

SITE INFORMATION

ADDRESS 1152 4TH ST
WASHINGTON, DC 20002
LOT: 0061
SQUARE: 0773
ZONING: R-4

GENERAL NOTES

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CITY, COUNTY, AND STATE BUILDING CODES INCLUDING THE 2012 IRC, DCMR 2013-12B, AND ALL OTHER APPLICABLE CODES TO EACH TRADE.
- 2. ALL DIMENSIONS TO BE VERIFIED IN FIELD.
- 3. ALL DIMENSIONS ARE TO FACE OF MATERIAL, TYP.
- 4. ANY NECESSARY SUPPLEMENTAL PERMITS TO BE OBTAINED BY TRADE PROFESSIONALS UNDER CONTRACTOR COORDINATION.
- 5. SEPARATE ALL DEMOLITION WASTE AND RECYCLE AS FEASIBLE. DIVERT GOAL OF 50% WASTE FROM LANDFILL BY RECYCLING CONSTRUCTION MATERIAL AND PACKAGING, DRYWALL REPROCESSING, DONATIONS TO COMMUNITY FORKLIFT, AND ANY OTHER MEANS FEASIBLE.
- 6. VIF ALL STRUCTURAL LOAD BEARING WALLS BEFORE DEMOLITION AND CONTACT ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DIFFER FROM DRAWINGS.
- 7. ALL PAINT AND PRIMER TO BE LOW VOC.
- 8. FIXTURES TO HAVE WATER SENSE CERTIFICATION.

DRAWING LIST

- A0 TITLE SHEET
- A1 PLANS
 - A1.1 SITE PLANS
 - A1.2 CELLAR FLOOR PLAN - REFERENCE ONLY
 - A1.3 1ST FLOOR PLAN - REFERENCE ONLY
 - A1.4 2ND FLOOR - EXISTING AND PROPOSED
 - A1.5 3RD FLOOR - EXISTING AND PROPOSED
 - A1.6 ROOF PLANS - EXISTING AND PROPOSED
- A2 ELEVATIONS
 - A2.1 FRONT ELEVATIONS
 - A2.2 REAR ELEVATIONS
- A3 SECTIONS
 - A3.1 BUILDING SECTIONS

TABLE N1102.1.1: INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (SEE A)

CLIMATE ZONE	4A
FENESTRATION U-FACTOR	.35
SKYLIGHT U-FACTOR (SEE B)	.6
GLAZED FENESTRATION SHGC	NR
CEILING R VALUE	R49
WOOD FRAME WALL R-VALUE	R18
MASS WALL R-VALUE	R5/R10
FLOOR R-VALUE	R19
BASEMENT WALL R-VALUE (SEE C)	R10/R13
SLAB R-VALUE AND DEPTH (SEE D)	R10, 2'
CRAWL SPACE WALL R-VALUE (SEE C)	R10/R13
A. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. R19 SHALL BE PERMITTED TO BE COMPRESSED INTO A 2X6 CAVITY.	
B. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.	
C. THE FIRST R- VALUE APPLIES TO CONTINUOUS INSULATION, THE SECOND TO FRAMING CAVITY INSULATION; EITHER INSULATION MEETS THE REQUIREMENT.	
D. R5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.	
E. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.	
F. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R19 MINIMUM.	
A: "I3+5" MEANS R13 CAVITY INSULATION PLUS R5 INSULATED SHEATHING. IF STRUCTURAL SHEATHING COVERS 25% OR LESS OF THE EXTERIOR, INSULATING SHEATHING IS NOT REQUIRED WHERE STRUCTURAL SHEATHING IS USED. IF STRUCTURAL SHEATHING COVERS MORE THAN 25% OF EXTERIOR, STRUCTURAL SEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF AT LEAST R2	



GOODMAN RESIDENCE

1152 4TH STREET NE
WASHINGTON, DC
20002

ADDITION PROJECT

HARDWICK STUDIO, PLLC

GAY WIERDSMA
HARDWICK
A.I.A., LEED AP, MBA

3505 KENT STREET
KENSINGTON, MD 20895
202.455.6733
GAY@GREENARCHITECTDC.COM

NOT FOR
CONSTRUCTION
OR BUILDING PERMIT

LICENCES:
DC: ARC 101315
EXPIRES 4/30/16
MD: I6049
EXPIRES 11/23/15
VA: 0401015785
EXPIRES 9/23/15

ISSUE:	
BZA	4-24-15
DESIGN DEV	4-14-15

TITLE SHEET

Board of Zoning Adjustment
District of Columbia
CASE NO.19032
EXHIBIT NO.7

LOT AREA:

987.39

EXISTING HOUSE :

713.84 SF

EXISTING PORCH:

88.22 SF

EXISTING LOT COVERAGE:

802.06 (81.23%)

PROPOSED DECK:

166.5 SF

PROPOSED LOT COVERAGE:

98.09%

PROPOSED 3RD FLOOR ADDITION

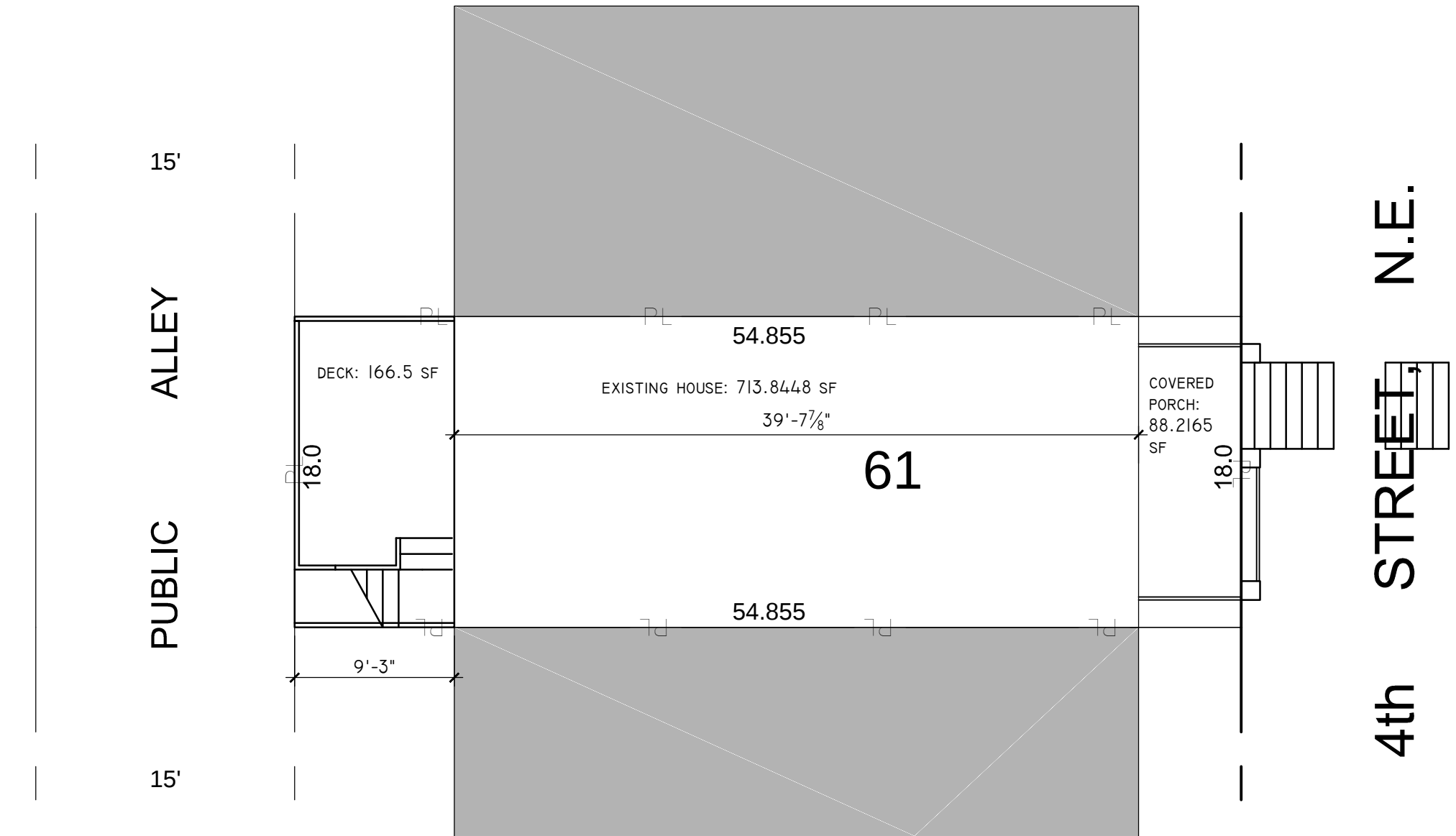
486.5 SF (49.27% OF LOT AREA)

DISTURBED AREA

0 SF

VOLUME OF EXCAVATION

LESS THAN 50 CF



1

SITE PLAN

SCALE: 1/8" = 1'

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SITE PLAN

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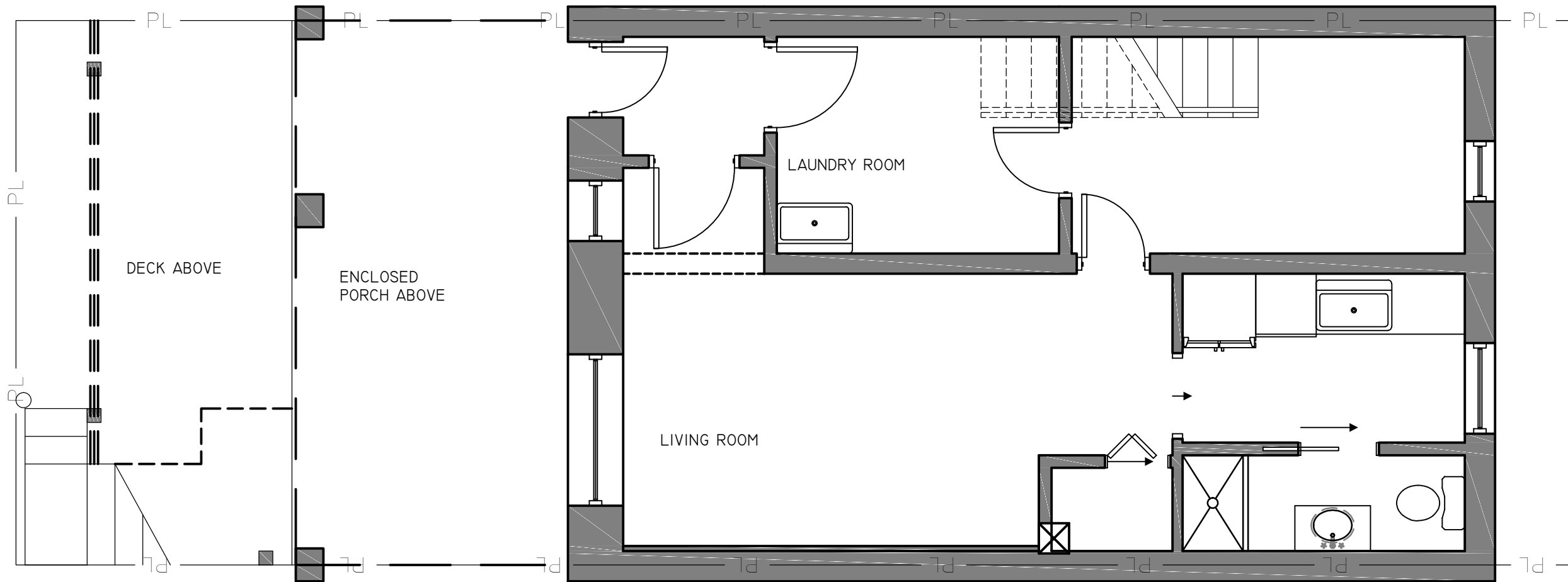
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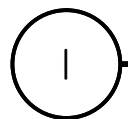
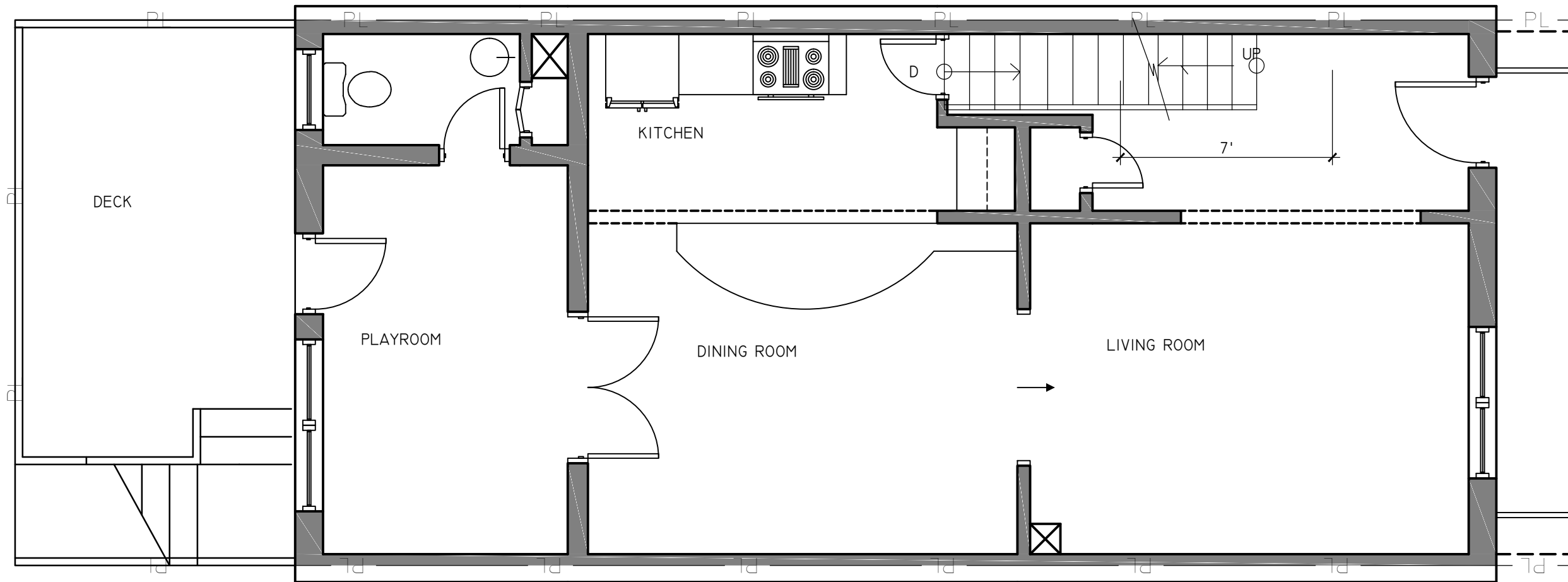
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PLANS

AI.2



1 CELLAR PLAN - REFERENCE ONLY
SCALE: 1/4" = 1'



1ST FLOOR PLAN - REFERENCE ONLY

SCALE: 1/4" = 1'

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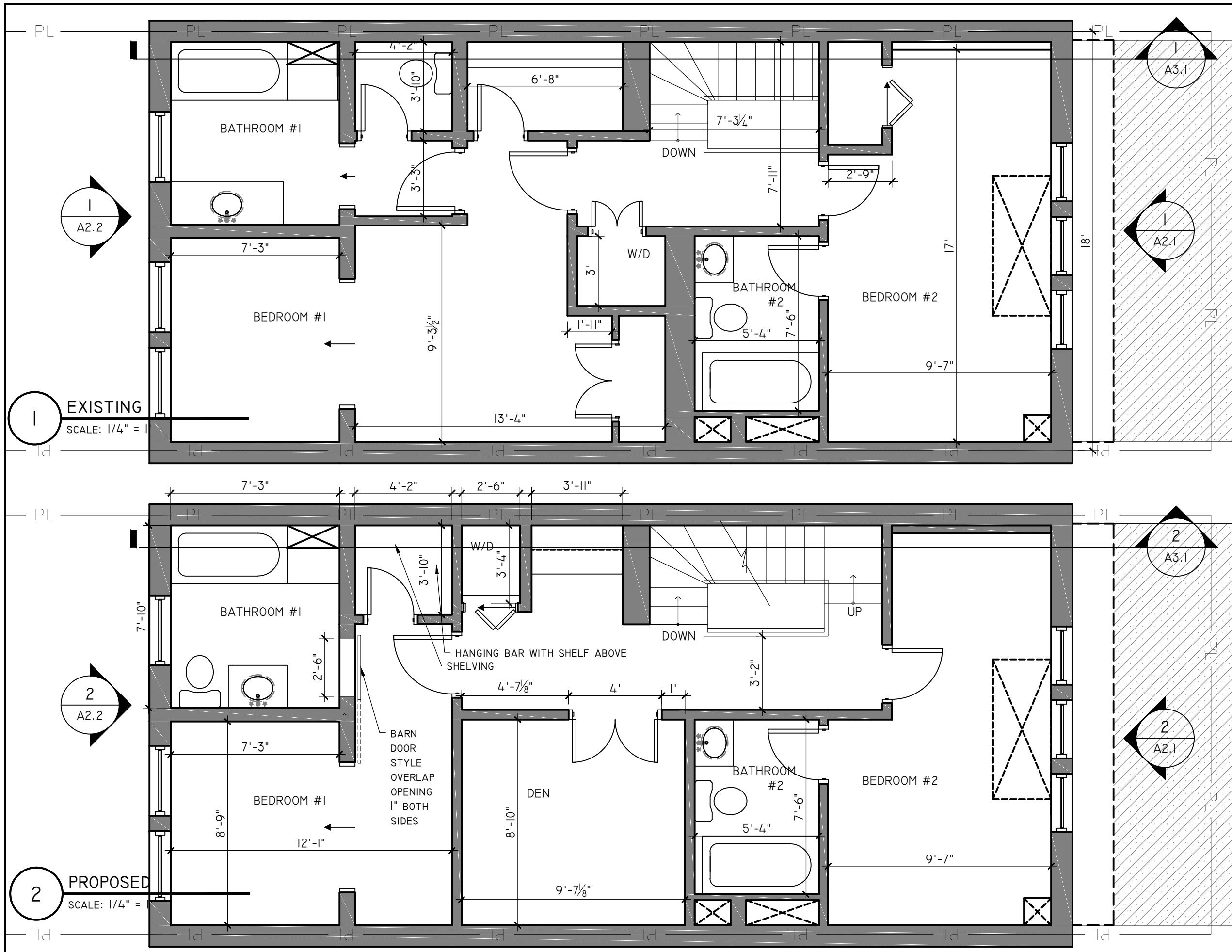
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FIRST FLOOR

AI.3



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2ND FLOOR

A1.4

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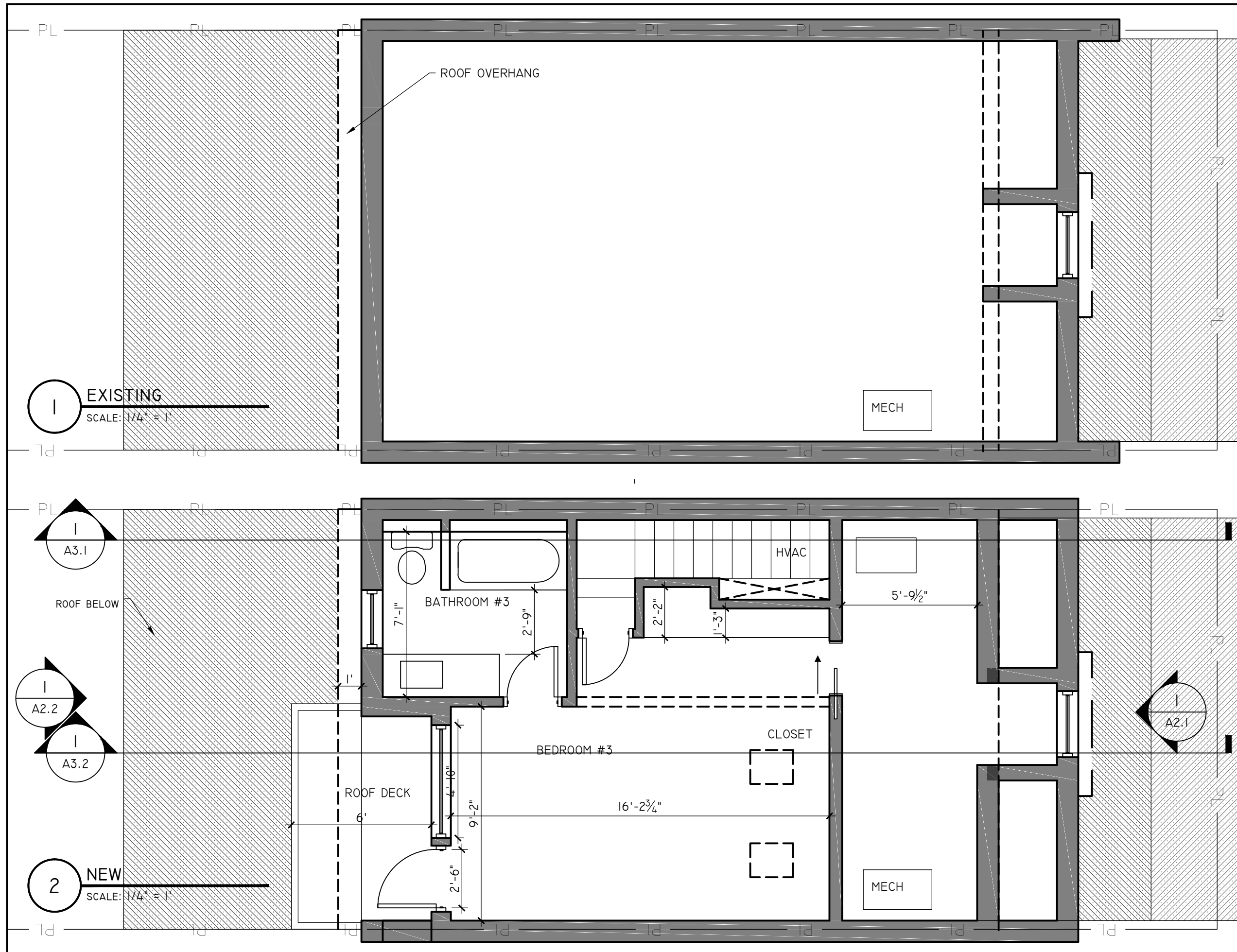
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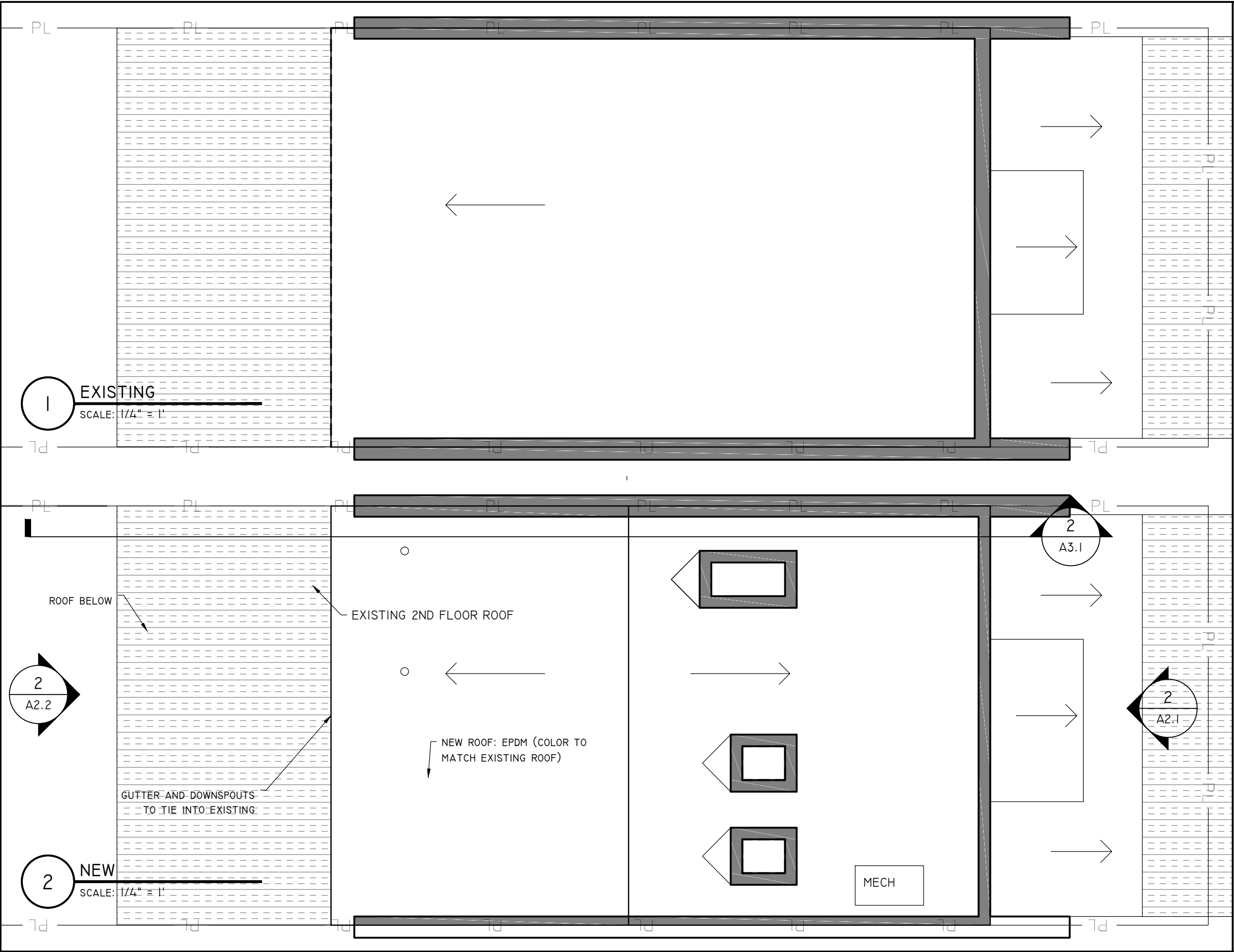
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AI.5





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ROOF
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FRONT ELEVATION

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REAR ELEVATIONS

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A3.1



SCALE: 1/4" = 1'



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