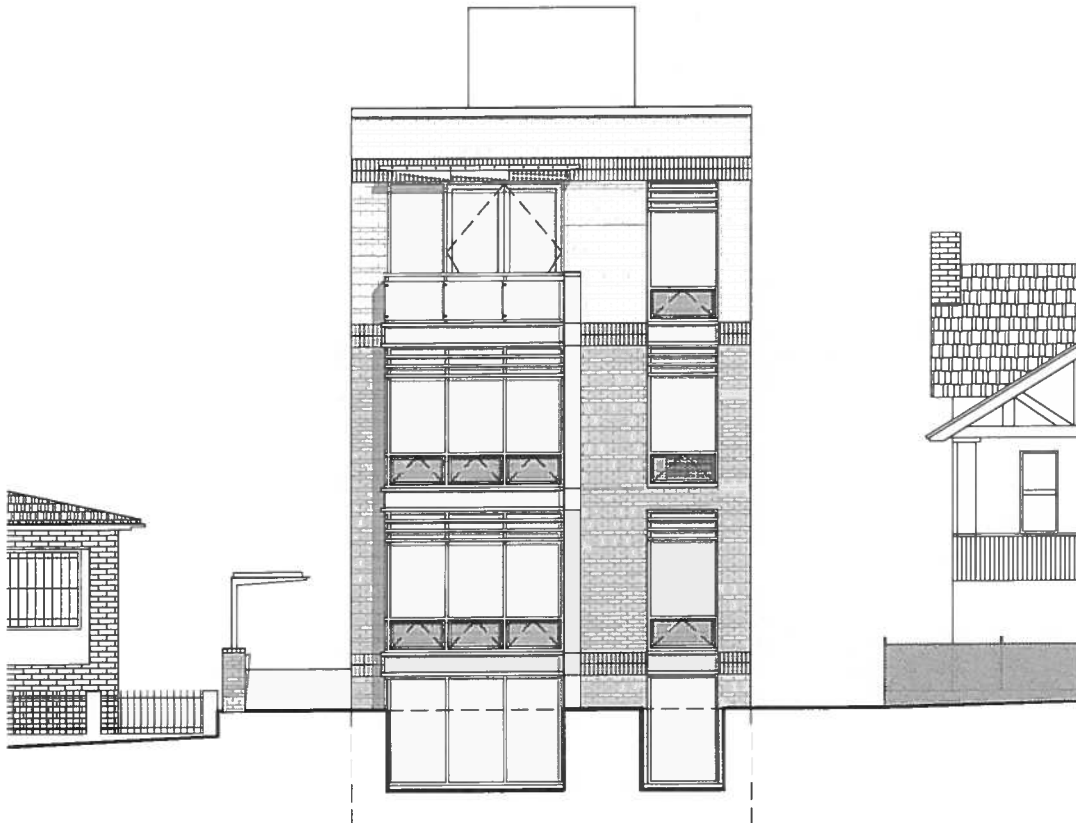


BOARD OF ZONING ADJUSTMENT SUBMISSION
129 VARNUM STREET, NW
Washington, DC 20011
Square 3321, Lots 0010 & 0011
Zoning District: R-5-A



- A1 COVER SHEET
- A2 ZONING TABULATIONS
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COVER SHEET

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Board of Zoning Adjustment
District of Columbia
CASE NO.19011
EXHIBIT NO.9A

129 Varnum Street, NW
129 Varnum Street NW, Washington, DC 20011

Analysis by: ECG

Applicable Section(s)	Requirements	Values	C / NC / NA / ENC	Relevant Criteria
DC Zoning Map				
			<u>Site Data:</u>	
DC Office Tax and Revenue	Lot(s): Square: Site Area:	0010, 0011 3321 5,200 SF		
DCMR 11 - DC Zoning Map				
			<u>Zoning Data:</u>	
DCMR11-350	Zone:	R-6-A		
DCMR11-350.4 (a)	Use:	Existing Building Residential-Detached-Single-Family	C	1 Unit
DCMR11-350.4 (f)		Proposed Building Residential-Apartment	C	7 Units
DCMR11-2502.1	Inclusionary Zoning:	Not Required	C	>10 new dwelling units
DCMR11-400.1	Allowable Building Height:	40'-0" Proposed 33'-5"	C	Max. height of 33'-6" permitted with 5'-4 1/2" side yard setback
DCMR11-401.3	Minimum Lot Dimension	As prescribed by the Board pursuant to § 3104	C	
DCMR11-402.1	FAR:	0.9	C	
DCMR11-403.1	Lot occupancy:	Allowable 40% Proposed 28.67%	C C	
DCMR11-404.1	Minimum Rear Yard Setback:	20'-0" Proposed 63'-0"	C C	
DCMR11-405.5	Side Yard:	5'-4 1/2"	C	3" Per 1'-0" of Building Height
DCMR11-2100.1	Parking:	Required 7 Spaces Proposed 7 Spaces	C C	1 Van accessible space provided
DCMR11-2115.1		Size of spaces- 9'-0" wide x 18'-0" long	C	
DCMR11-2115.5		Vertical clearance- 6'-6" minimum	C	20'-0" alley width
DCMR11-2117.4		Alley width- 10'-0" minimum	C	For 90 deg. Parking
DCMR11-2117.5		Alley width- 20'-0" minimum	C	
DCMR11-2117.5(a)	Driveway grade-	12% maximum	C	
DCMR11-2117.5(c)(2)	Required driveway width-	12'-0" minimum Proposed 13'-0"	C C	For one-way circulation
DCMR11-2201.1	Loading Requirements- Residential less than 50 units	0 loading berth req'd. 0 loading platform 0 service/delivery spaces	C	55 ft deep 200 SF 20'-0" deep
DCMR11-406.1	Courts	Open Court > 18' Wide Min. Closed Court > 18' Wide Min.	N/A N/A	Width: 4" Per 1'-0" of Height of Court Width: 4" Per 1'-0" of Height of Court, Area: Twice the square of the required width of court dimension based on the height of court, but not less than 350'-0"
DCMR11-400.7	Penthouse setback-	1:1 setback from exterior walls	C	
DCMR11-411.7	Area determined by GFA-	2,294 SF Proposed 334 SF	C C	Shall not exceed 0.37 FAR
DCMR11-411.3		Shall be a single penthouse structure or	C	
DCMR11-411.5	Single enclosure- linked to create a single structure.	Enclosing walls- Shall be of equal height	C	
DCMR11-400.7	Penthouse height-	18'-6" max (8'-0" proposed)	C	Height above the roof, mech equip shall not extend above 18'-6", height of housing
	Building Restriction Line	18'-0" from Property Line	C	

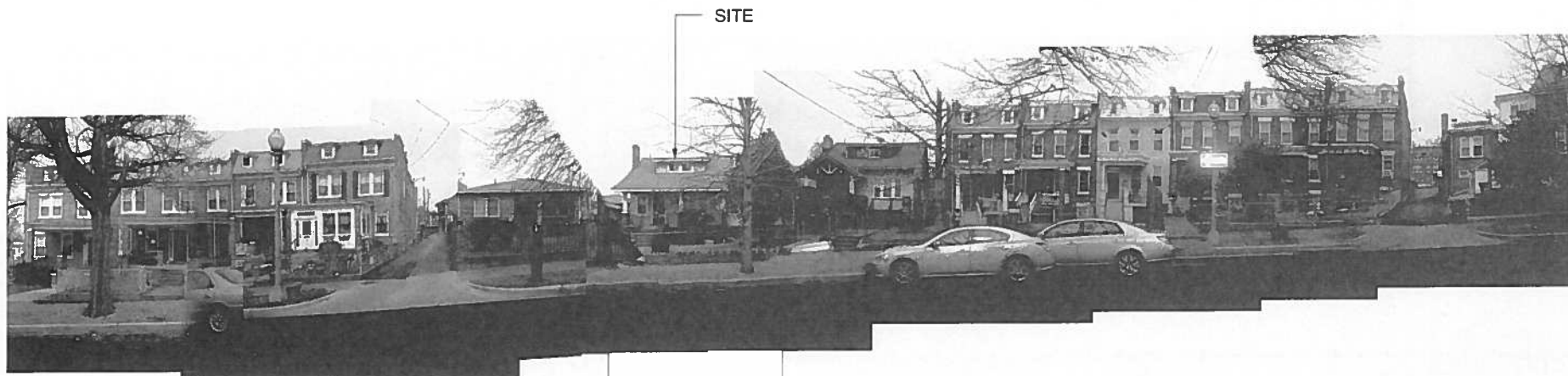
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ZONING TABULATIONS

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VARNUM STREET - NORTH

129 VARNUM
STREET, NW



VARNUM STREET - SOUTH

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EXISTING STREET WALL PHOTOS

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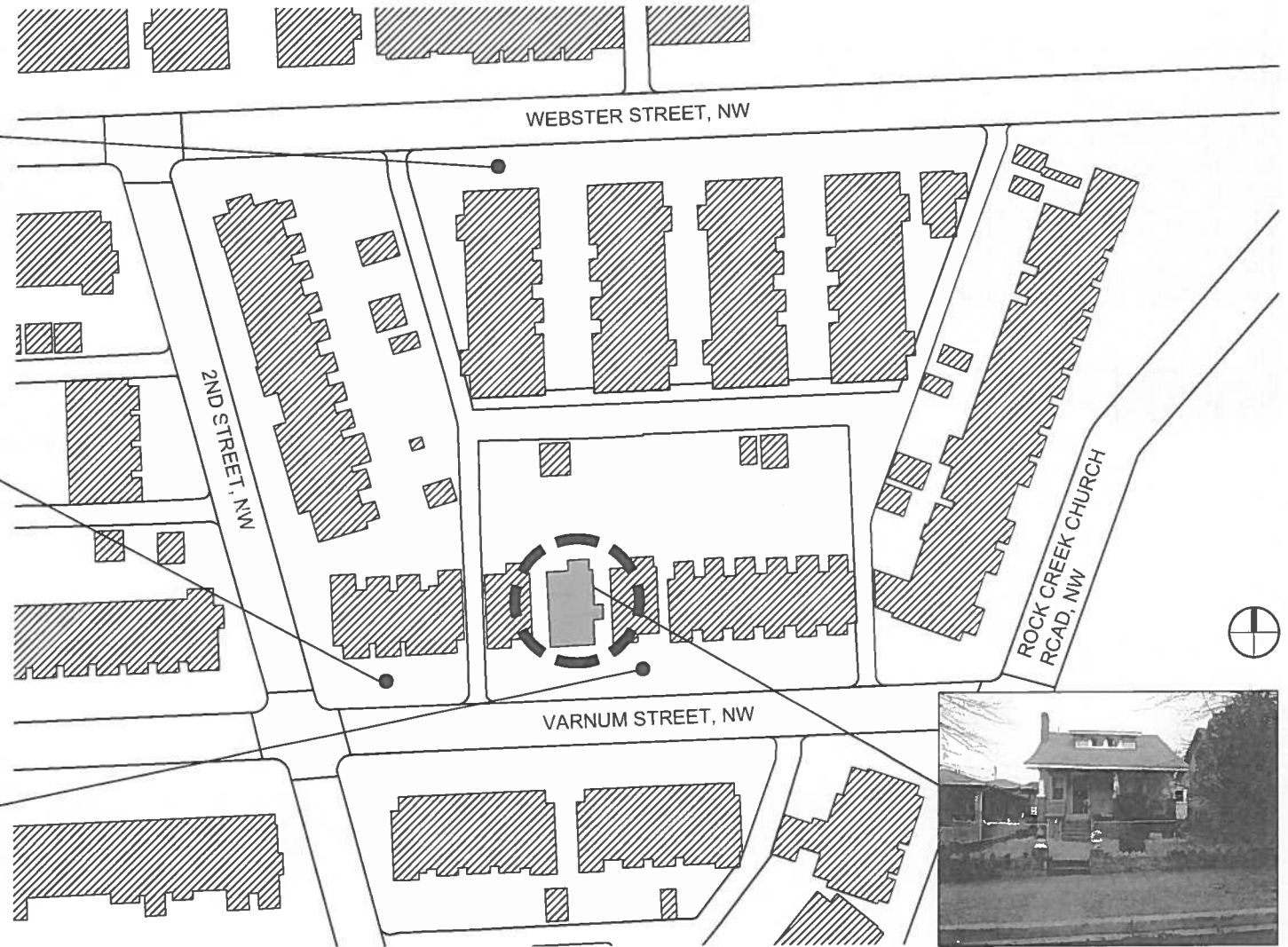
WEBSTER GARDENS APARTMENTS



ROW HOUSES TO THE WEST



ROW HOUSES TO THE EAST



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SITE MAP

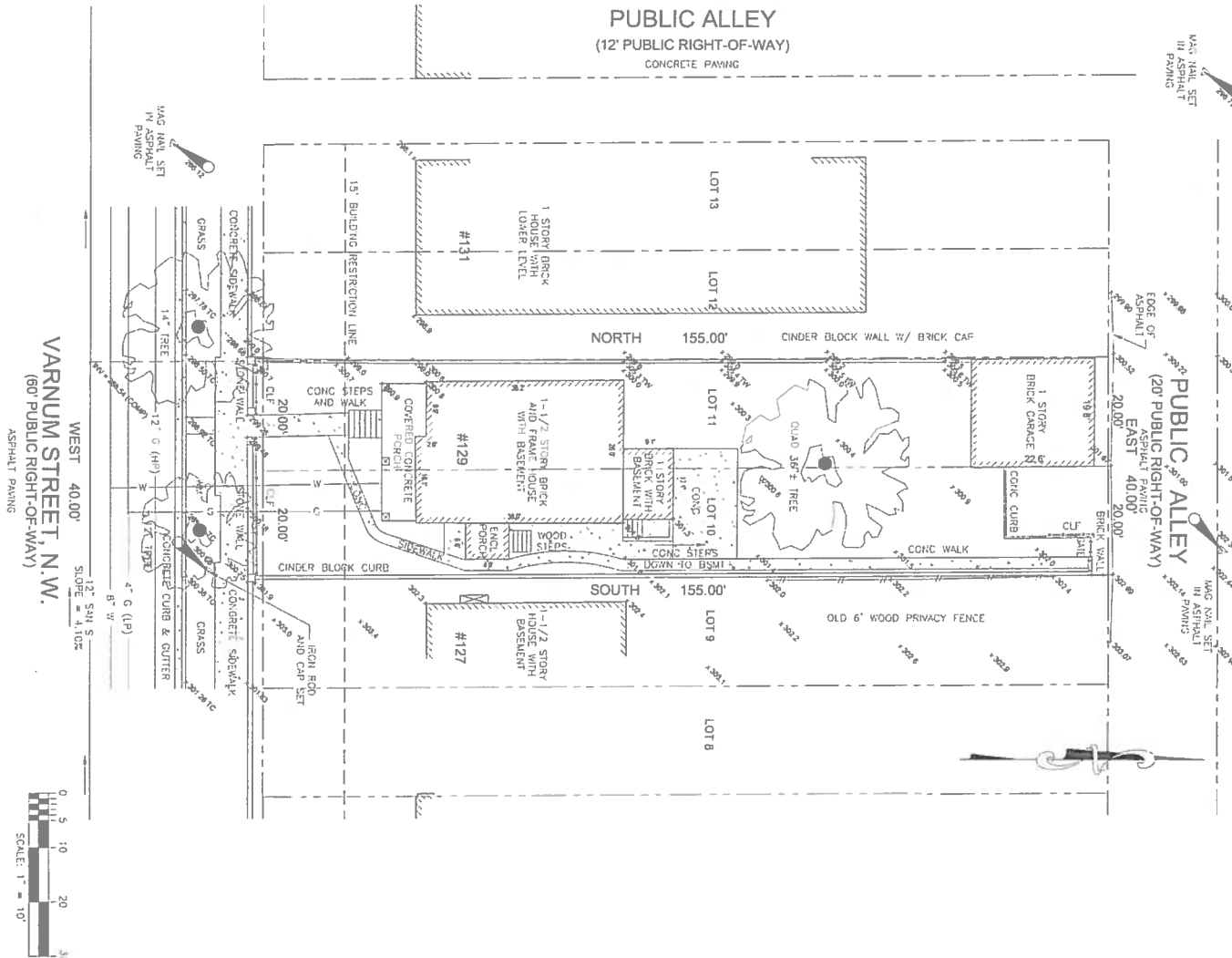
NTS

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ABBREVS. AND LEGEND

	BUILDING
	PROPERTY LINE
	PIPE RAILING
	CHAIN LINK FENCE
	STORM DRAIN MANHOLE
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	GAS METER
	GAS VALVE
	COMBO SEWER MANHOLE
	CLEANOUT
	ROOF DRAIN
	OVERHEAD UTILITY
	ELECTRIC MANHOLE
	POWER POLE
	ST. LIGHT ON PWR POLE
	WALL MOUNTED CAMERA
	BOLLARD
	TRAFFIC SIGNAL POLE
	TRAFFIC CONTROL BOX
	SATELLITE DISH
	MAILBOX
	DOOR
	TRASH CAN
	SIGN
	PARKING METER
	DECIDUOUS TREE
	ASPH
	CONCRETE
	WROUGHT IRON FENCE



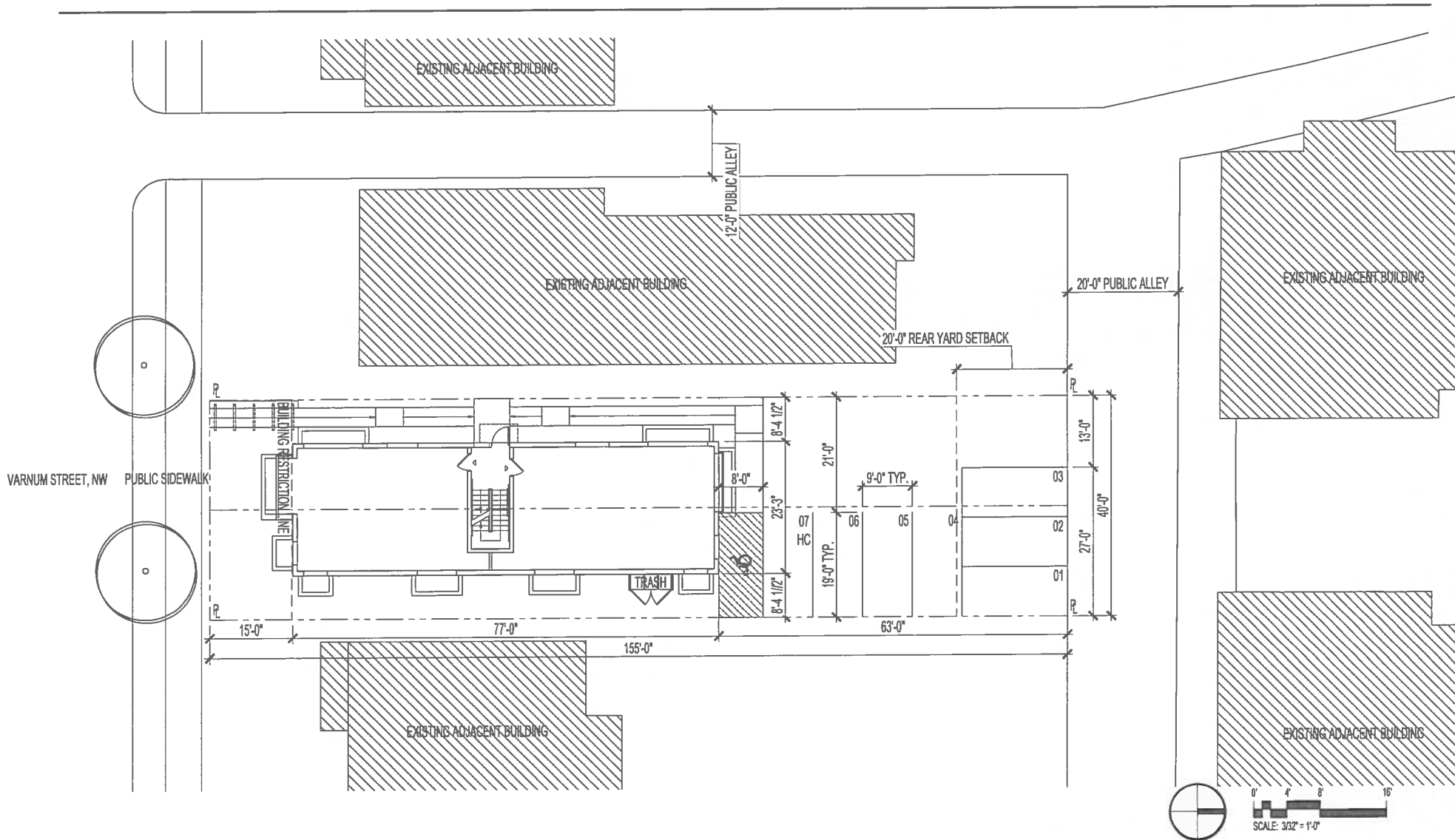
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EXISTING CIVIL PLAN

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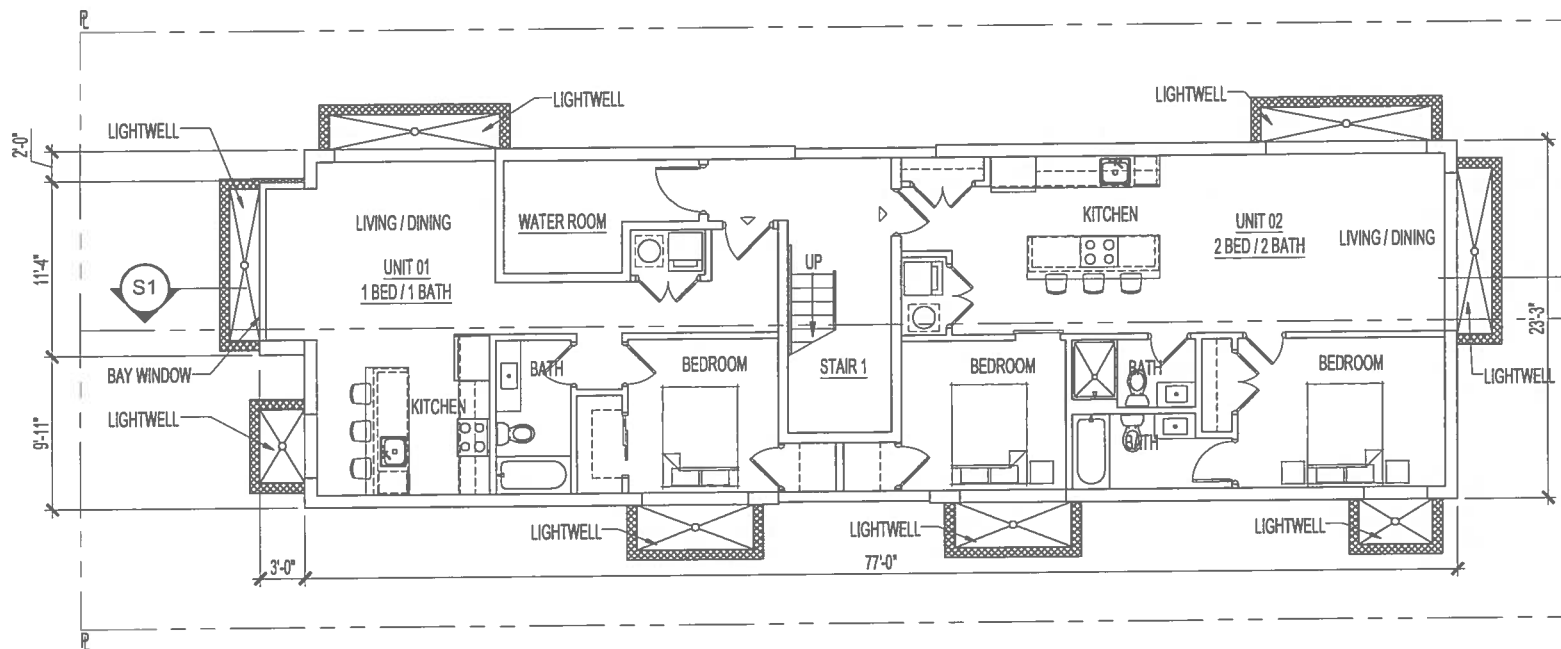
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PROPOSED SITE PLAN

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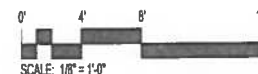
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PROPOSED CELLAR FLOOR PLAN

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