL CLIENT SUPPLIED APPLIANCES, INCLUDED IN CASE CONTRACT

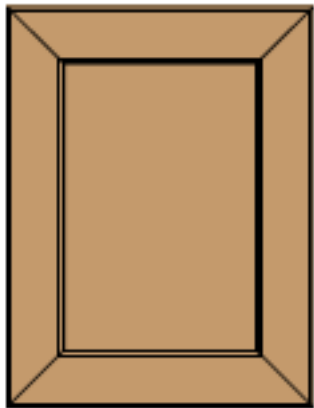
**BY OWNER; NEW KITCHEN CABINETS,
COUNTER TOPS, TILE BACKSPLASH, PLUMBING FIXTURES,
AND CABINETRY HARDWARE, NOT INCLUDED IN CASE CONTRACT

**BY OWNER; NEW KITCHEN FLOORING, ANY ADDITIONAL FLOORING
WORK IN ADJACENT ROOMS, NOT INCLUDED IN CASE CONTRACT,
BY OWNER



CRYSTAL CABINET
STYLE/DOOR PROFILE

Belmont



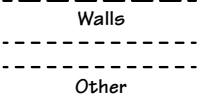
3 3/8" stiles & rails

LEGEND - PLAN

EXISTING



DEMOLITION



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KITCHEN CABINET SCHEDULE

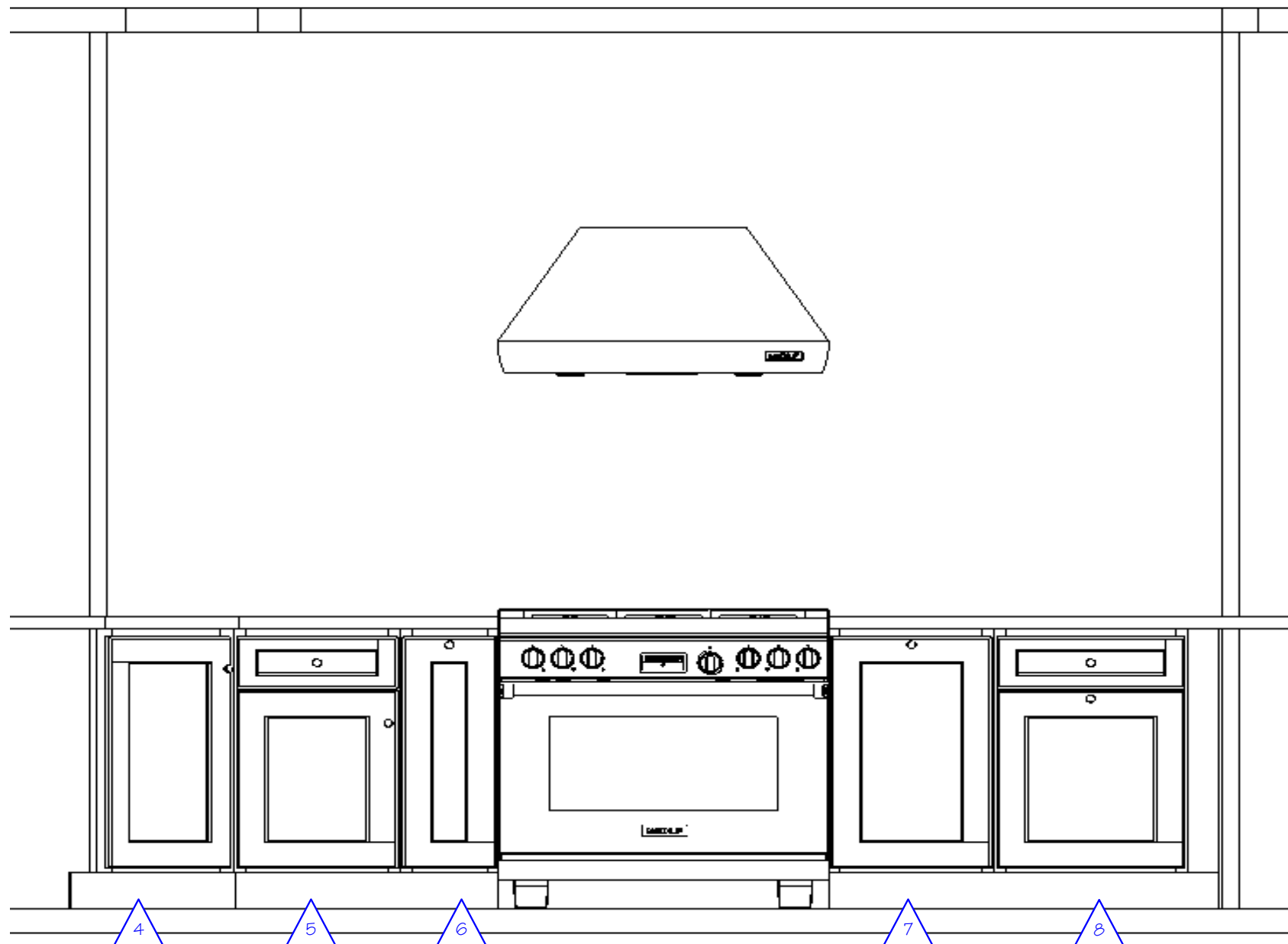
MANUFACTURER: CRYSTAL
BOX TYPE: PLYWOOD BOX
UPPER DOOR STYLE: BELMONT FOL
LOWER DOOR STYLE: BELMONT FOL
MATERIAL: PAINT GRADE MATERIAL
FINISH: DESIGNER WHITE PAINT
MISC: DOVETAIL DRAWERS w/ FULL
EXTENSION GUIDES

ITEM	QTY	CODE	HINGE	DESCRIPTION	DOOR COUNT	INSTALL		
						FINISH END	FALSE DOOR	TYPE
1	1	BF3	---	BASE FILLER	---	----	----	BASE
2	1	BEDPF3L	---	BASE END PANEL WITH FILLER	---	RIGHT	----	BASE
3	1	BFD21	L	21" WIDE BASE CABINET	1	----	----	BASE
4	1	DL536	L	36" DIAGONAL CORNER w/LAZY SUSAN	1	----	----	BASE
5	1	B18	L	18" WIDE BASE CABINET WITH 1 DRAWER AND 1 DOOR WITH TRAY DIVIDERS	1	----	----	BASE
6	1	NF05C09	---	9" WIDE NARROW PULL OUT STORAGE (FOR SPICES)	---	LEFT	----	BASE
7	1	POS015	---	15" WIDE PULL OUT STORAGE (FOR OILS AND LARGER ITEMS)	---	RIGHT	----	BASE
8	1	SR - BWRC	L	SPECIAL REQUEST CORNER TRASH/RECYCLE	1	----	----	BASE
9	1	BF3	---	BASE FILLER	---	----	----	BASE
10	1	SB36	L R	36" WIDE SINK BASE WITH SUTT DOORS SINK MAT. AND 21" WIDE DRAWER	2	RIGHT	----	BASE
11	1	BEP	---	BASE END PANEL FOR DISHWASHER	---	----	----	BASE
12	1	BFD24341/212	L R	24" WIDE BASE CABINET WITH REDUCED DEPTH FOR INFROCK CHASE	2	----	----	BASE
13	1	BF3	---	BASE FILLER	---	----	----	BASE
14	1	3D24	---	24" WIDE 3 DRAWER BASE CUT DOWN TO 21" DEEP	---	----	----	BASE
15	1	3D24	---	24" WIDE 3 DRAWER BASE CUT DOWN TO 21" DEEP	---	RIGHT	----	BASE
16	1	3D24	---	24" WIDE 3 DRAWER BASE CUT DOWN TO 21" DEEP	---	LEFT	----	BASE
17	1	BF3	---	BASE FILLER	---	----	----	BASE
18	1	3D36	---	36" WIDE 3 DRAWER BASE	---	LEFT	LEFT	BASE
19	1	B24	---	24" WIDE BASE CABINET WITH DRAWER AND (1) ROLL OUT SHELF IN BOTTOM	---	----	----	BASE
20	1	2D24	---	24" WIDE 4 DRAWER BASE CABINET	---	----	----	BASE
21	1	2D24	---	24" WIDE 2 DRAWER BASE	---	LEFT	LEFT	BASE
22	1	WPA6	---	ISLAND PANEL	---	----	----	BASE
23	1	WPA6	---	ISLAND PANEL	---	----	----	BASE
24	1	TF396	---	TALL FILLER	---	----	----	TALL
25	1	WE3615	---	EXTENDED DEPTH WALL CABINET, 36" WIDE X 21" TALL	---	----	----	TALL
26	1	CRL	---	REFRIGIDE END PANEL	---	----	----	TALL

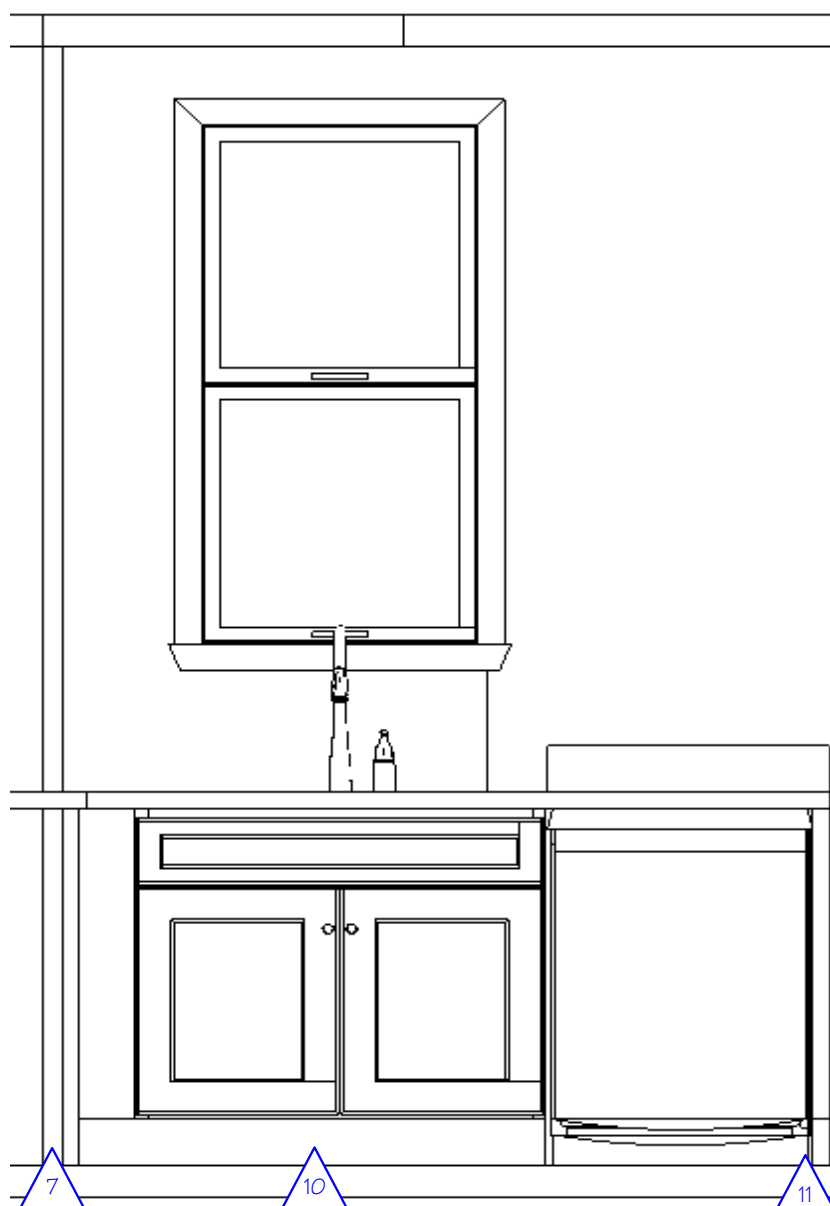
CABINETS ARE CLIENT SUPPLIED
AND NOT INCLUDED IN CASE CONTRACT

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ELEVATIONS NOT TO SCALE, FOR CABINET REFERENCE/DESIGN ONLY, MATERIALS NOT INCLUDED IN CASE CONTRACT



ELEVATION A

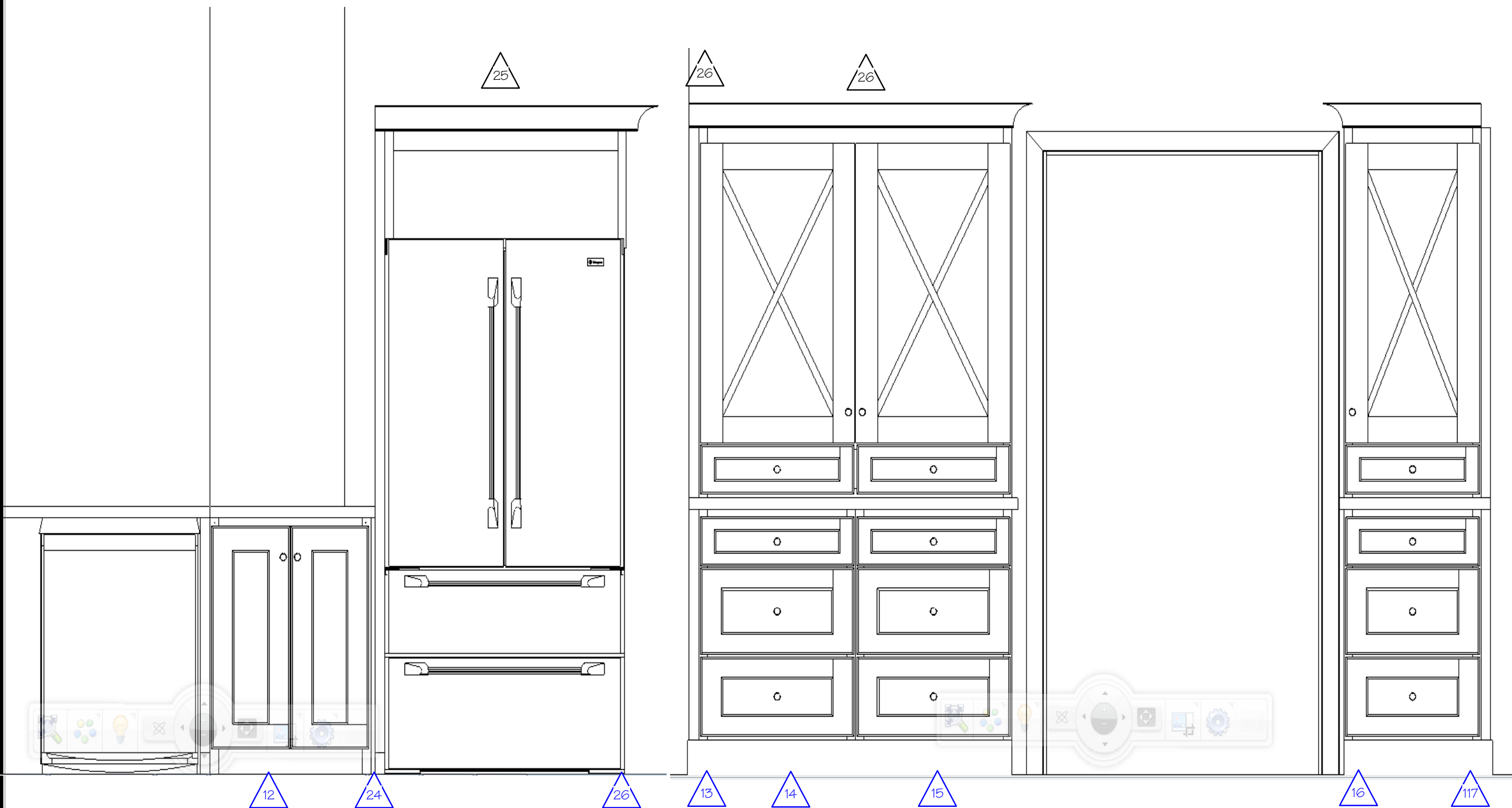


ELEVATION B

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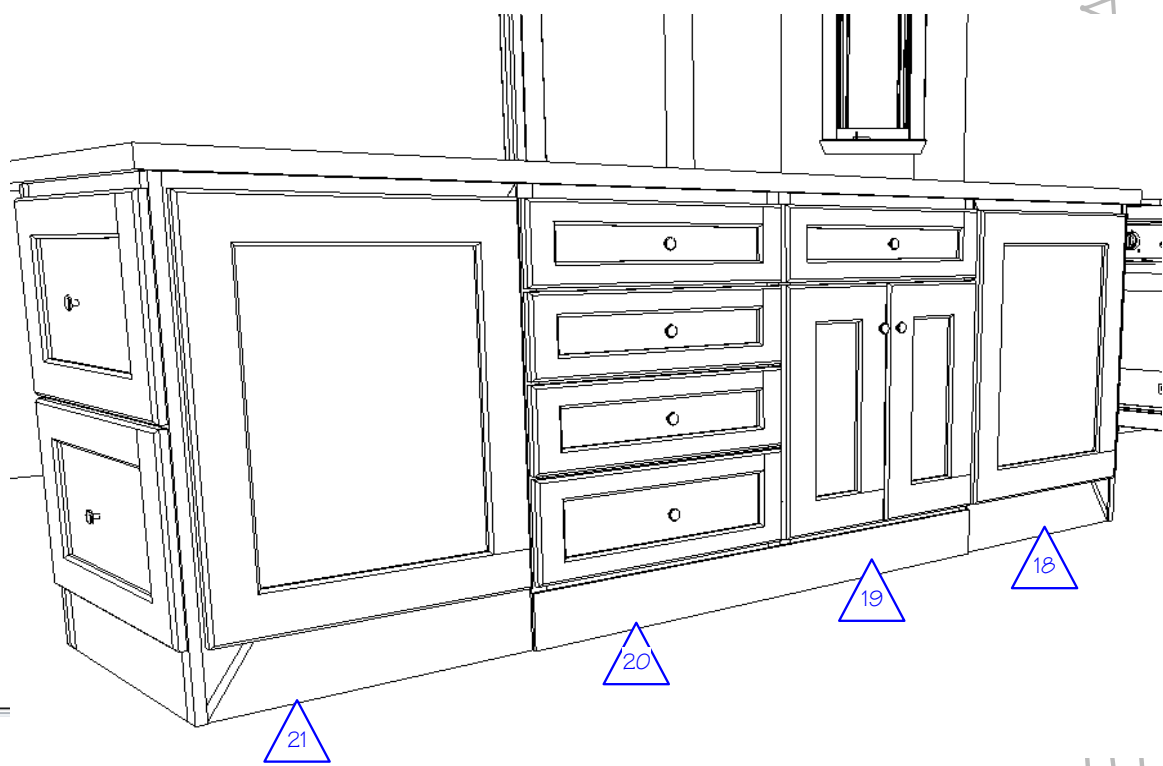
KITCHEN FINISH SCHEDULE					
ALL MATERIALS ARE TO BE SUPPLIED AND INSTALLED BY CASE					
ITEM	MANUFACTURER	TYPE	MATERIAL	STYLE	NOTES
KITCHEN COUNTERTOP	NORWOOD	QUARTZ	CAMBRIA	TORQUAY	WITH STAND. EDGE PROFILE NO SPLASHES
FLOORING	----	-----	PREFINISHED HARDWOOD	-----	AT NEW KITCHEN ONLY

KITCHEN FIXTURE SCHEDULE					
ALL FIXTURES ARE TO BE SUPPLIED AND INSTALLED BY CASE					
ITEM	MANUFACTURER	MODEL	FINISH	SIZE	NOTES
KITCHEN FAUCET AND SOAP DISP.	HANSGRÖHE	AX39835801 H04539800	STAINLESS STEEL	SINGLE HOLE	W/PULLOUT SPRAY CONTEMP. SOAP DISPENSER
KITCHEN SINK	ELKAY	EELUH281610	STAINLESS STEEL	30.5 x 18.5 x 10"	SINGLE BOWL UNDERMOUNT
GARBAGE DISPOSER	INSINKERATOR	IBADGER5XP		3/4 HP	WITH AIR SWITCH



ELEVATION C

ELEVATION D



ELEVATION E



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LEGEND - ELECTRICAL

RECESSED LIGHTING

6 3/4" RECESSED W/ WHITE STEP BAFFLE LIGHTOLIER "LITECASTER" OR SIM. IC BOX REQUIRED IN INSULATION. 1102/1176 WH

5" RECESSED W/ WHITE STEP BAFFLE LIGHTOLIER "LITECASTER" OR SIM. IC BOX REQUIRED IN INSULATION. 1002/1076 WH

6 3/4" RECESSED W/ LOW SLOPE WHITE STEP BAFFLE LIGHTOLIER "LITECASTER" OR SIM. IC BOX REQUIRED IN INSULATION. 1001C/1131 WH (3/12 - 7/12 CEILING PITCH)

6 3/4" RECESSED W/ WET LOCATION TRIM AND WHITE LEXAN DIFFUSER (DROPPED) LIGHTOLIER 1102/1176 LX

LIGHTING

Existing (to remain) Wall (B.O.) Surface (B.O.)

Flood Fan (B.O.) Puck / under cabinet

OUTLETS

Existing (to remain) Standard Switched

WP GFI Floor Quad Junction Box Dedicated Circuit

SWITCHES

Existing (to remain) Single Pole 3 way

4 way Dimmer Fan

COMMUNICATION

Telephone Jack CATV Cable/tv

MISCELLANEOUS

Exhaust Fan Fan/Light Heat

Existing Thermostat New Thermostat

SAFETY

Smoke Detector SMOKE DETECTORS TO BE HARDWIRED W/ BATTERY BACKUP

GENERAL NOTE

ALL WORK TO CONFORM TO THE NEC AND ALL LOCAL APPLICABLE CODES. EXACT DEVICE LOCATIONS SUBJECT TO JOB CONDITIONS. ALL SURFACE MOUNTED ELECTRICAL FIXTURES TO BE PROVIDED BY OWNER & INSTALLED BY CASE. METER LOCATION TO BE DETERMINED BY LOCAL UTILITY COMPANY.

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE TO SECTION R314.3 (1-3) AND R314.4

- EACH SLEEPING ROOM
- OUTSIDE EACH SEPERATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS.
- SMOKE ARAMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, HAVE BATTERY BACKUP, AND BE INTERCONNECTED.

CARBON MONOXIDE ALARMS TO BE INSTALLED IN ACCORDANCE TO SECTION R315.1

- INSTALLED OUTSIDE OF EACH SEPERATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN THE DWELLING UNITS WITHIN WHICH FULED FIRED APPLIACES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

ELECTRICAL/MECHANICAL PLAN

KITCHEN

- 14 - LIGHTOLOER 2002P1 RECESSED LIGHTS WITH 2076 TRIMS AND TCP L.E.D. BULBS
- 2 - 3 WAY SWITCH SYSTEMS
- 3 - SINGLE POLE SWITCHES
- 12- DUPLEX RECEPTACLES
- 2 - 20AMP KITCHEN GFCI RECEPTACLE CIRCUITS
- 1 - 20 AMP REFRIGERATOR CIRCUIT
- 1 - 15 AMP DISPOSAL CIRCUIT
- 1 - 20 AMP DISPOSAL CIRCUIT
- 1 - 20 AMP HOOD FAN CIRCUIT
- 1 - 50 AMP ELECTRIC STOVE CIRCUIT
- 1 - 15 AMP LIGHTING CIRCUIT

DINING ROOM

- 2 - 3 WAY SWITCH SYSTEM
- 6 - LIGHTOLIER 2003R RECESSED LIGHTS W/ 2076 TRIMS AND TCP L.E.D BULBS
- 1 - 15 AMP CIRCUIT

H.V.A.C

- 1 - 20 AMP 240V CIRCUIT FOR MINI SPLIT SYSTEM
- 1 - WEATHER PROOF GFCI RECEPTACLE
- 12/2 WIRE AND 18/2 WIRE FROM HOOD FAN TO AIR HANDLER

***THE EXISTING REGISTERS ARE TO REMAIN, NO CHANGE

5A KITCHEN MECHANICAL PLAN
Scale: 1/2" = 1'-0"



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Proj. Designer: S. SCHOLL

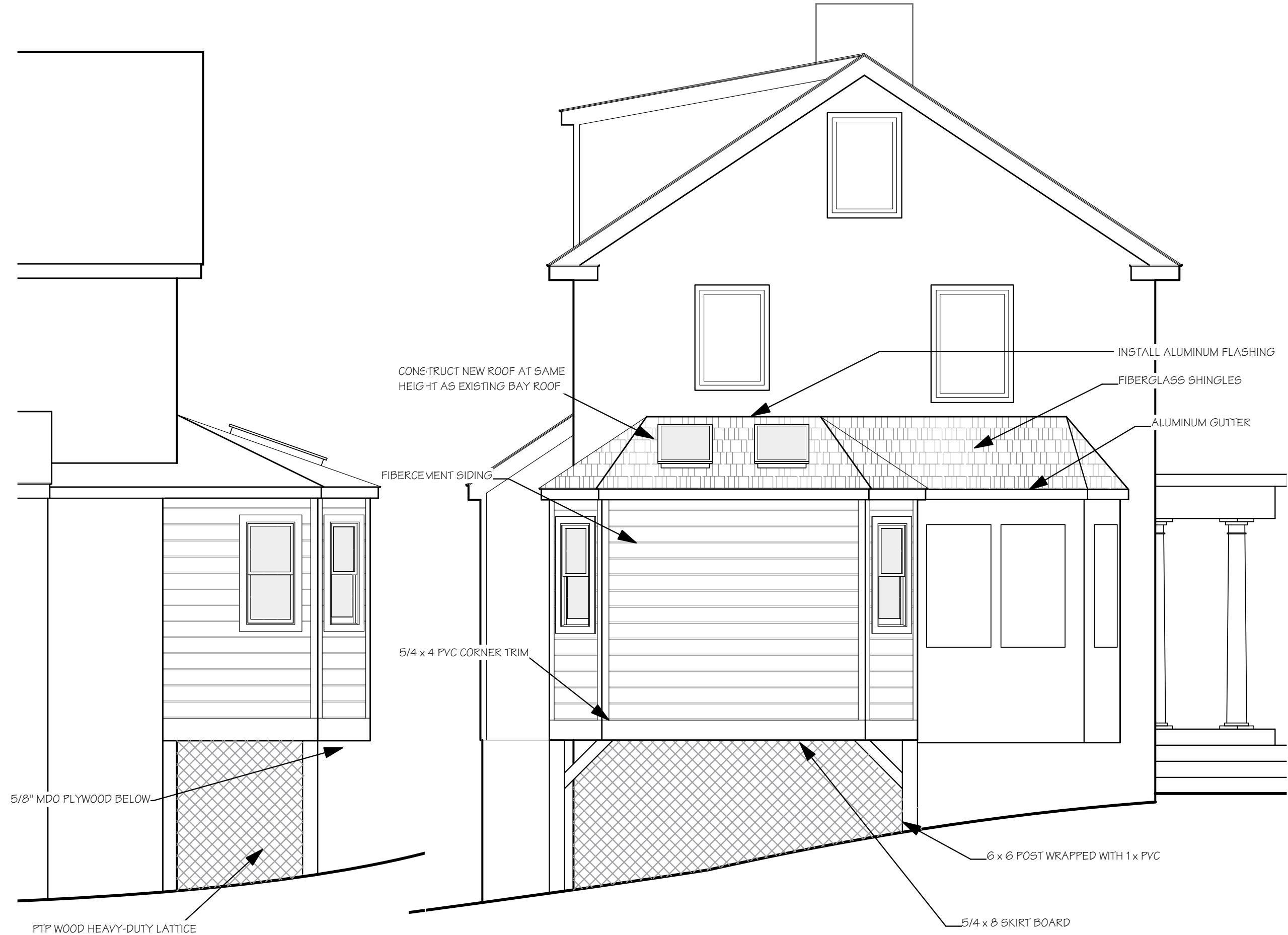
Designer: MANN/SHORE

Proj. Manager: T. CRAZE

BLOCK/COMET RESIDENCE
3348 MILITARY ROAD, NW
WASHINGTON, DC 20015

Drawing Log	Date
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Scale: 1/4" = 1'-0"	Date: 3/11/15
Sheet: 06	Of: 09
PROPOSED ELEVATIONS	



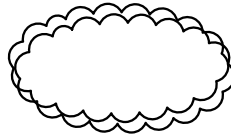
6A REAR ELEVATION
Scale: 1/4" = 1'-0"

6B LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"

6C FRONT ELEVATION
Scale: 1/4" = 1'-0"

***NOTE: DOWNSPOUTS NOT SHOWN.
EXACT LOCATION TO BE DETERMINED ONSITE.
DOWNSPOUTS TO HAVE SPLASH BLOCKS.

REVISED PERMIT PLANS



GENERAL

A. THE BUILDING IS DESIGNED UNDER THE PROVISIONS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE.

B. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

ROOF	30 PSF
FLOOR	40 PSF

A MINIMUM OF 10 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

D. THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.

2. EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 1500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE.

3. CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F'_c) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS.

C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:

-- FOOTINGS (BOTTOM)	3"
-- PIERS (SIDE)	2"

4. WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:

- BENDING STRESS " F_b " = 850 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR " F_v " = 70 PSI
- COMPRESSION PERPENDICULAR TO GRAIN " $F_c \perp$ " = 405 PSI
- COMPRESSION PARALLEL TO GRAIN " $F_c \parallel$ " = 1,150 PSI
- MODULUS OF ELASTICITY " E " = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA.

B. ALL EXTERIOR FRAMING SHALL BE PRESSURE-TREATED. FRAMING SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUAT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER):

- BENDING STRESS " F_b " = 750 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR " F_v " = 90 PSI
- COMPRESSION PERPENDICULAR TO GRAIN " $F_c \perp$ " = 565 PSI
- COMPRESSION PARALLEL TO GRAIN " $F_c \parallel$ " = 1,250 PSI
- MODULUS OF ELASTICITY " E " = 1,400,000 PSI

C. GALVANIZED PARALLEL PSL COLUMNS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

- BENDING STRESS " F_b " = 1700 PSI
- COMPRESSION PARALLEL TO GRAIN " $F_c \parallel$ " = 1450 PSI
- MODULUS OF ELASTICITY " E " = 1,500,000 PSI

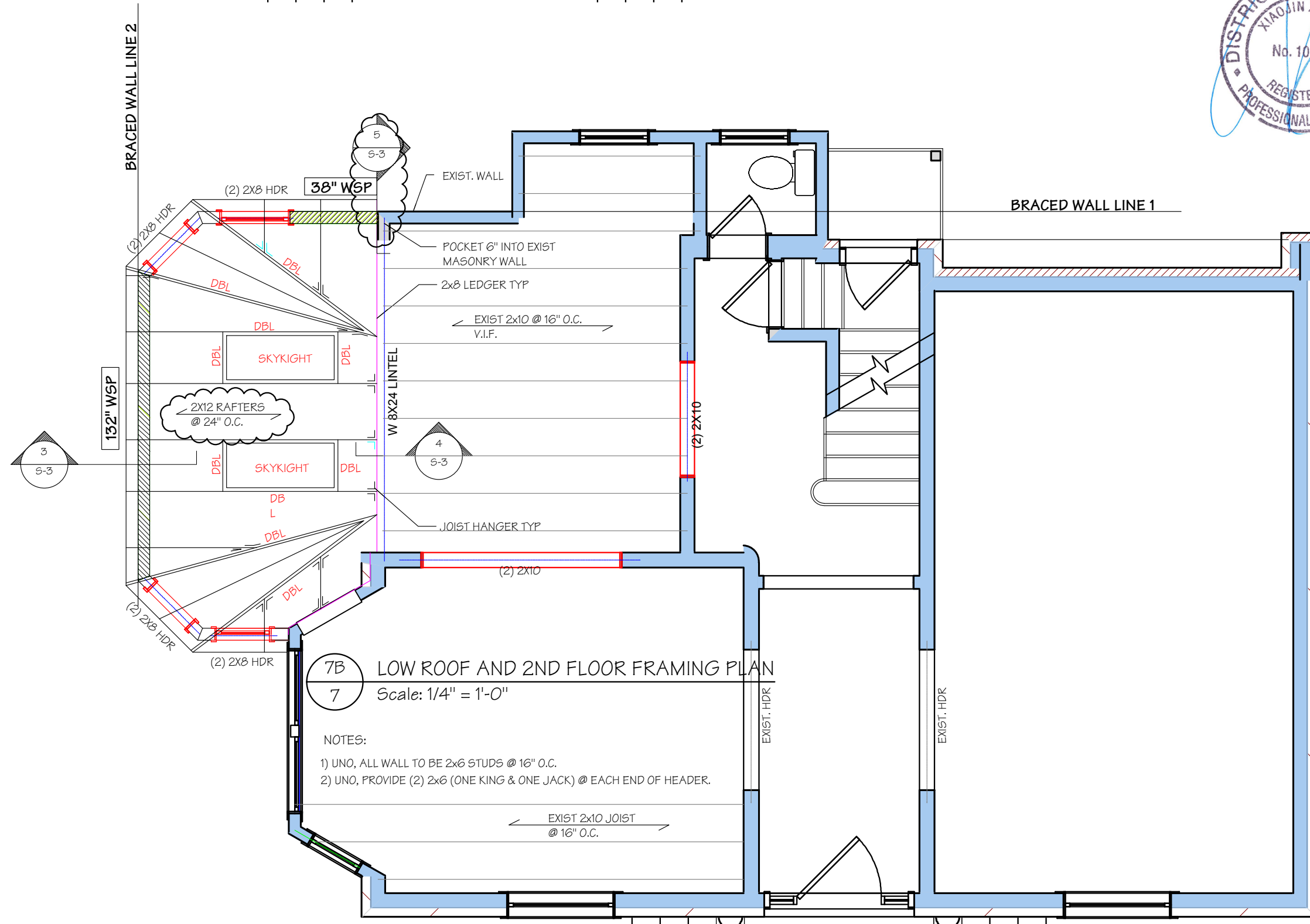
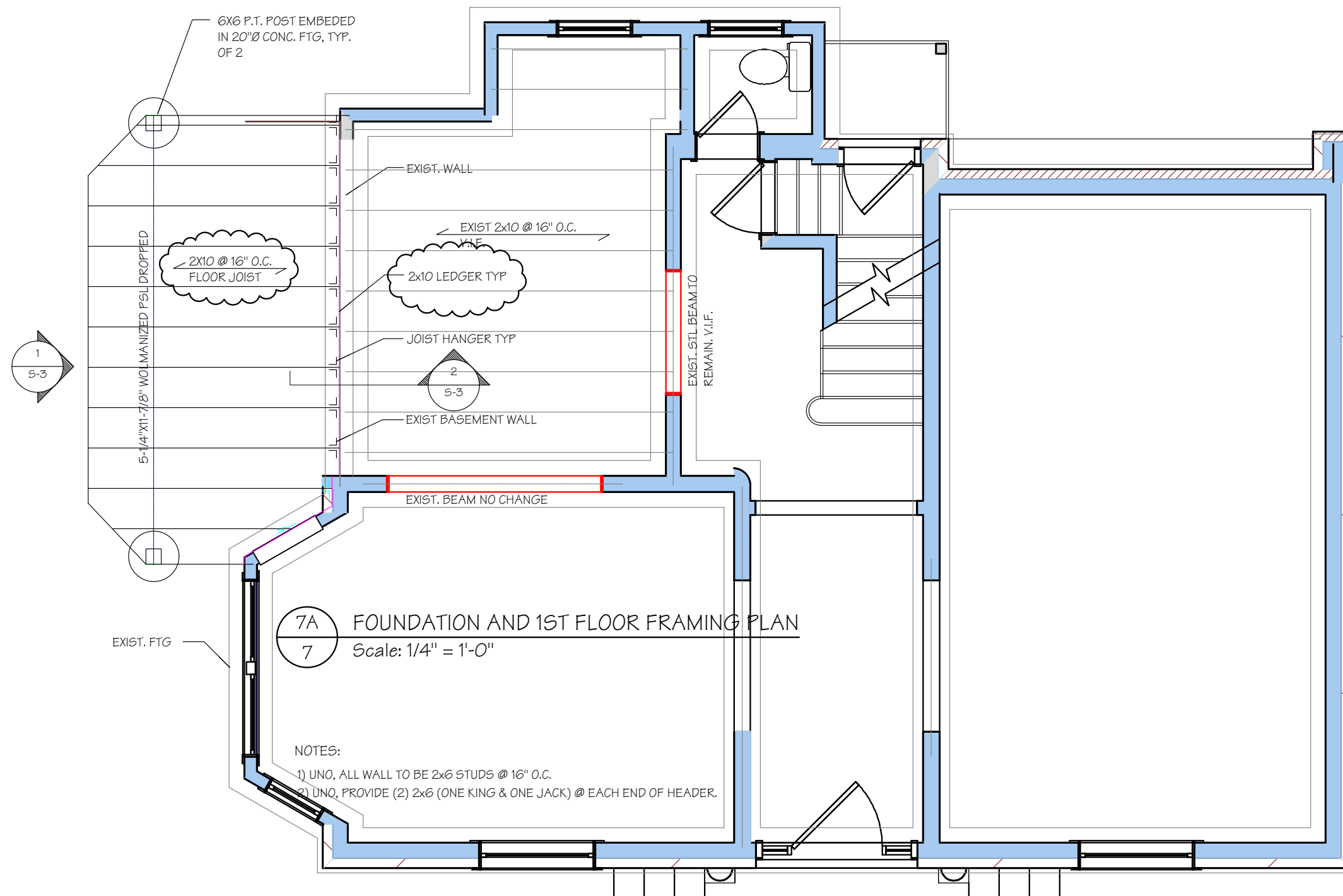
D. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:

- COMPRESSION PARALLEL TO GRAIN " $F_c \parallel$ " = 625 PSI
- BENDING STRESS " F_t " = 725 PSI FOR SINGLE USE MEMBERS
- MODULUS OF ELASTICITY " E " = 1,200,000 PSI

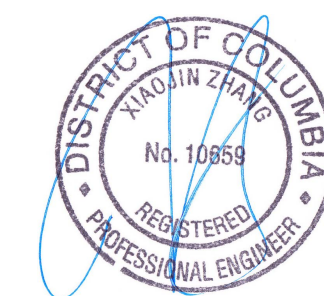
E. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND PIER CAPS SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 GALVANIZING.

5. STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. PIPE TO BE A53. TUBE TO BE A500 OR A501. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. BOLTED FIELD CONNECTION SHALL BE 3/4" DIAMETER HIGH STRENGTH BOLTS MEETING ASTM SPEC. A-325.



REVISED PERMIT PLANS



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<u>Proj. Number:</u>	19830739
<u>Proj. Designer:</u>	S. SCHOLL
<u>Designer:</u>	MANN/SHORE
<u>Proj. Manager:</u>	T. CRAZE

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<u>Scale:</u>	<u>Date:</u>
1/4" = 1'-0"	3/11/15
<u>Sheet:</u>	<u>Of:</u>
07	09
<u>FOUNDATION/FRAMING PLANS</u>	
BLOCK/COMET RESIDENCE	
Block-Comet - Revised Pa	

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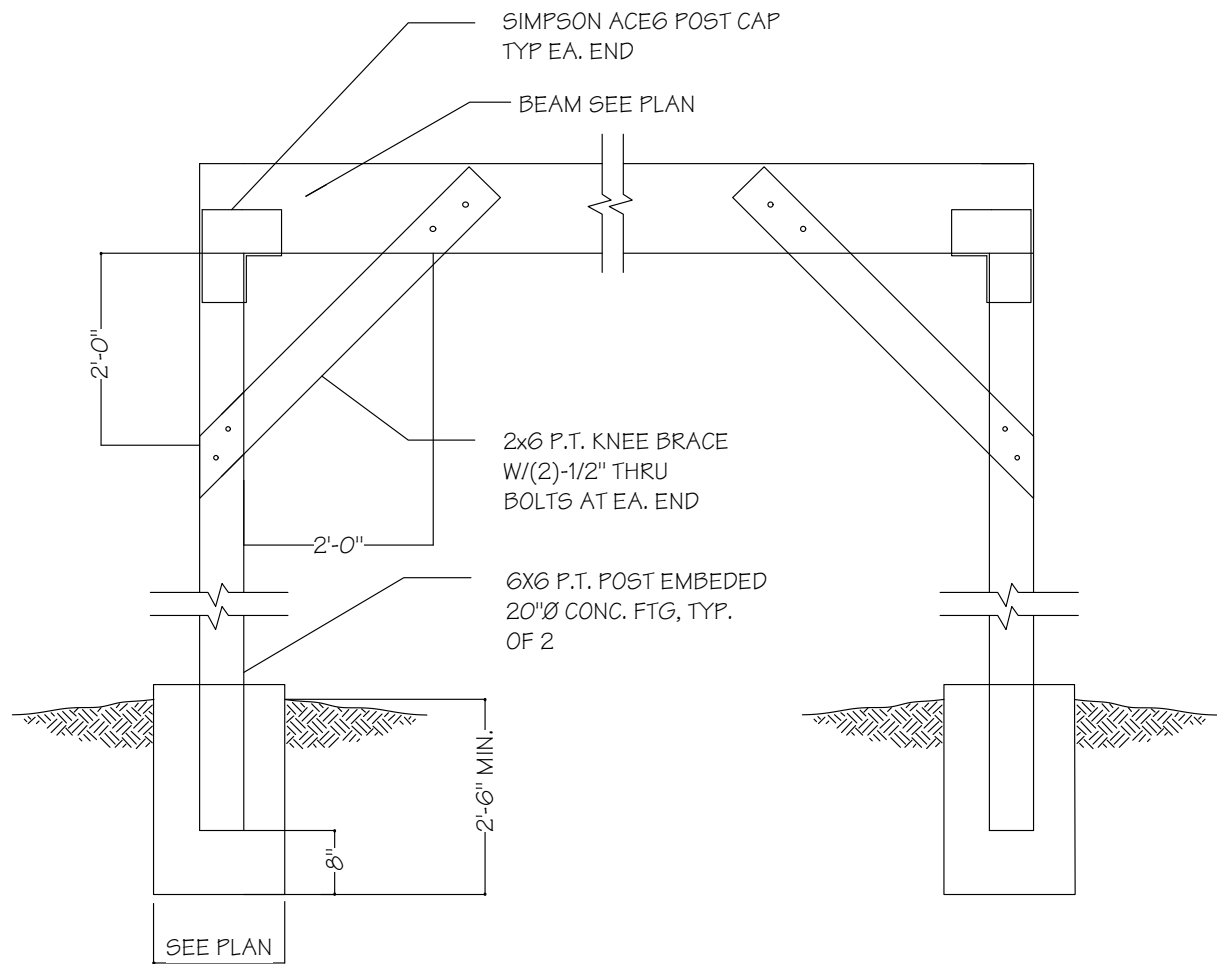
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SECTION DETAILS	
BLOCK/COMET RESIDENCE	
Block-Comet - Revised Permit	

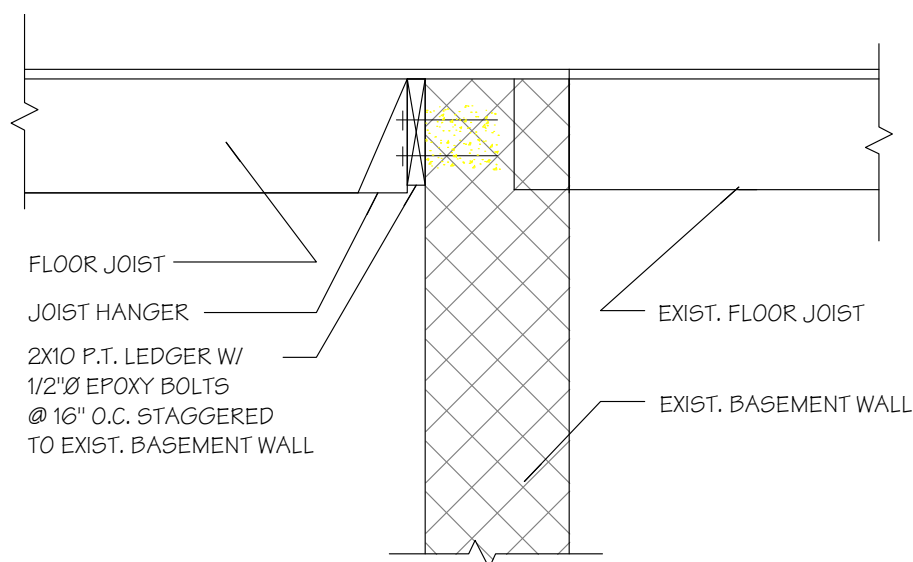


TYPICAL KNEE BRACE DETAIL
SECTION 1
SCALE: NTS

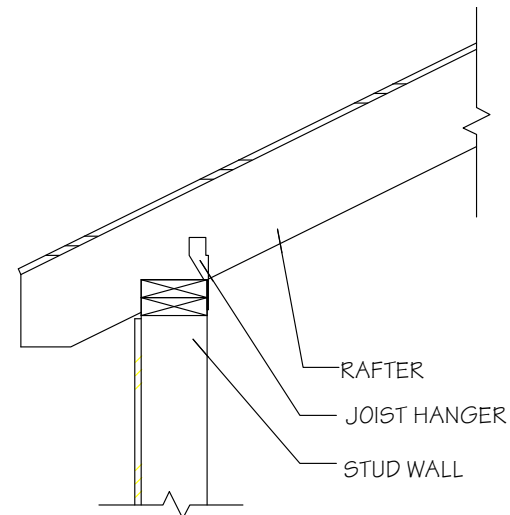
MASONRY WALL LINTEL SCHEDULE						
OPENING WIDTH (W)	SIZE	BEARING	4" WALL	6" WALL	12" WALL	REMARKS
W x 3'-0"	12 10x8 10x 506	4"	L	J	J	LONG LEO VERTICAL (LVL)
3'-0" x W x 3'-0"	14x2 10x506	4"	L	J	J	
3'-0" x W x 6'-0"	18x2 10x 506	6"	L	J	J	
6'-0" x W x 7'-0"	18x2 10x506	6"	L	J	J	

NOTE: PROVIDE ONE STEEL LINTEL FOR EVERY 4\"/>

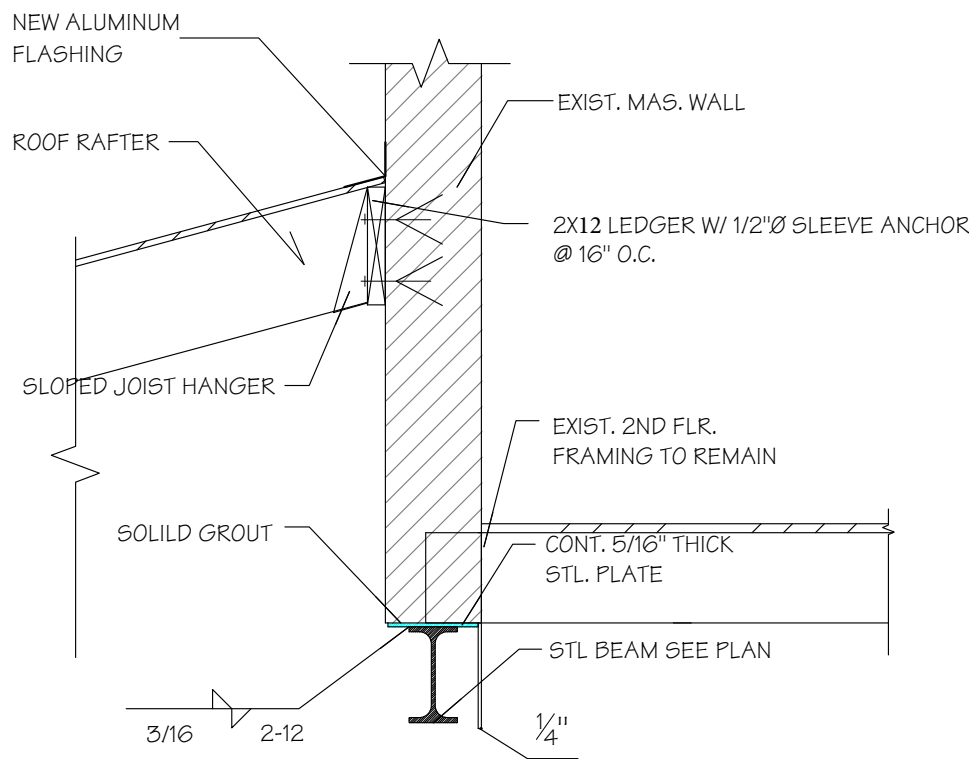
- BRACED WALL PANEL NOTES:
- 1) THE EXTERIOR WALL SHALL BE BRACED WITH CONTINUOUS SHEATHING (CS) IN ACCORDANCE WITH R602.10.4.2 IRC2012 AS FOLLOWS:
2X4 MIN. SPF (STUD GRADE) SPACED @ 16\"/>
 - 2) WOOD STRUCTURAL PANEL (WSP) SHALL BE CONSTRUCTED THE SAME AS CS ABOVE, AND ALL EDGES OF BRACED WALL PANELS (WSP OR CS-WSP) SHALL BE BLOCKED WITH 2X4 BLOCKING AND THE SAME EDGE NAILING AS ABOVE.
 - 3) MINIMUM BRACED WALL PANEL LENGTH IS IN ACCORDANCE WITH TABLE R602.10.5
 - 4) GYPSUM BOARD (GB) BRACED WALL SHALL BE FINISHED AS FOLLOWS:
INTERIOR WALL FINISH - 1/2\"/>
 - 5) SHEAR WALL (SW) SHALL BE CONSTRUCTED AS FOLLOWS:
2X4 MIN. SPF (STUD GRADE) SPACED @ 16\"/>
 - 6) ABBREVIATIONS & LEGEND
CS CONTINUOUS SHEATHING
WSP WOOD STRUCTURAL PANEL
CS-PF CONTINUOUS SHEATHION PORTAL FRAME
GB GYPSUM BOARD
CR CORNER RETURN
SW SHEAR WALL



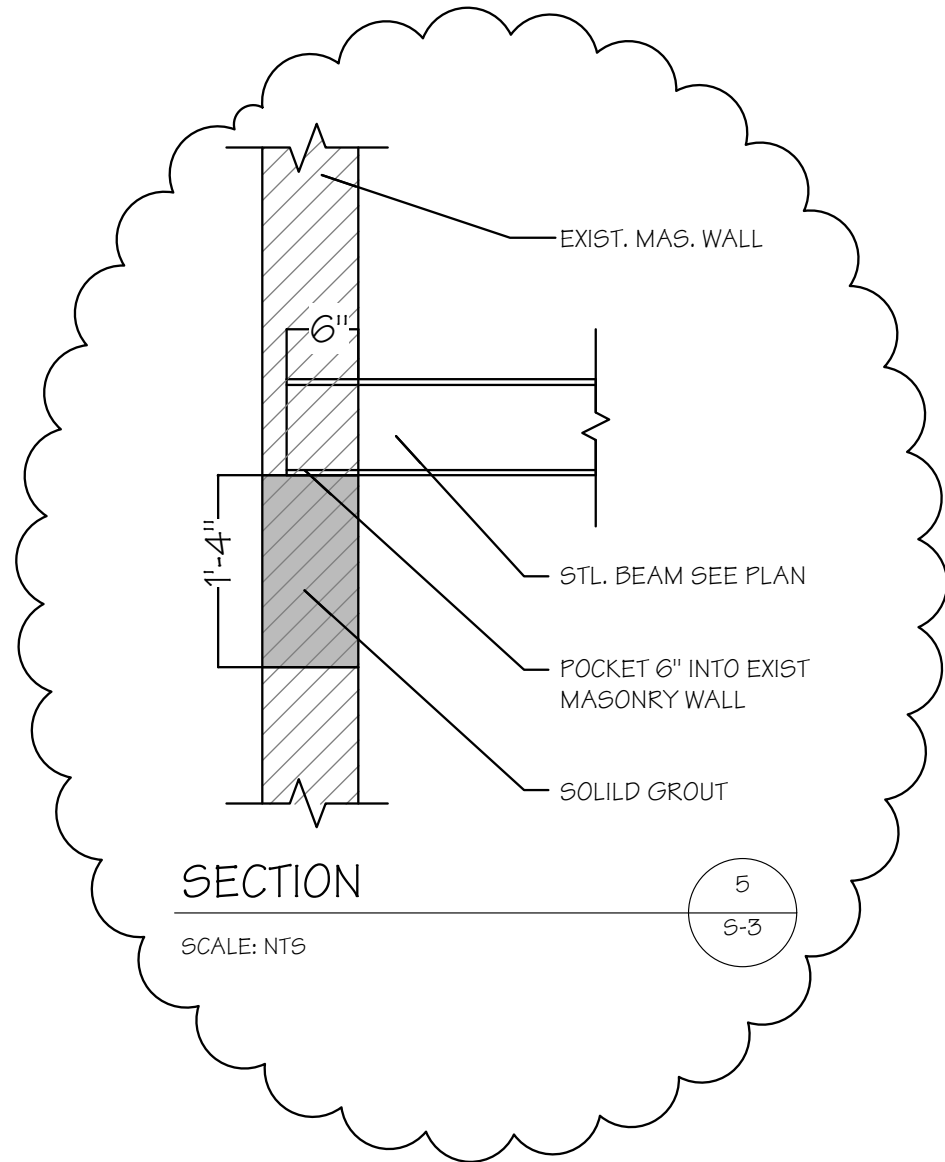
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SCALE: NTS



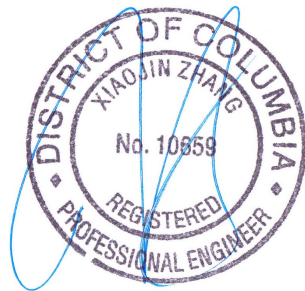
SECTION 3
SCALE: NTS



SECTION 4
SCALE: NTS

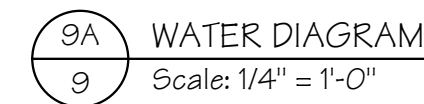


SECTION 5
SCALE: NTS

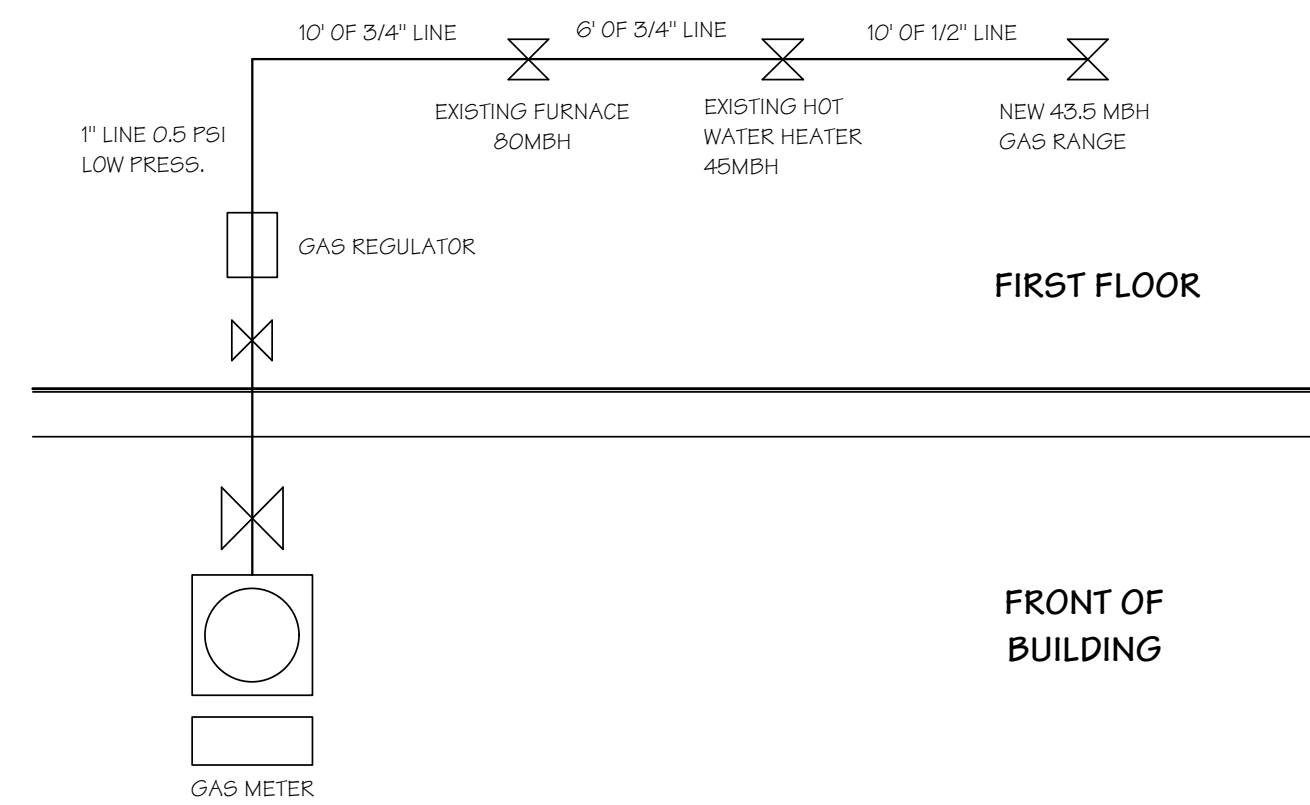


REVISED PERMIT PLANS

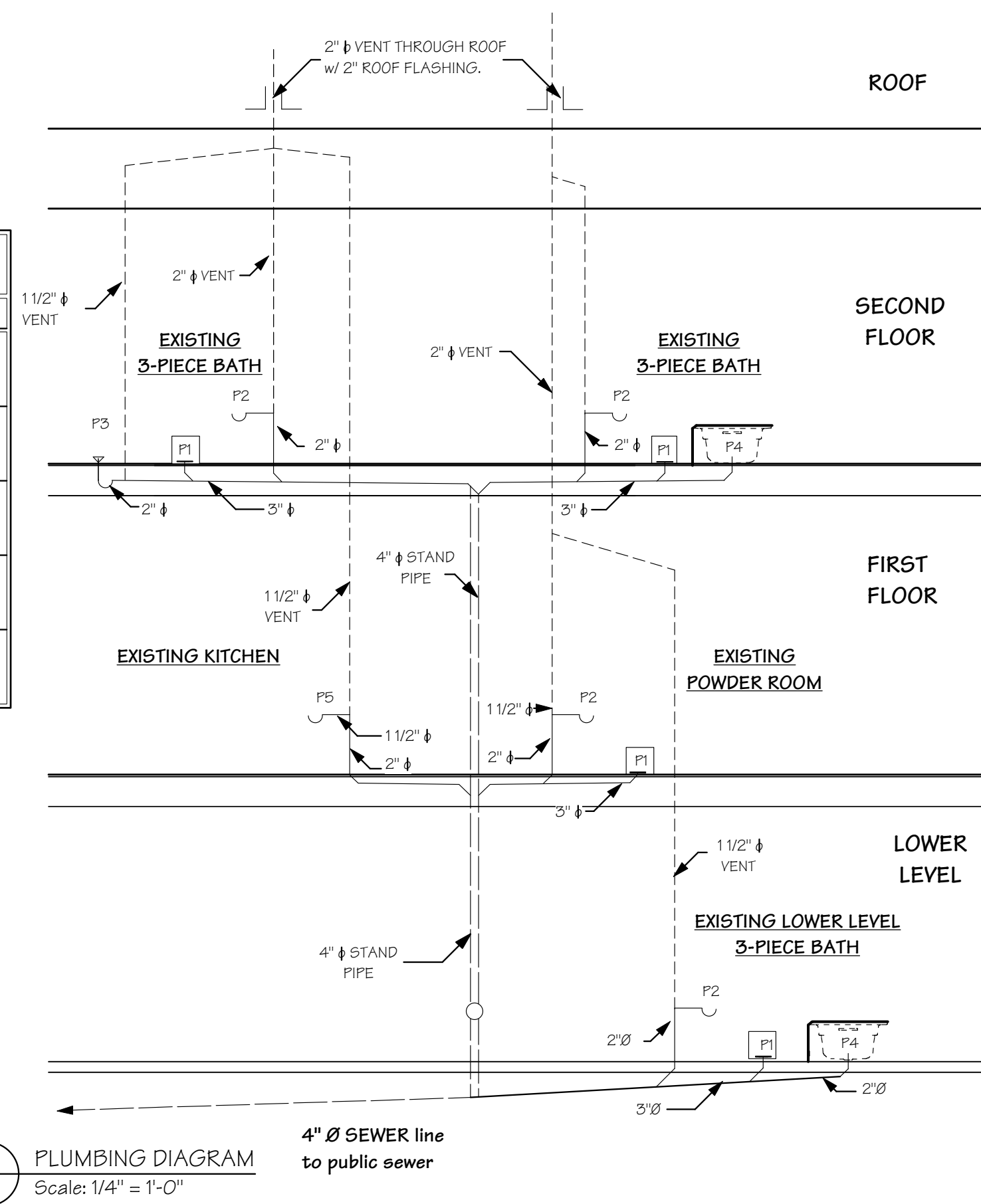
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PLUMBING SCHEDULE				
ABREV.	ITEM	WASTE	COLD	HOT
P1	TOILET	3"	1/2"	
P2	LAVATORY	1 1/2"	1/2"	1/2"
P3	SHOWER	2"	1/2"	1/2"
P4	TUB	1 1/2"	1/2"	1/2"
P5	WASHER BOX	2"	1/2"	1/2"



9B GAS DIAGRAM
9 Scale: 1/4" = 1'-0"



9C PLUMBING DIAGRAM
9 Scale: 1/4" = 1'-0"



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PLUMBING/GAS DIAGRAMS
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