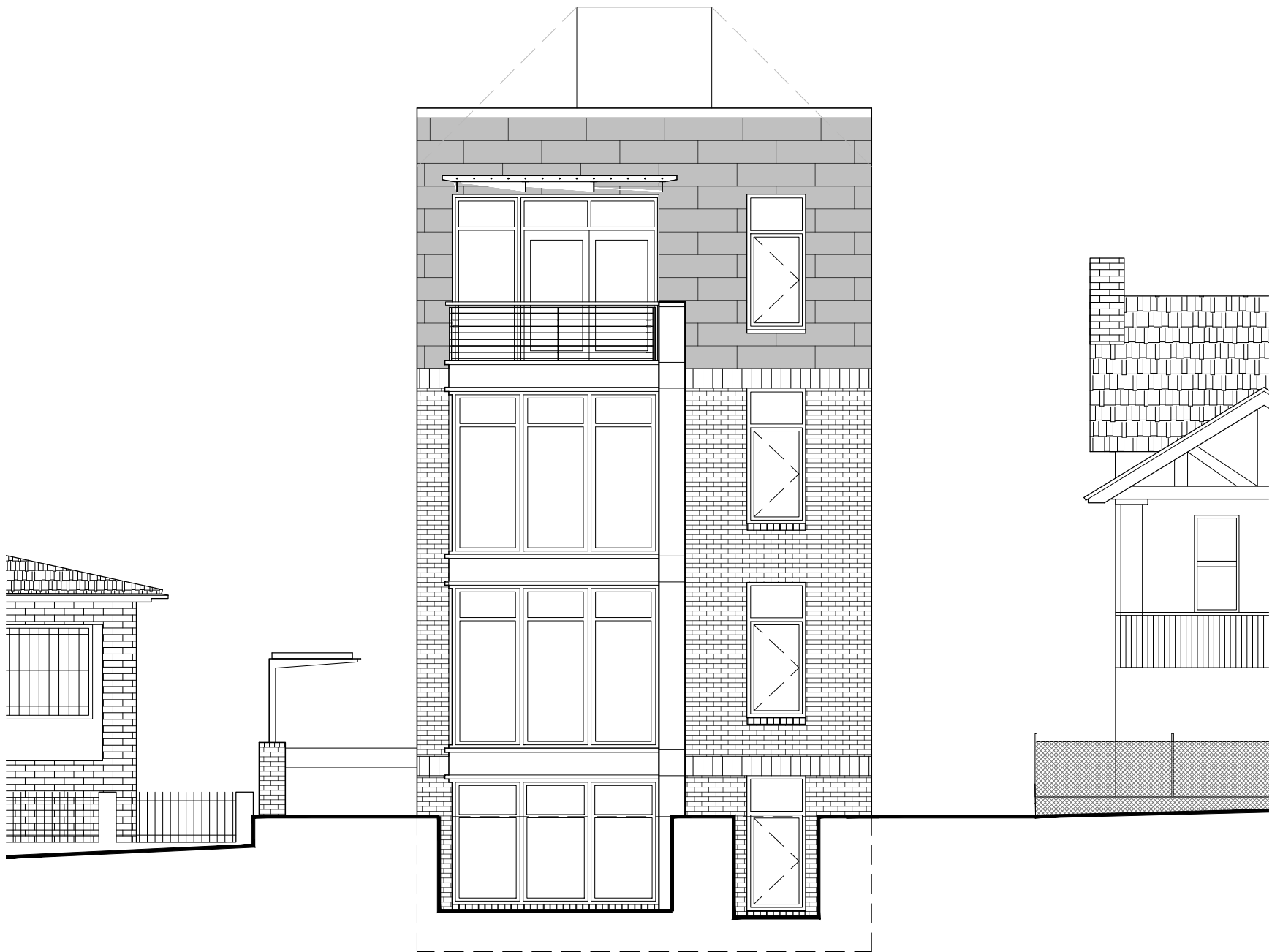


BOARD OF ZONING ADJUSTMENT SUBMISSION
129 VARNUM STREET, NW
Washington, DC 20011
Square 3321, Lots 0010 & 0011
Zoning District: R-5-A



- A1 COVER SHEET
- A2 ZONING TABULATIONS
- A3 EXISTING STREET WALL PHOTOS
- A4 SITE MAP
- A5 EXISTING CIVIL PLAN
- A6 PROPOSED SITE PLAN
- A7 PROPOSED CELLAR FLOOR PLAN
- A8 PROPOSED FIRST FLOOR PLAN
- A9 PROPOSED SECOND FLOOR PLAN
- A10 PROPOSED THIRD FLOOR PLAN
- A11 PROPOSED ROOF / PENTHOUSE PLAN
- A12 PROPOSED STREET WALL ELEVATION
- A13 PROPOSED SOUTH ELEVATION
- A14 PROPOSED NORTH ELEVATION
- A15 PROPOSED EAST ELEVATION
- A16 PROPOSED WEST ELEVATION
- A17 PROPOSED BUILDING SECTION (EAST/WEST)

129 Varnum Street, NW				
129 Varnum Street NW, Washington, DC 20011				
Analysis by: ECG				
Applicable Section(s)	Requirements	Values	C / NC / NA / ENC	Relevant Criteria
DC Zoning Map		Site Data:		
	Lot(s):	0010, 0011		
	Square:	3321		
DC Office Tax and Revenue	Site Area:	6,200 SF		
DCMR 11 -		Zoning Data:		
DC Zoning Map-	Zone:	R-5-A		
DCMR11- 350	Use:			
DCMR11- 350.4 (a)	Existing Building	Residential-Detached-Single-Family	C	1 Unit
DCMR11- 350.4 (f)	Proposed Building	Residential-Apartment	C	7 Units
DCMR11 2602.1	Inclusionary Zoning:	Not Required	C	Not required for <10 new dwelling units
DCMR11- 400.1	Allowable Building Height:	40'-0"	C	
	Proposed	33'-6"	C	Max. height of 33'-6" permitted with 8'-4 1/2" side yard setback
DCMR11- 401.3	Minimum Lot Dimension	As prescribed by the Board pursuant to § 3104	C	
DCMR11- 402.1	FAR:			
	Allowable	0.9	C	
	Proposed	0.8712	C	
DCMR11- 403.1	Lot occupancy:			
	Allowable	40%	C	
	Proposed	29.04%	C	
DCMR11 404.1	Minimum Rear Yard Setback:	20'-0"	C	
	Proposed	63'-0"	C	
DCMR11 405.5	Side Yard:	8'-4 1/2"	C	3" Per 1'-0" of Building Height
DCMR11 2100.1	Parking:			
	Required	7 Spaces	C	
	Proposed	7 Spaces	C	1 Van accessible space provided
DCMR11 2115.1	Size of spaces-	9'-0" wide x 19'-0" long	C	
DCMR11 2115.5	Vertical clearance-	6'-6" minimum	C	
DCMR11 2117.4	Alley width-	10'-0" minimum	C	20'-0" alley width
DCMR11 2117.5	Aisle width-	20'-0" minimum	C	For 90 deg. Parking
DCMR1 2117.8(a)	Driveway grade-	12% maximum	C	
DCMR11			C	
2117.8(c)(2)	Required driveway width-	12'-0" minimum		
	Proposed	13'-0"	C	
DCMR11 2201.1	Loading Requirements:			
	Residential less than 50 units req'd-	0 loading berth	C	55 ft deep
		0 loading platform		200 SF
		0 service/delivery spaces		20'-0" deep
DCMR11 406.1	Courts			
	Open Court	> 10' Wide Min.	N/A	Width: 4" Per 1'-0" of Height of Court
	Closed Court	> 15' Wide Min.	N/A	Width: 4" Per 1'-0" of Height of Court; Area: Twice the square of the required width of court dimension based on the height of court, but not less than 350'-0".
DCMR11 400.7	Penthouse setback-	1:1 setback from exterior walls	C	
DCMR11 411.7	Allowable Area determined by GFA-	2,294 SF	C	Shall not exceed 0.37 FAR
	Proposed	226 SF	C	
DCMR11 411.3	Single enclosure-	Shall be a single penthouse structure or linked to create a single structure.	C	
DCMR11 411.5	Enclosing walls-	Shall be of equal height	C	
DCMR11 400.7	Penthouse height-	18'-6" max (9'-0" proposed)	C	Height above the roof, mech equip shall not extend above 18'-6", height of housing
	Building Restriction Line	15'-0" from Property Line	C	



VARNUM STREET - NORTH

129 VARNUM
STREET, NW



VARNUM STREET - SOUTH



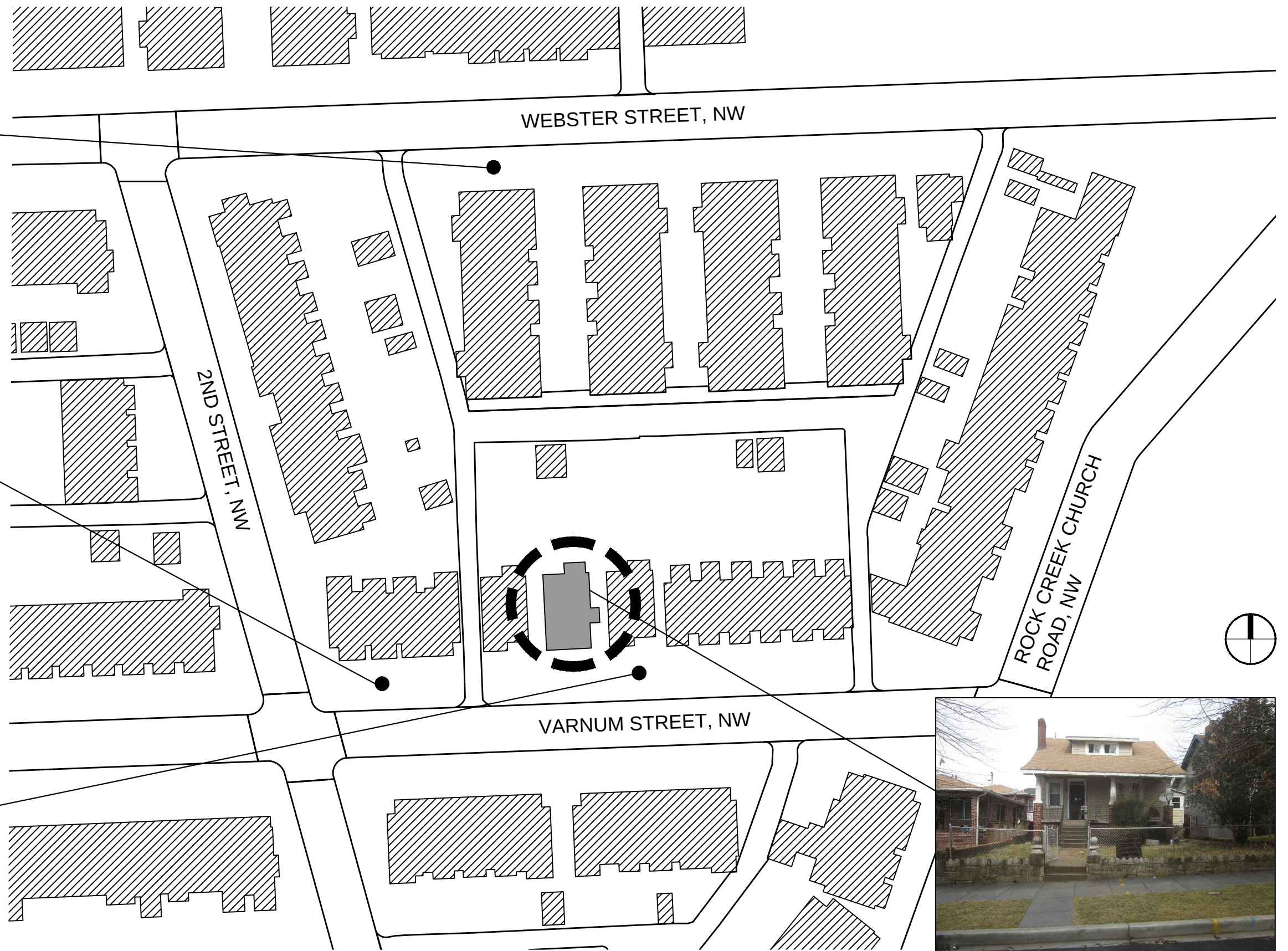
WEBSTER GARDENS APARTMENTS



ROW HOUSES TO THE WEST



ROW HOUSES TO THE EAST



129 VARNUM STREET, NW

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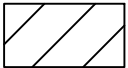
SITE MAP
NTS

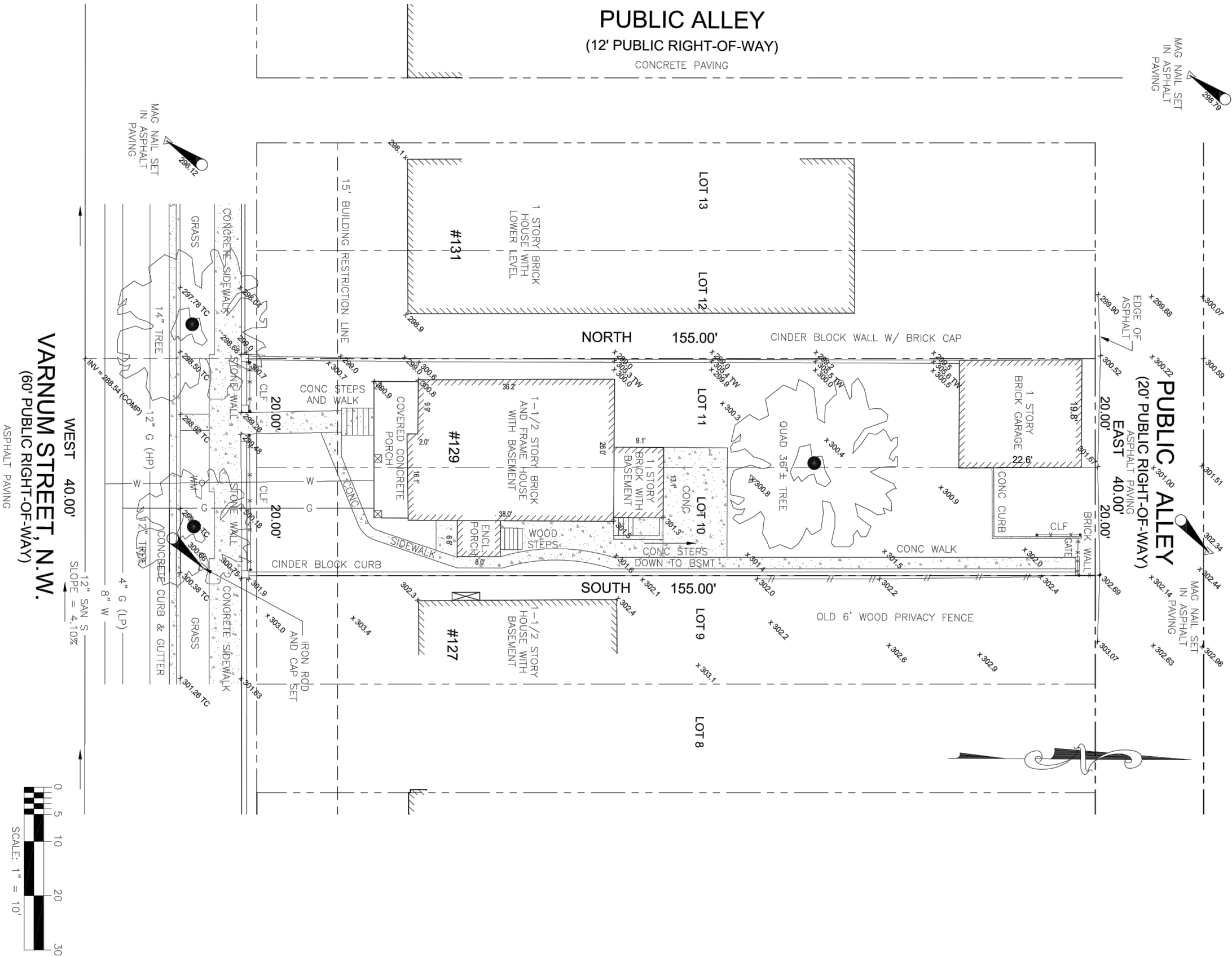
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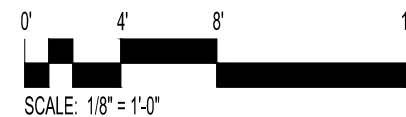
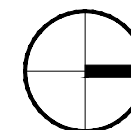
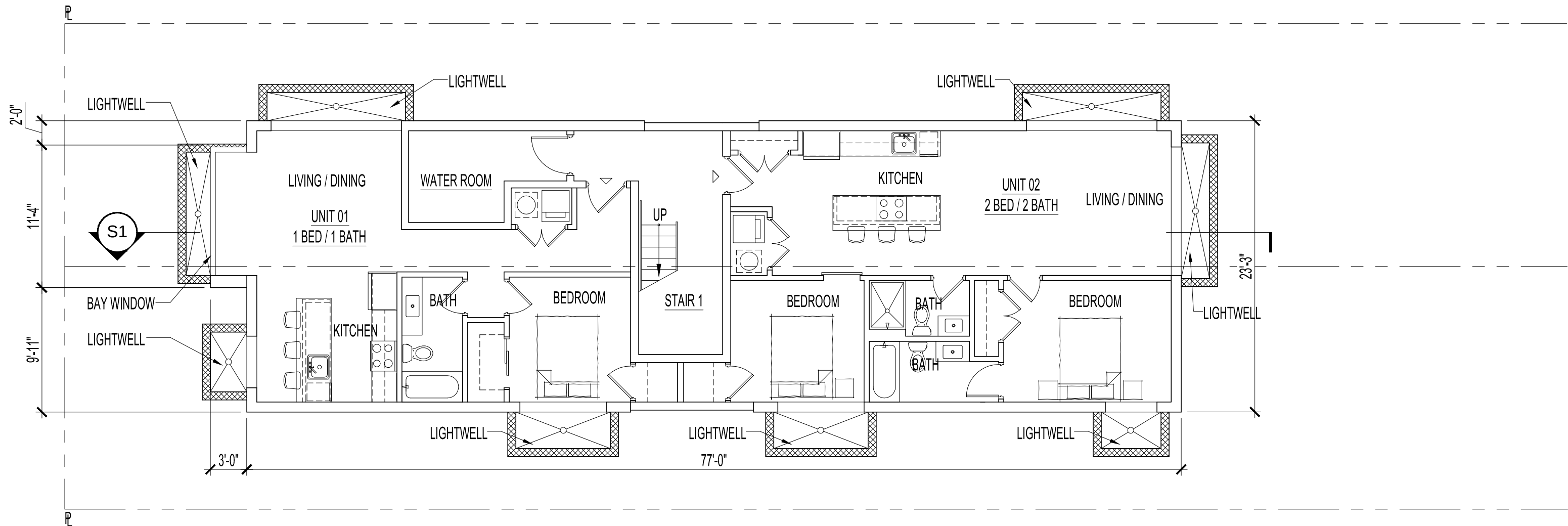
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ABBREVS. AND LEGEND

	BUILDING
	PROPERTY LINE
	PIPE RAILING
	CHAIN LINK FENCE
	STORM DRAIN MANHOLE
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	GAS METER
	GAS VALVE
	COMBO SEWER MANHOLE
	CLEANOUT
	ROOF DRAIN
	OVERHEAD UTILITY
	ELECTRIC MANHOLE
	POWER POLE
	ST. LIGHT ON PWR POLE
	WALL MOUNTED CAMERA
	BOLLARD
	TRAFFIC SIGNAL POLE
	TRAFFIC CONTROL BOX
	SATELLITE DISH
	MAILBOX
	DOOR
	TRASH CAN
	SIGN
	PARKING METER
	DECIDUOUS TREE
	ASPH
	CONCRETE
	WROUGHT IRON FENCE





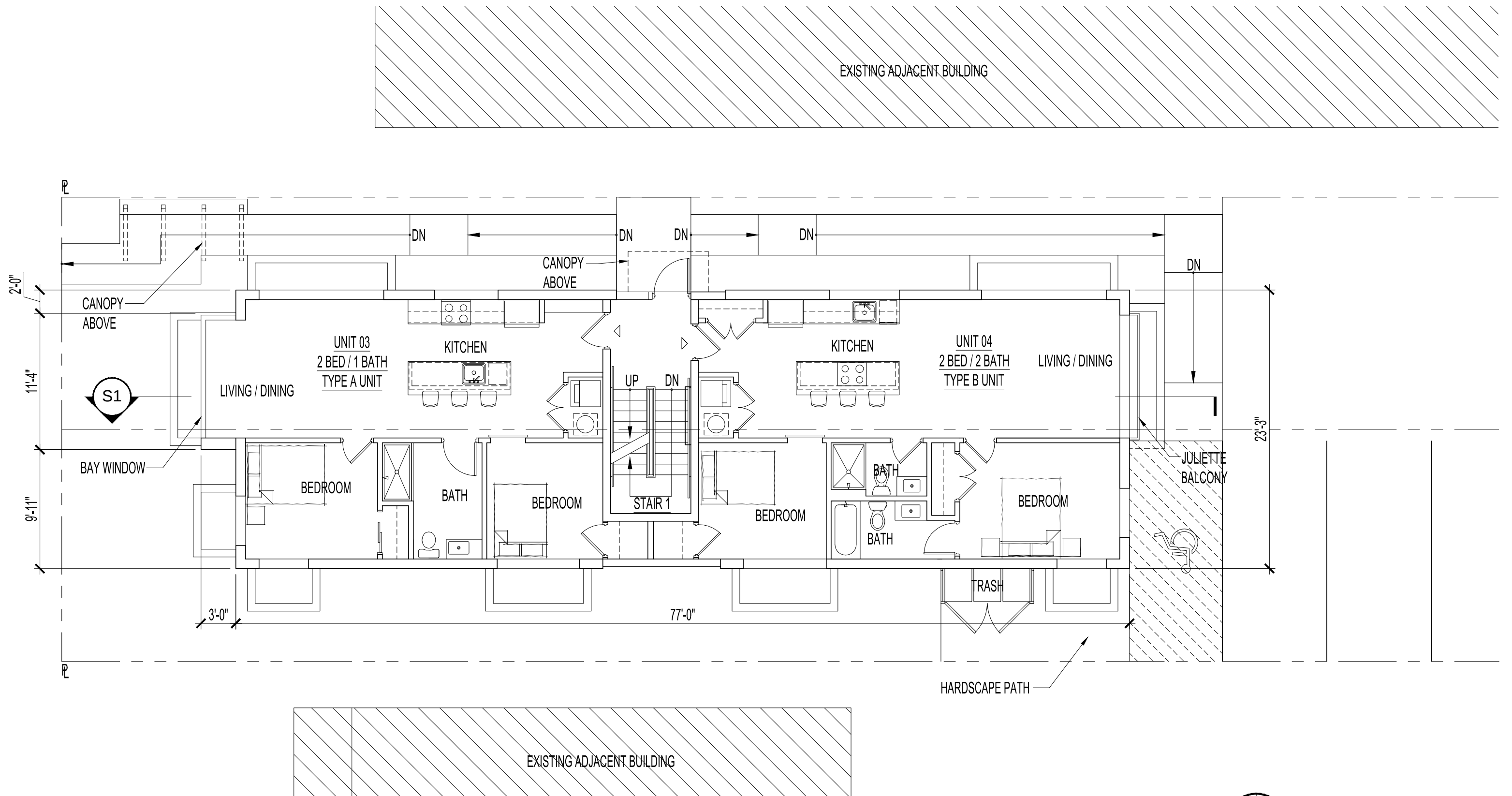
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PROPOSED CELLAR FLOOR PLAN

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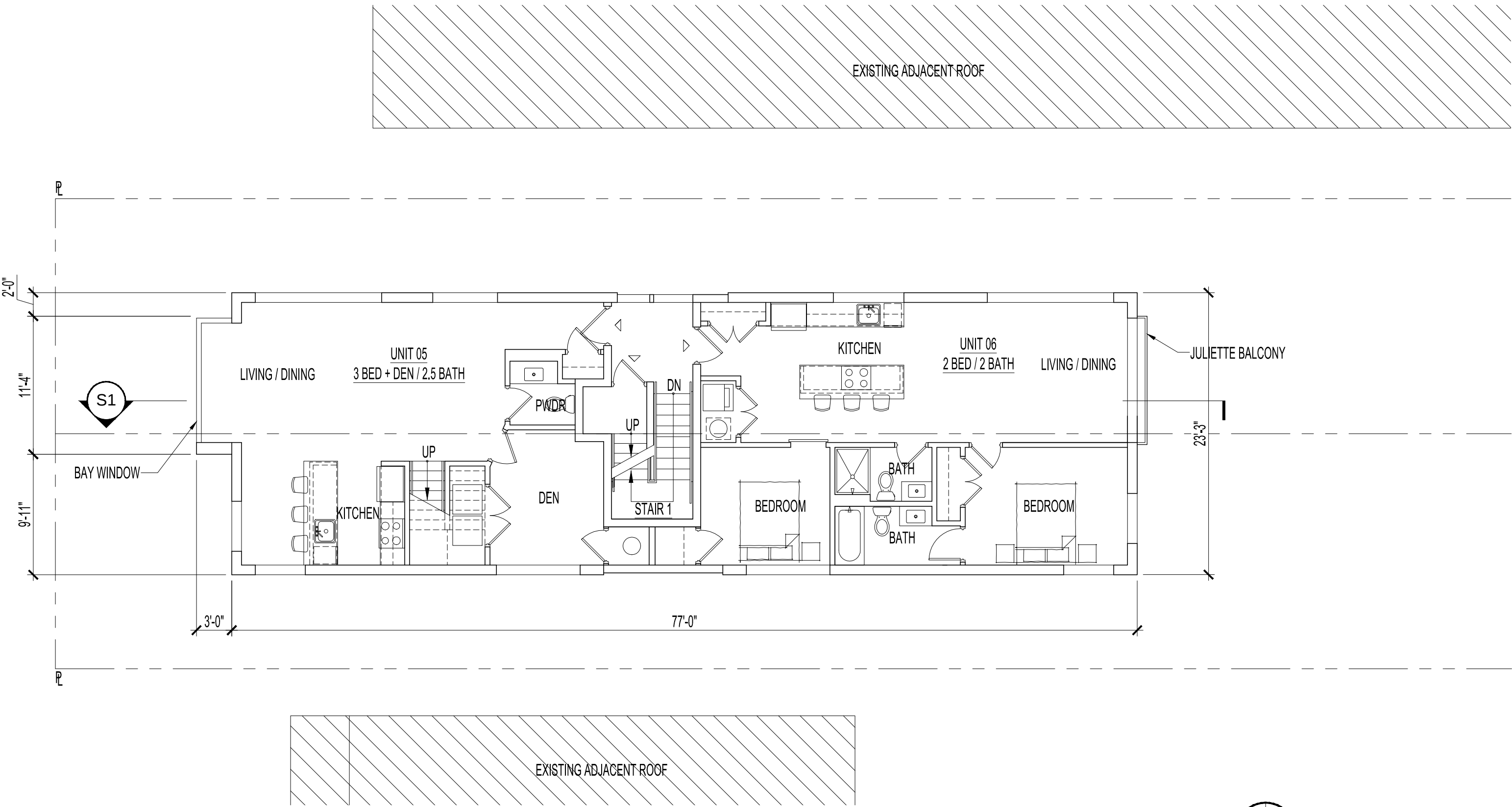
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PROPOSED GROUND / FIRST FLOOR PLAN

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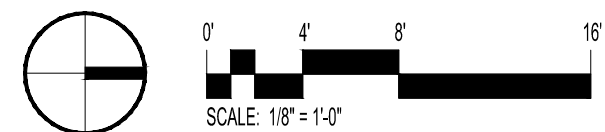
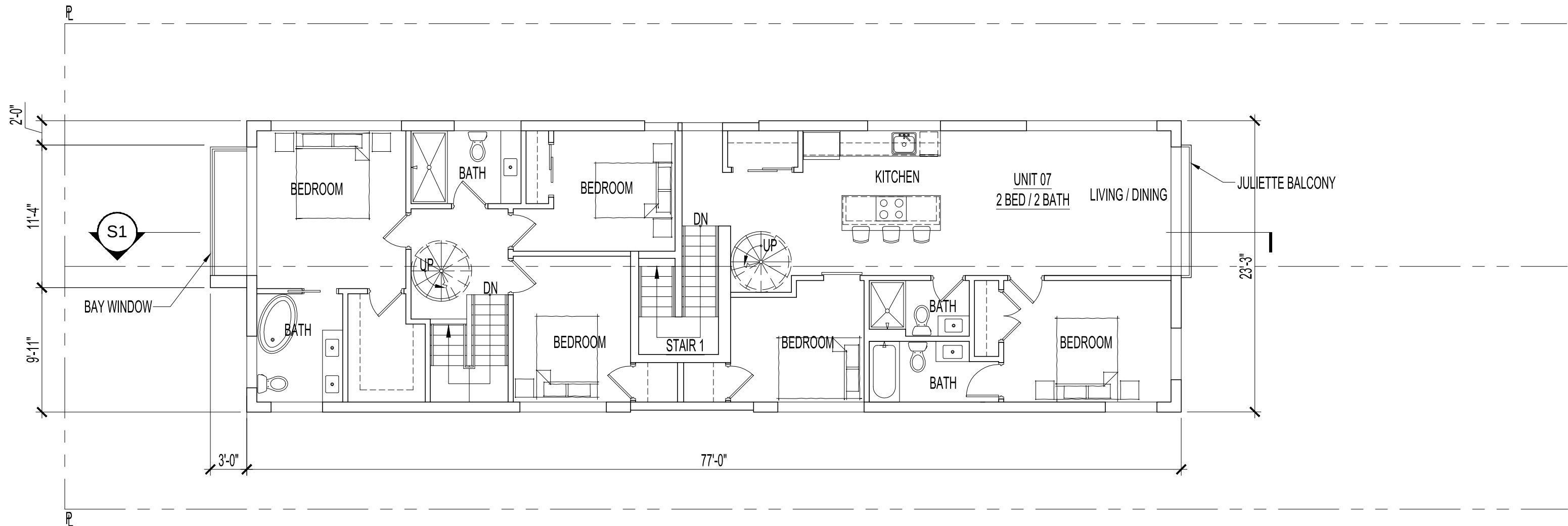
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PROPOSED SECOND FLOOR PLAN

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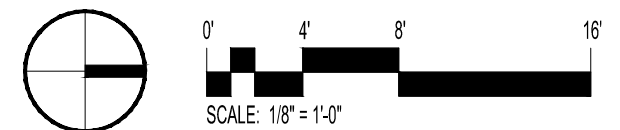
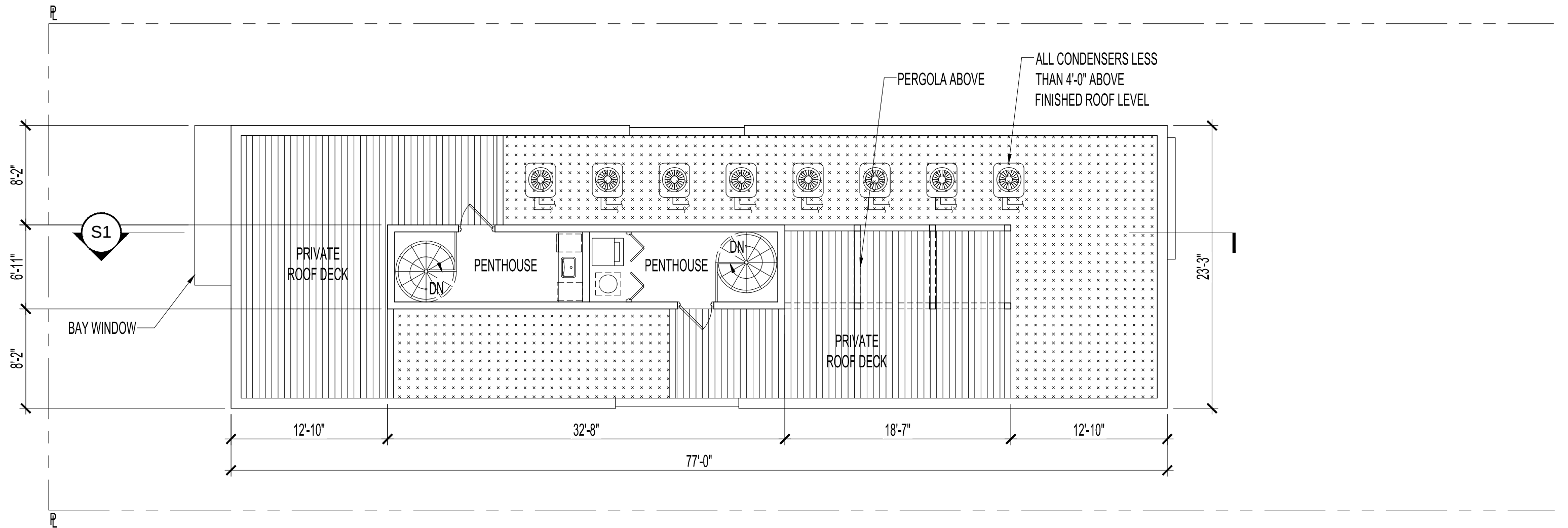
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PROPOSED THIRD FLOOR PLAN

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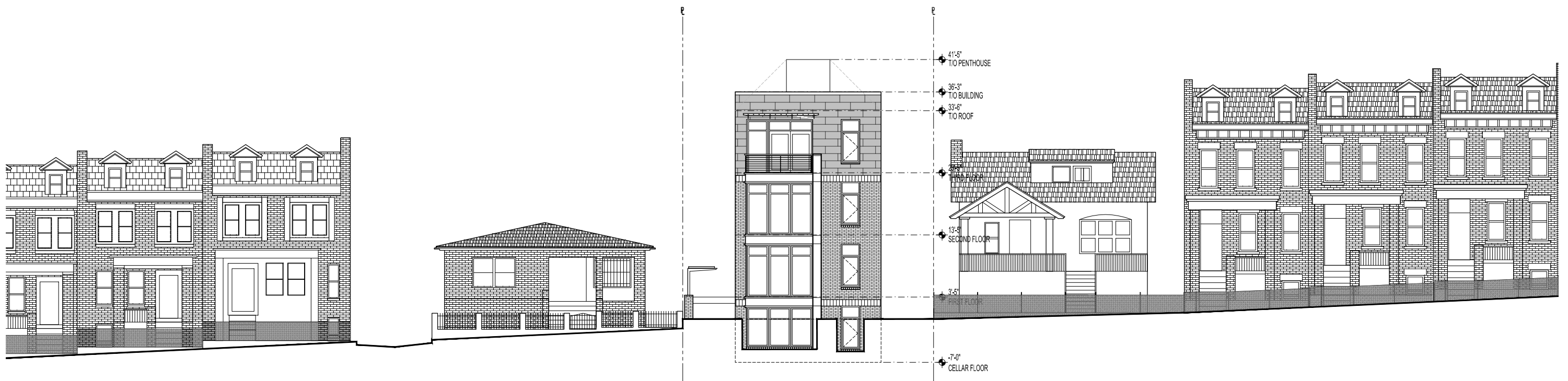
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PROPOSED ROOF / PENTHOUSE PLAN

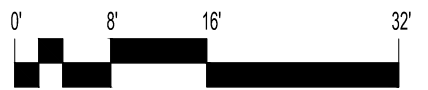
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129 VARNUM STREET, NW



SCALE: 1/16" = 1'-0"

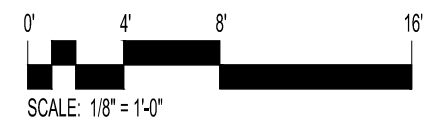
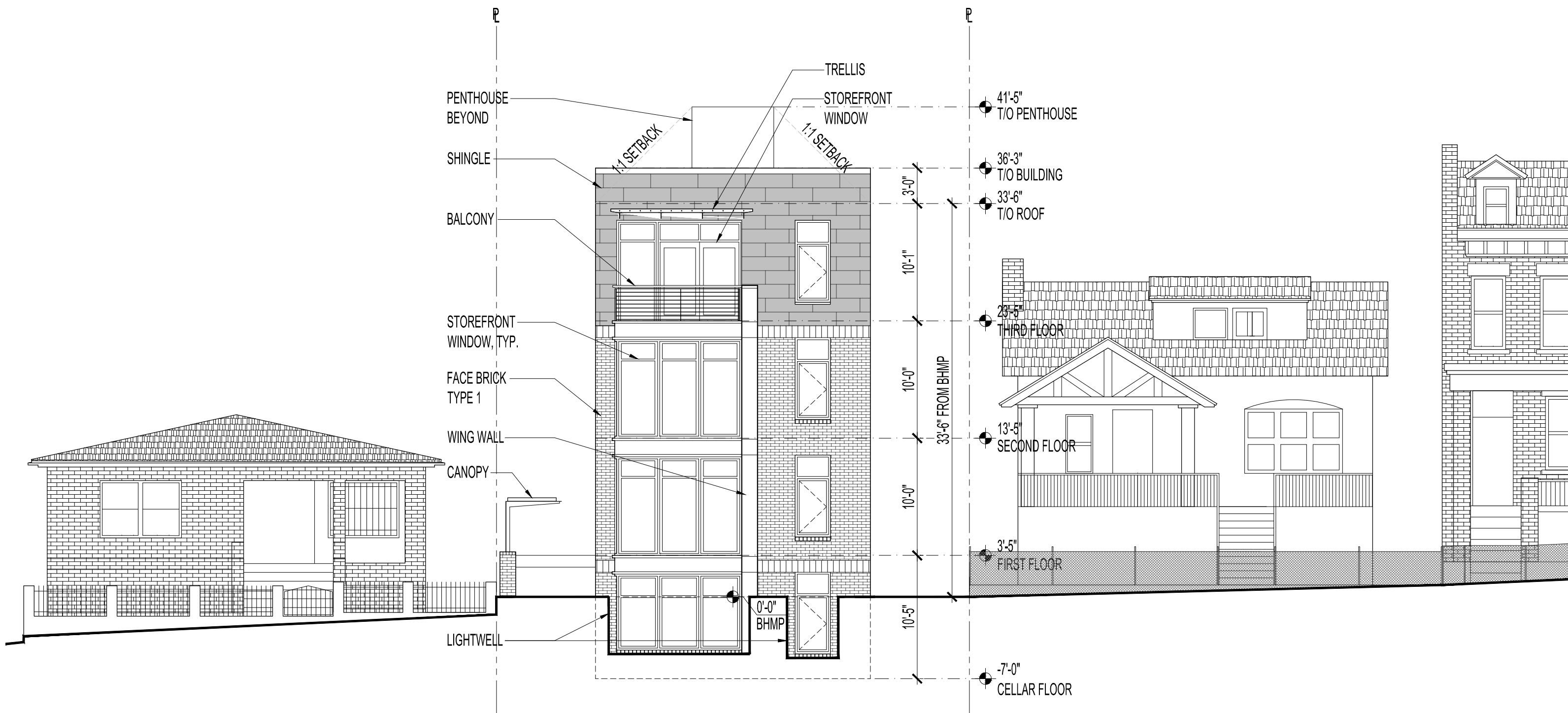
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PROPOSED STREETWALL ELEVATION

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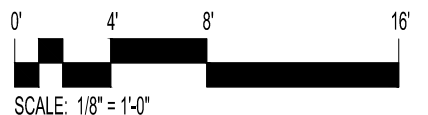
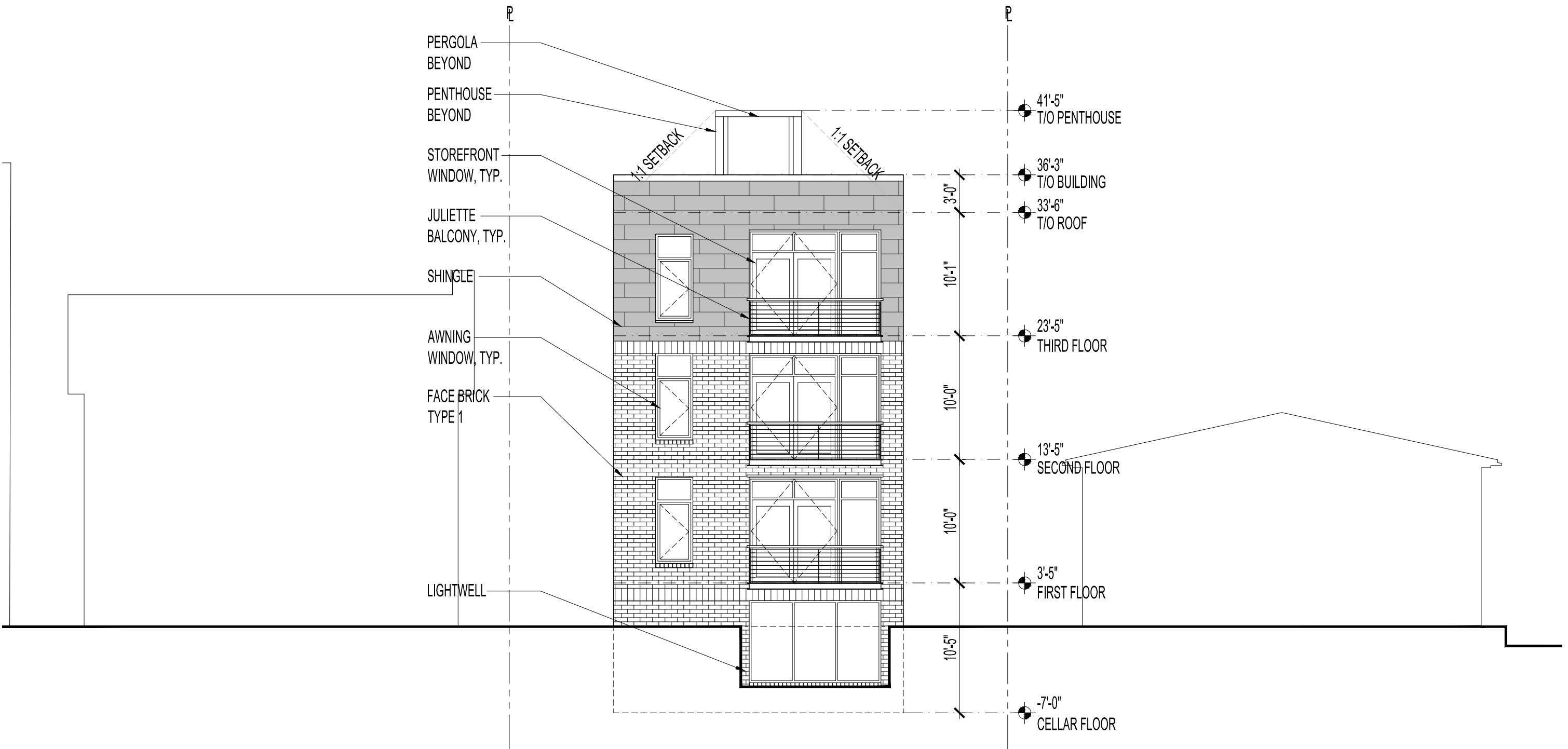
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PROPOSED SOUTH ELEVATION

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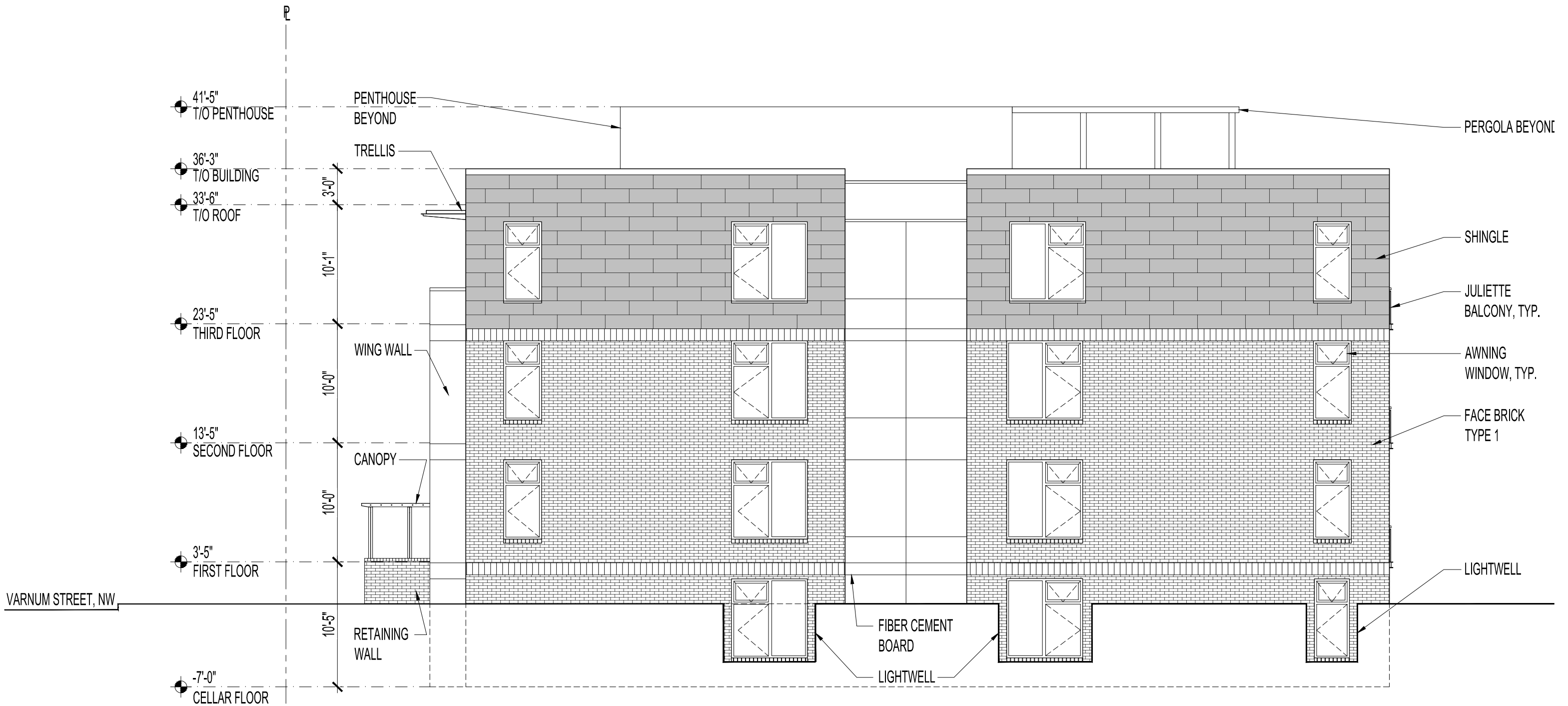
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PROPOSED NORTH ELEVATION

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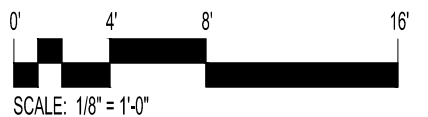
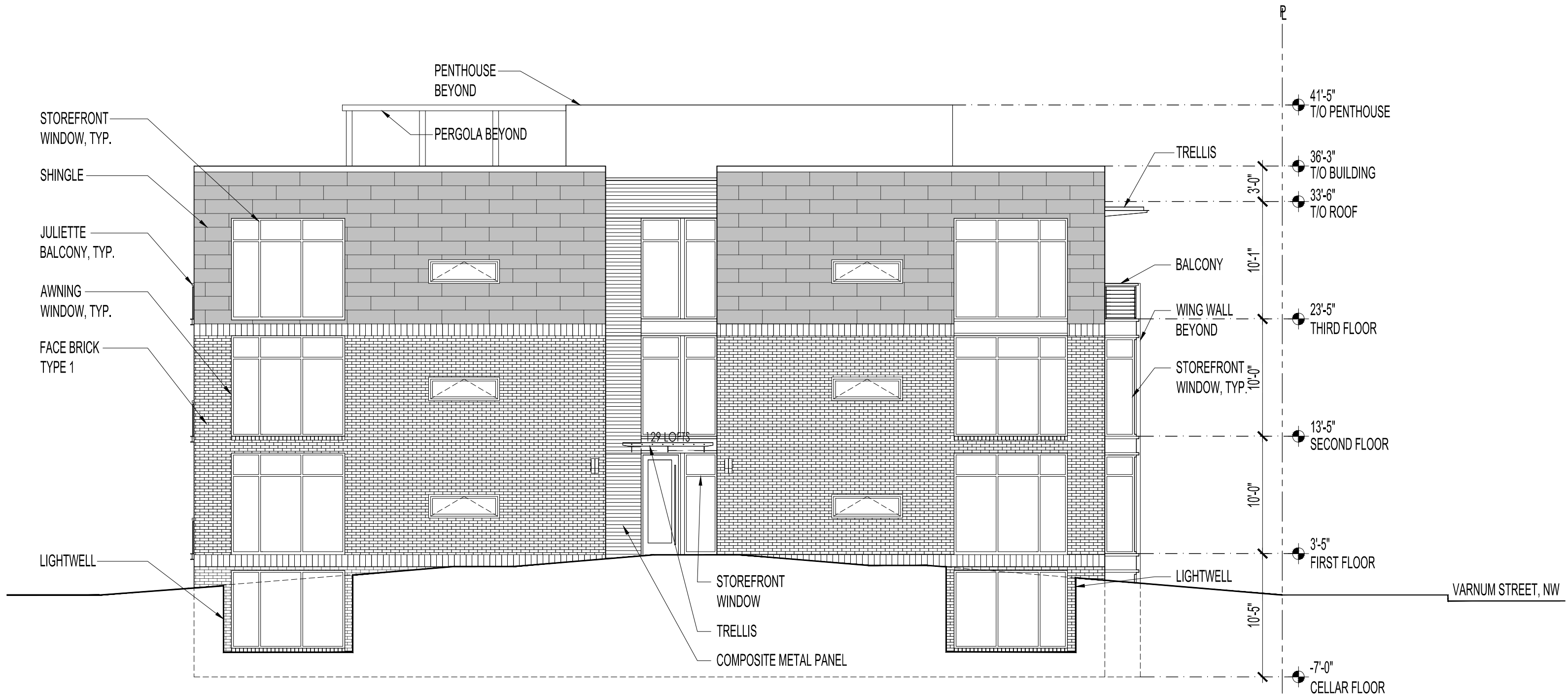
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PROPOSED EAST ELEVATION

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PROPOSED WEST ELEVATION

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