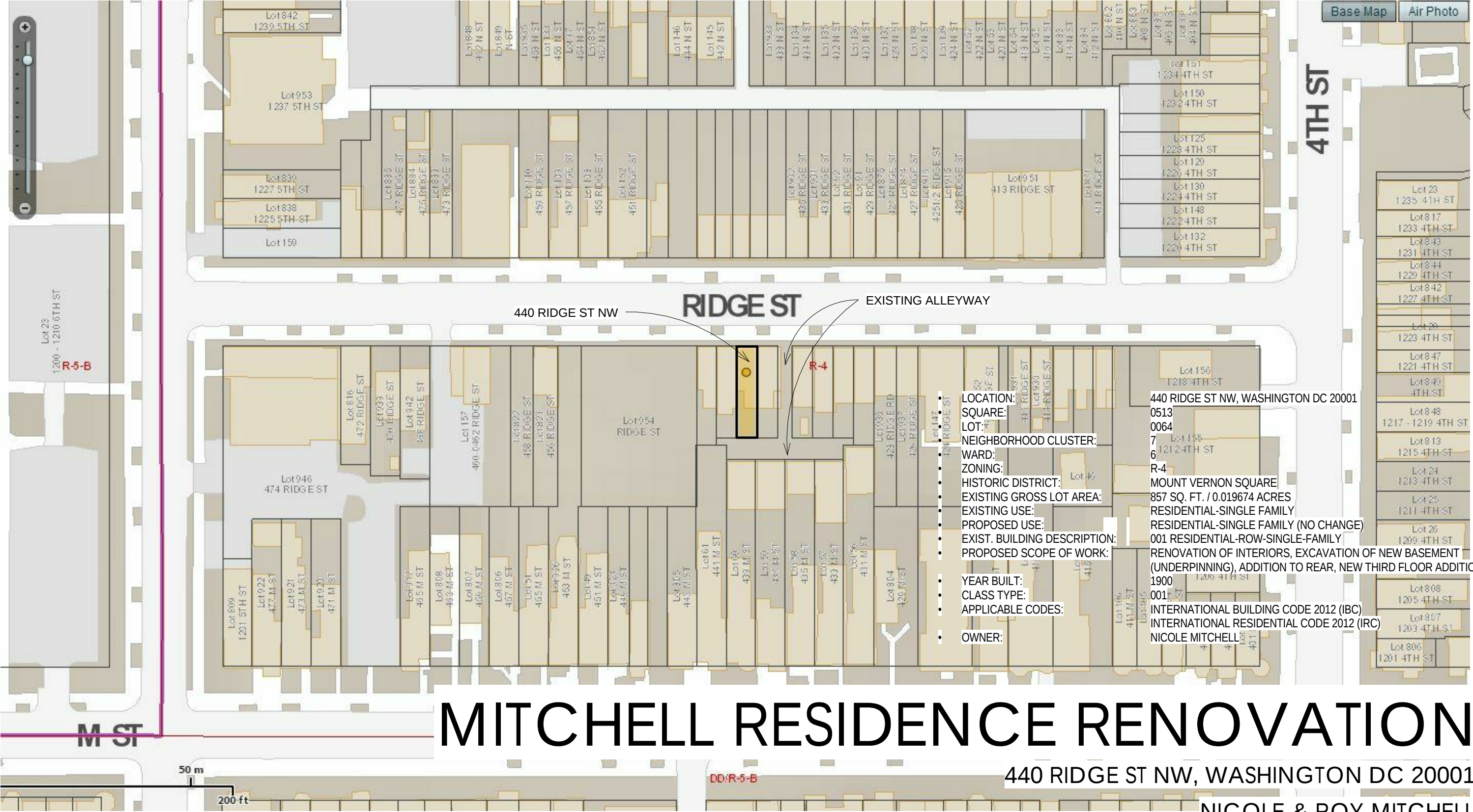




PROJECT INFORMATION

MITCHELL RESIDENCE
NICOLE MITCHELL
440 RIDGE ST NW, WASHINGTON DC 20001-4622

PROJECT NUMBER: 2014-06

3/3/2015 10:05:52 AM

ISSUE RECORD

Issue:
Reference Sheet:
Drawing Date: 12/11/14
Drawn By:
Drawing Scale:

DRAWING INFORMATION

Cover Sheet

Board of Zoning Adjustment
District of Columbia
CASE NO. 19010
EXHIBIT 10.5
Z.000

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., October 28, 2014

Plat for Building Permit of SQUARE 513 LOT 64

Scale: 1 inch = 10 feet Recorded in Book WBM Page 63

Receipt No. 15-00520

Furnished to: NICOLE MITCHELL

Surveyor, D.C.

By: A.S.

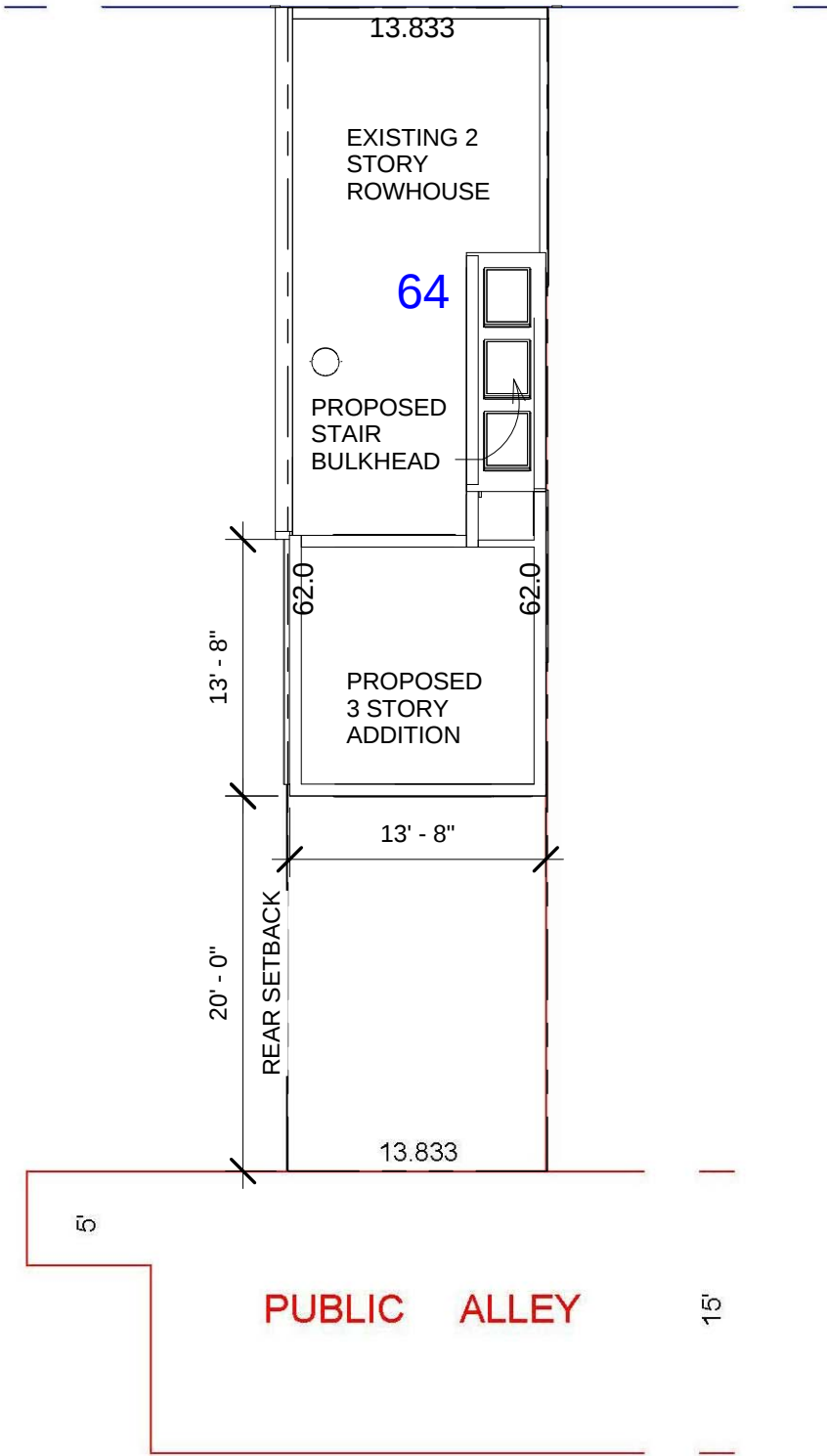
I hereby certify that all existing improvements shown thereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining Lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified that all Lot divisions or combinations pending at the Office of Tax & Revenue are correctly depicted, and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and private restricted property.) Owner/Agent shall indemnify, defend, and hold the District, its officers, employees and agents harmless from and against any and all losses, costs, claims, damages, liabilities, and causes of action (including reasonable attorneys' fees and court costs) arising out of death of or injury to any person or damage to any property occurring on or adjacent to the Property and directly or indirectly caused by any acts done thereon or any acts or omissions of Owner/Agent; provided however, that the foregoing indemnity shall not apply to any losses, costs, claims, damages, liabilities, and causes of action due solely to the gross negligence or willful misconduct of District or its officers, employees or agents.

Date: _____

(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

RIDGE STREET, N.W.





01 | Front View

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2121 Wisconsin Ave. NW T 202 295 9001
Suite 220 F 202 295 9090
Washington, DC 20007 www.architextual.com

PROJECT INFORMATION

MITCHELL RESIDENCE
NICOLE MITCHELL
440 RIDGE ST NW, WASHINGTON DC 20001-4622

PROJECT NUMBER: **2014-06**

ISSUE RECORD

Issue:
Reference Sheet:
Drawing Date: 12/11/14
Drawn By: Author
Drawing Scale:

DRAWING INFORMATION

Existing Conditions
Photos

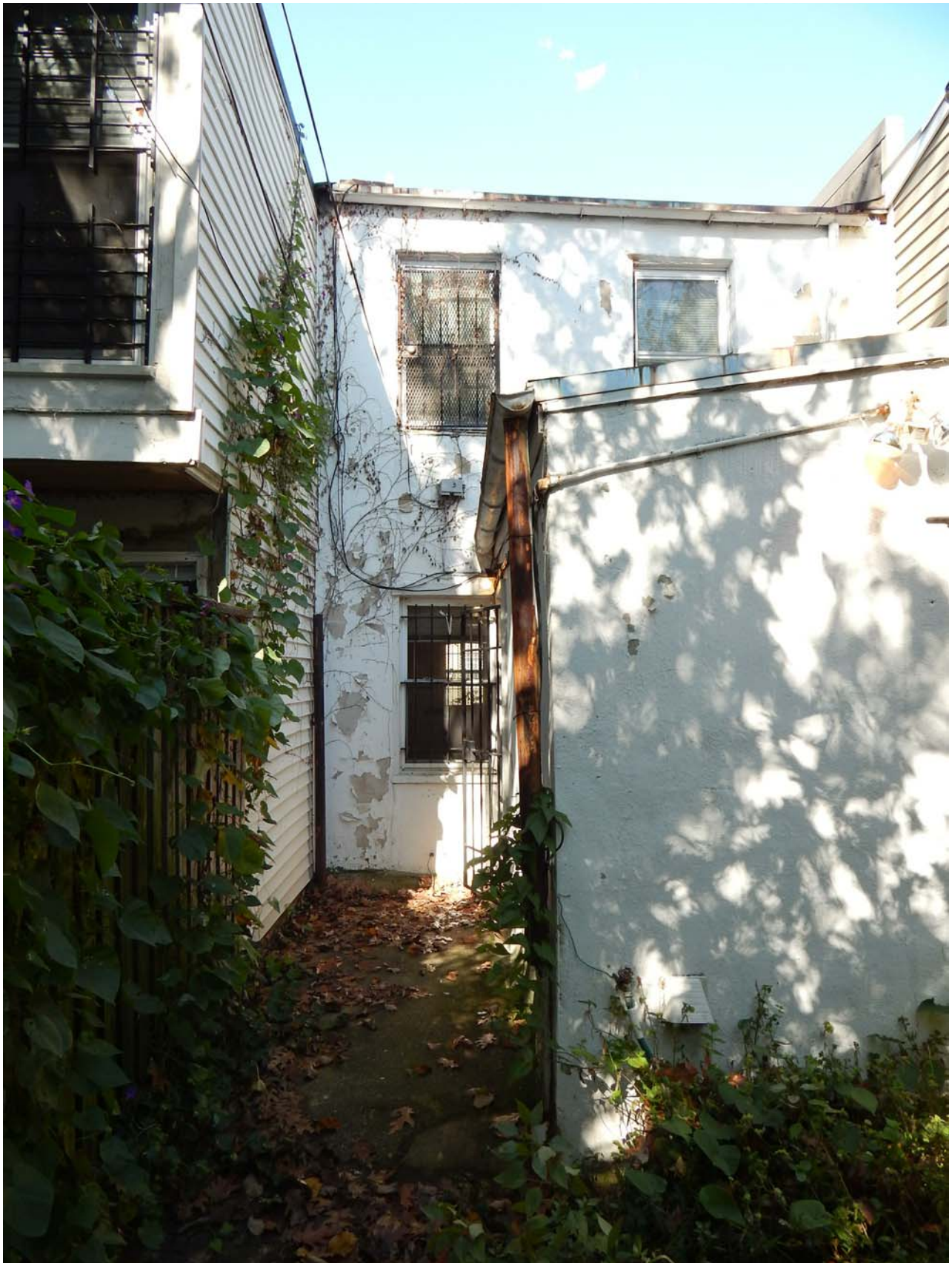
Z.002

You are hereby directed to proceed with this Construction Directive which interprets the contract documents or minor changes in the work without change in the contract sum or time. If you consider this a change to the contract sum or contract time, you must submit for approval a Change Order or Time Delay, prior to the work commencing.

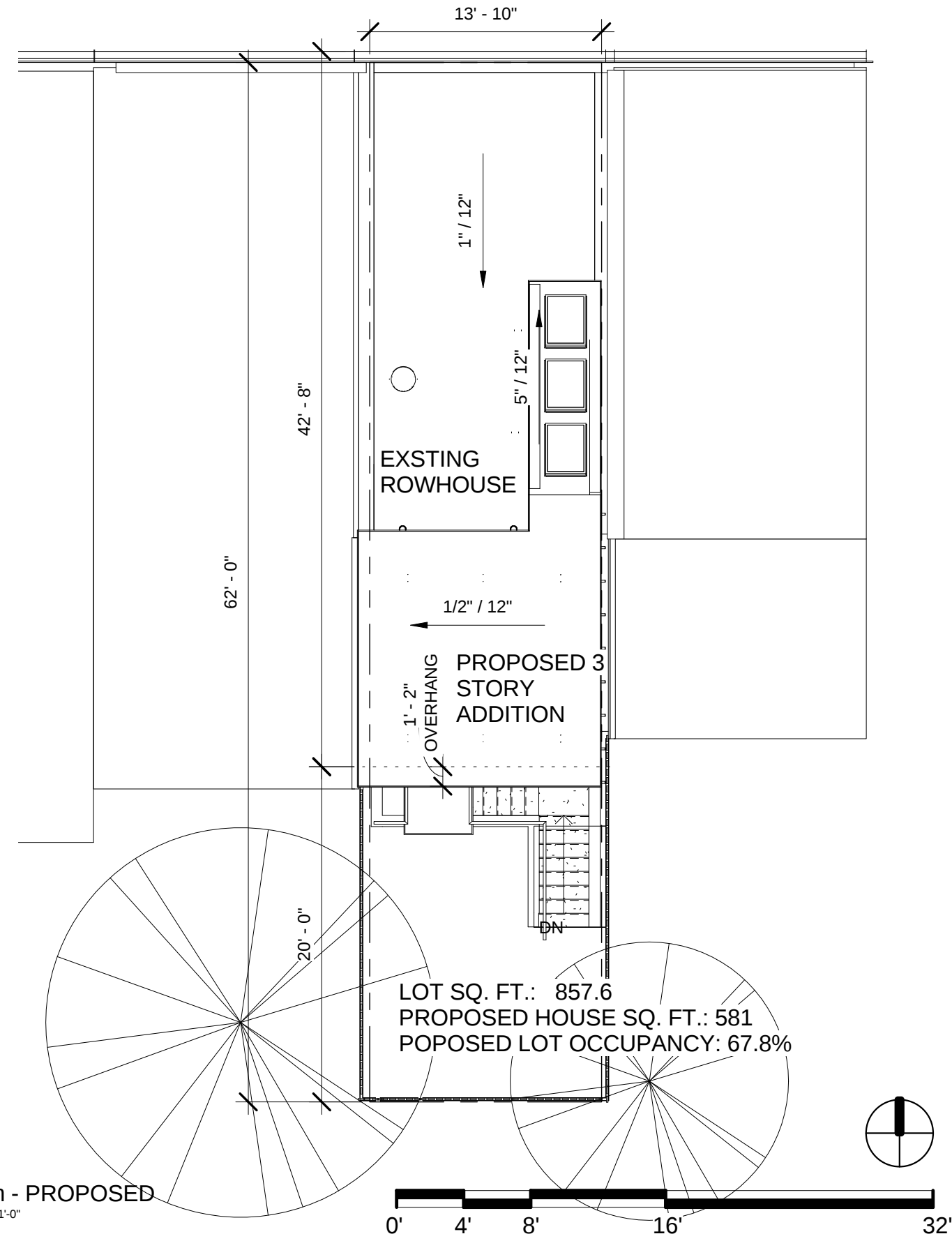
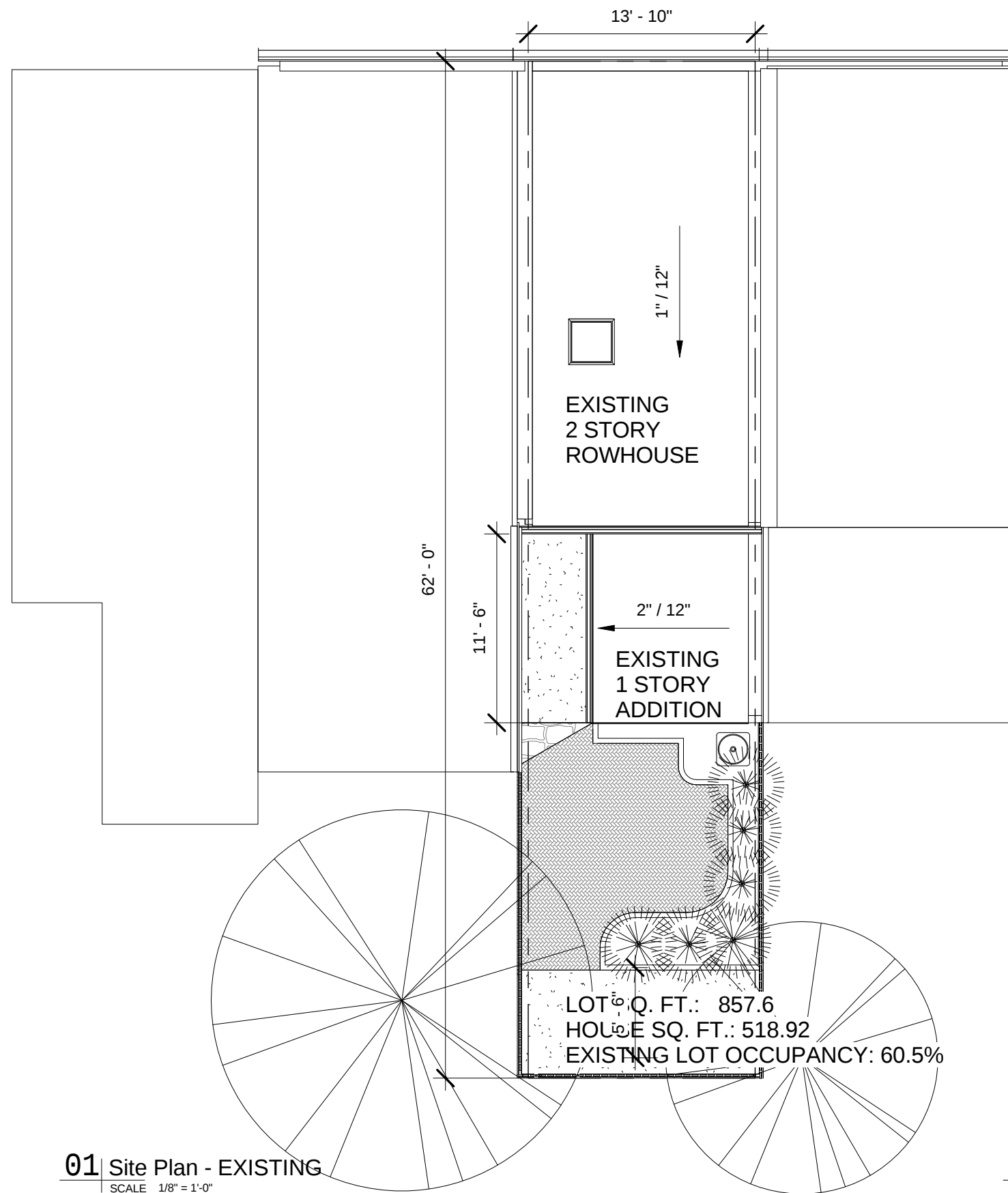
C:\Users\cferreira\Documents\2015.01.12_MITCHELL_CENTRAL_HPOP2_CatarinaFerreira4652.rvt

3/3/2015 10:04:23 AM

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01 | Rear View



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PROJECT INFORMATION

MITCHELL RESIDENCE
NICOLE MITCHELL
440 RIDGE ST NW, WASHINGTON DC 20001-4622

PROJECT NUMBER: **2014-06**

3/3/2015 10:06:03 AM

ISSUE RECORD

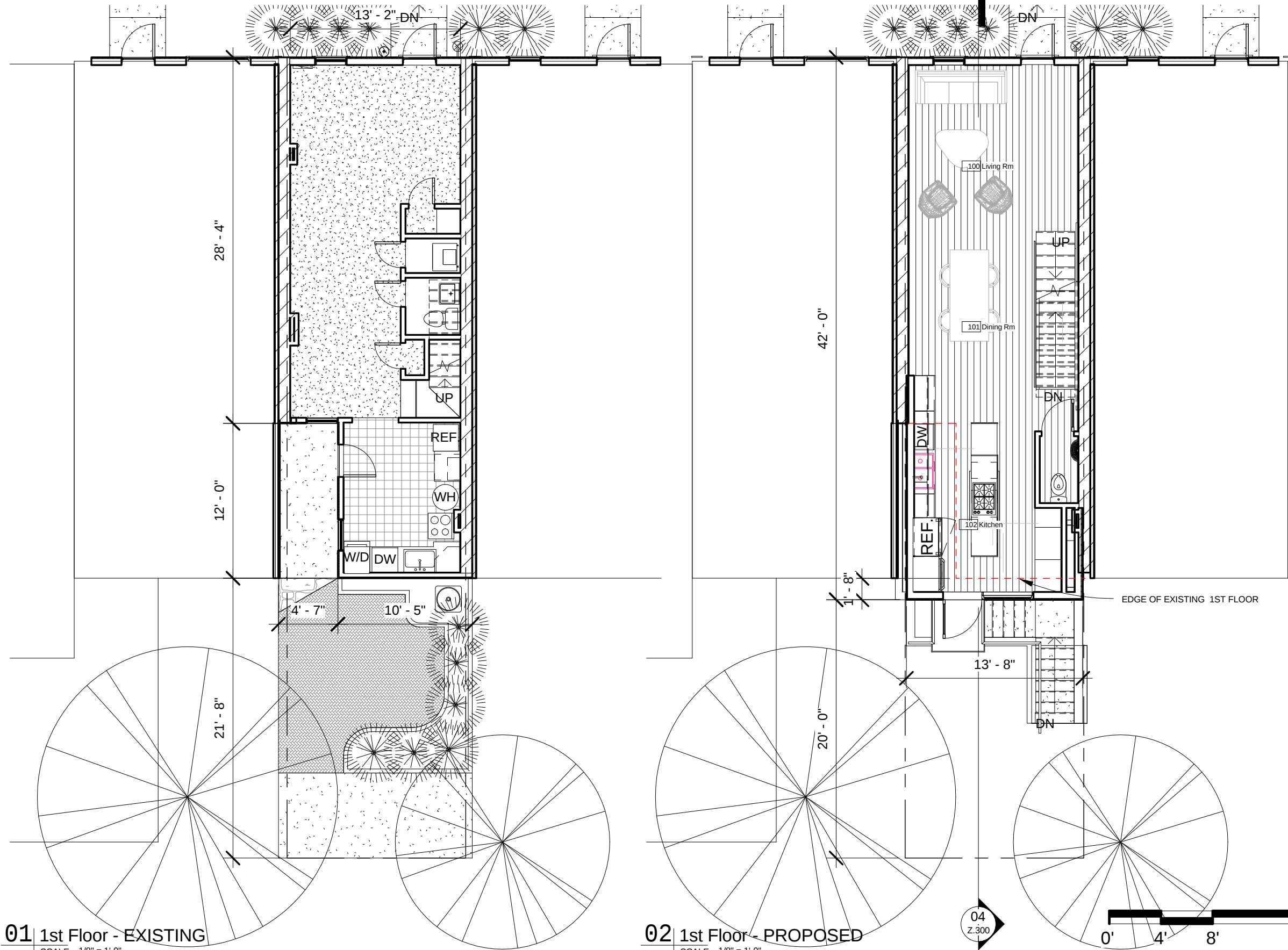
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Reference Sheet:
Drawing Date: 12/11/14
Drawn By: Author
Drawing Scale: 1/8" = 1'-0"

DRAWING INFORMATION

Site Plans

Z.100

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PROJECT INFORMATION

MITCHELL RESIDENCE
NICOLE MITCHELL
440 RIDGE ST NW, WASHINGTON DC 20001-4622

PROJECT NUMBER: 2014-06

3/3/2015 10:06:14 AM

ISSUE RECORD

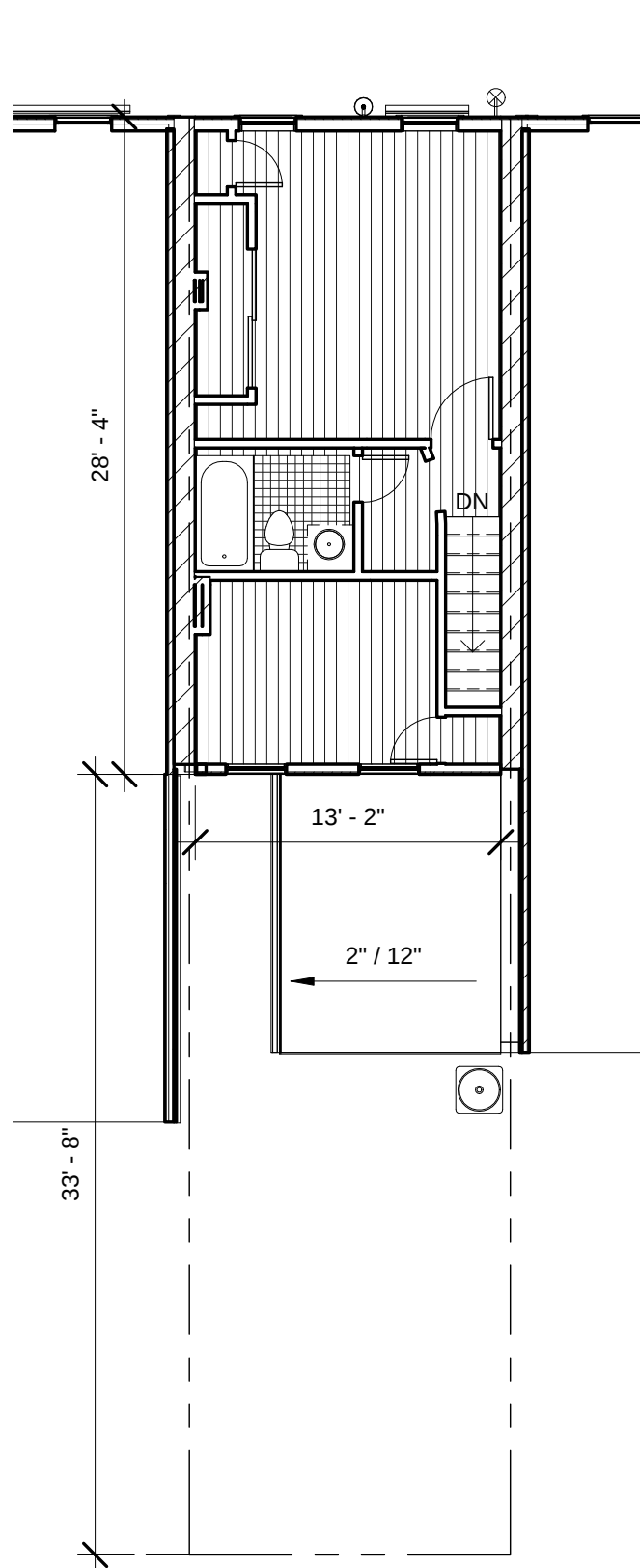
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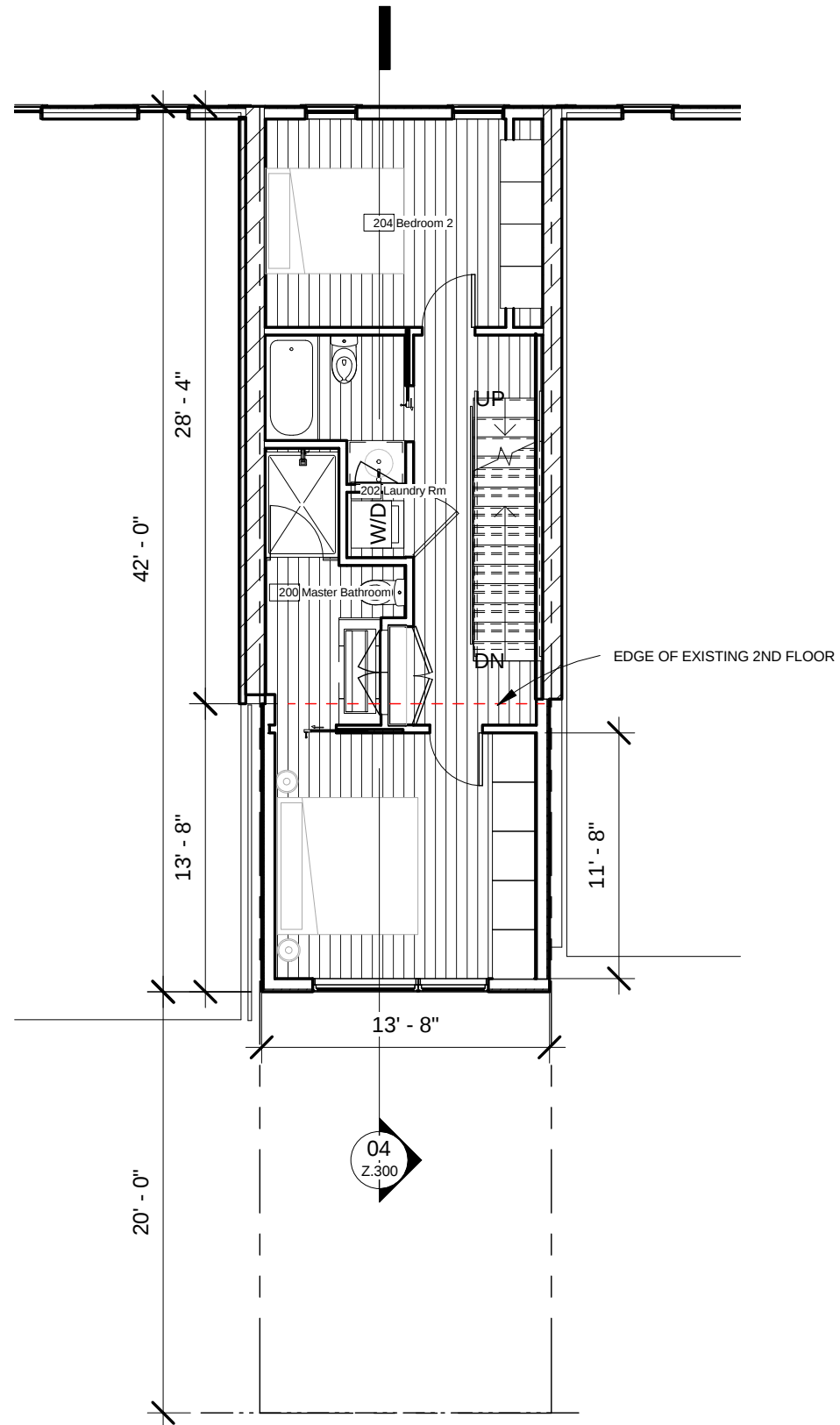
1st Floor Plans

Z.101

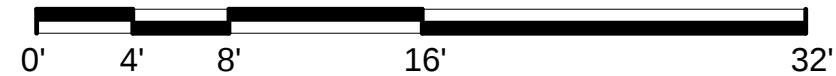
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01 2nd Floor - EXISTING
SCALE 1/8" = 1'-0"



02 2nd Floor - PROPOSED
SCALE 1/8" = 1'-0"



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PROJECT INFORMATION

MITCHELL RESIDENCE
NICOLE MITCHELL
440 RIDGE ST NW, WASHINGTON DC 20001-4622

PROJECT NUMBER: **2014-06**

3/3/2015 10:06:23 AM

ISSUE RECORD

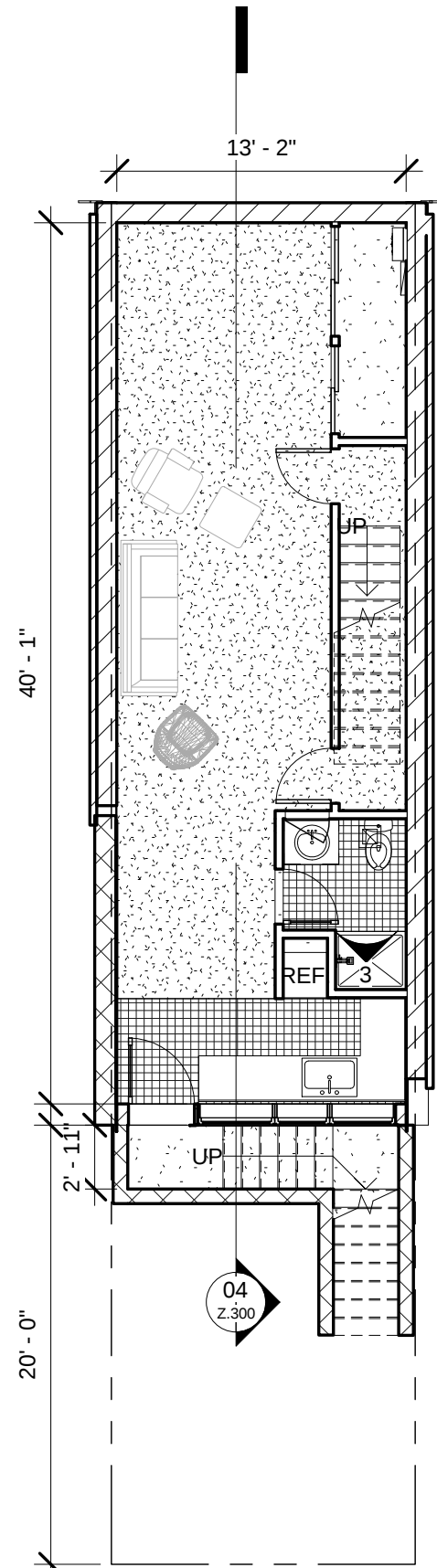
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Drawn By: Author
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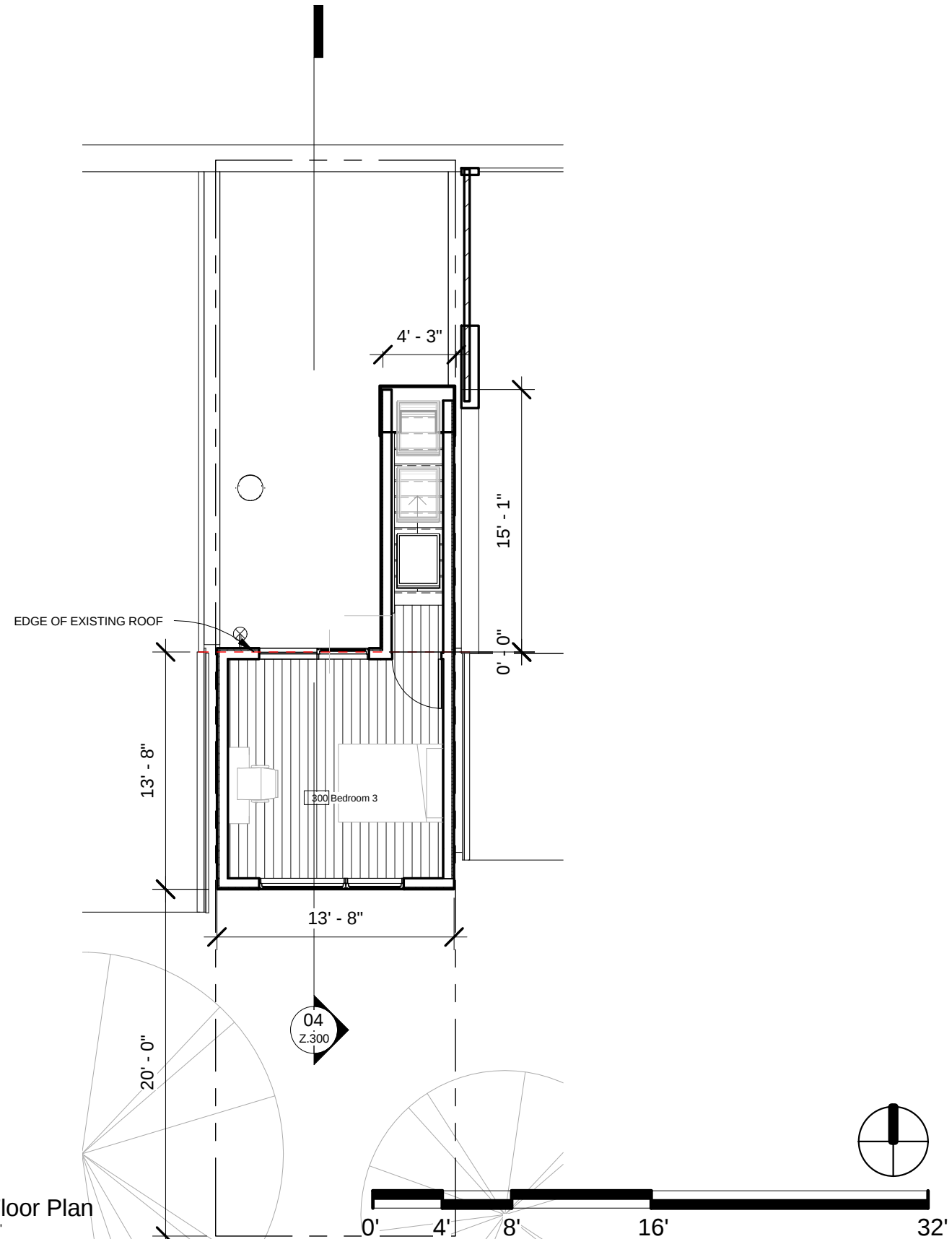
2nd Floor Plans

Z.102

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01 New Basement Plan
SCALE 1/8" = 1'-0"



02 New 3rd Floor Plan
SCALE 1/8" = 1'-0"

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PROJECT INFORMATION

MITCHELL RESIDENCE
NICOLE MITCHELL
440 RIDGE ST NW, WASHINGTON DC 20001-4622

PROJECT NUMBER: **2014-06**

3/3/2015 10:06:32 AM

ISSUE RECORD

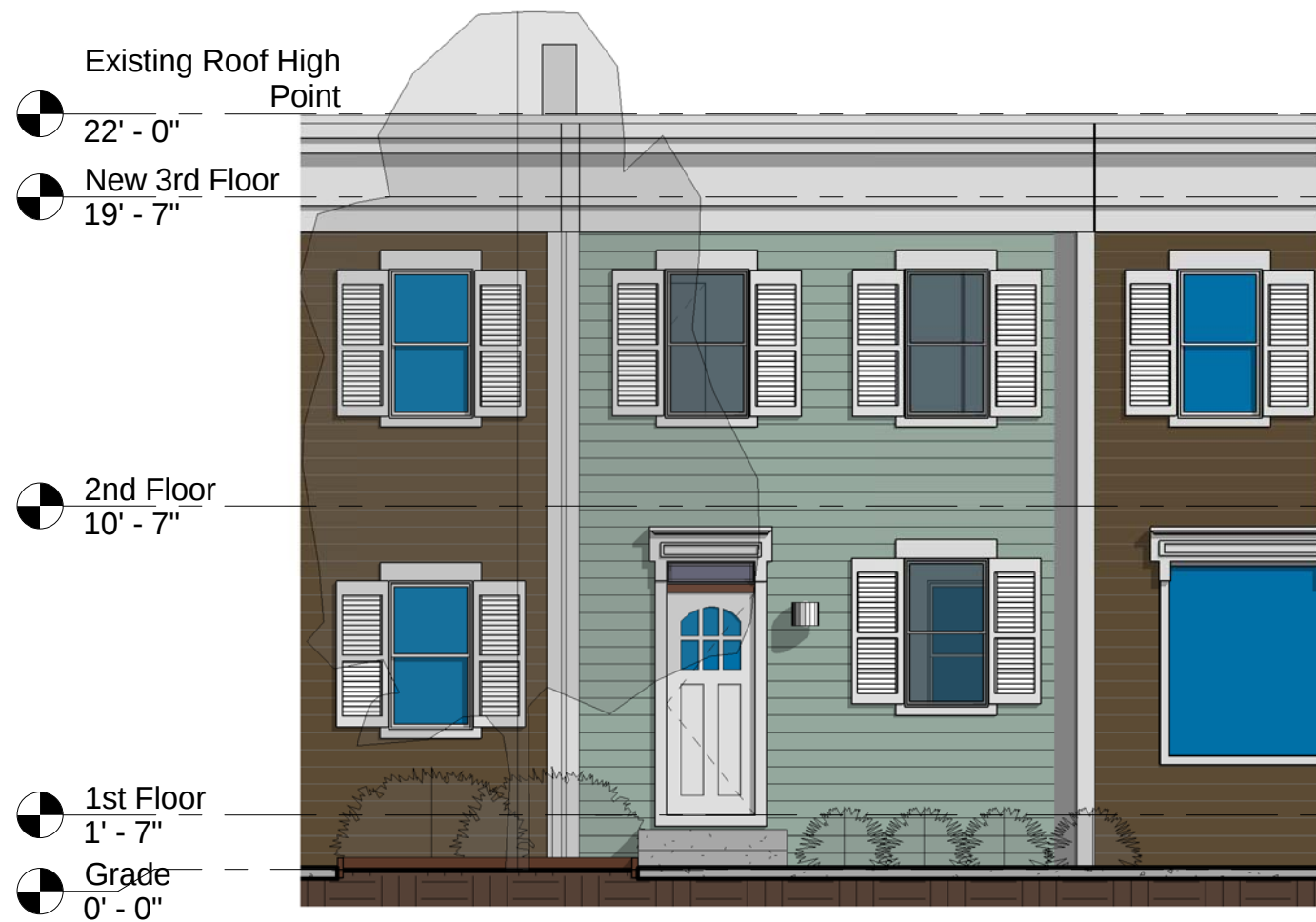
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Drawn By: Author
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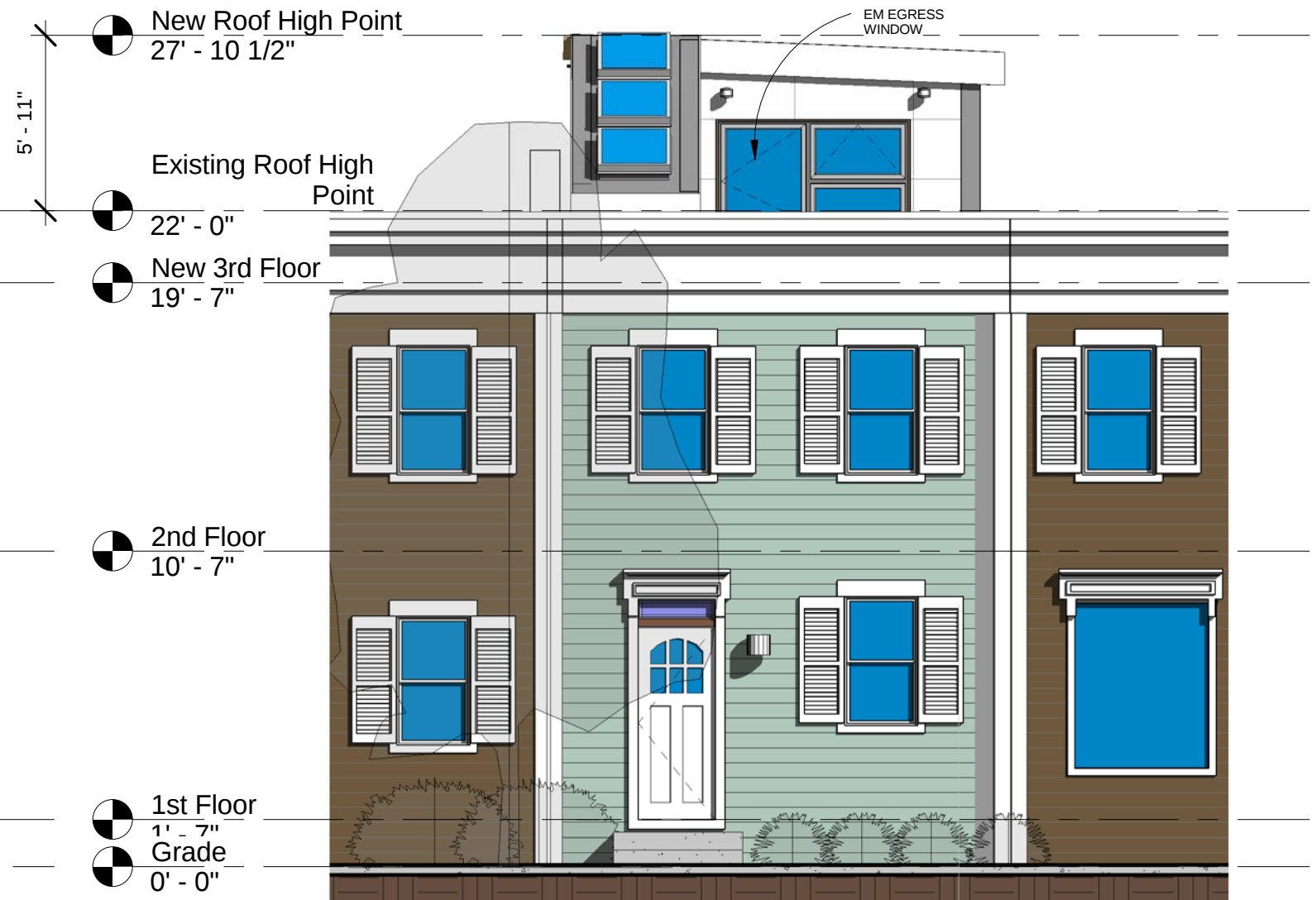
Basement & 3rd Floor
Plans

Z.103

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01 Front Elevation - EXISTING
SCALE 3/16" = 1'-0"



02 Front Elevation - PROPOSED
SCALE 3/16" = 1'-0"



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PROJECT INFORMATION

MITCHELL RESIDENCE
NICOLE MITCHELL
440 RIDGE ST NW, WASHINGTON DC 20001-4622

PROJECT NUMBER: **2014-06**

3/3/2015 10:06:46 AM

ISSUE RECORD

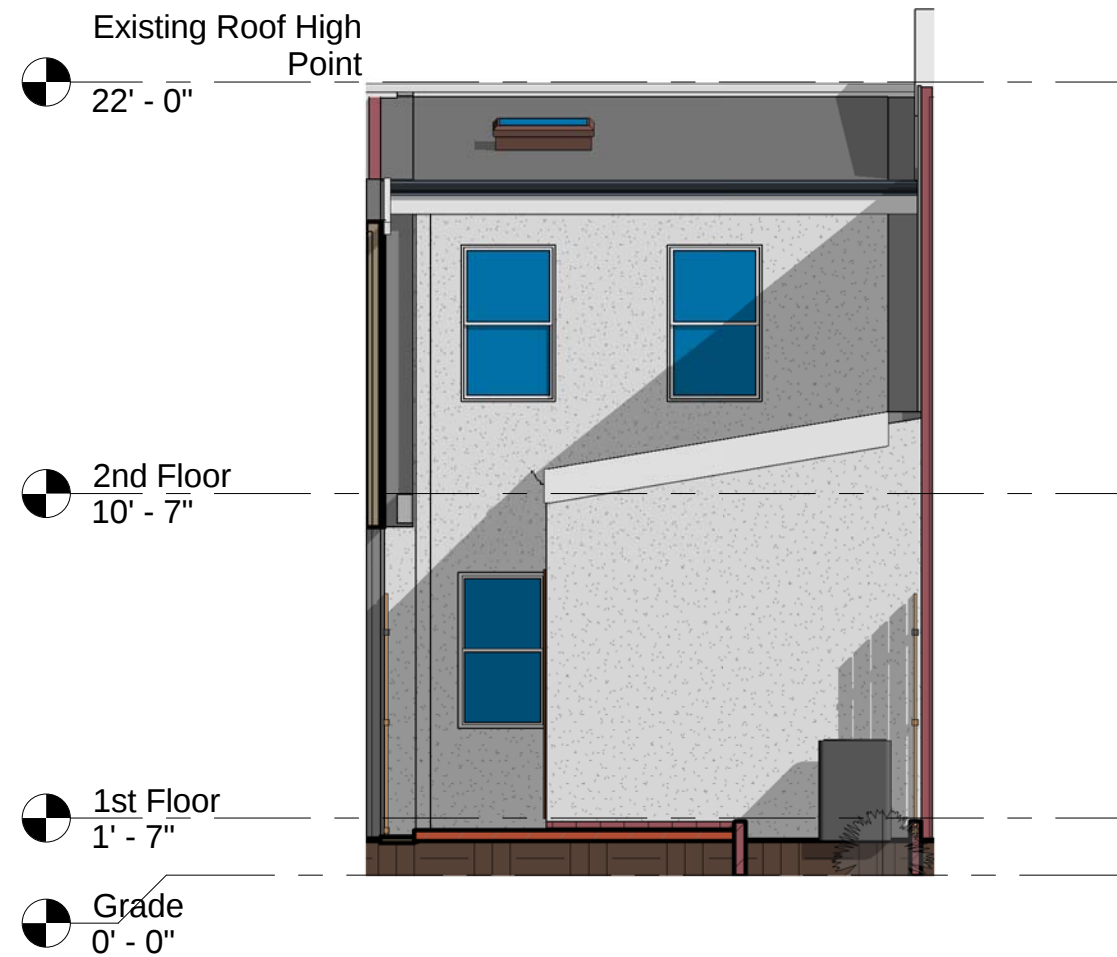
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Drawing Date: 12/11/14
Drawn By: Author
Drawing Scale: 3/16" = 1'-0"

DRAWING INFORMATION

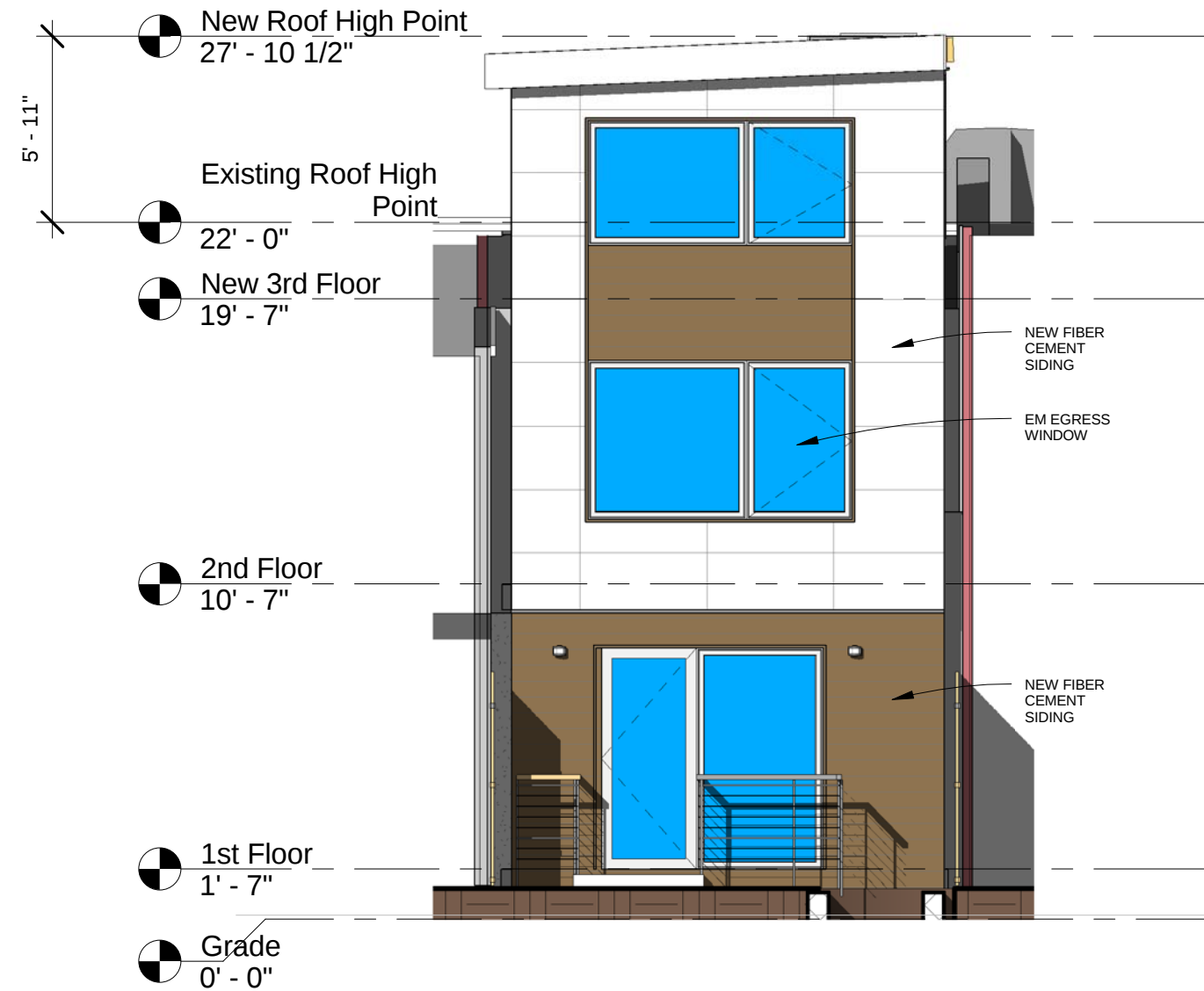
Front Elevations

Z.200

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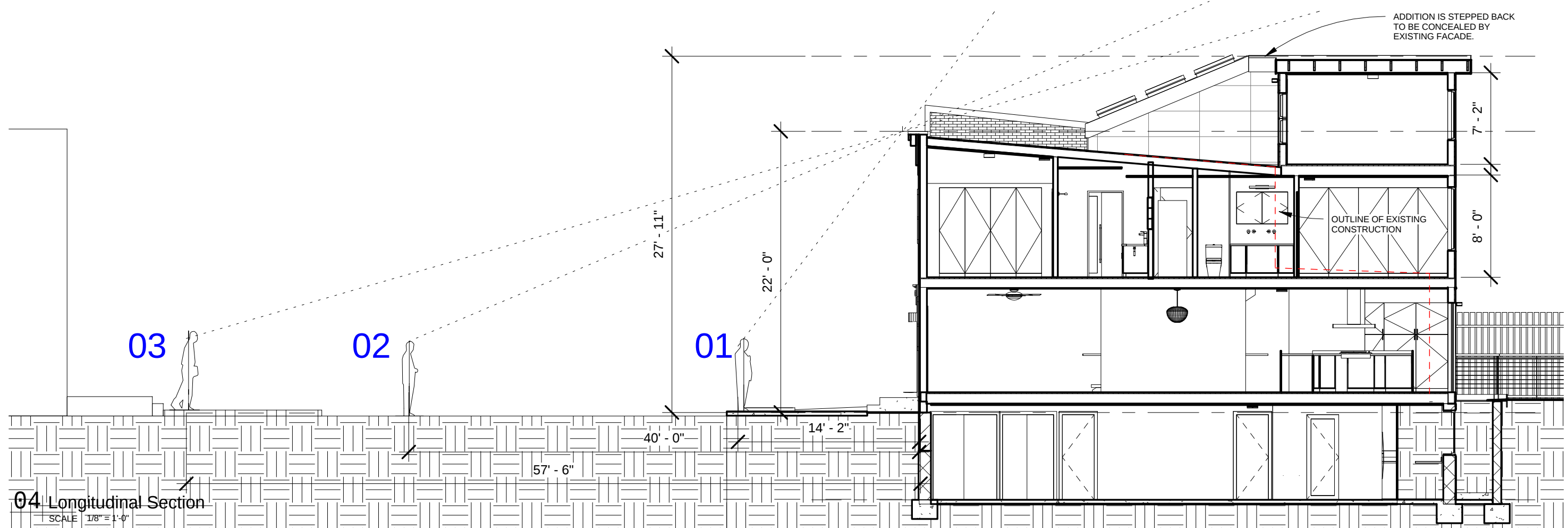


01 | Rear Elevation - EXISTING
SCALE 3/16" = 1'-0"



02 | Rear Elevation -PROPOSED
SCALE 3/16" = 1'-0"





01 Front View - Up Close
SCALE



02 Front View - In Ridge St.
SCALE



03 Front View - Across Ridge St.
SCALE

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PROJECT INFORMATION

MITCHELL RESIDENCE
NICOLE MITCHELL
440 RIDGE ST NW, WASHINGTON DC 20001-4622

PROJECT NUMBER: **2014-06**

3/3/2015 10:08:10 AM

ISSUE RECORD

Issue:
Reference Sheet:
Drawing Date: 12/11/14
Drawn By: Author
Drawing Scale: 1/8" = 1'-0"

DRAWING INFORMATION

Section

Z.300

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