



Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4589

Fax (202) 442 - 4862



B

BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF
WORK UNTIL WORK IS COMPLETED AND APPROVED

Issue Date: 05/07/2013

PERMIT NO. B1214503

Expiration Date: 05/07/2014

Address of Project: 18 T ST NE		Zone:	Ward:	Square:	Suffix:	Lot:
Description Of Work: Interior Renovation to include removal of non load bearing walls, replacement of electrical, mechanical & plumbing systems, doors and windows of a two family flat.						
Permission Is Hereby Granted To: Edward Naybor		Owner Address: 18 T STREET NE 20002		PERMIT FEE: \$5,890.50		
Permit Type: Addition Alteration Repair		Existing Use: Two-Family Flat - R-3		Proposed Use: Two-Family Flat - R-3		Plans:
Agent Name: Udoka	Agent Address: 20851	Existing Dwell Units: 2	Proposed Dwell Units: 2	No. of Stories: 3	Floor(s) Involved: 3	
Conditions/ Restrictions:						
This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year. All Construction Done According To The Current Building Codes And Zoning Regulations; As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund Lead Paint Abatement Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to http://ddoe.dc.gov, Lead and Healthy Housing.						
Director: Nicholas A. Majett		Permit Clerk Stacie Williams				
TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639 FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-9557 TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442-9557.						

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

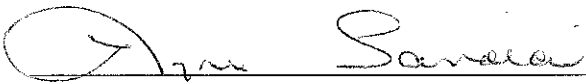
Washington, D.C., May 29, 2013

Plat for Building Permit of: SQUARE S-3509 LOT 43

Scale: 1 inch = 20 feet Recorded in Book Co. 17 Page 116

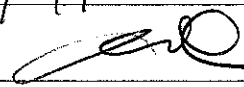
Receipt No. 13-04618

Furnished to: ANTHONY UDOKA


Surveyor, D.C.

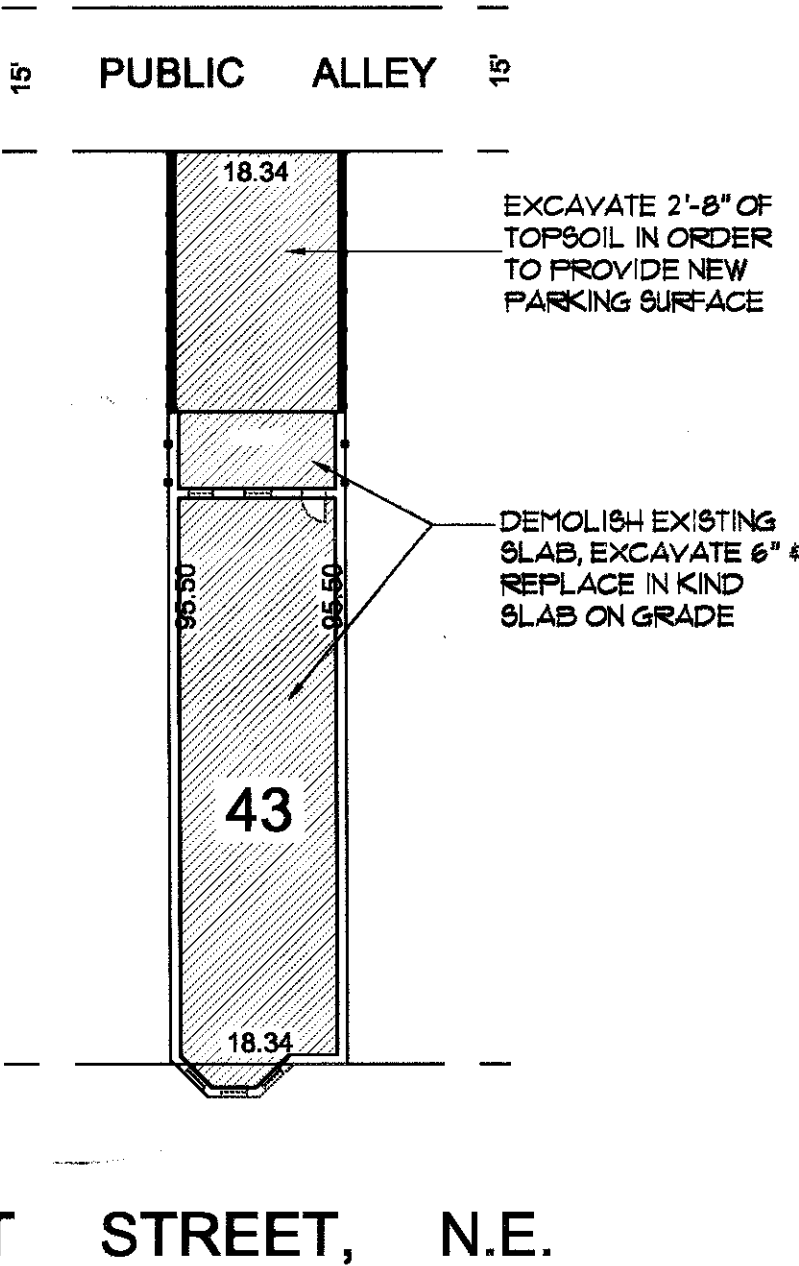
By: A.S. 

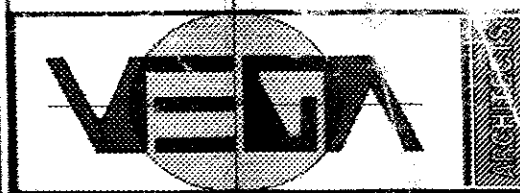
I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

Date: 6/7/13

(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

OFFICIAL
GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMITTING OPERATION DIVISION
All work must be done strictly in accordance with approved plans must be kept on the site until completion of construction. No inspection will be made unless approved Plans are on job site.



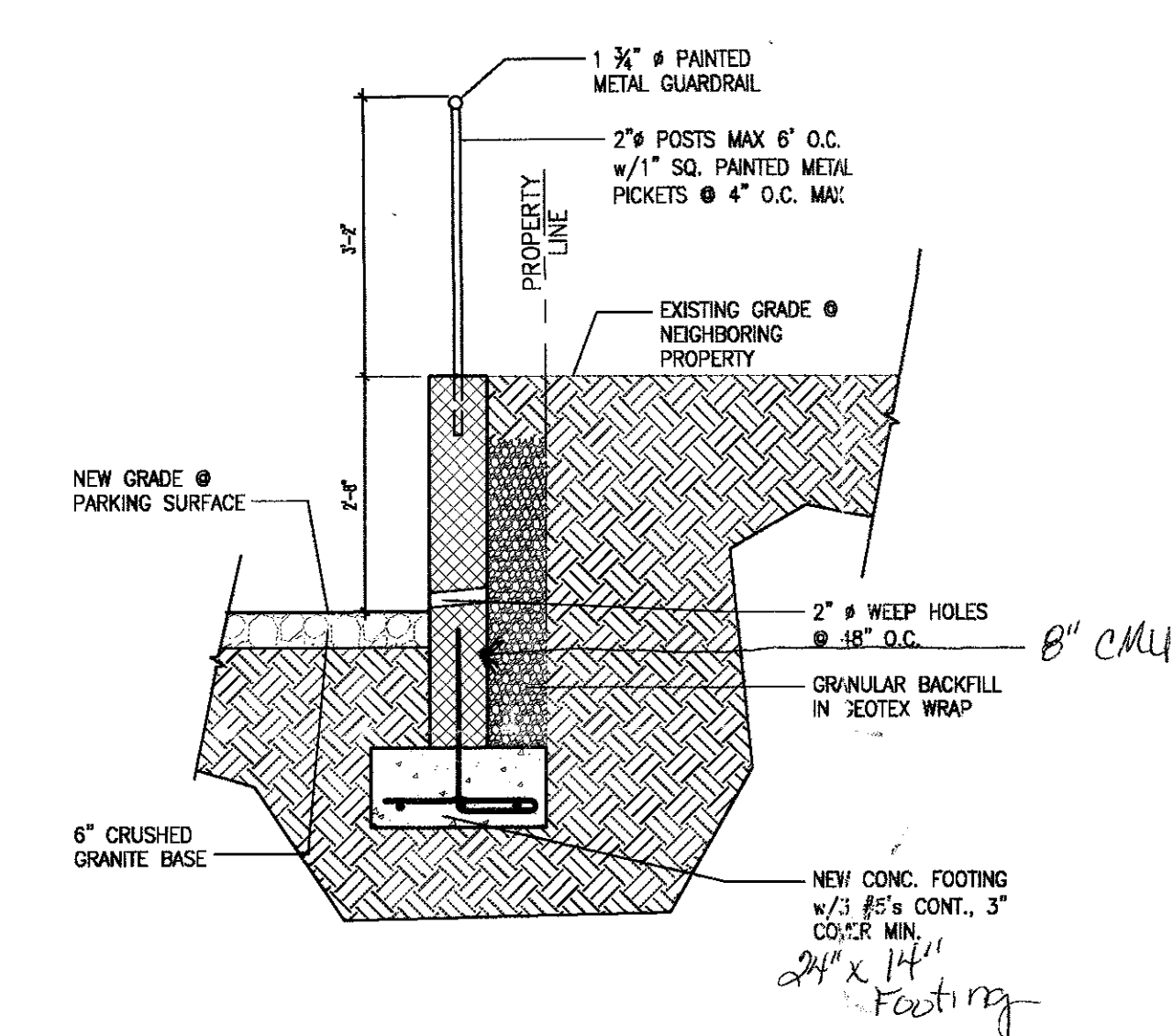


ARCHITECTS, LLC
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN

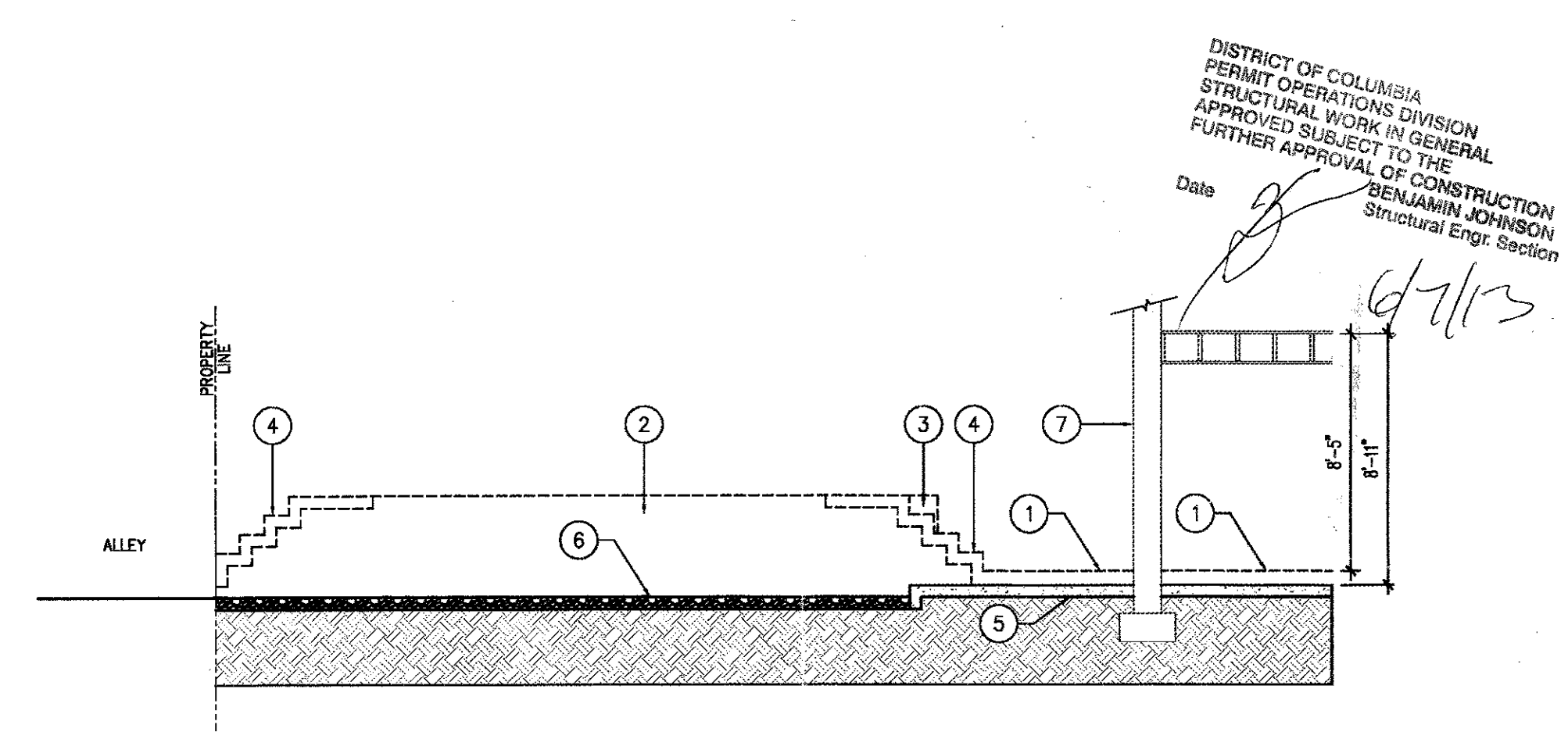
DATE OF THIS SET	10/03/11
DATE OF THIS SET	2/13/12

KEYED NOTES (THIS SHEET):

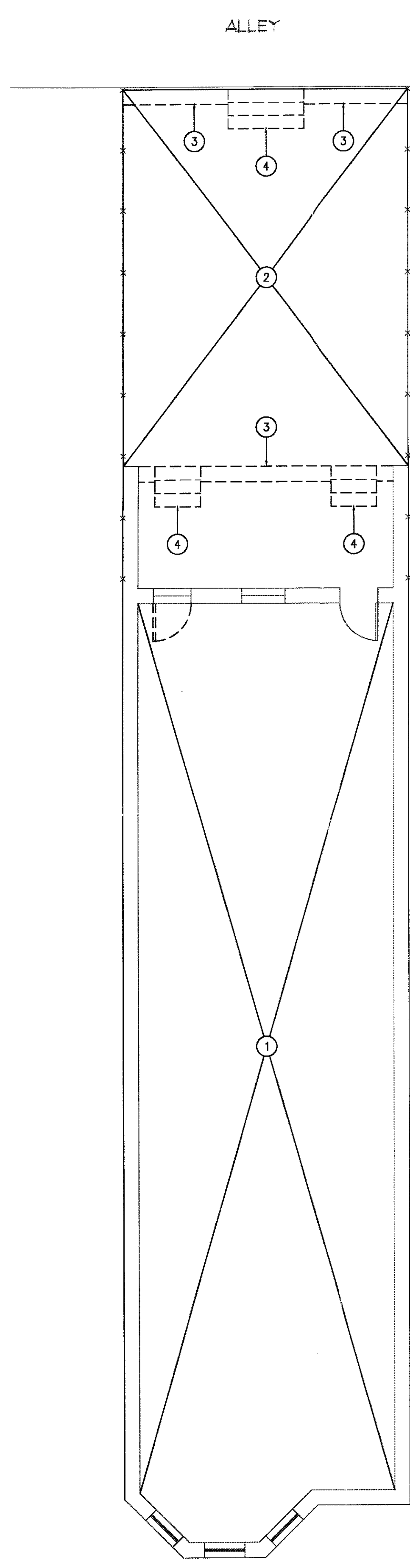
- 1 DEMOLISH EXISTING CONCRETE SLAB & REMOVE 6" OF EARTH/GRAVEL BASE
- 2 EXCAVATE 2'-8" OF EARTH & DISPOSE OF OFF-SITE
- 3 DEMOLISH EXISTING 2'-8" HIGH CMU RETAINING WALL AS SHOWN
- 4 DEMOLISH EXISTING CONCRETE STEPS AS SHOWN
- 5 NEW 8" THICK CONCRETE SLAB ON GRADE
- 6 NEW GRAVEL (OR CONCRETE) PARKING SURFACE
- 7 EXISTING REAR BUILDING WALL & FOUNDATION TO REMAIN



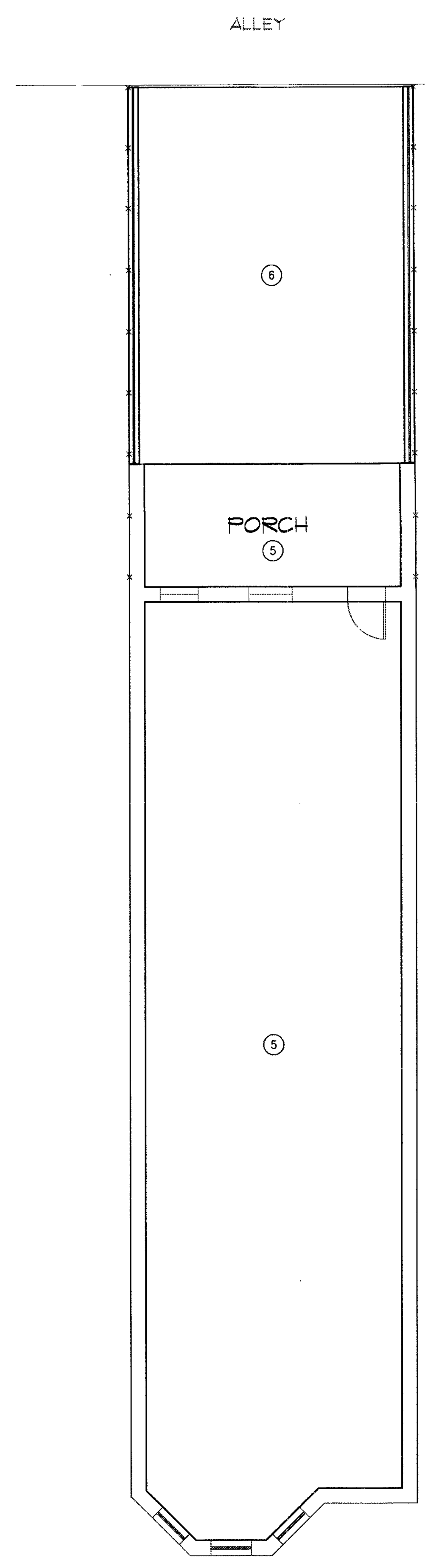
34 SECTION @ RETAINING WALL
A0.1 3/16" = 1'-0"



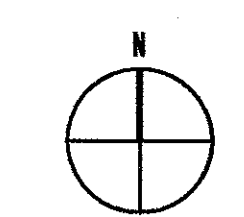
43 SECTION THRU REAR YARD
A0.1 3/16" = 1'-0"



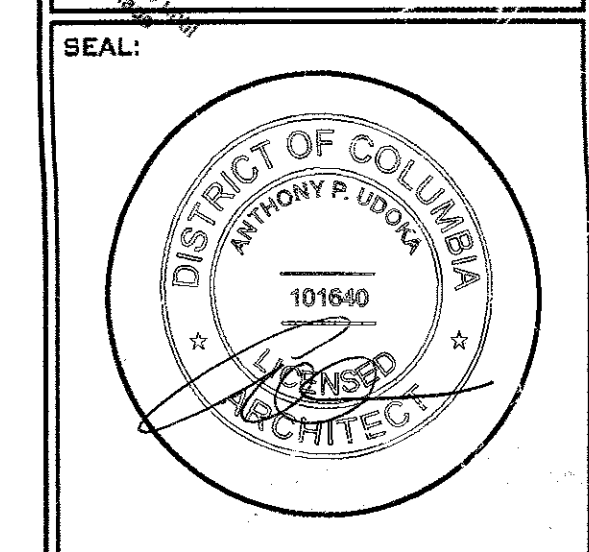
41 BASEMENT - DEMO
A0.1 3/16" = 1'-0"



42 BASEMENT - PROPOSED
A0.1 3/16" = 1'-0"



OFFICIAL
PERMIT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF PERMITTING OPERATIONS DIVISION
101640
ANTHONY P. UDOKA
ARCHITECT



MARK	REVISION	DATE

CLIENT:

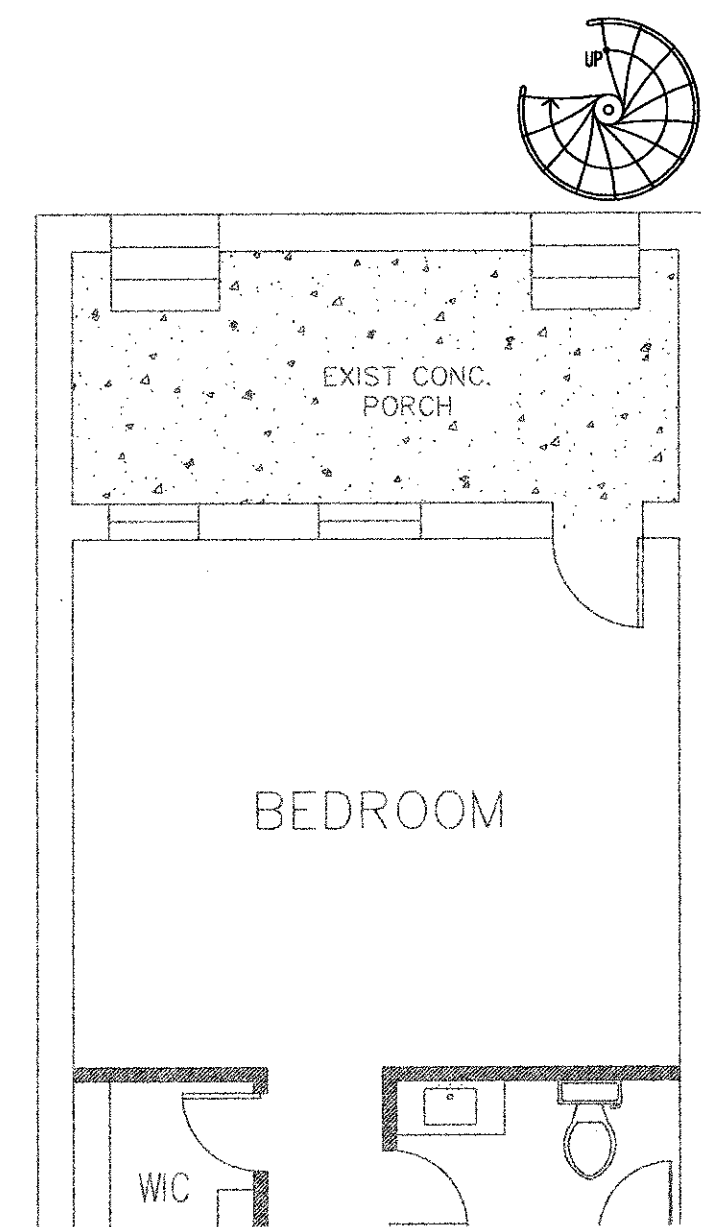
PROJECT TITLE:
18 T STREET LLC

18 T STREET, NE NW
WASHINGTON, DC 20002

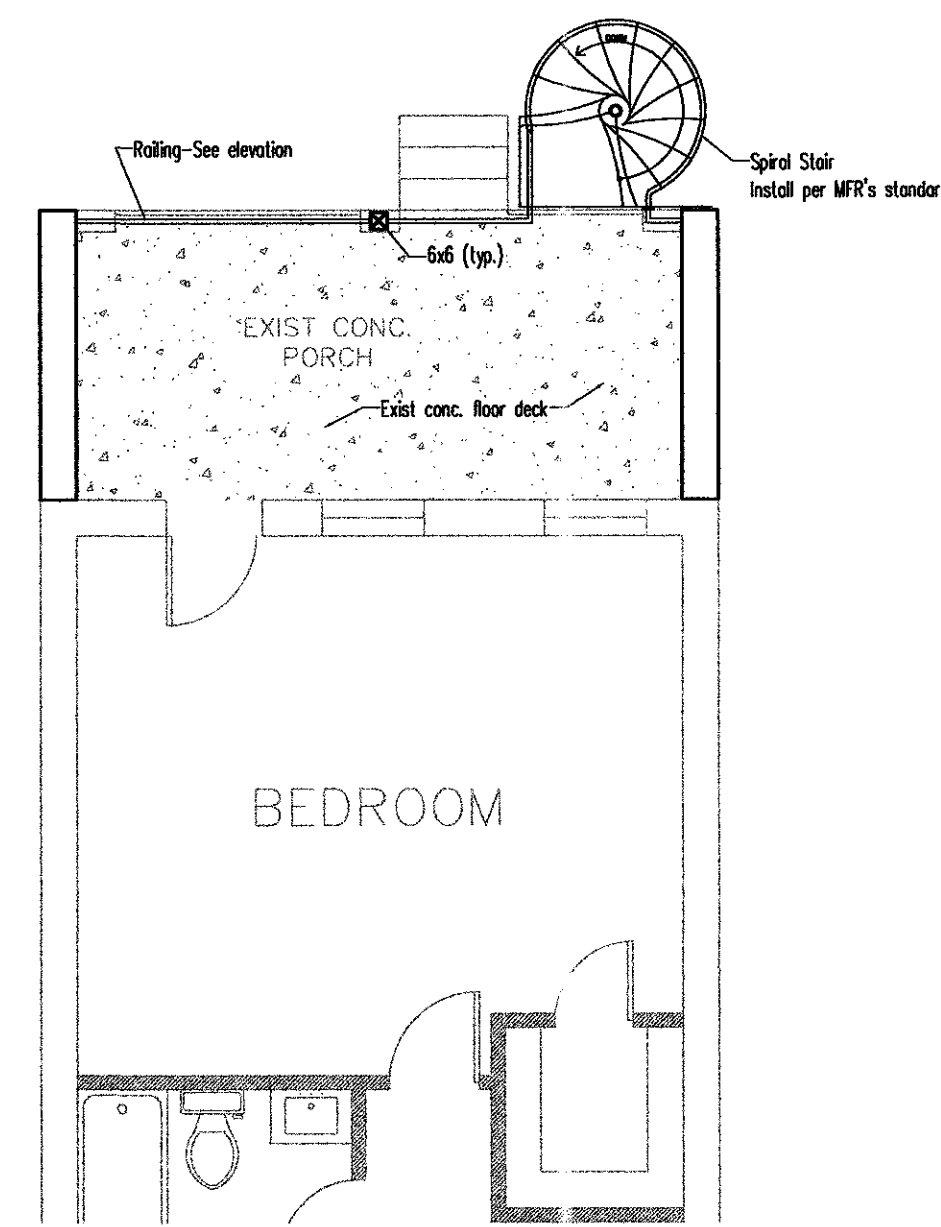
DESIGNER	AU
DRAFTER	BK
CHECKED	AU
DATE	10/03/11
SCALE	AS SHOWN
PROJ. #	12037
PROJ. MGR	AU
PROJ. QC	AU

SHEET TITLE:
DEMOLITION PLANS

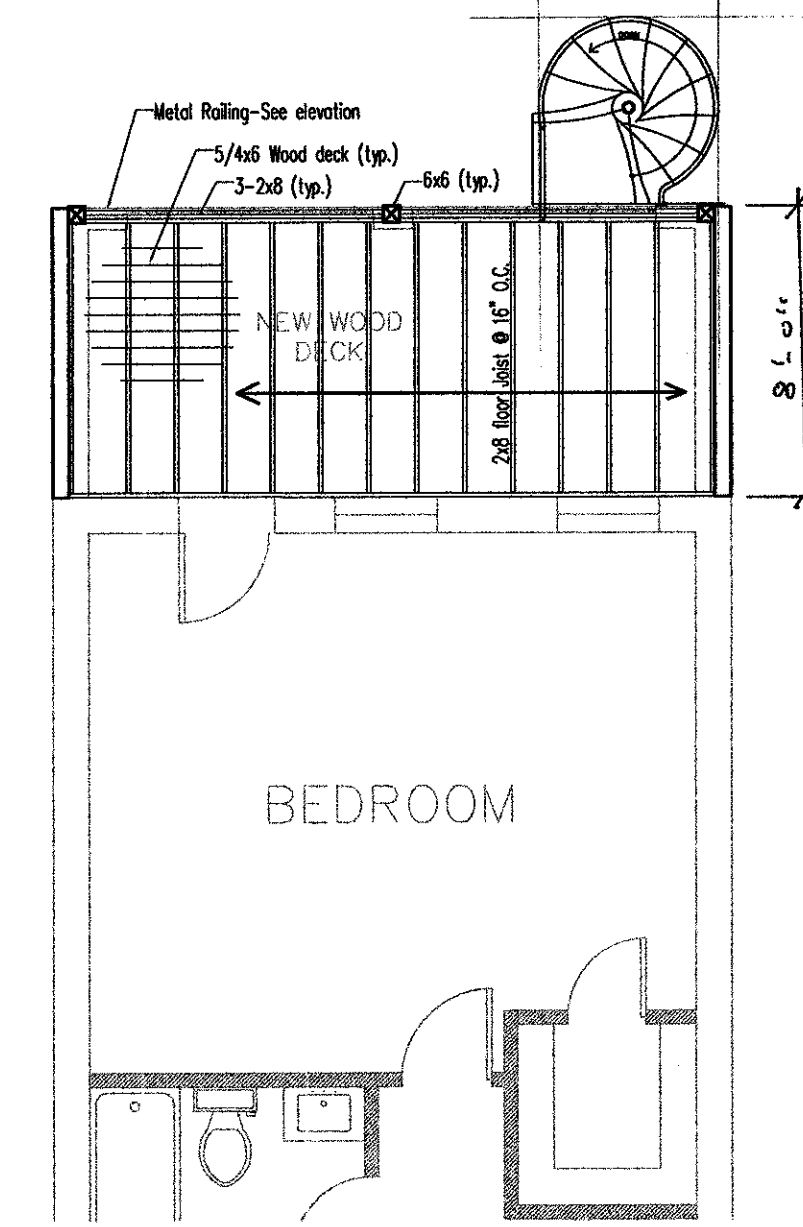
SHEET NUMBER:
A0.1



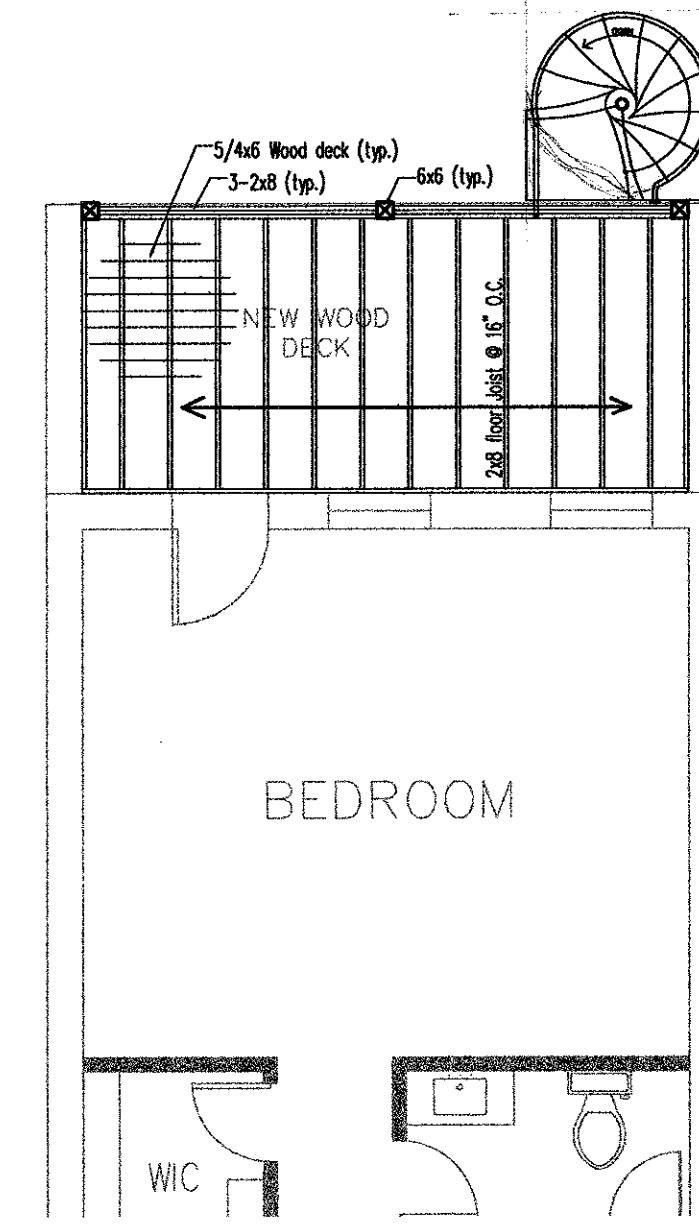
4 BASEMENT DECK FLOOR PLAN
3/16" = 1'-0"



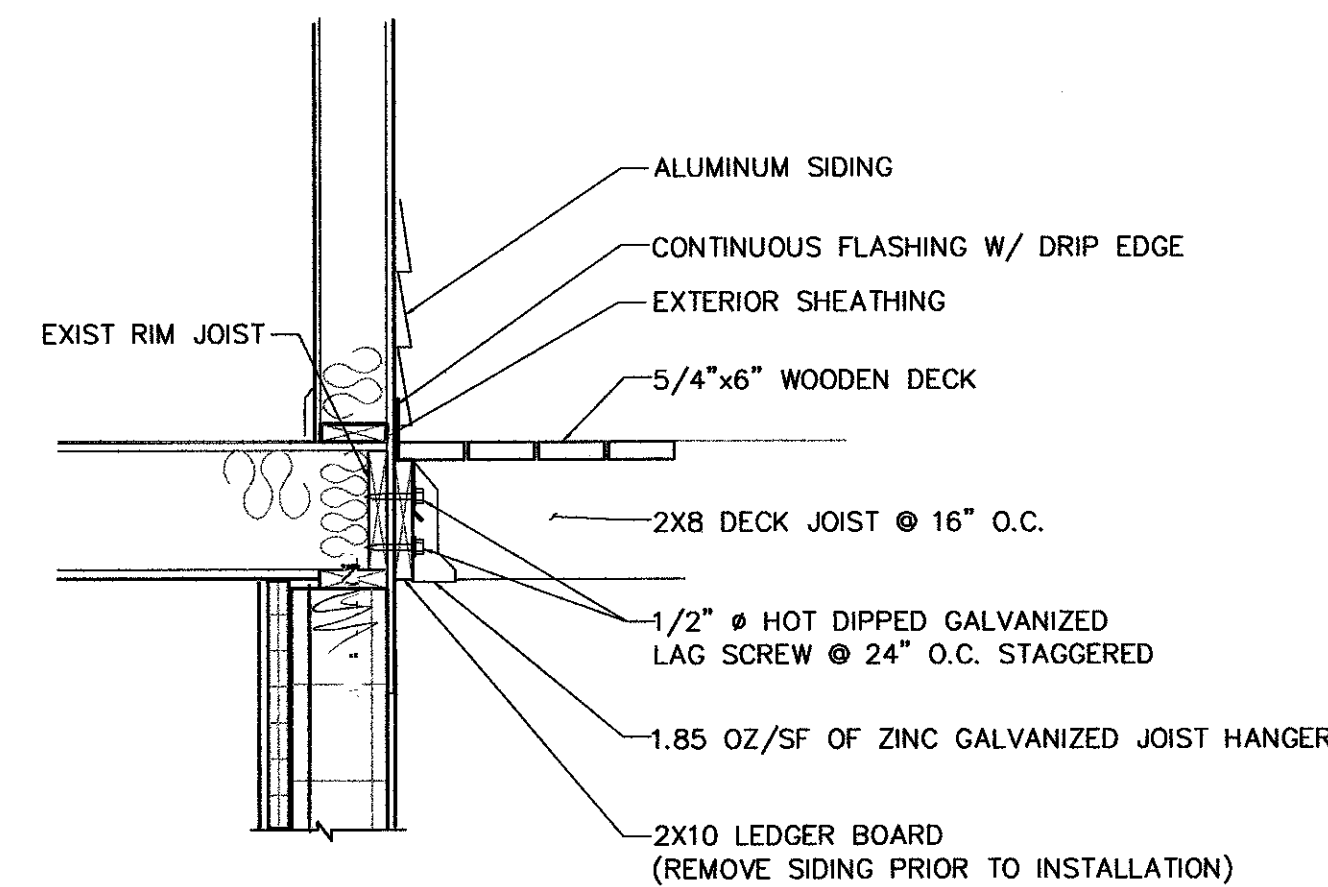
3 DECK @ FIRST FLOOR PLAN
3/16" = 1'-0"



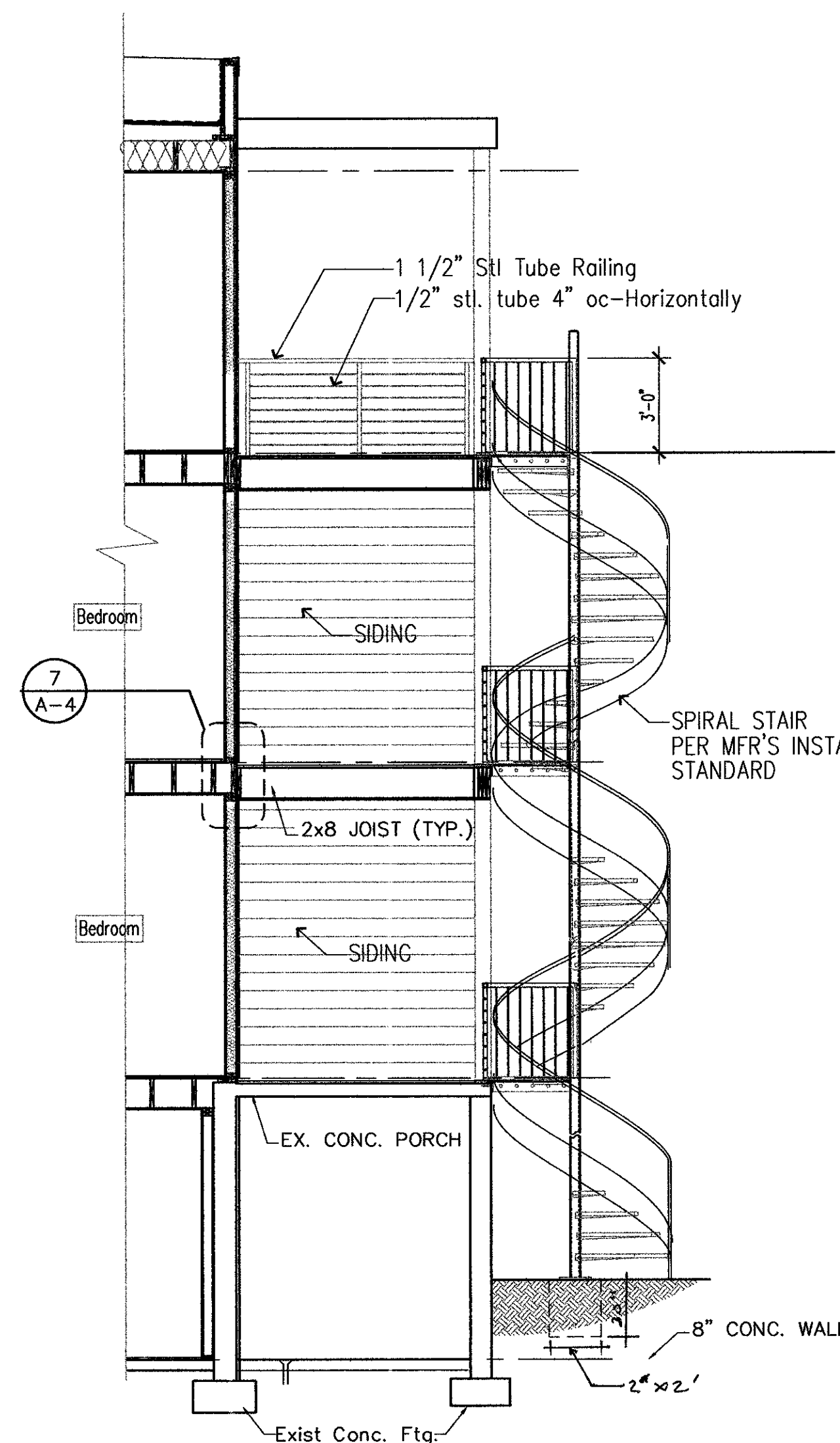
2 DECK @ SECOND FLOOR PLAN
3/16" = 1'-0"



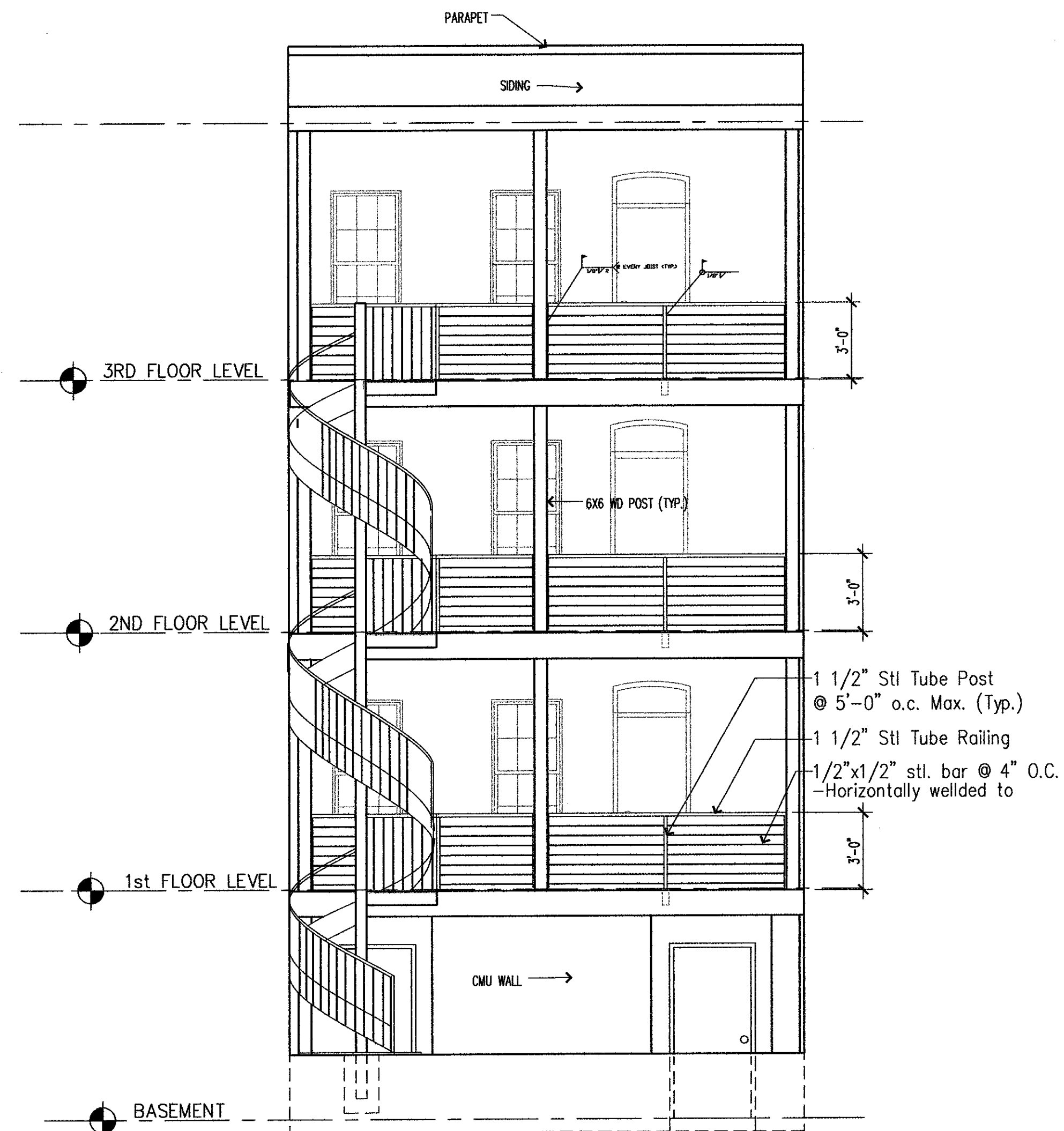
1 DECK @ THIRD FLOOR PLAN
3/16" = 1'-0"



7 SECTION DETAIL
1/4" = 1'-0"

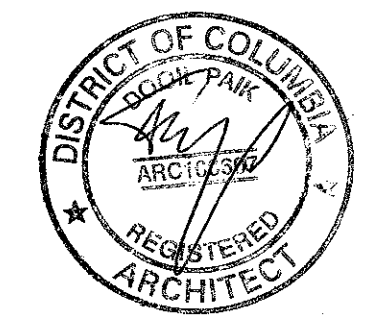


6 DECK SECTION
1/4" = 1'-0"



5 PROP. REAR ELEVATION
1/4" = 1'-0"

GG Design/Build
3615 - H. Chain Bridge Rd.
Fairfax, VA 22030
571-228-0050
gg2244@gmail.com



Revision
1/22/2015
A A A

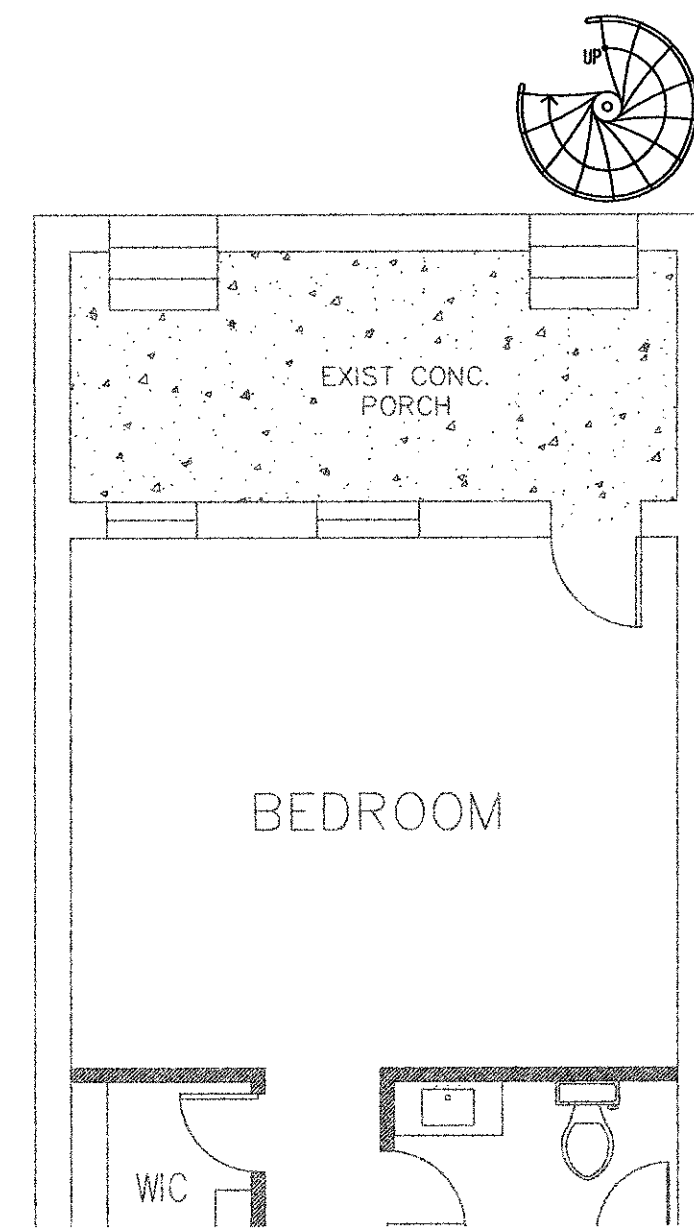
EXT. ELEVATIONS
DOOR / FINISH
SCHEDULES

PROJECT NUMBER:
DRAWN BY:
CHECKED BY: dp
ISSUED: 2015-1-22

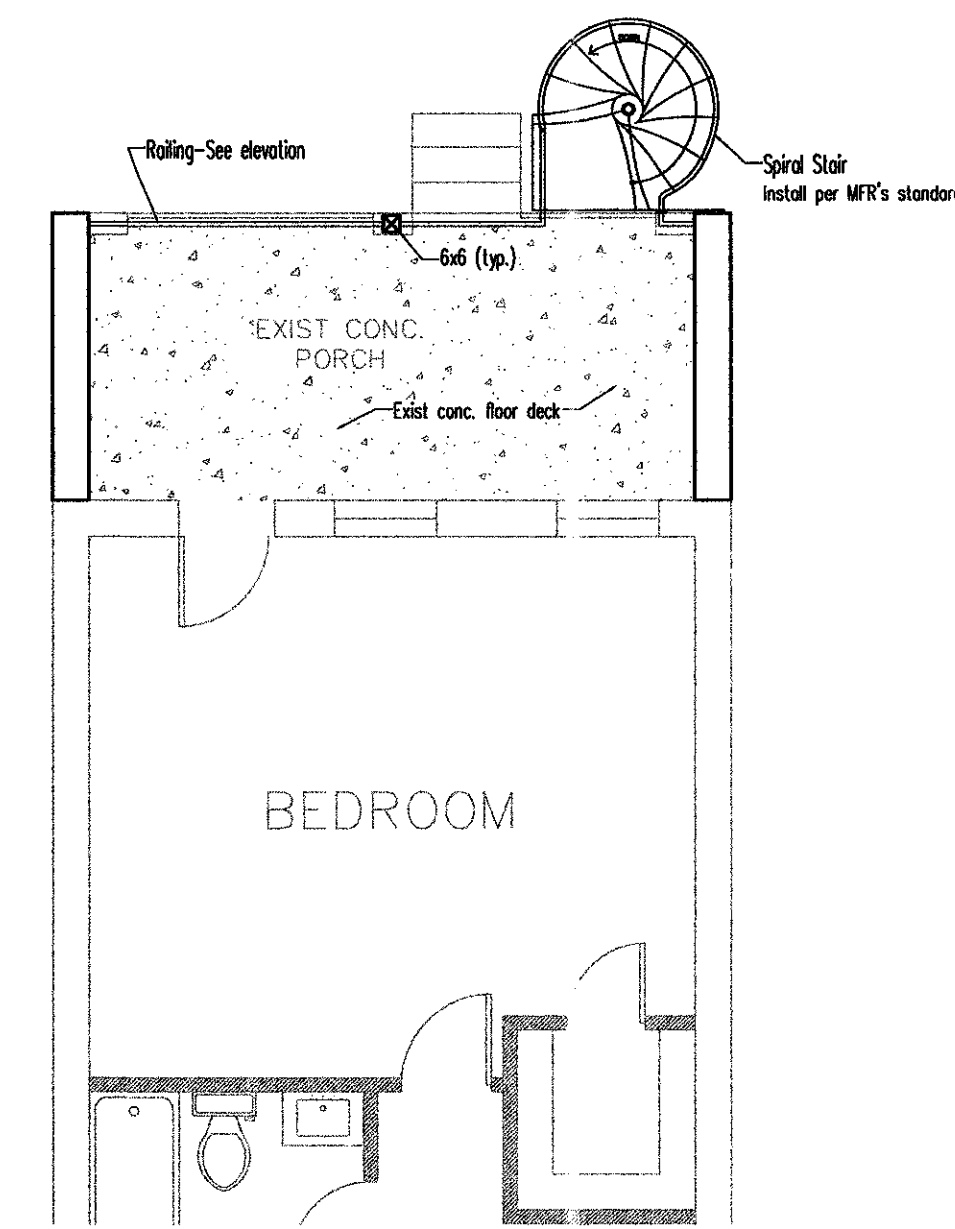
A-4

House Renovation &
3rd Floor Addition

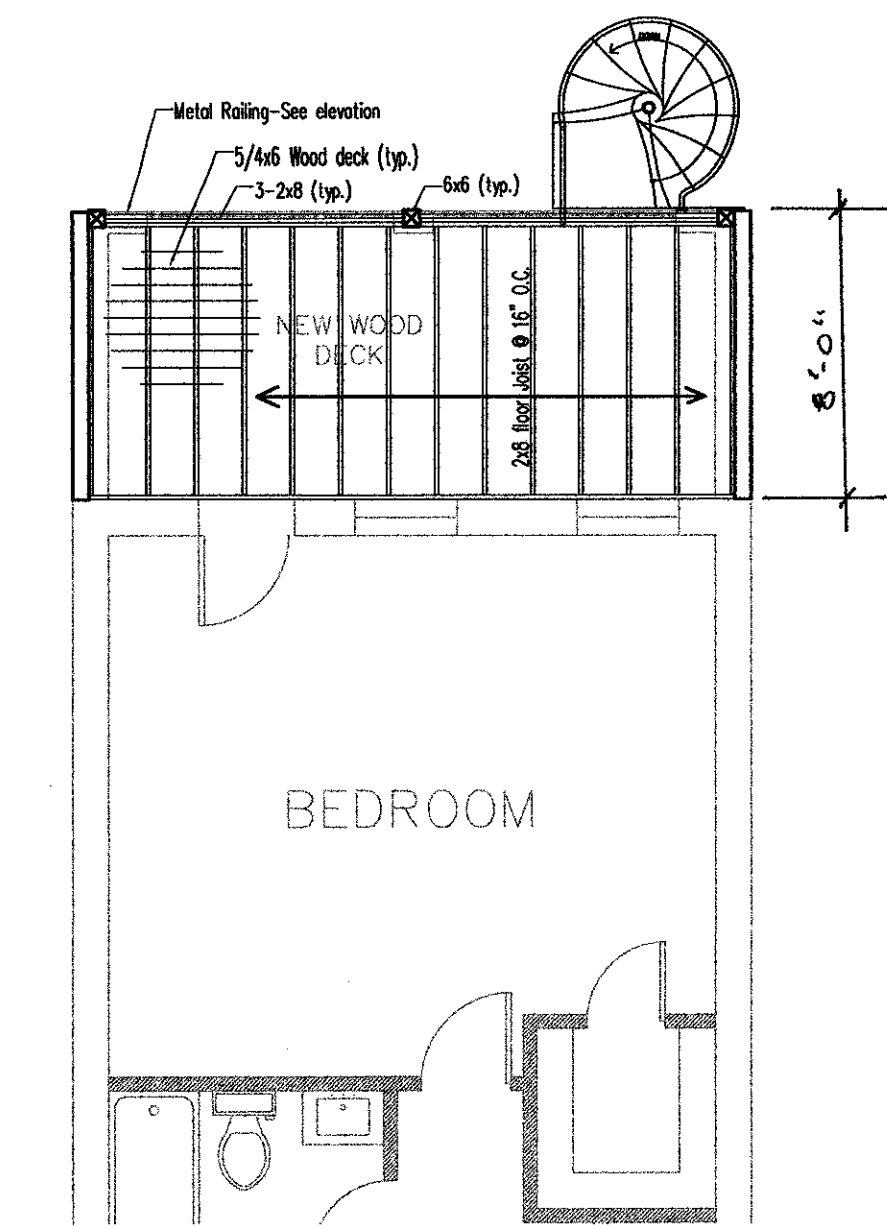
Owner: Insun 703.407.7443
18 T St. NE. Washington, DC 20002



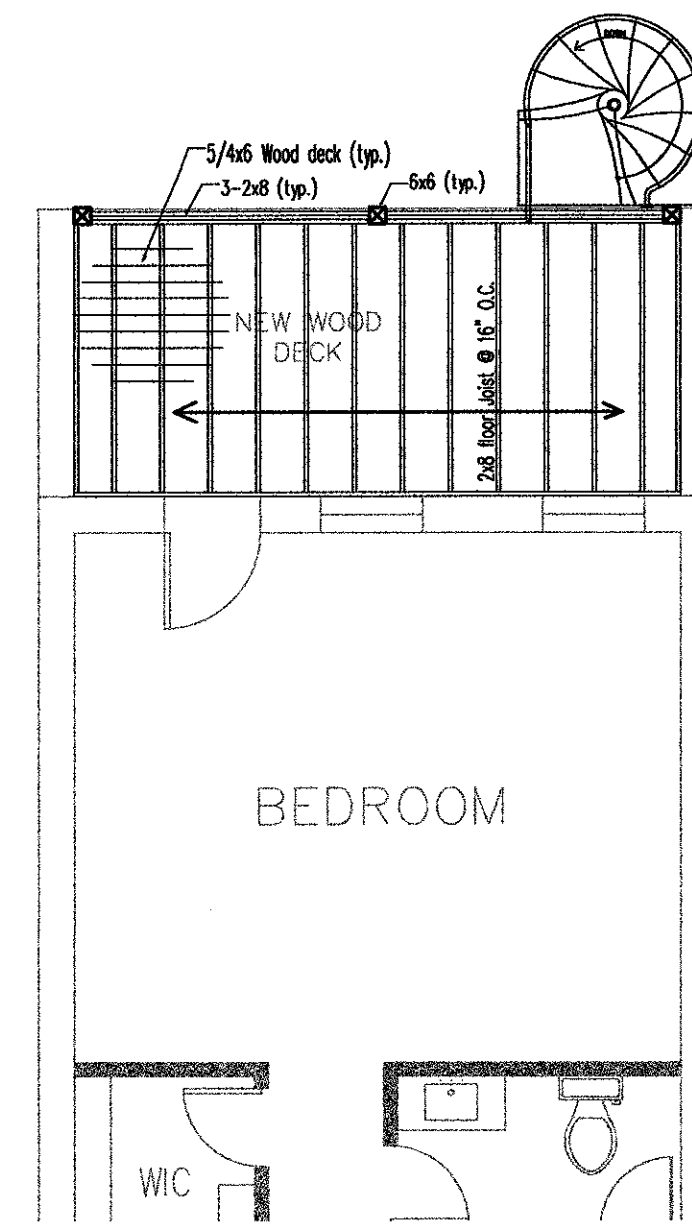
4 BASEMENT DECK FLOOR PLAN
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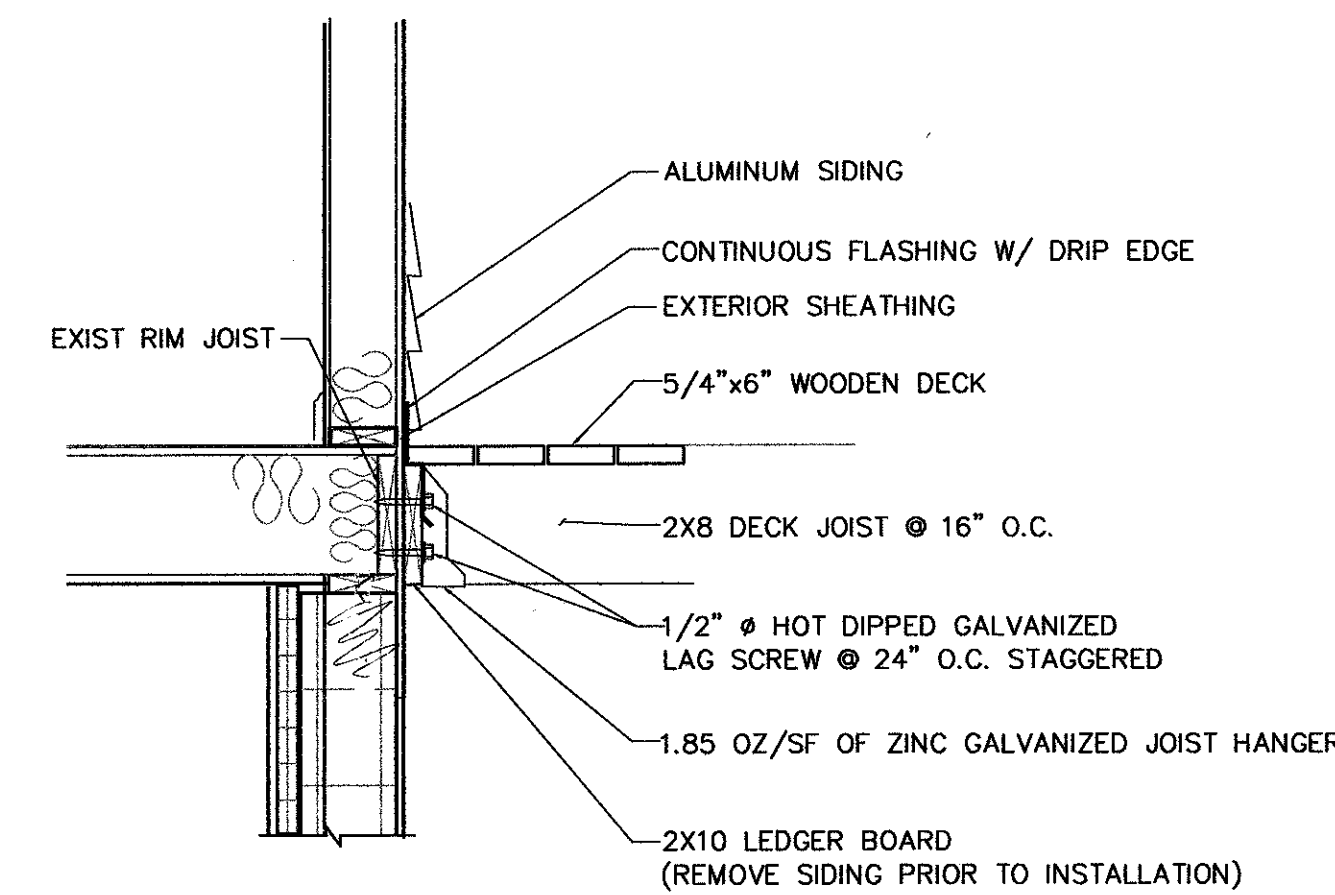
3 DECK @ FIRST FLOOR PLAN
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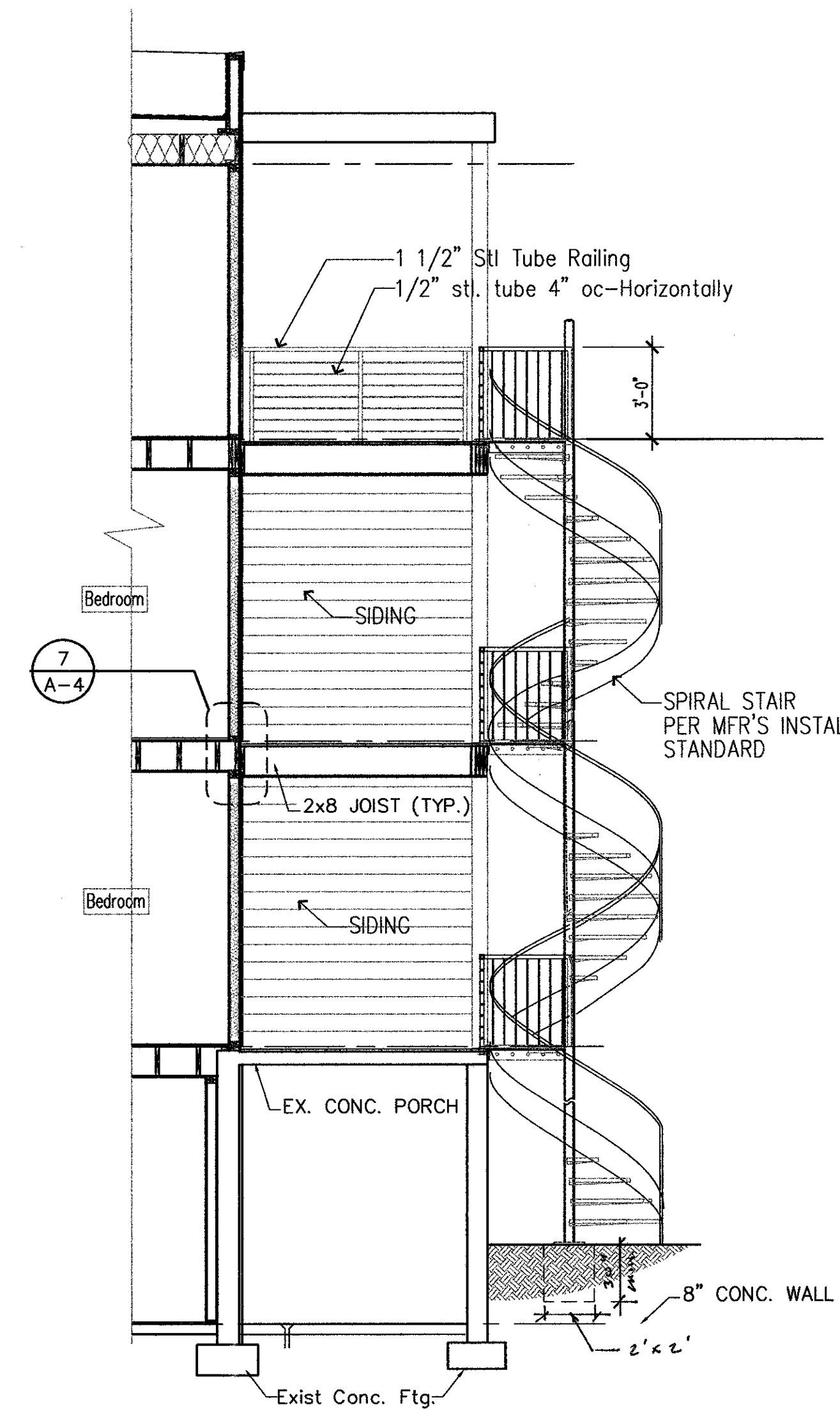
2 DECK @ SECOND FLOOR PLAN
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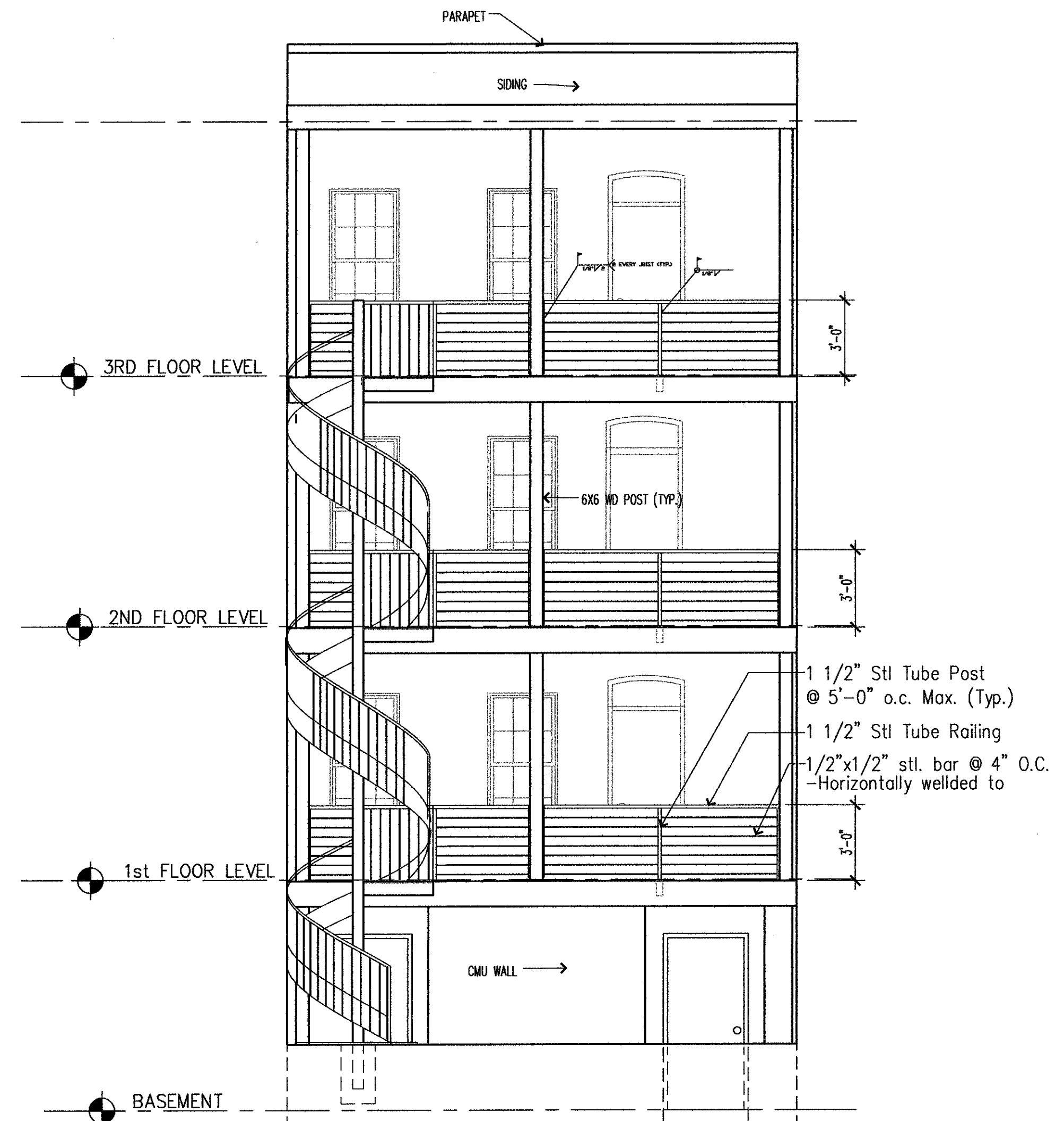
1 DECK @ THIRD FLOOR PLAN
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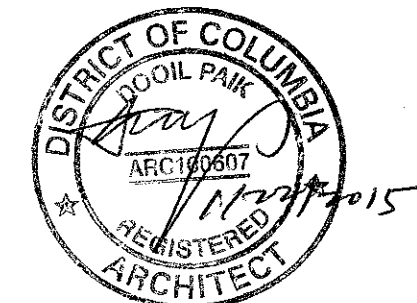
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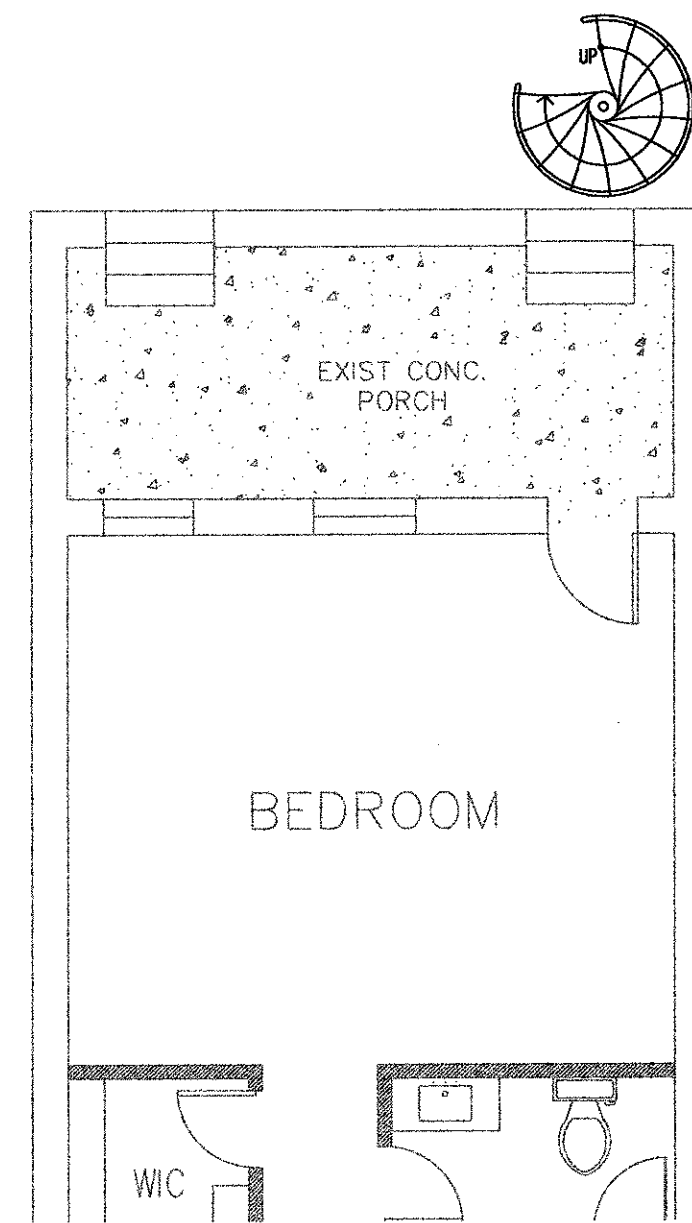


Revision
1/22/2015
A A A

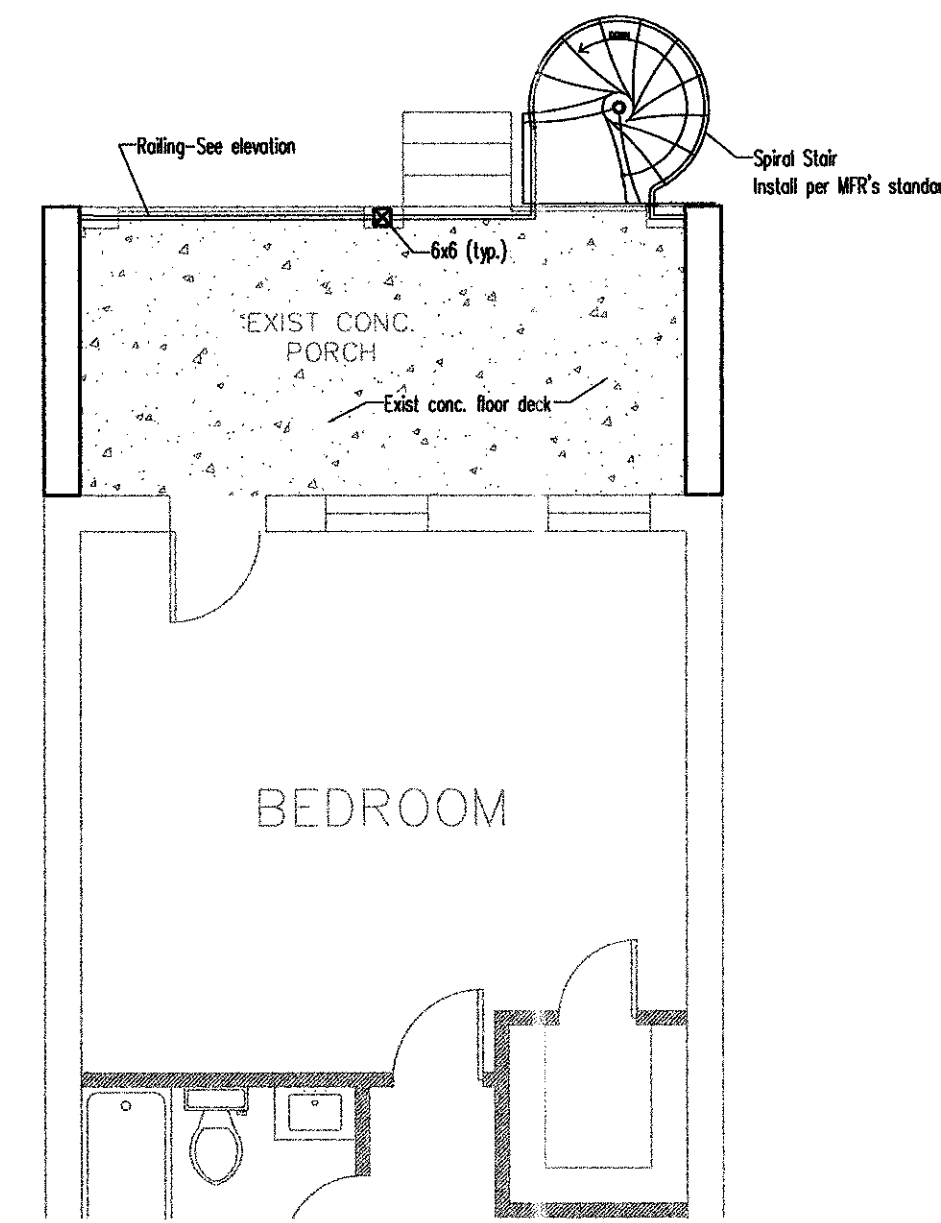
EXT. ELEVATIONS
DOOR / FINISH
SCHEDULES

PROJECT NUMBER:
DRAWN BY:
CHECKED BY: dp
ISSUED: 2015-1-22

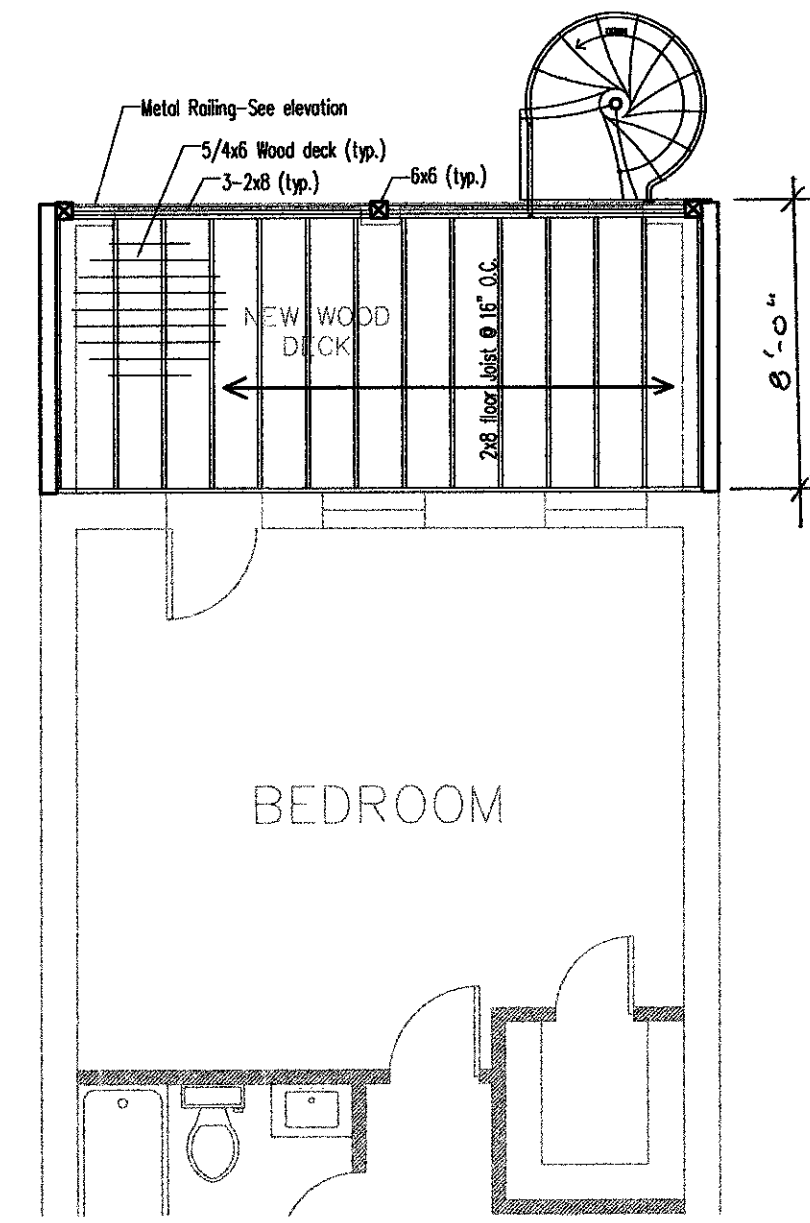
A-4



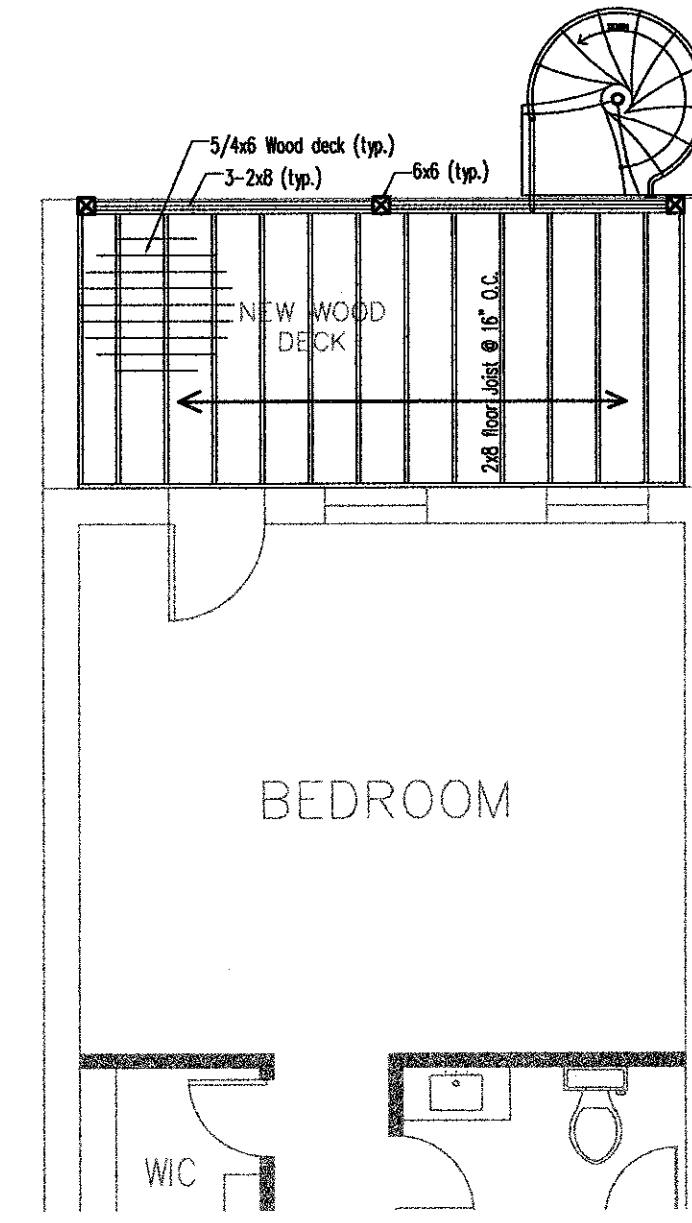
4 BASEMENT DECK FLOOR PLAN
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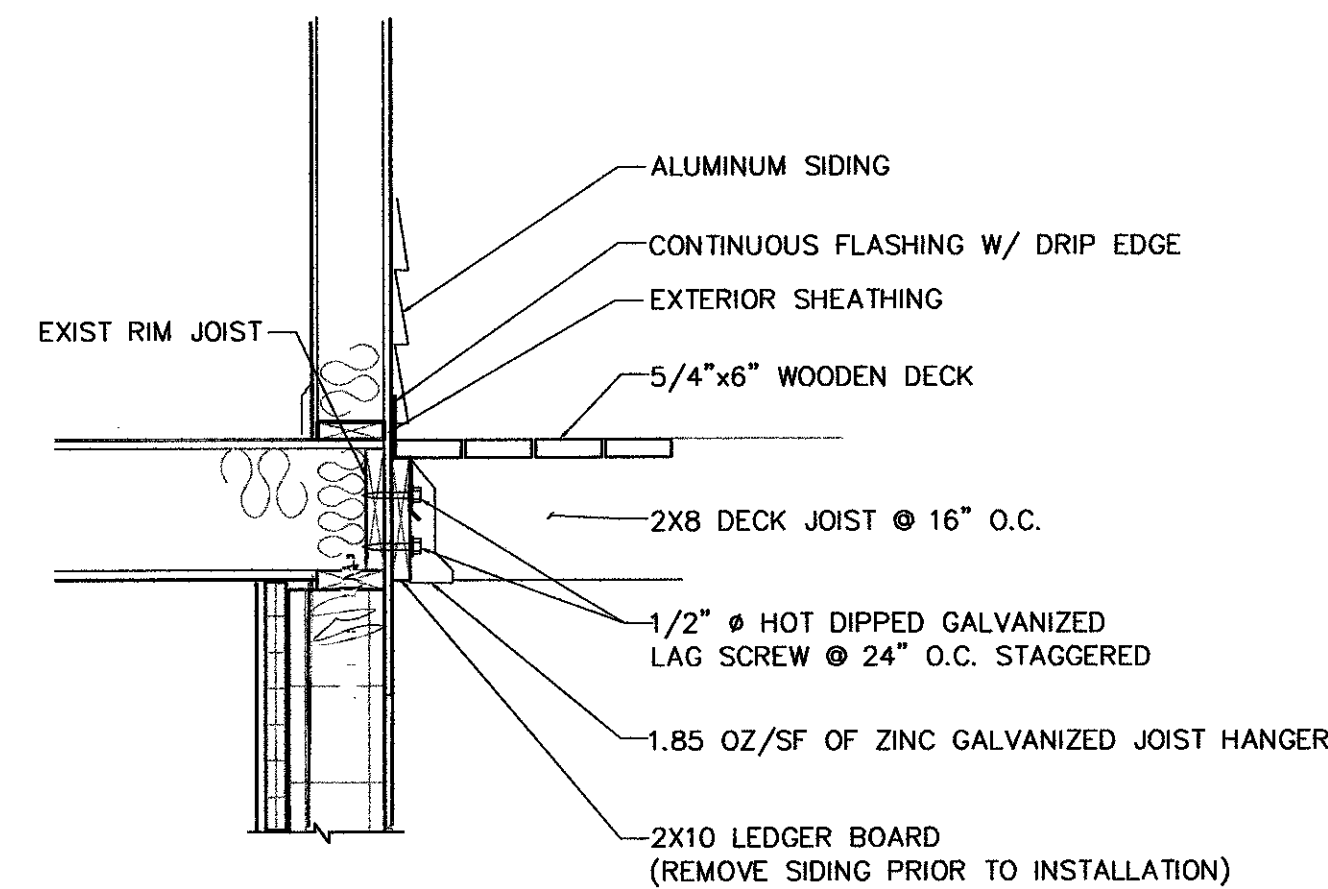
3 DECK @ FIRST FLOOR PLAN
3/16" = 1'-0"



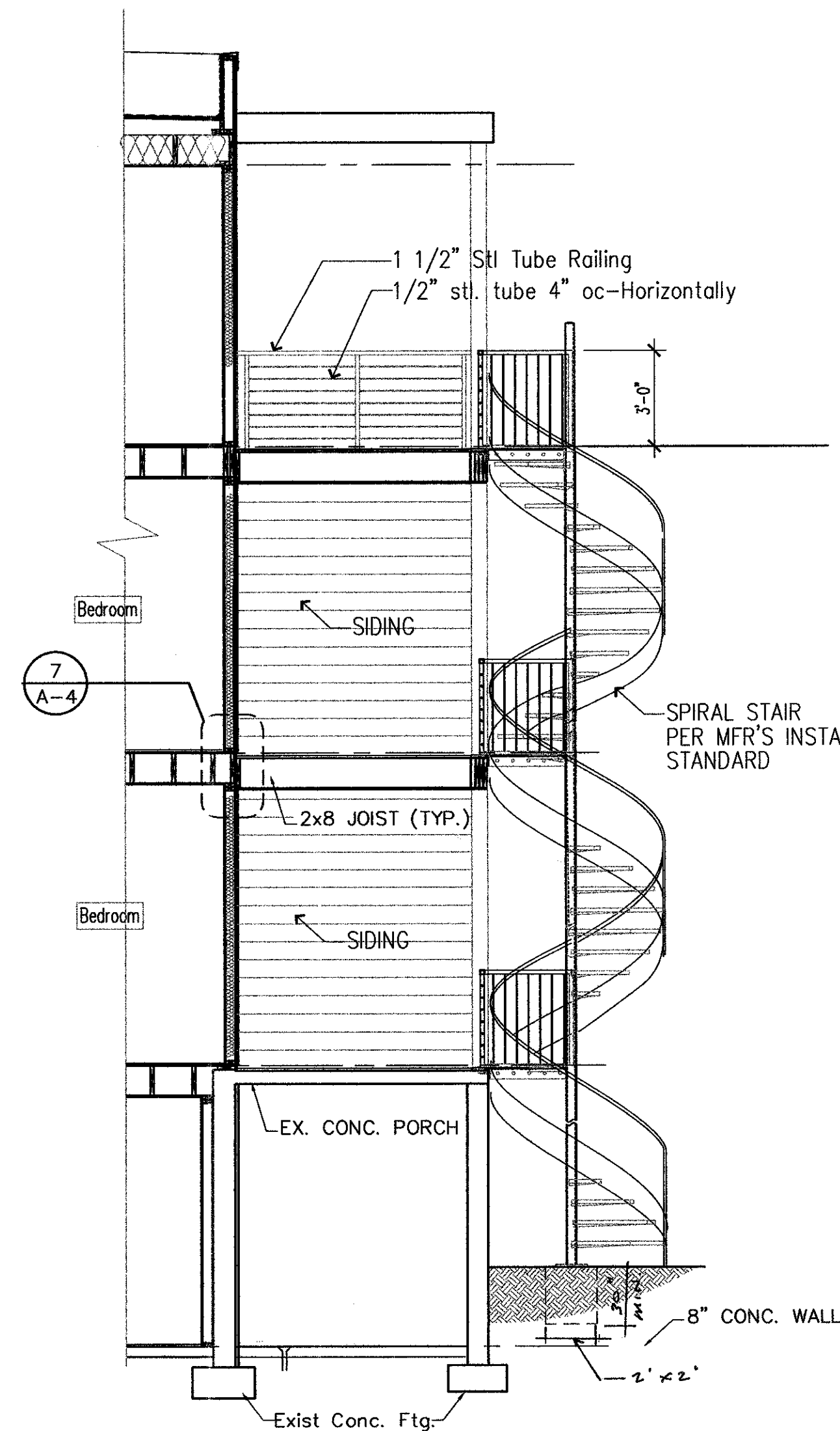
2 DECK @ SECOND FLOOR PLAN
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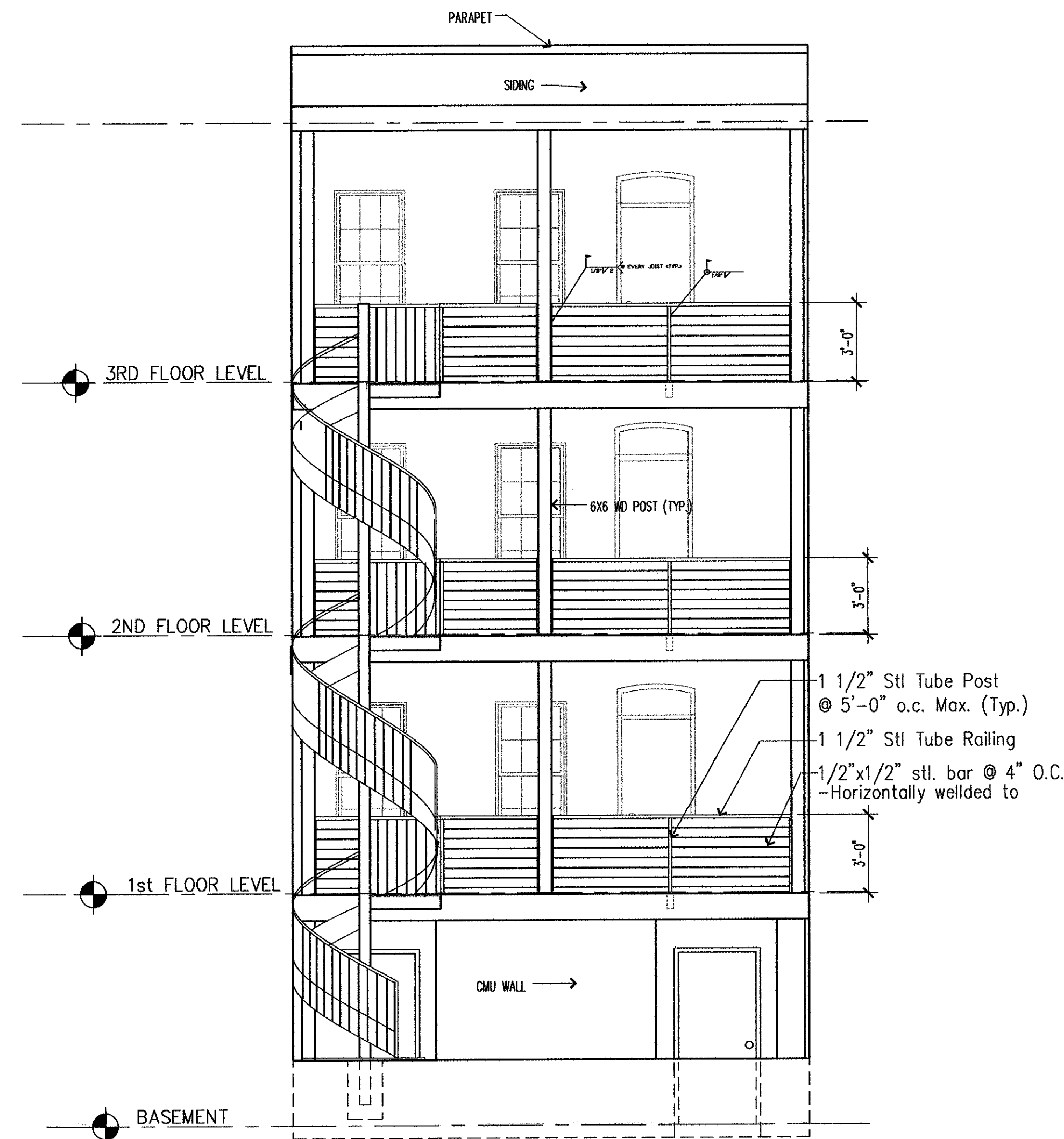
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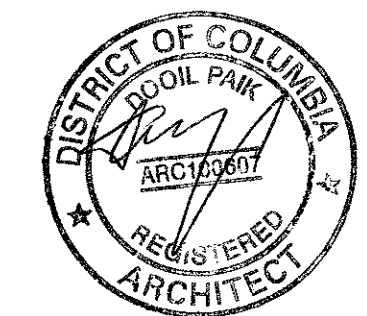


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Revision
1/22/2015
1

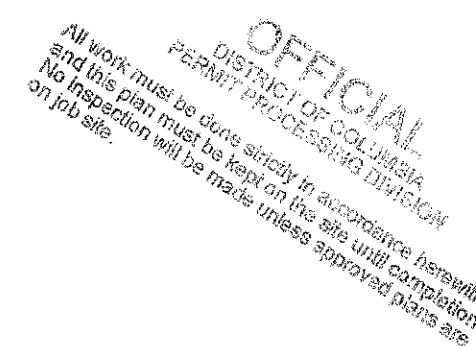
EXT. ELEVATIONS
DOOR / FINISH
SCHEDULES

PROJECT NUMBER:
DRAWN BY:
CHECKED BY: dp
ISSUED: 2015-1-22

A-4

House Renovation &
3rd Floor Addition
Owner: Insun 703.407.7443
18 T St. NE. Washington, DC 20002

**18 T STREET NE
WASHINGTON, DC 20002**



CODE ANALYSIS

LOT/SQUARE	3509S/0043	
LEGAL JURISDICTION	DISTRICT OF COLUMBIA	
APPLICABLE CODES	INTERNATIONAL BUILDING CODE 2006, INTERNATIONAL PLUMBING CODE 2006, INTERNATIONAL MECHANICAL CODE 2006, INTERNATIONAL FIRE CODE 2006, INTERNATIONAL PROPERTY MAINTENANCE CODE 2006, INTERNATIONAL RESIDENTIAL CODE 2006, INTERNATIONAL FUEL CODE 2006, INTERNATIONAL ENERGY CONSERVATION CODE 2006, NFPA NATIONAL ELECTRICAL CODE 1996, DCMR 12 (20-9), DCMR TITLE 11, DCMR 13, DCMR 13A	
IBC CONSTRUCTION TYPE	III-B	
IBC USE GROUP	R-2	
ZONING CLASSIFICATION	R-4	
MAXIMUM ALLOWABLE HEIGHT	65'	
REAR YARD	NONE REQUIRED	
SIDE YARD	NONE REQUIRED	
	EXISTING	PROPOSED
SQUARE FOOTAGE OF LOT	1751	NO CHANGE
LOT WIDTH/ STREET FRONTAGE	18'	NO CHANGE
BUILDING FOOTPRINT	1050	NO CHANGE
% OF LOT OCCUPANCY	60	NO CHANGE
NUMBER OF STORIES	2	3
FAR	0.6	3.0
FIRE RATING OF BEARING/PARTI WALLS	2	
FIRE RATING OF NON-BEARING WALLS	0	
FIRE RATING OF FLOOR	1	
OCCUPANT LOAD (PER FLOOR)	4	
FULLY SPRINKLERED	NO	

A0.0 COVER SHEET
A0.1 FLOOR PLANS - DEMOLITION
A1.1 FLOOR PLANS - NEW WORK
S0.1 STRUCTURAL NOTES
S0.1 STRUCTURAL PLANS
M1.1 MECHANICAL PLANS, SCHEDULES & NOTES
P1.1 PLUMBING PLANS - WASTE
P2.1 PLUMBING PLANS - WATER
E1.1 LIGHTING & POWER PLANS
E2.1 SCHEDULES & RISERS

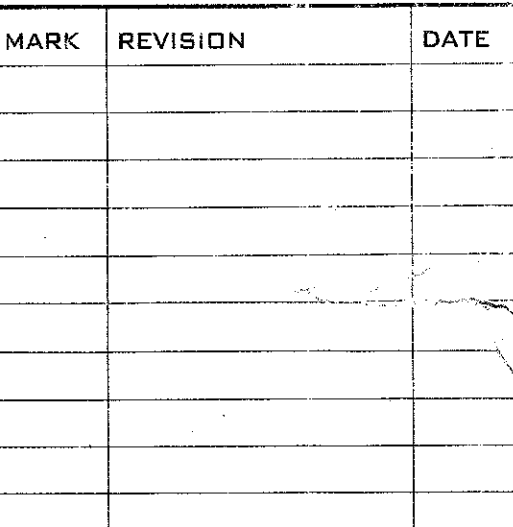
OFFICIAL
DISTRICT OF COLUMBIA
DEPARTMENT OF CONSTRUCTION
All work must be done in strict accordance with approved plans and specifications. No alterations or substitutions shall be made without the written approval of the Department of Construction.

DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO:
FURTHER APPROVAL OF CONSTRUCTION
NIGAR HUSSAIN
Supervising Engineer, Section:

Date _____

SEP 25 2017

1. ALL WORK SHALL COMPLY WITH APPLICABLE CODES, STANDARDS, ORDINANCES, REGULATIONS AND LAWS OF THE DISTRICT OF COLUMBIA.
2. DO NOT START CONSTRUCTION UNTIL ALL REQUIRED PERMIT APPROVALS ARE OBTAINED.
3. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS SHOWN OR IMPLIED ON THE DRAWINGS U.N.O.
4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN IN THE DRAWINGS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING ANY WORK.
5. ALL DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION U.N.O.
6. ALL WINDOW AND DOOR OPENING DIMENSIONS ARE TO ROUGH OPENING.
7. ALL PENETRATIONS THROUGH EIFS SHALL BE SEALED WITH MANUFACTURER APPROVED SEALANTS.
8. CAULK ALL JOINTS AROUND OPENINGS TO PROVIDE A WATER TIGHT AND AIR TIGHT SEAL. JOINTS GREATER THAN $\frac{3}{8}$ " SHALL BE FILLED WITH BACK UP MATERIAL. EXPOSED CAULKING AND SEALANT SHALL FINISH IN COLOR ALL ABUTTING MATERIAL AND NATURAL OR PAINTED FINISHES.
9. CERAMIC TILE GROUT SHALL MATCH AS CLOSELY AS POSSIBLE THE ADJACENT FIELD TILE COLOR.
10. EXTERIOR SHEATHING TO BE GEORGIA PACIFIC DENSEGLASS GOLD.
11. CONTRACTOR SHALL PROVIDE MOCK UP OF EXTERIOR EIF FINISHES PRIOR TO ERECTION.
12. ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT IN WRITING.
13. CONTRACTOR SHALL PROVIDE ALL SUBS WITH A COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
14. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
15. APPROVED FLASHINGS SHALL BE PROVIDED AT THE TOP AND SIDES OF ALL WINDOW AND EXTERIOR DOOR OPENINGS, WALL AND ROOF INTERSECTIONS, ROOF VALLEYS AND ALL ROOF PENETRATIONS.
16. GLAZING SHALL COMPLY WITH SAFETY GLAZING AND CODE STANDARDS.
17. EXCESSIVELY NOISY CONSTRUCTION TASKS SHALL NOT BE CARRIED OUT AFTER 7PM.
18. WHERE DOOR DIMENSIONS ARE NOT GIVEN, THE DIMENSION SHALL BE 3" FROM THE FINISHED FACE OF DRYWALL TO FACE OF ROUGH OPENING.
19. PROVIDE ALL BASES, BLOCKING AND ANCHORS REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT.
20. CONTRACTOR SHALL REPLACE ALL EXISTING CONCRETE CURBS & GUTTERS AS NECESSARY.



CLIENT:

PROJECT TITLE:

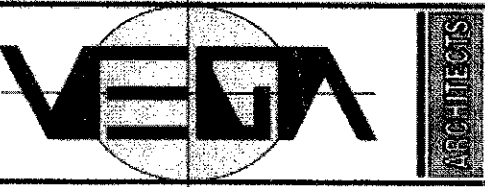
18 T STREET NE
WASHINGTON, DC 20002

DESIGNER	VEGA
DRAFTER	AU
CHECKED	AU
DATE	9/8/12
SCALE	AS SHOWN
PROJ. #	12037
PROJ. MGR	
PROJ. OFCR.	

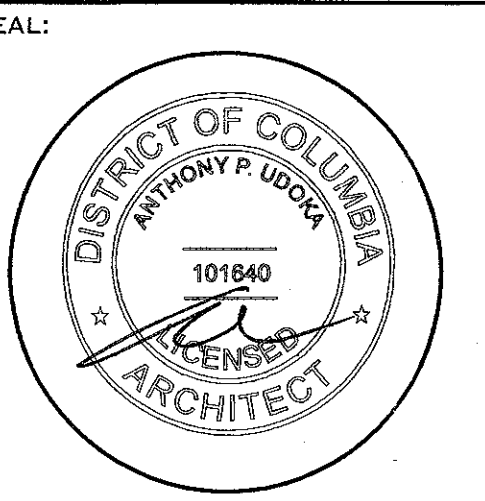
SHEET TITLE:
COVER SHEET

SHEET NUMBER:

A0.0



ARCHITECTS, LLC
ARCHITECTURE | SPACE PLANNING | INTERIOR DESIGN



MARK	REVISION	DATE

CLIENT:

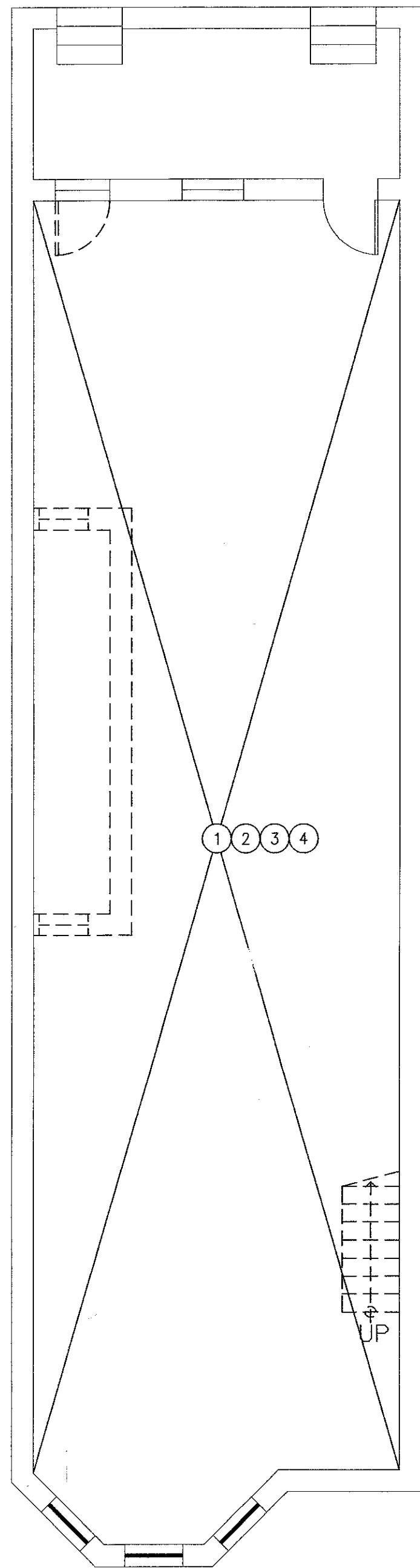
PROJECT TITLE:
18 T STREET LLC

18 T STREET NE NW
WASHINGTON, DC 20002

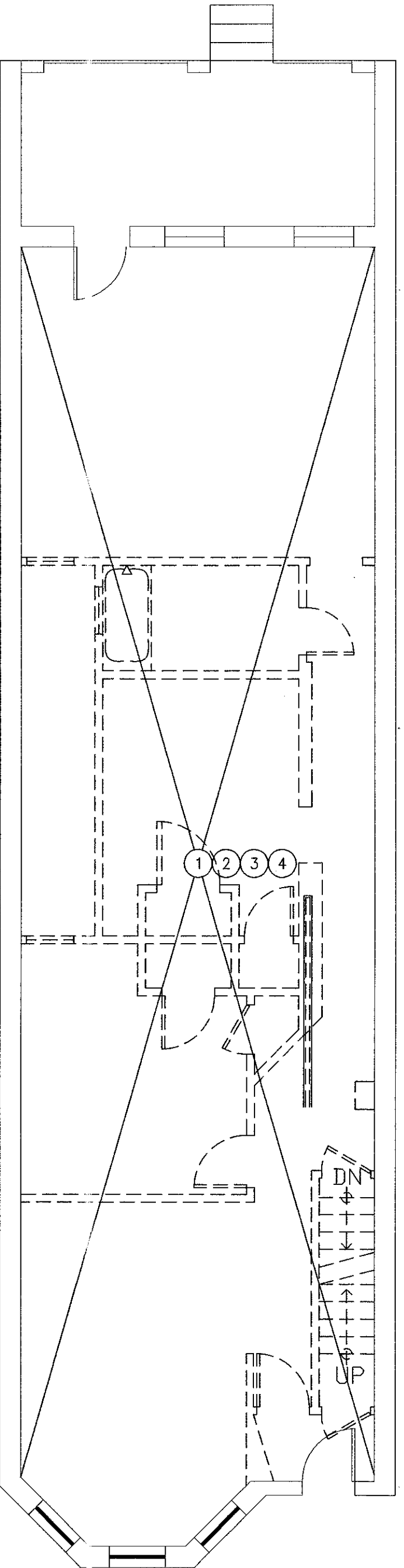
DESIGNER	AU
DRAFTER	BK
CHECKED	AU
DATE	10/03/11
SCALE	AS SHOWN
PROJ. #	12037
PROJ. MGR	AU
PROJ. OFCR	AU

SHEET TITLE:
DEMOLITION PLANS

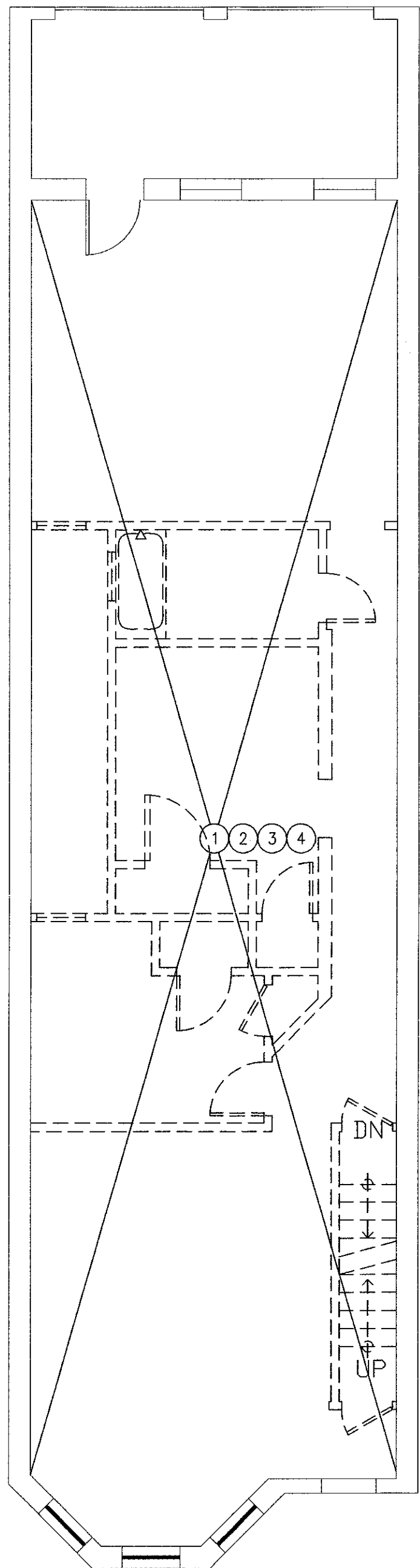
SHEET NUMBER:
A0.1



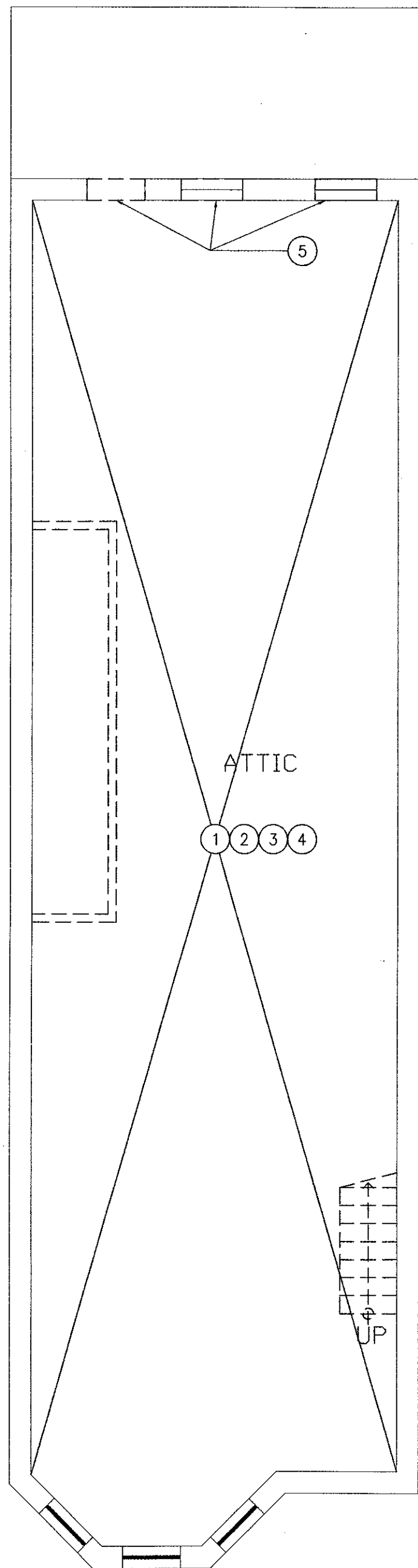
41 BASEMENT - DEMO
A0.1 3/16" = 1'-0"



42 FIRST FLOOR - DEMO
A0.1 3/16" = 1'-0"



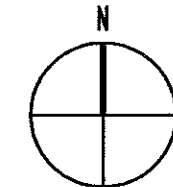
43 SECOND FLOOR - DEMO
A0.1 3/16" = 1'-0"



44 ATTIC - DEMO
A0.1 3/16" = 1'-0"

DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION
H. CHAUHAN
10/2/11
SEP 25 2012

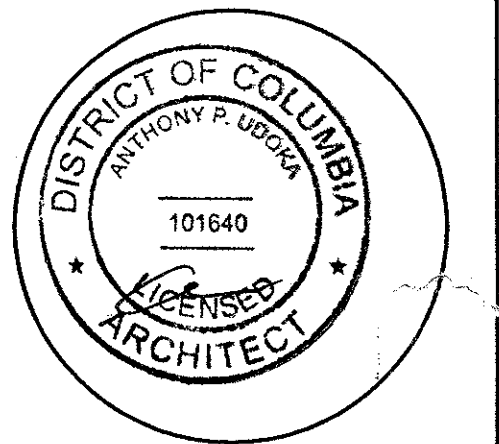
- KEYED NOTES (THIS SHEET):**
- 1 DEMOLISH INTERIOR ALL PARTITIONS
 - 2 DEMOLISH ALL EXISTING EXPOSED AND CONCEALED CONDUITS, DUCTS AND WIRING
 - 3 DEMOLISH ALL EXISTING DOORS AND WINDOWS
 - 4 DEMOLISH EXISTING FLOOR FINISH





ARCHITECTS, LLC
ARCHITECTURE | SPACE PLANNING | INTERIOR DESIGN

SEAL:



MARK REVISION DATE

MARK	REVISION	DATE

CLIENT:

PROJECT TITLE:

18 T STREET NE
WASHINGTON, DC 20002

DESIGNER VEGA

DRAFTER AU

CHECKED AU

DATE 9/8/12

SCALE AS SHOWN

PROJ. # 12037

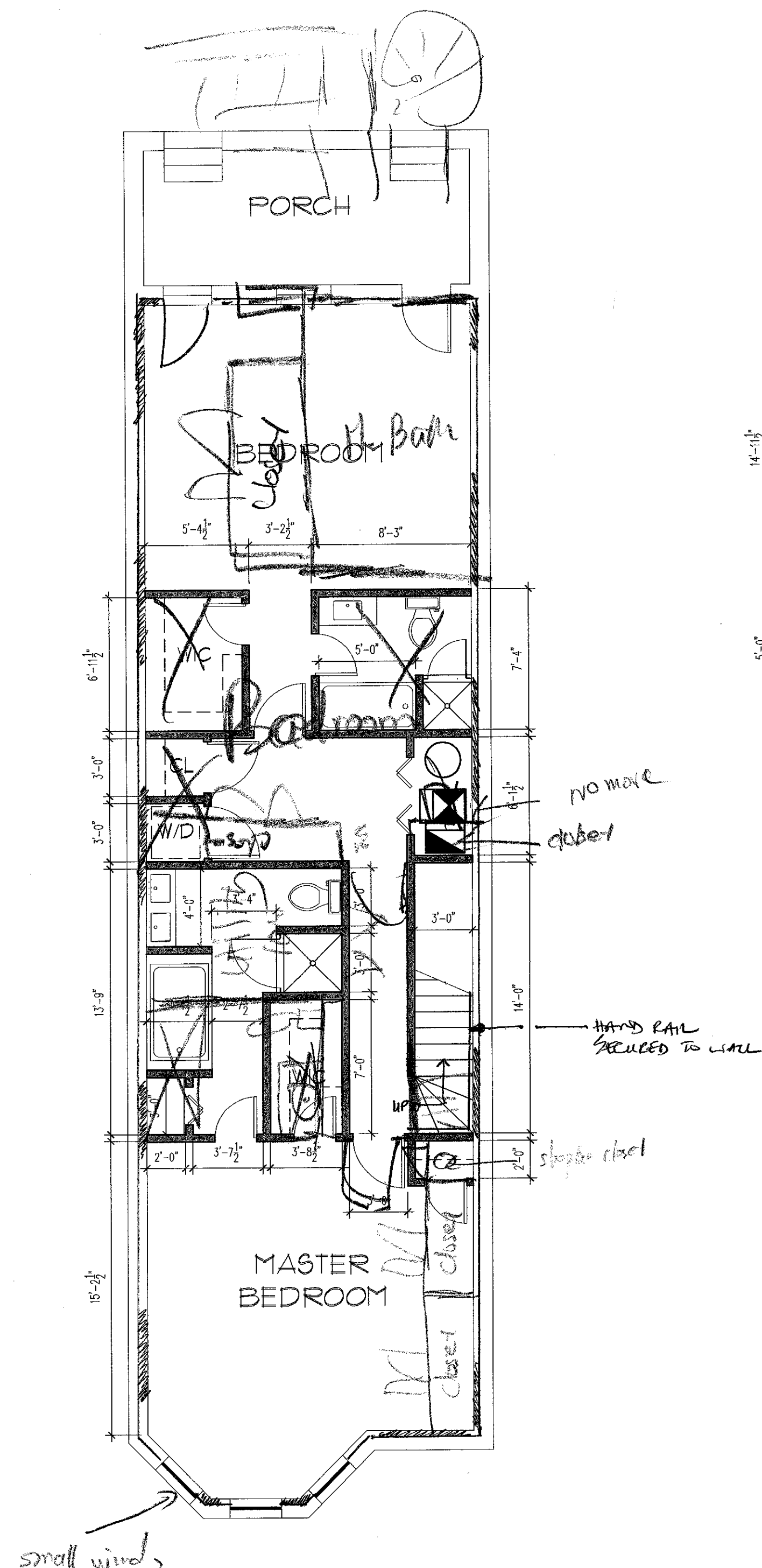
PROJ. MGR.

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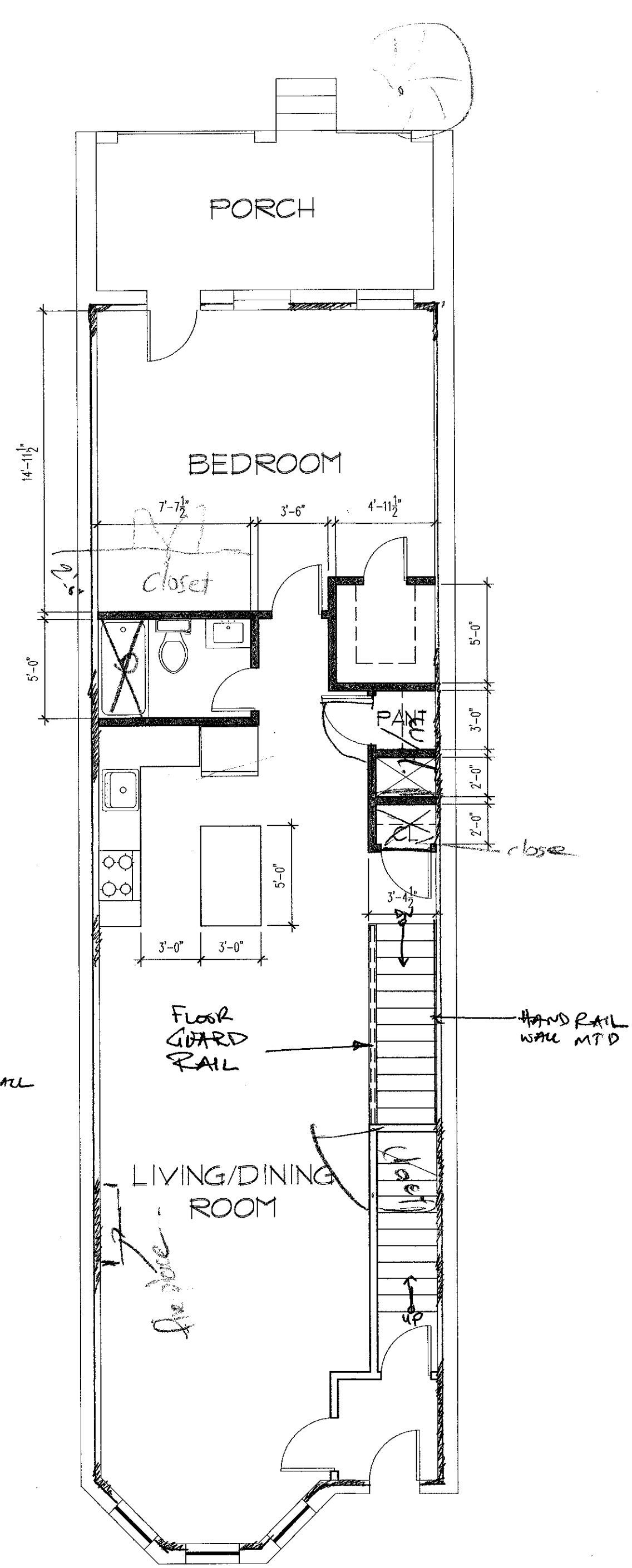
SHEET TITLE:
FLOOR PLANS

SHEET NUMBER:

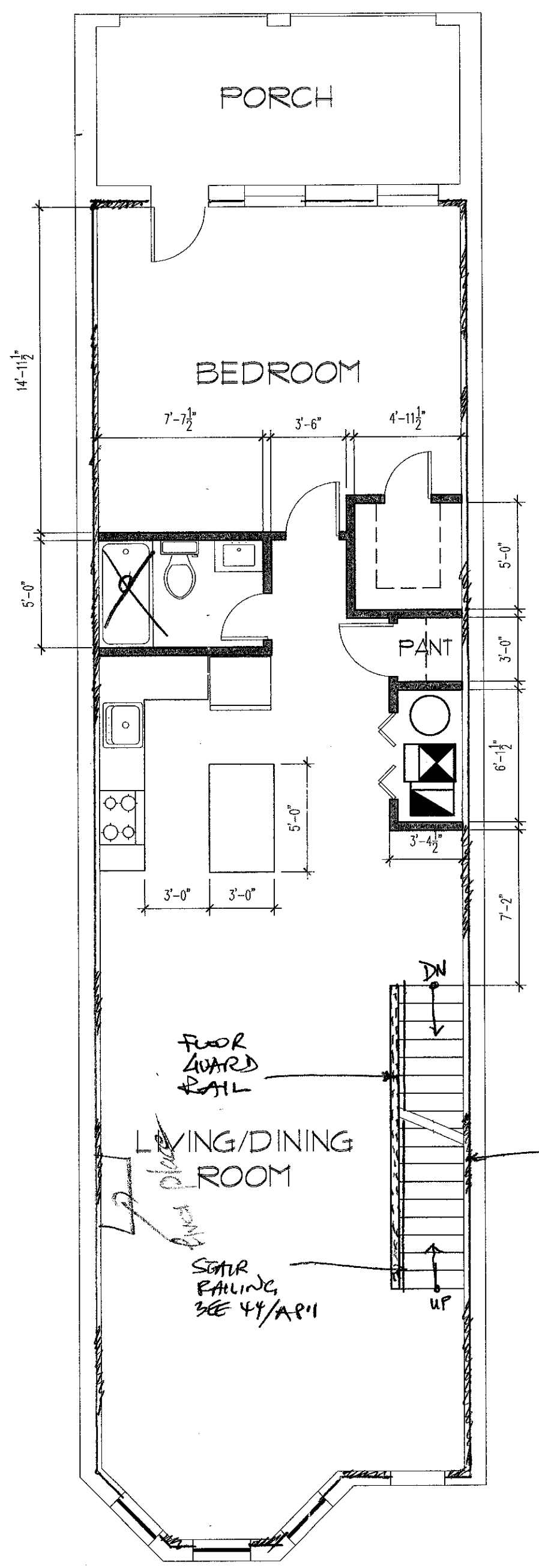
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41 BASEMENT PLAN - NEW
A1.1 3/16"= 1'-0"

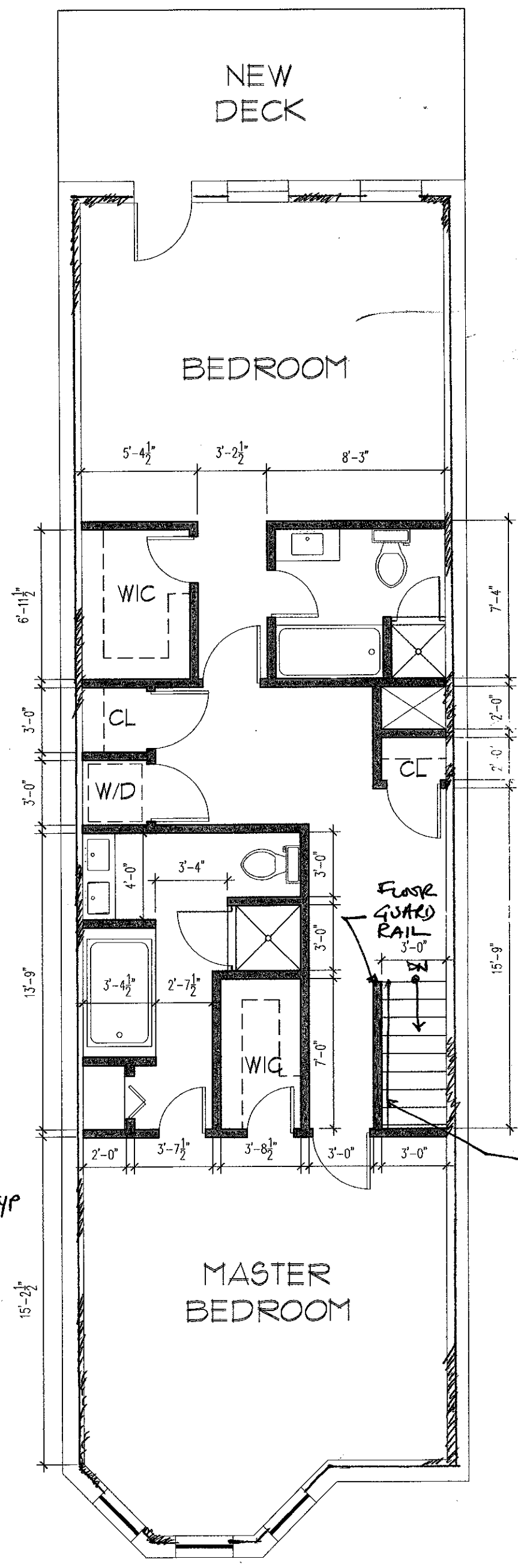


42 1ST FLOOR PLAN - NEW
A1.1 3/16"= 1'-0"

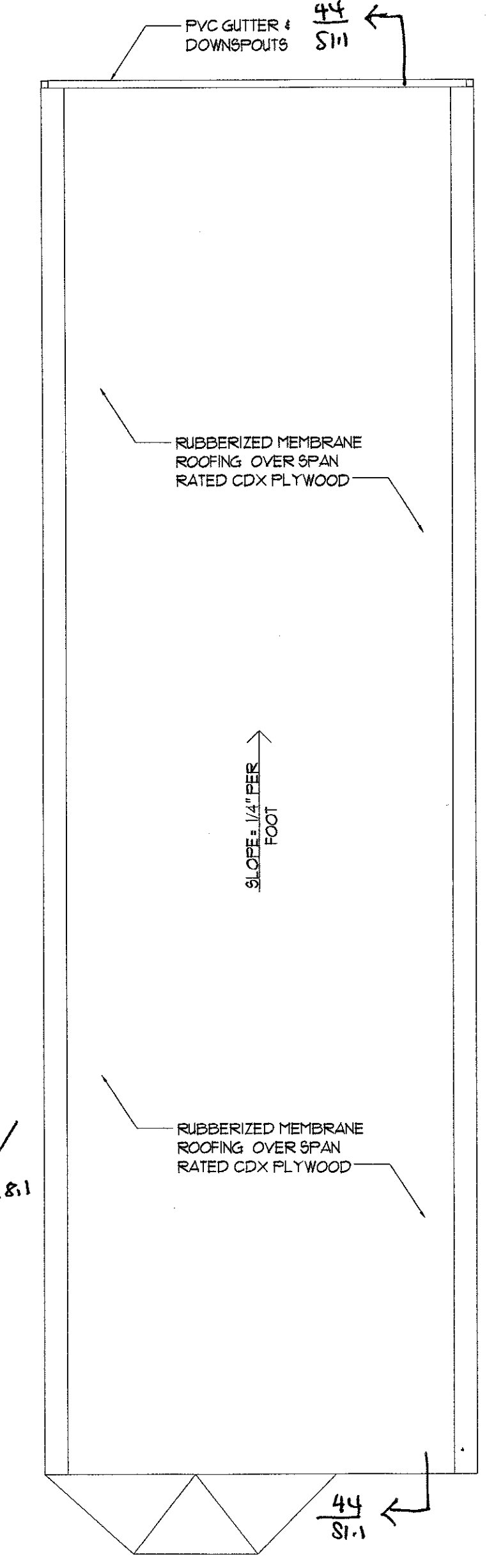


43 2ND FLOOR PLAN - NEW
A1.1 3/16"= 1'-0"

DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
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NOOR HUSSAIN
Structural Engr. Section
Date
SEP 25 2012



44 3RD FLOOR PLAN - NEW
A1.1 3/16"= 1'-0"

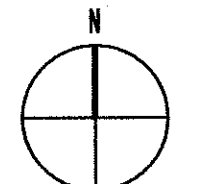


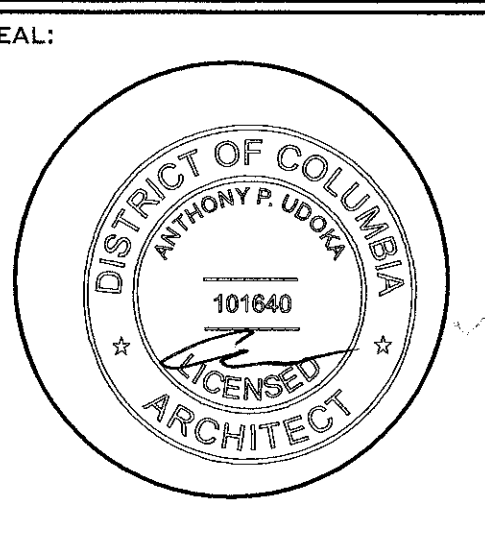
45 ROOF PLAN
A1.1 3/16"= 1'-0"

KEYED NOTES (THIS SHEET):

GENERAL NOTES:

1. PROVIDE GREENBOARD @ BATHROOM EXTENDING FROM FLOOR TO 24" AFF
2. CEILINGS OF ALL UNITS SHALL BE OF 1-HOUR FIRE RATED CONSTRUCTION (2) LAYERS OF 1/2" TYPE X GWB, LAID PARALLEL TO JOIST, STAGGER JOINTS
3. PROVIDE NEW 3/8" THICK WOOD SUB-FLOOR TYPICAL
4. PROVIDE 1-HOUR FIRE RATING @ ALL SHAFT WALLS





MARK	REVISION	DATE

CLIENT:

PROJECT TITLE:
18 T STREET LLC

18 T STREET NE NW
WASHINGTON, DC 20002

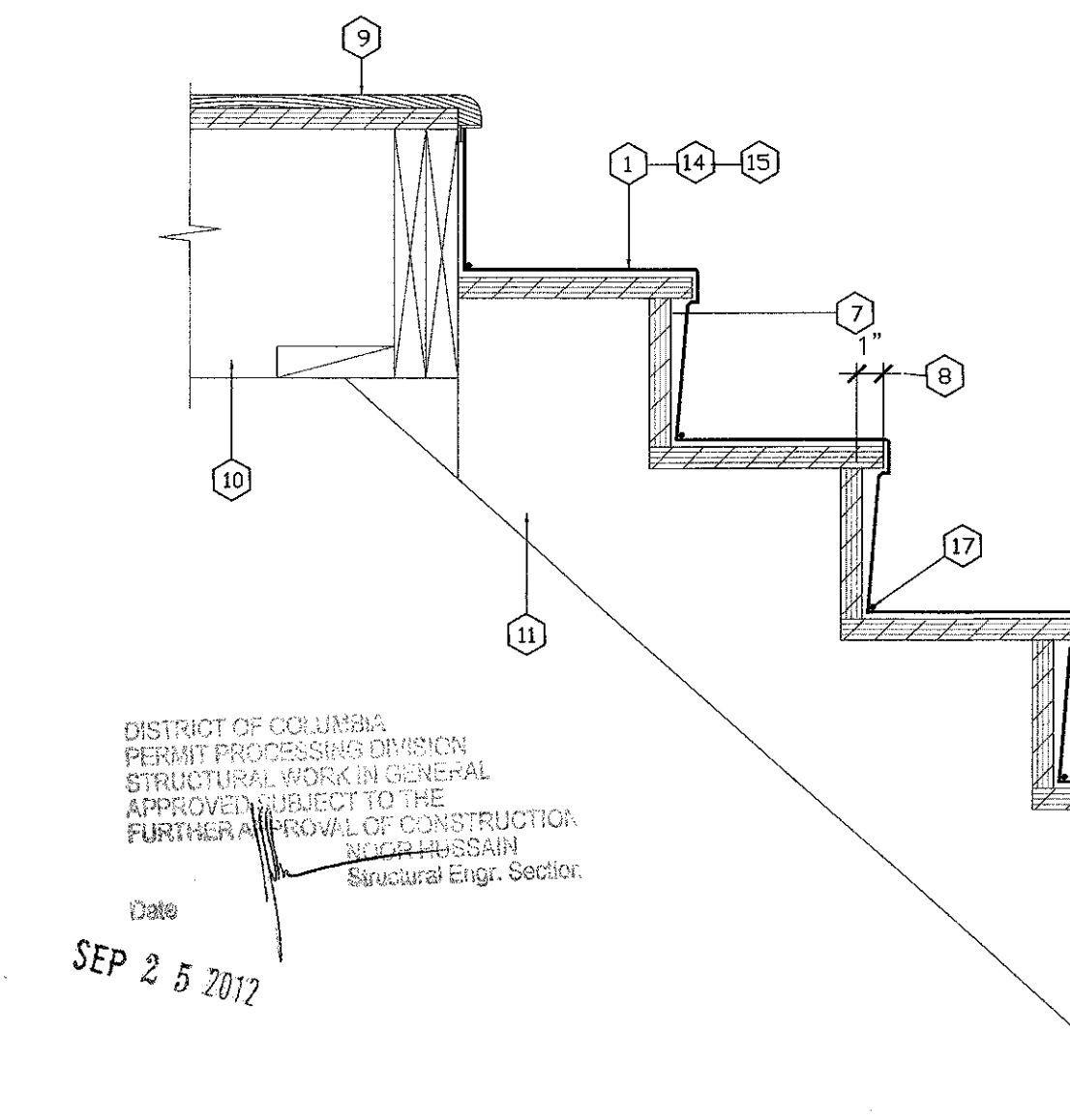
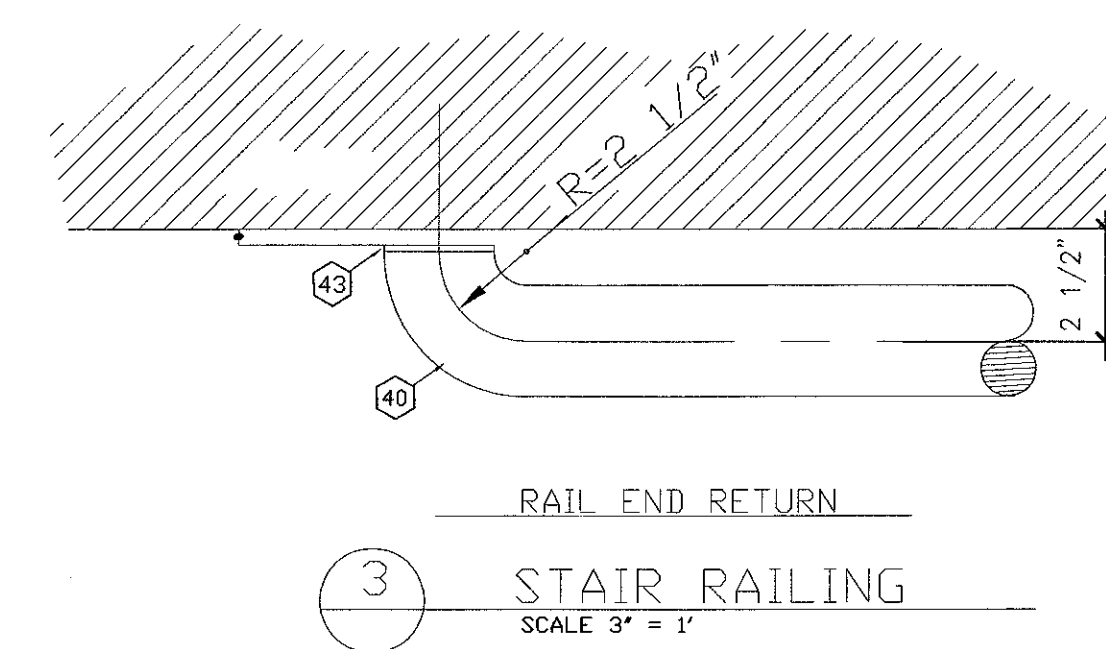
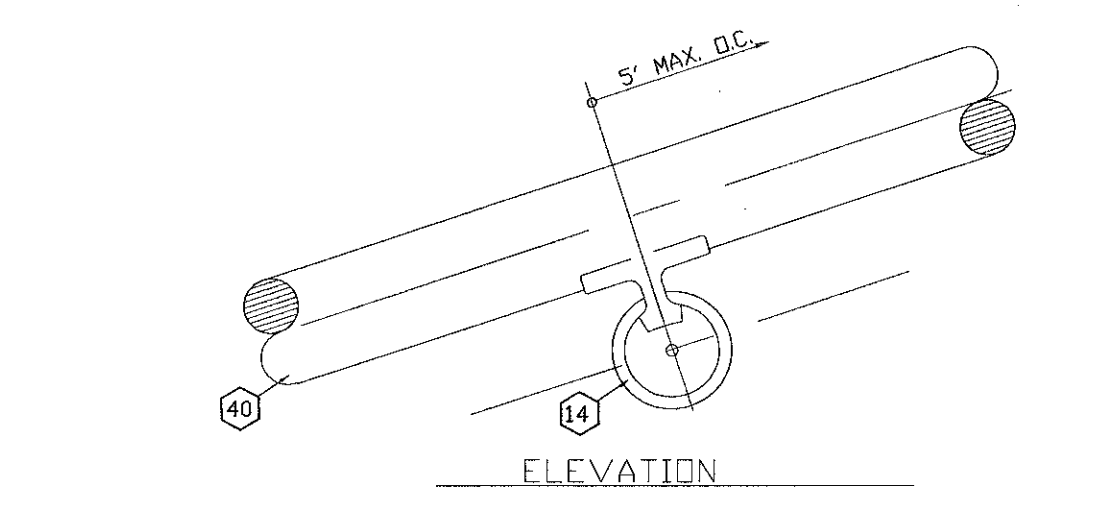
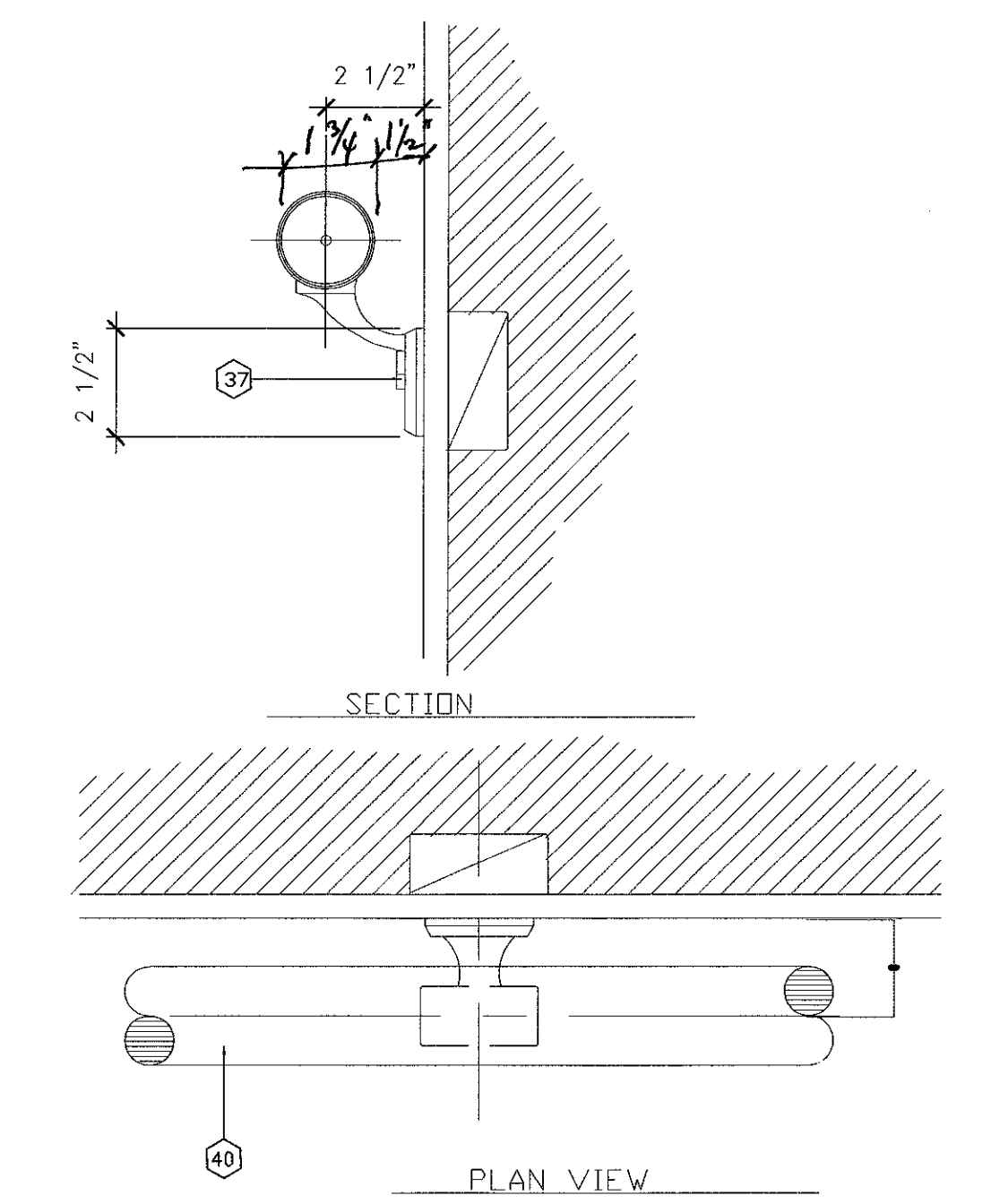
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CHECKED	AU
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PROJ. #	12037
PROJ. MGR	AU
PROJ. OFCR.	AU

SHEET TITLE:
STAIR DETAILS

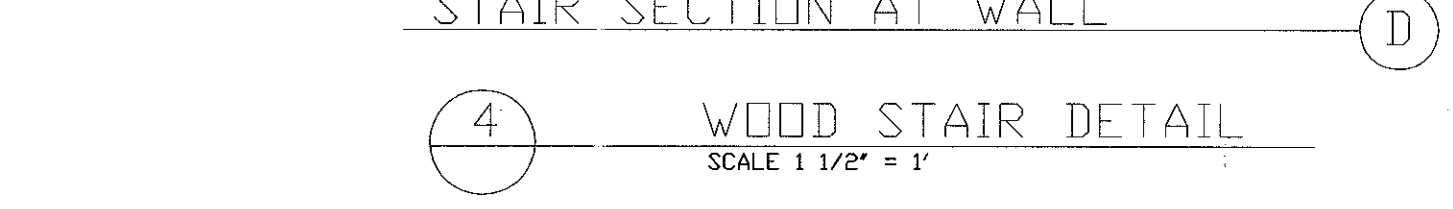
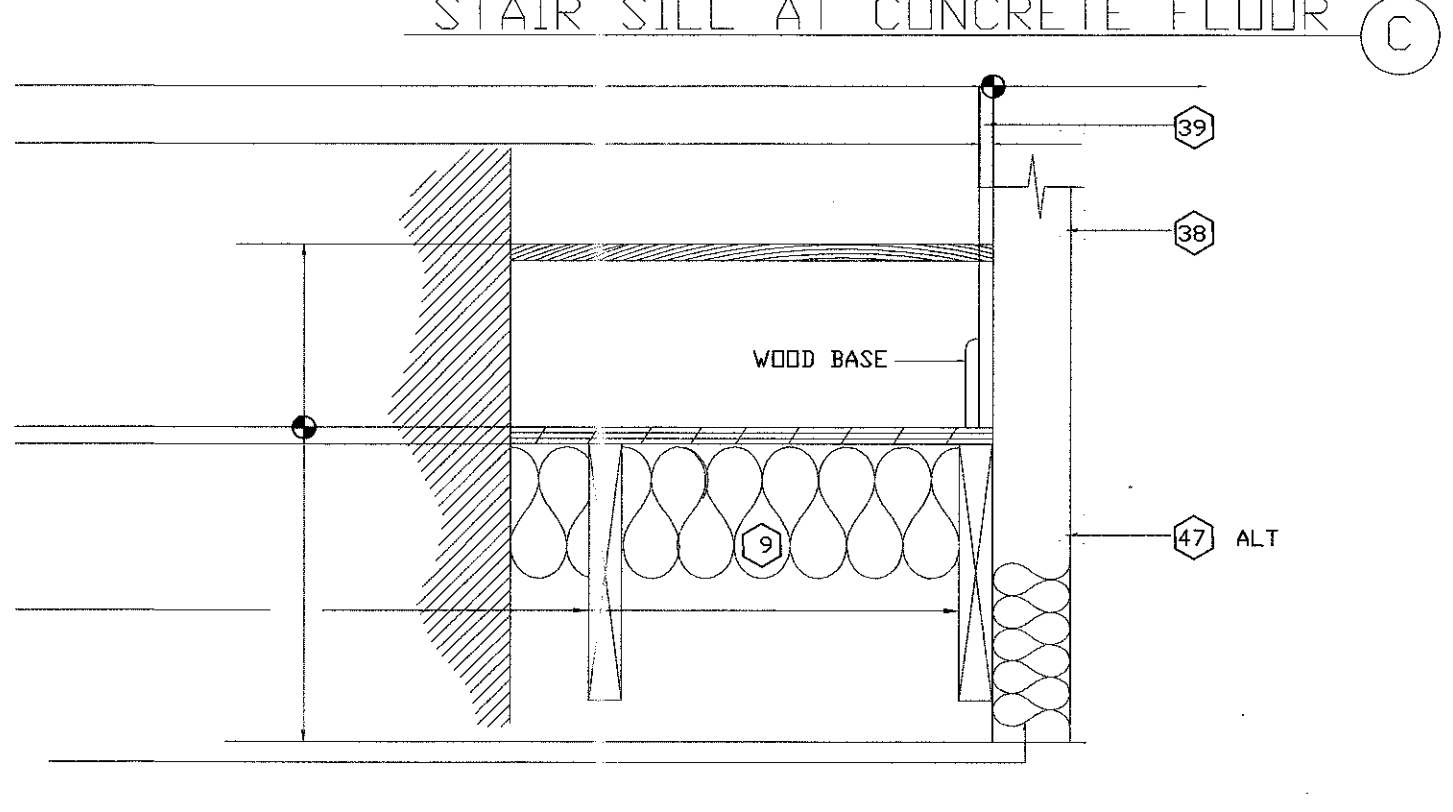
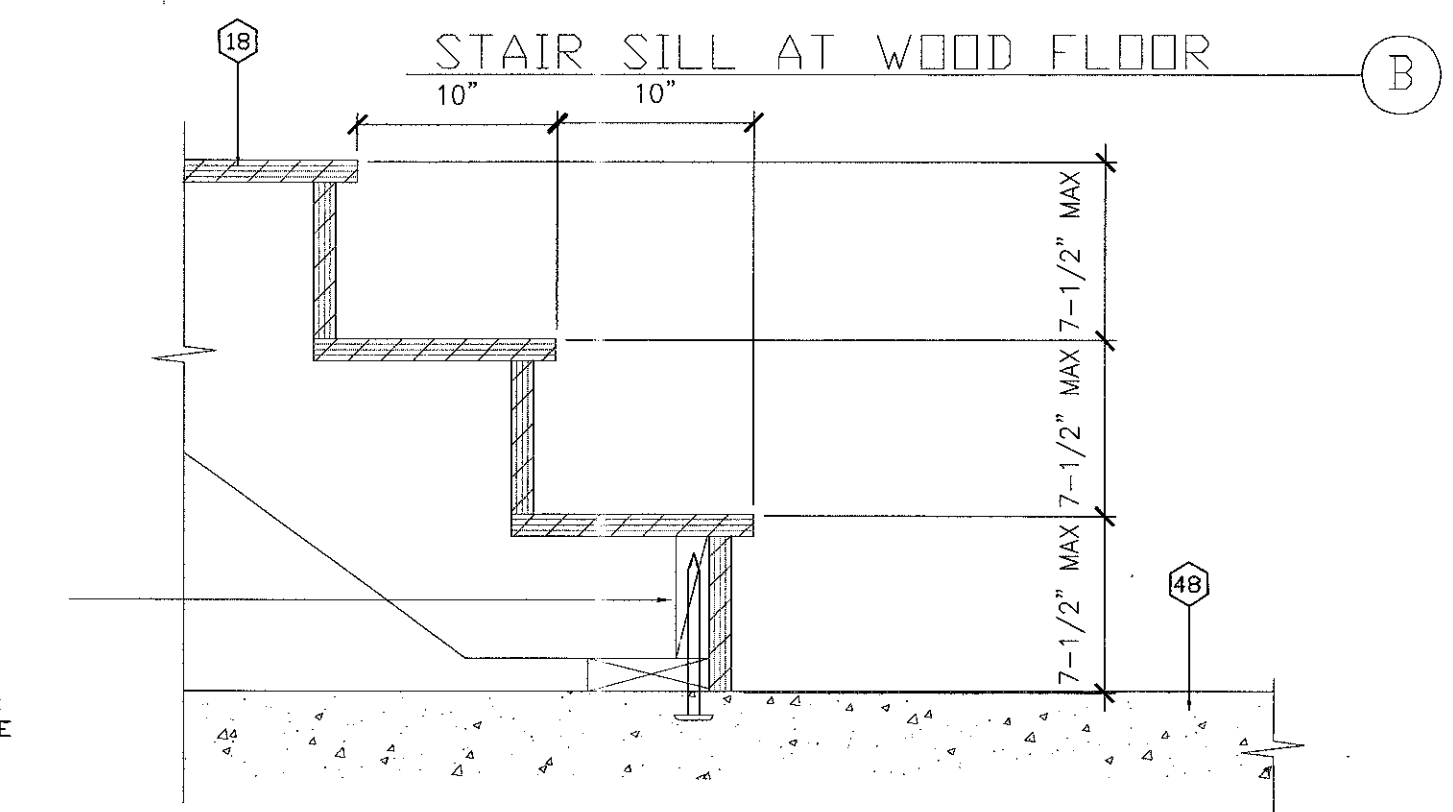
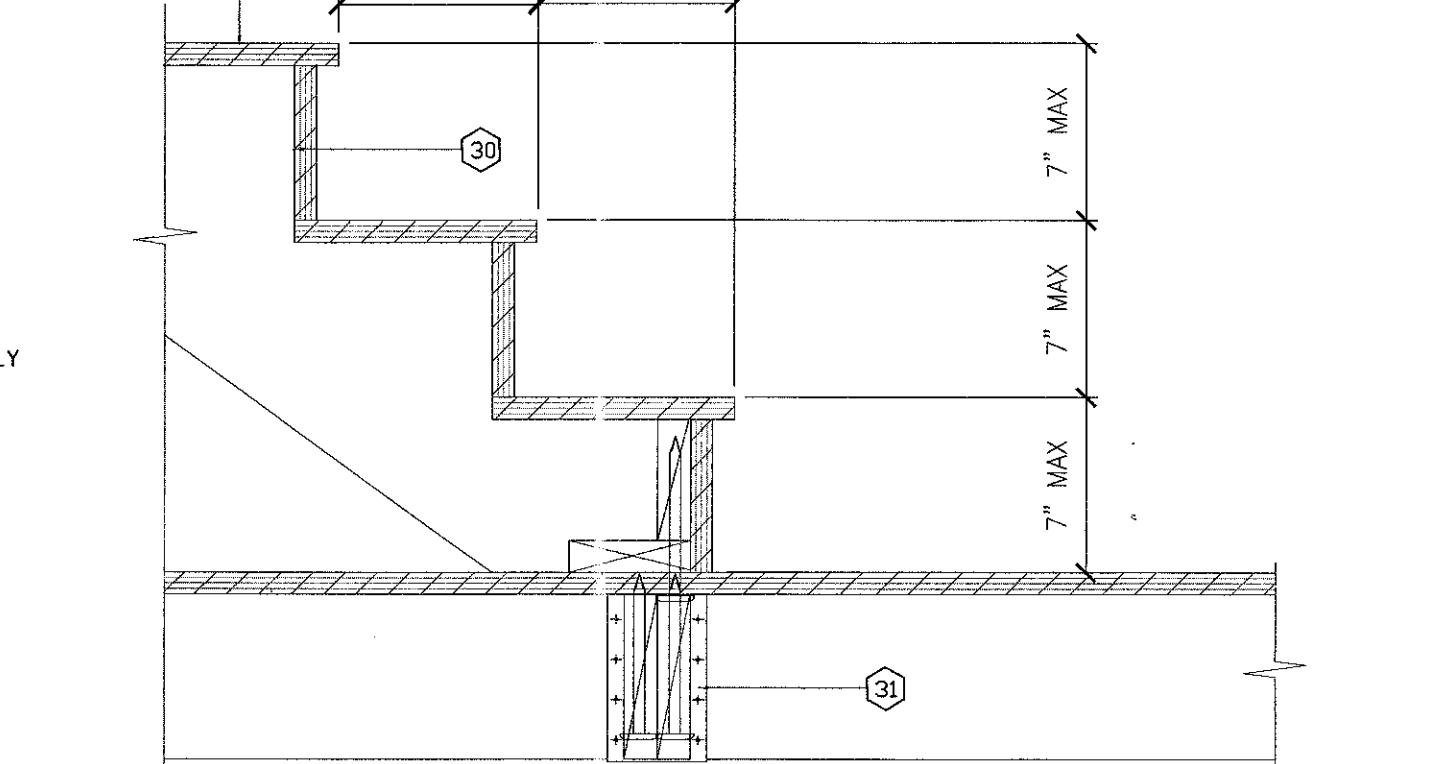
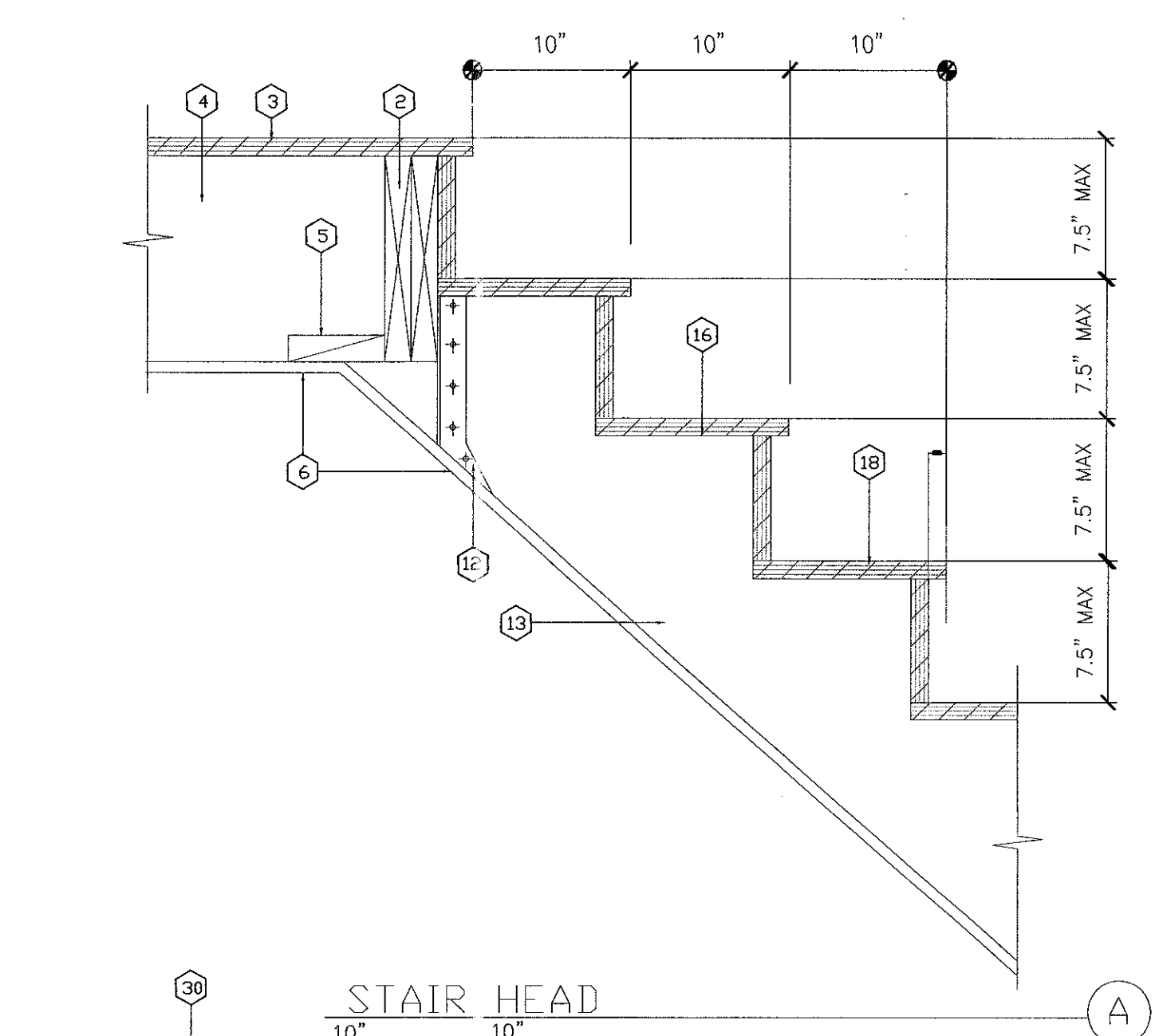
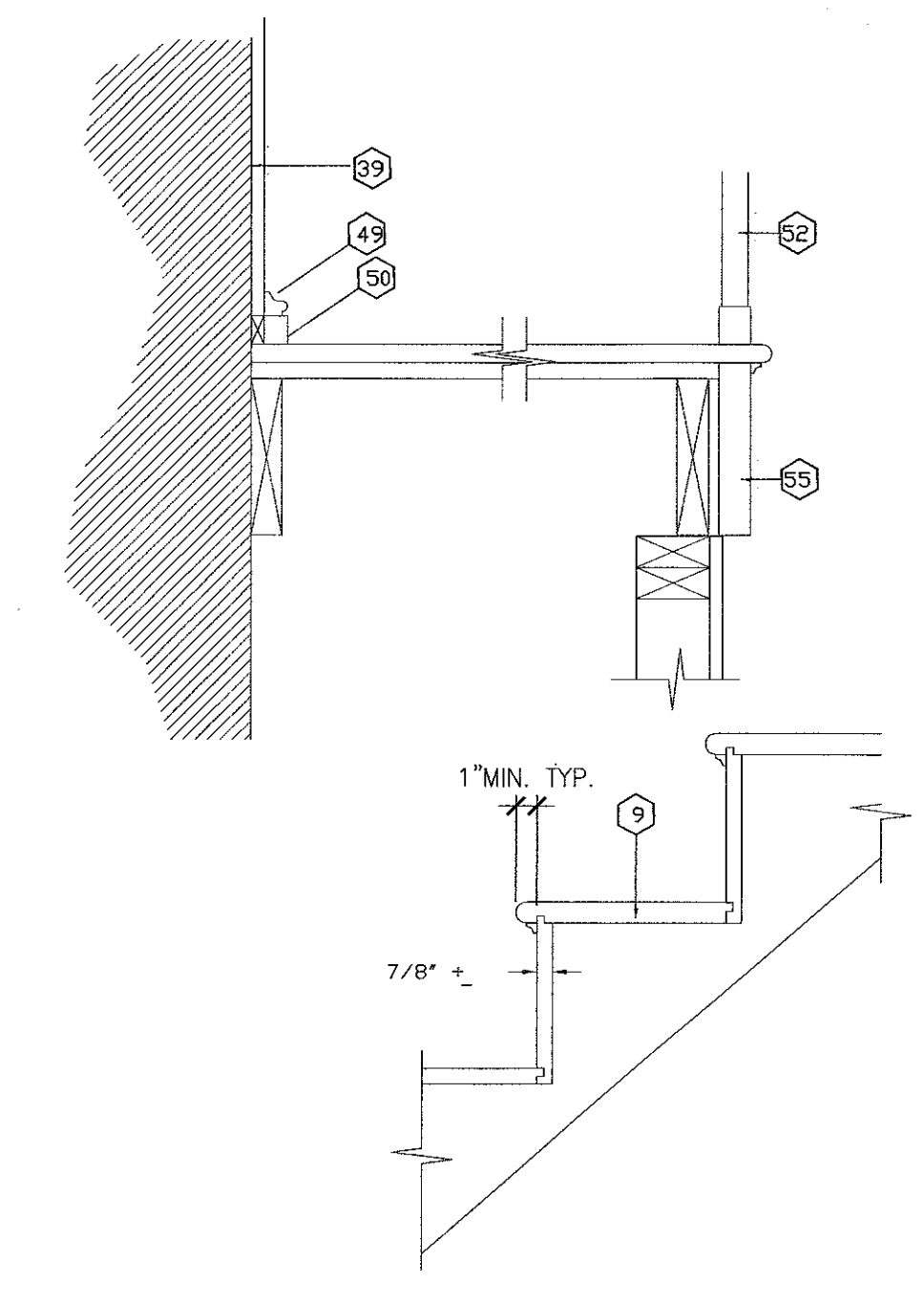
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STAIR NOTES

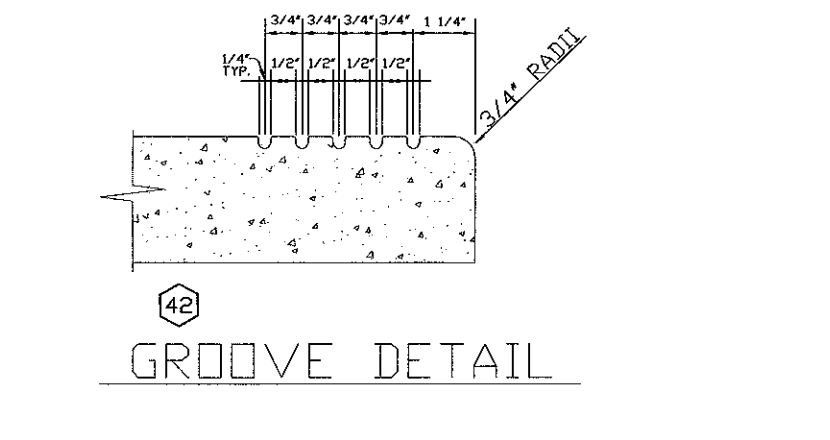
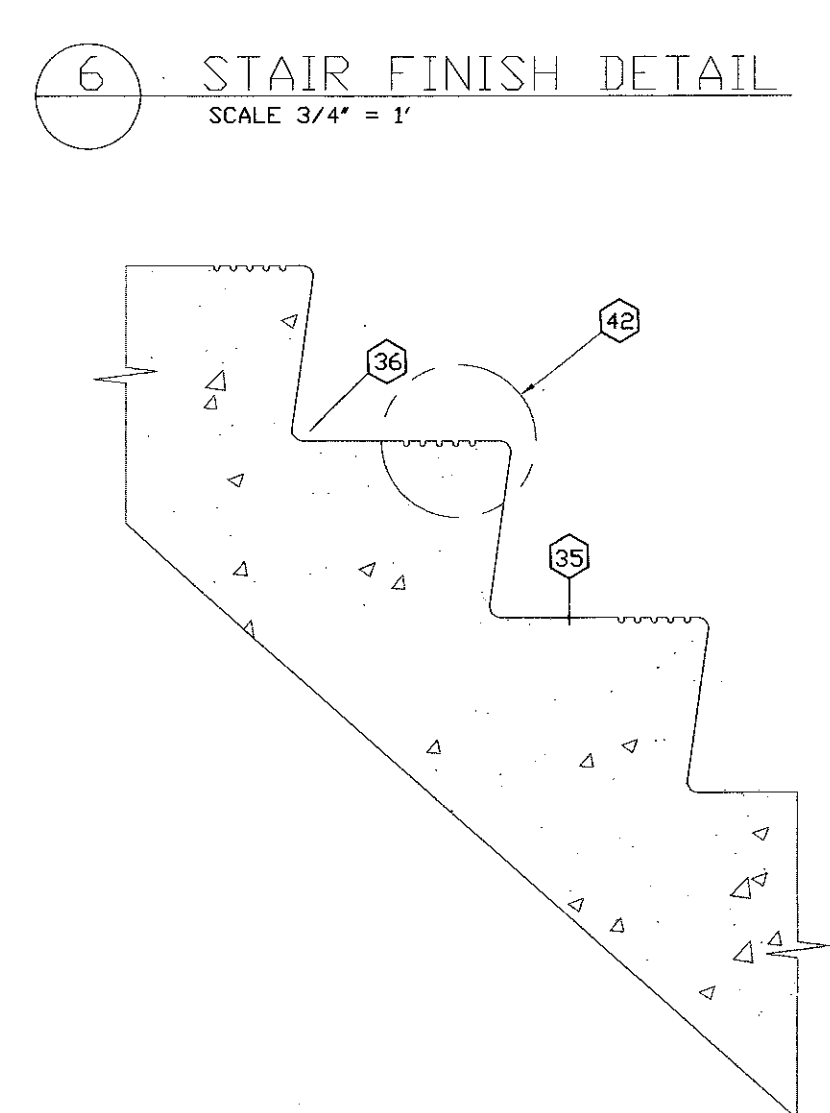
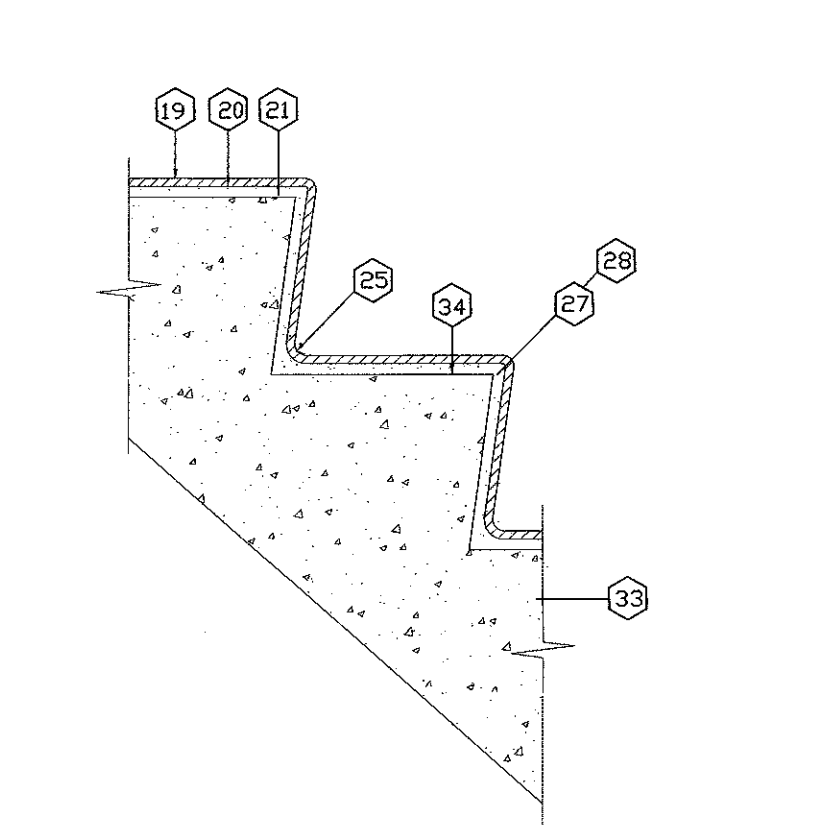
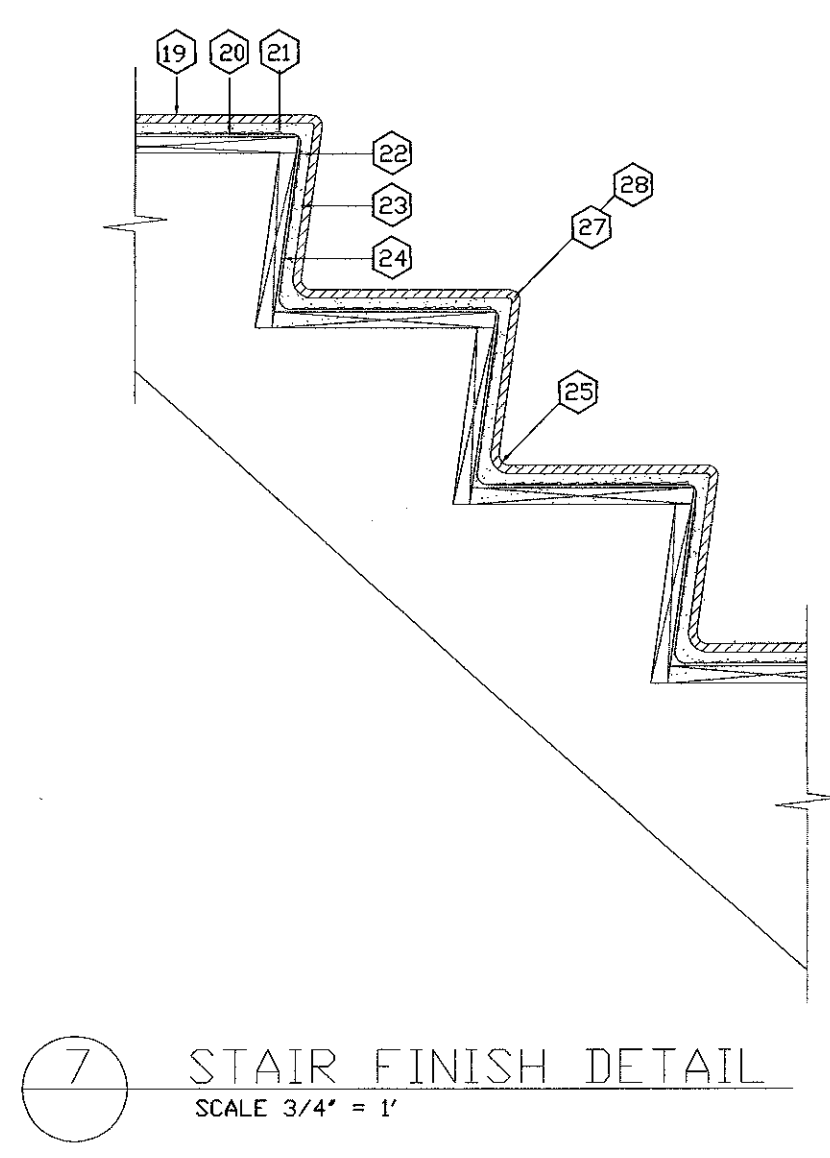
- HANDRAILS**
 - PROVIDE HANDRAIL - MINIMUM ONE SIDE
 - HEIGHT OF RAILING ABOVE TREADS - 36" MIN. - 38" MAX.
 - EXTEND HANDRAILS 12" NOSING OF TOP TREAD AND 12" PLUS TREAD WIDTH BEYOND THE BOTTOM NOSING.
 - RETURN AND TERMINATE ENDS OF HANDRAILS TO WALL OR POST.
 - PROVIDE 1 1/2" CLEAR BETWEEN HANDRAIL AND WALL.
 - CROSS-SECTIONAL DIMENSION HAND GRIP PORTION OF HANDRAILS: 1 1/4" MINIMUM.
- TREADS**
 - ALL TREADS SURFACES ARE TO BE SLIP RESISTANT.
 - ALL EXPOSED EDGES OF TREADS ARE TO BE SMOOTH, ROUNDED OR CHAMFERED. NO ABRUPT EDGES AT LOWER FRONT EDGE OF NOSING.
- NOSING**
 - NOSING PROJECTION PAST FACE OF RISER BELOW TO BE 1 1/2" MAXIMUM.
- RISERS**
 - SUFFICIENTLY SOLID TO PREVENT PASSAGE OF OBJECTS LARGER THAN 1/4".
- DIMENSIONS** (UNLESS NOTED OTHERWISE)
 - RISERS: 7 1/2" MAX. VERT. 4" MIN.
 - TREADS: 10" MINIMUM HORIZONTAL.
- MAXIMUM VARIATION IN HEIGHT OF RISERS OR WIDTH OF TREADS IN ANY GIVEN FLIGHT: 1/4"**
- MINIMUM HEADROOM CLEARANCE MEASURED VERTICALLY FROM THE PLANE OF THE CEILING FINISH TANGENT TO THE TREAD NOSING AT THE STAIRWELL: 6'-8" MINIMUM CLEAR**
- MAXIMUM VERTICAL DISTANCE BETWEEN STAIRWAY LANDINGS: 12'-0"**
- STAIR LANDINGS:**
 - STAIR LANDINGS SHALL BE THE SAME WIDTH AND DEPTH AS THE STAIR IT SERVES WITH MINIMUM DIMENSIONS OF 36" EACH WAY.
 - PROVIDE HANDRAIL AT STAIRS AND 36" HIGH GUARD RAIL (42" HIGH MINIMUM IF OCCUPANCY LOAD IS HIGHER THAN 100 AT STAIR LANDINGS WITH CLEAR SPACE BETWEEN BALLUSTERS AND HORIZONTAL TOP RAIL AT 4" MIN. CLR. TYPICAL.
- SEE INTERIOR FINISH SCHEDULE**
DETAILS AT PLANS FOR STAIR FINISHES.
- HANDICAPPED COMPLIANCE:**
 - MARK WITH A 2" WIDE STRIPE OF CONTRASTING COLOR PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE UPPER APPROACH AND LOWER TREAD OF EACH STAIR ROSE A SLIP RESISTANT MATERIAL FOR THE STRIPE AT EACH NOSING AND LANDING.
- ENCLOSED USABLE SPACE UNDER STAIRS:**
 - SHALL BE PROTECTED WITH ONE-HOUR FIRE RESISTIVE PROTECTION.

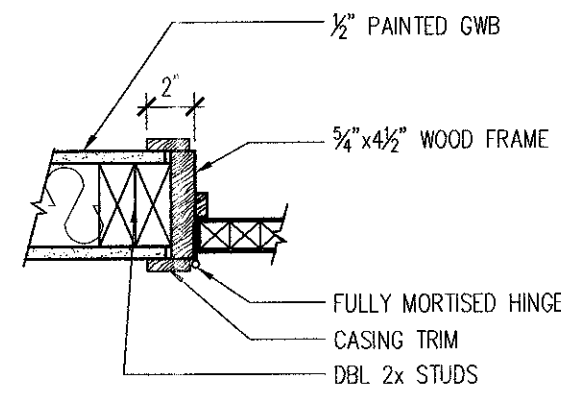


DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER REVIEW OF CONSTRUCTION
SUPERVISOR
Structural Engr. Section
Date
SEP 25 2012



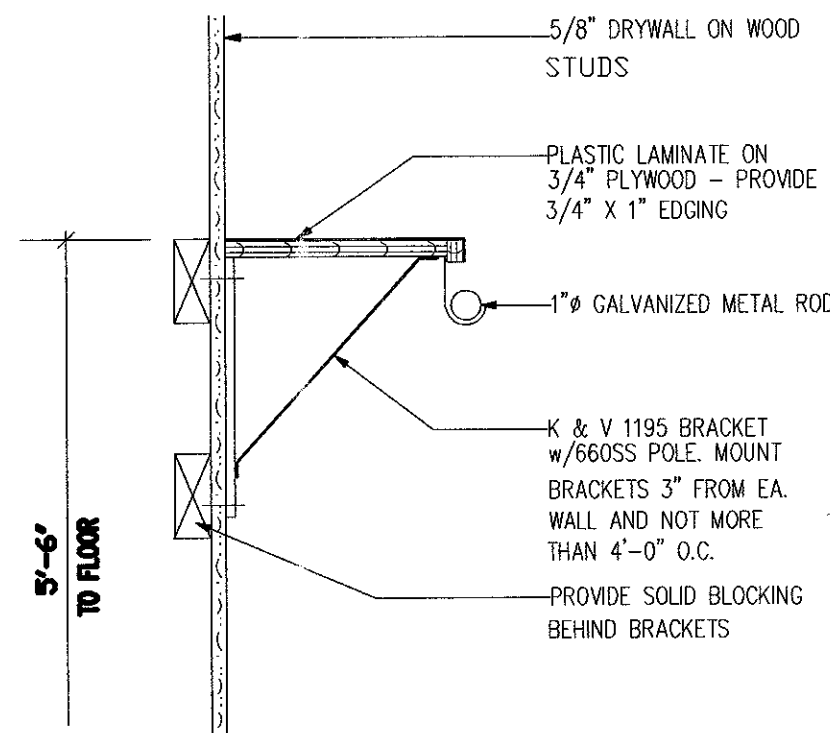
- LEGEND**
- NOTE: CARPET STRIP AT CENTRAL OF STAIR ONLY. HARDWOOD EDGES. VERIFY DIMENSION AT SIDES
 - DOUBLE 2 X FLOOR JOISTS
 - PLYWOOD SUBFLOOR
 - FLOOR JOIST
 - 2 X 6 BLOCKING
 - INTERIOR "ONE HOUR" RATED FINISH WHERE OCCURRING
 - NOTE: COVE MOLDING NOT SHOWN FOR CLARITY. BELOW NOSING. SEE DET. #1
 - 1" LIP MAXIMUM
 - HARDWOOD FLOORING AND NOSING
 - 2X FLOOR JOIST SEE FRAMING PLAN
 - 2X STAIR STRINGER SEE PLAN
 - "SIMPSON" HU HANGER
 - 2X12 STAIR STRINGERS AT 12" O.C. W/ ONE ADJACENT TO WALL TYPICAL EACH SIDE
 - CARPET TACK STRIP TOP AND BOTTOM AS REQUIRED TYPICAL
 - CARPET OVER PLYWOOD OR HARDWOOD VERIFY IN THE FIELD.
 - CUT PLYWOOD RISES OR TREADS. FASTEN TO 2X STAIR STRINGERS W/ GLUE AND DRYWOD SCREWS
 - BRASS CARPET HOLDOWN TYPICAL AT INSIDE OF INSIDE BOTTOM OF EACH STEP
 - NOTE: ALLOW FOR FINISH ON PLYWOOD
 - CERAMIC TILE
 - BOND COAT
 - MORTAR BED: 3/4" MIN. - 1 1/4" MAX.
 - SCRATCH COAT
 - METAL LATH
 - WATERPROOF MEMBRANE DESIGN REQUIREMENTS
 - USE COVE TILE AT JUNCTION OF RISER AND TREAD FOR MAINTAINING QUARRY OR PAVEMENT TILE. COVE: SET HORIZONTALLY OR VERTICALLY TO FACILITATE LAYOUT
 - FINISHED STEP NOSINGS ARE AVAILABLE IN SPECIALLY SHAPED QUARRY AND PAVEMENT TILE PIECES
 - USE FULL RADIUS CERAMIC MOSAIC BULLNOSE TILE FOR NOSINGS
 - SLIP RESISTANT TILE REQUIRED ON STAIR TREADS TYPICALLY
 - ALTERNATE: EXTERIOR GRADE PLYWOOD RISER / TREAD
 - "SIMPSON" HU JOIST HANGERS DOUBLE BLOCKING TO FLOOR JOIST
 - NOTE: ALL PLYWOOD EXTERIOR GRADE TYPICAL 3/4" CDX
 - FINISH CONCRETE WITH MEDIUM ROUGH BRUSH
 - HAMMER FINISH FREE OF CRACKS, WAXY OR OILY FILMS AND/OR CURING COMPOUNDS
 - LIGHT BROOM FINISH TYPICAL
 - 3/4" RADIUS TOP AND BOTTOM TYP.
 - 3/8" DIA. LAG BOLT
 - 2X4 STUDS AT 16" O.C. TYPICAL (WALL)
 - INTERIOR FINISH
 - 1 1/4" DIA. STD. PIPE HANDRAIL (VERIFY W/ OWNER, WOOD SIM.)
 - 2X BLOCKING W/ 2 1/2" FH WD. SCREWS AT 4" O.C. TYPICALLY
 - TOOL SAFETY GROOVES STOP TOOLS 2" FROM EACH END OF TREAD. NO GROOVES IF SCHED OR DET. CALLS FOR OTHERWISE
 - CAPPED END, WELD AND GRIND SMOOTH
 - METAL BRACKET
 - VERIFY WALL THICKNESS SEE PLANS
 - INTERIOR FINISH ONE HOUR RATED AT STAIR
 - ALT. INSULATE UNDER SIDE OF STAIRS W/ R-19 BATT
 - SEE STRUCTURAL FOR SLAB THICKNESS AND REINFORCING
 - MOLDING
 - 1 1/8" X 3/8" WOOD WALL STRINGER
 - 3/4" PLYWOOD TREAD
 - BALLISTER DOVETAILED INTO TREAD
 - COVE MOLDING
 - 2X12 STRINGERS AT 12" O.C. W/ 4-16d AT EACH STOD ALT. 2" USE DRYWALL SCREWS
 - 1 1/2" OUTER FINISH WOOD STRINGER
 - INSULATE STAIR WALLS W/ R-11 SOUND BATT
 -
 -





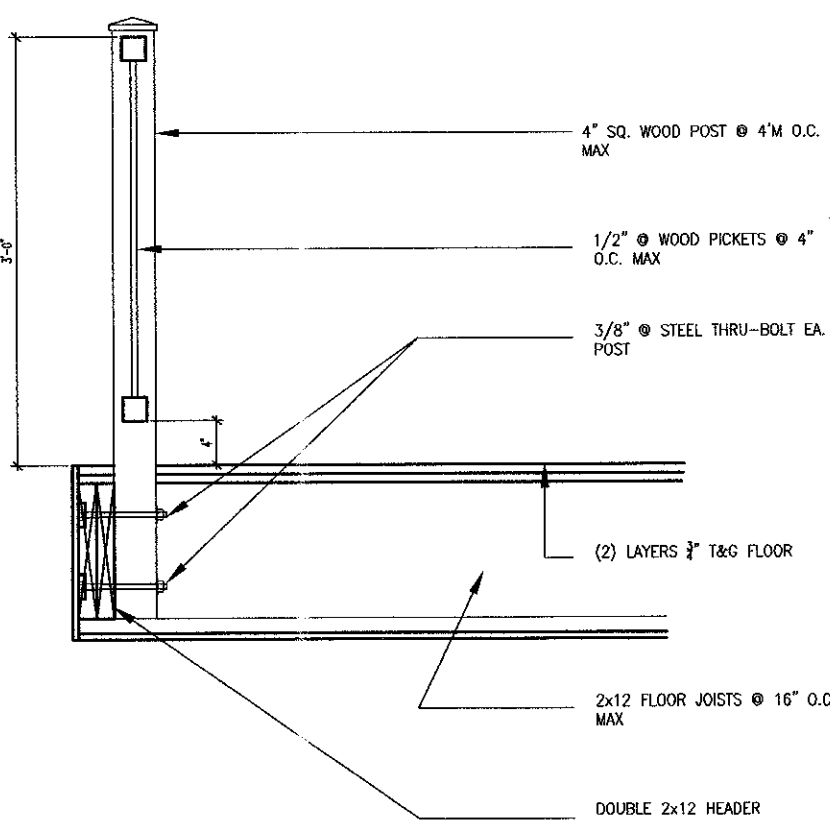
13 TYP INTERIOR DOOR JAMB

A8.1 1-1/2" = 1' - 0"



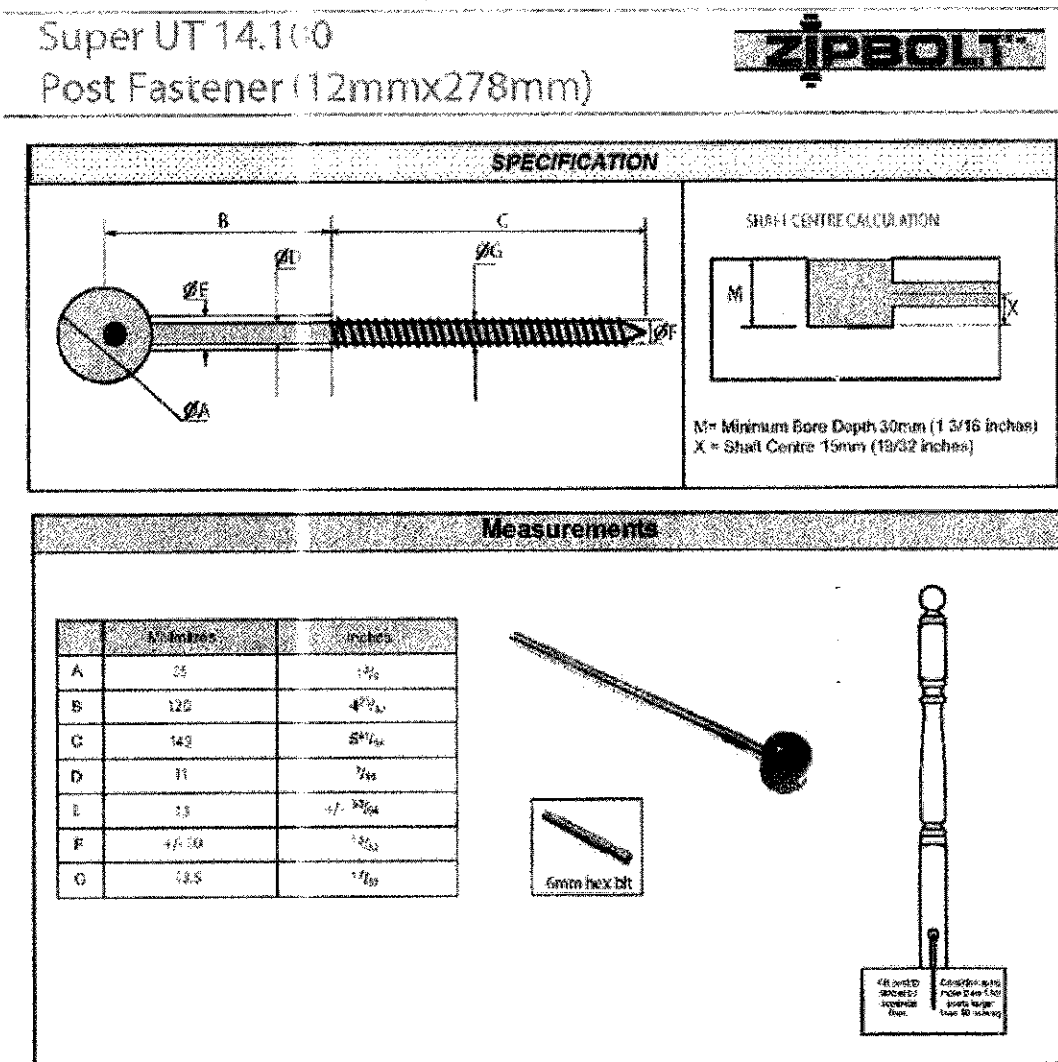
23 SECTION @ CLOSET ROD & SHELF

A8.1 1-1/2" = 1' - 0"



33 SECTION @ GUARD RAIL

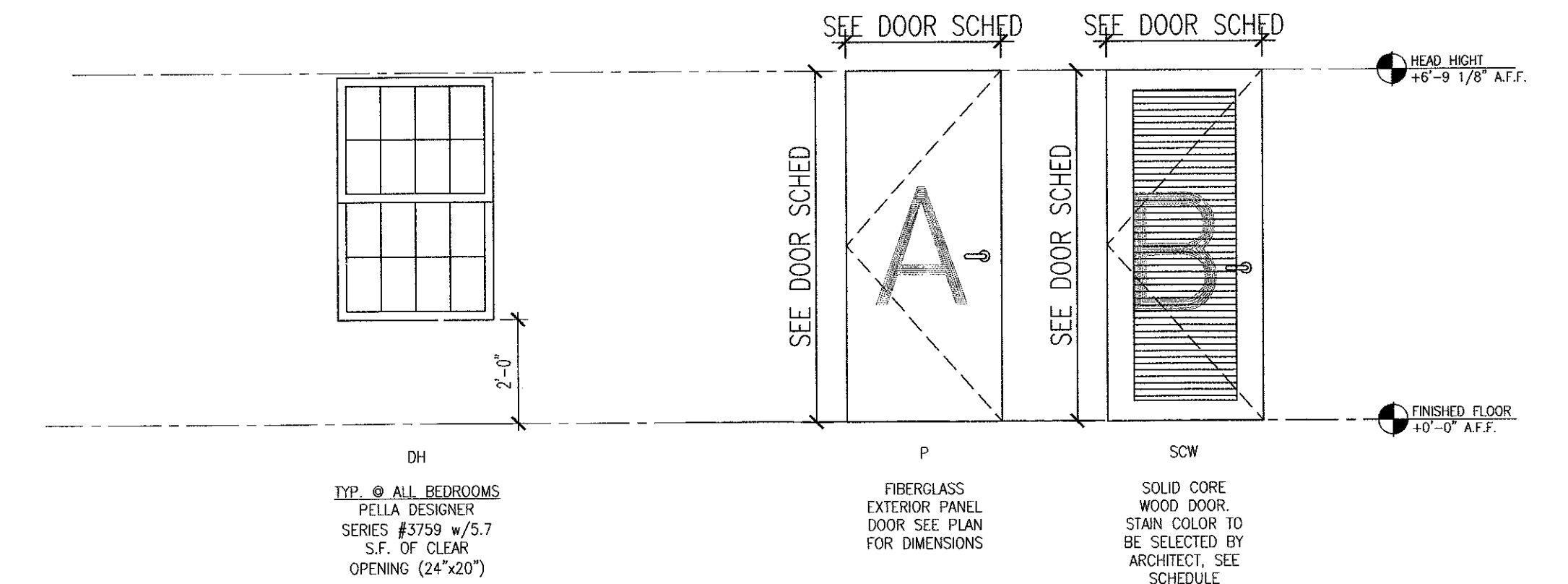
A8.1 1-1/2" = 1' - 0"



43 ZIPBOLT NEWEL FASTENER SPECS

A8.1 1/2" = 1' - 0"

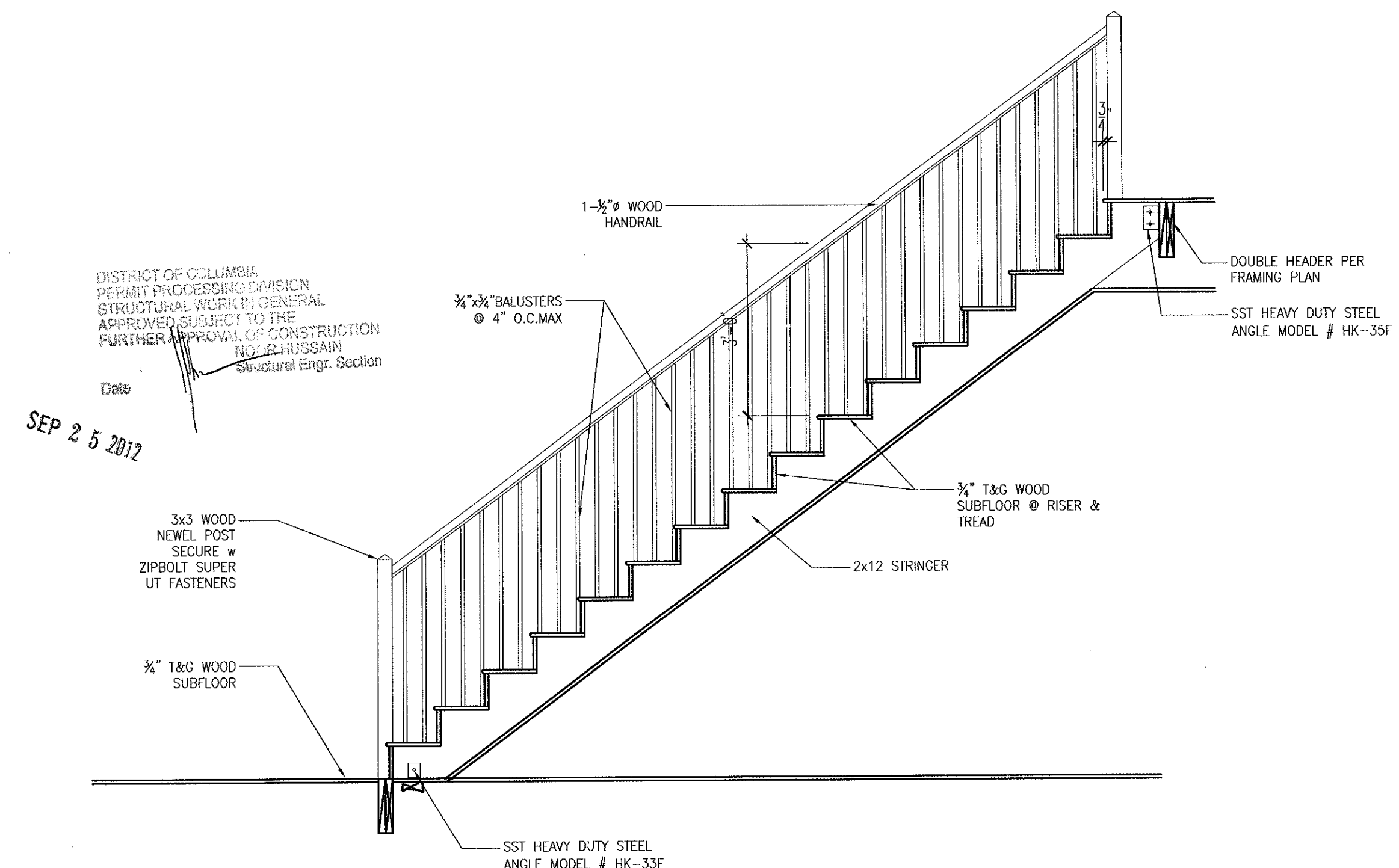
DOOR							FRAME		REMARKS
FROM	TO	MATERIAL	ELEVATION	SIZE	HDW FUNCTION	GLASS TYPE	MATERIAL	TYPE	
OUTSIDE	STAIRS	HM	A	3'-0"x6'-8"x1 3/4"	ENTRY	TEMP	HM	EXIST	*w/4"x4" WIRED GLASS VISION PANEL 45 MINUTE FIRE RATED
ENTRANCE	LIVING ROOM	SCW	A	3'-0"x6'-8"x1 3/4"	ENTRY	NONE	WD	WD	*w/EYE VIEWPORT 45 MINUTE FIRE RATED
LIVING ROOM	MECHANICAL	LVR	B	2'-6"x6'-8"x1 3/4"	STORAGE ROOM	NONE	HM	WD	NON-RATED
HALLWAY	BATHROOM	SCW	A	2'-2"x6'-8"x1 3/4"	PRIVACY LOCK	NONE	HM	WD	NON-RATED
HALLWAY	BEDROOM	SCW	A	2'-4"x6'-8"x1 3/4"	PRIVACY LOCK	NONE	HM	WD	NON-RATED
HALLWAY	WASHER/DRYER	LVR	B	2'-4"x6'-8"x1 3/4"	PRIVACY LOCK	NONE	HM	WD	WHERE OCCURS



- WINDOW AND DOOR ABBREVIATIONS:
- AW=AWNING
 - CA=CASEMENT
 - DH= DOUBLE HUNG
 - FL=FLUSH
 - FG=FULL GLASS
 - LVR= LOWERED
 - P= PANEL
 - SCW=SOLID CORE WOOD
 - SF=STOREFRONT
- WINDOW AND DOOR NOTES:
1. PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS
 2. DOOR FRAMES SHALL BE FINISHED TO MATCH ADJACENT DOORS
 3. ALL WINDOWS TO HAVE 1" INSULATED TEMPERED GLASS
 4. DOOR HARDWARE TO BE SELECTED BY ARCHITECT
 5. ALL WINDOWS IN BEDROOM AREAS SHALL MEET 2006 IRC EGRESS REQUIREMENTS
 6. PROVIDE DOUBLE STUDS AT JAMB FRAMING, SEE DETAIL 21 THIS SHEET
 7. UNDERCUT ALL INTERIOR DOORS WITHIN UNITS BY 1"

43 DOOR & WINDOW TYPE ELEVATIONS

A8.1 1/4" = 1' - 0"

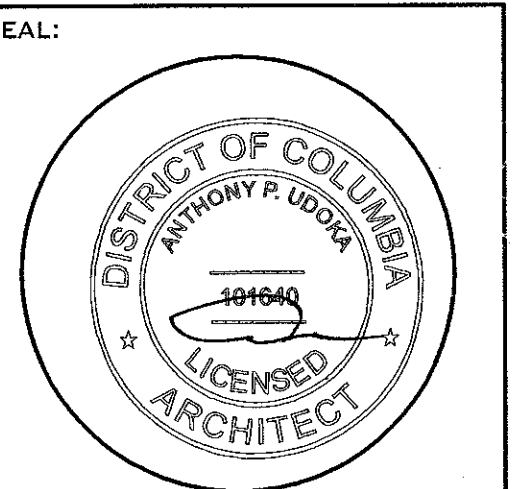


44 SECTION @ STAIRS

A8.1 1/2" = 1' - 0"



ARCHITECTS, LLC
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MARK	REVISION	DATE

CLIENT:

PROJECT TITLE:
18 T STREET LLC

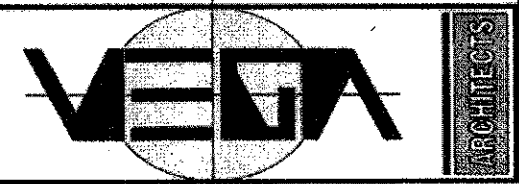
18 T STREET NE NW
WASHINGTON, DC 20002

DESIGNER	AU
DRAFTER	AU
CHECKED	AU
DATE	1/17/12
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PROJ. #	12037
PROJ. MGR	AU
PROJ. OFCR	AU

SHEET TITLE:
DOOR & WINDOW
SCHEDULES & NOTES

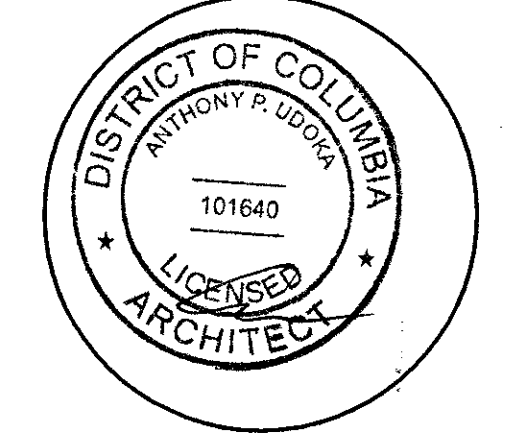
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18 T STREET NE
WASHINGTON, DC 20002

DESIGNER	VEGA
DRAFTER	AU
CHECKED	AU
DATE	9/8/12
SCALE	AS SHOWN
PROJ. #	12037
PROJ. MGR	
PROJ. OFCR.	

SHEET TITLE:
STRUCTURAL
NOTES

SHEET NUMBER:

S0.0

GENERAL NOTES:

- THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2006 EDITION.
- DESIGN GRAVITY LOADS ARE AS FOLLOWS:
 - SUPERIMPOSED DEAD LOADS
 - SUPERIMPOSED LOADS 20 PSF
 - LIVE LOADS
 - FLOOR LOAD 40 PSF
 - ROOF 30 PSF
- WIND PRESSURES ARE AS PER SECTION 1609.0 OF THE INTERNATIONAL BUILDING CODE:
 - THE BASIC WIND SPEED 90 MILES PER HOUR
 - IMPORTANCE FACTOR, I 1.0
 - WIND EXPOSURE CATEGORY C
 - BASE SHEAR, V_u 10 KIPS
 - BASE SHEAR, V_y 20 KIPS
- SNOW LOADS ARE AS PER SECTION 1608.0 OF THE INTERNATIONAL BUILDING CODE:
 - TERRAIN CATEGORY B
 - SNOW EXPOSURE FACTOR, C_e 1.0
 - THERMAL FACTOR, C_t 1.0
 - SNOW LOAD IMPORTANCE FACTOR, I_s 1.0
 - GROUND SNOW LOAD 30 PSF
 - FLAT ROOF SNOW LOAD 30 PSF
 - ROOF MEMBERS SHALL BE DESIGNED FOR MINIMUM SNOW LOAD OF 30 PSF PLUS THE DRIFT PER IBC CODE AMENDMENTS.
- SEISMIC LOADS ARE AS PER SECTION 1613.0 OF THE INTERNATIONAL BUILDING CODE:
 - SHORT PERIOD RESPONSE ACCELERATION, S_{DS} 0.182
 - ONE SECOND PERIOD RESPONSE ACCELERATION, S_{1/2T} 0.090
 - SEISMIC USE GROUP II
 - SITE CLASS C
 - SEISMIC IMPORTANCE FACTOR 1.00
 - BASE STRUCTURAL SYSTEM BEARING WALL
 - BASIC SEISMIC FORCE-RESISTING SYSTEM ORDINARY PLAIN WOOD DIAPHRAGM SHEAR WALL
 - RESPONSE MODIFICATION COEFFICIENT, R_a 1.5
 - BASE SHEAR, V_u & V_y 3 KIPS
- THE STRUCTURE HAS BEEN DESIGNED FOR IN-SERVICE LOADS ONLY. THE METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL THE FLOOR AND ROOF OPENINGS WITH LATEST ARCHITECTURAL AND MEP DRAWINGS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT.

FOUNDATION & SLAB ON GRADE:

- AN ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF IS USED FOR THE DESIGN OF SPREAD FOOTINGS AND WALL FOOTINGS.
- ALL FOUNDATION SUBGRADE SHALL BE INSPECTED AND APPROVED UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION.
- FOUNDATION CONDITIONS NOTED DURING CONSTRUCTION, WHICH DIFFER FROM THOSE DISCLOSED HERE SHALL BE REPORTED TO THE ARCHITECT, STRUCTURAL ENGINEER, AND GEOTECHNICAL ENGINEER BEFORE GF-TIER CONSTRUCTION IS ATTEMPTED.
- CONCRETE SHALL NOT BE PLACED OVER FROZEN SOIL.
- CENTERLINE OF FOOTING SHALL MATCH THE CENTERLINE TO WALLS U.N.O.
- EXTERIOR FOOTING SHALL BE PLACED AT LEAST 2'-6" BELOW GRADE.
- SLAB-ON-GRADE SHALL BE 5 INCH THICK, REINFORCED WITH Ø8@21"X40"X4", PLACED ON 6 MIL. POLYETHYLENE SHEET OVER 8 INCH WASHED CRUSHED STONE U.N.O.
- SLAB-ON-GRADE SHALL HAVE ISOLATION JOINTS AT EACH COLUMN AS SHOWN IN TYPICAL DETAIL. SLAB-ON-GRADE SHALL HAVE CONSTRUCTION JOINT OR CONTROL JOINT AT A MAXIMUM SPACING OF 25 FEET.

STRUCTURAL STEEL:

- ALL MISCELLANEOUS STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC "SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- STRUCTURAL STEEL W-SHAPES SHALL CONFORM TO ASTM A-92 (GRADE 50), STEEL PLATES, ANGLES, CHANNELS, AND STEEL BARS SHALL CONFORM TO ASTM A36 or ASTM A572, ALL PIPES SHALL CONFORM TO ASTM A53, GRADE B. ALL STRUCTURAL TUBES SHALL CONFORM TO ASTM A500 GRADE C. THOSE MEMBERS INDICATED TO BE A36 STEEL SHALL CONFORM TO ASTM A36.
- SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR MADE WITH 3/4" DIAMETER HIGH STRENGTH BOLTS CONFORMING TO ASTM A325 OR ASTM A490 (STANDARD AISC FRAMED BEAM CONNECTIONS - REACTIONS ARE SHOWN ON PLAN).
- NO HOLES SHALL BE LOCATED IN FRANGES OF BEAMS FOR COLUMNS UNLESS APPROVED BY THE ENGINEER. NO FIELD CUTTING OF THE STEEL MEMBERS SHALL BE PERMITTED WITHOUT PRIOR AUTHORIZATION OF THE STRUCTURAL ENGINEER.
- STEEL BEAMS BEARING ON MASONRY OR CONCRETE WALLS SHALL HAVE STANDARD ANGLE WALL ANCHORS.
- SUBMIT SHOP DRAWINGS WHICH ADEQUATELY DEPICT THE STRUCTURAL ELEMENTS IN THE CONTRACT DOCUMENTS. PROVIDE STANDARD AISC FRAMED BEAM CONNECTIONS TYPICAL. CONNECTIONS SHALL BE DESIGNED FOR THE SERVICE LOAD REACTIONS VALUES SHOWN ON THE STRUCTURAL DRAWINGS. FOR STEEL MEMBERS W/ASCE REACTIONS ARE NOT SHOWN, THE DESIGN REACTION SHOULD BE HALF OF THE ALLOWABLE BEAM LOAD FOUND IN AISC TABLES.
- THE OWNER SHALL RETAIN THE SERVICES OF A QUALIFIED INSPECTOR TO INSPECT ERECTED STEEL AND CONNECTIONS.
- ALL THE STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED. STEEL NOT EXPOSED TO WEATHER SHALL BE PAINTED WITH AN APPROVED PAINT.

CONCRETE:

- ALL CONCRETE CONSTRUCTION INCLUDING DETAILING, FABRICATION, PLACEMENT OF REINFORCING, MIXING, HANDLING, PLACING, FINISHING, AND CURING SHALL CONFORM TO:
 - ACI 301 "STRUCTURAL CONCRETE FOR BUILDINGS".
 - ACI 318 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES"
 - ACI 318 "ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
- ALL CONCRETE SHALL BE NORMAL WEIGHT CONFORMING TO C88. CONCRETE SHALL HAVE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
 - FOOTINGS 3000 PSI
 - COLUMNS 4000 PSI
 - GROUT 3000 PSI
 - SLAB-ON-GRADE 3500 PSI
 - ELEVATED STRUCTURAL SLAB AND BEAMS 4000 PSI
- NORMAL WEIGHT COARSE AGGREGATE AND NATURAL FINE SAND AGGREGATE SHALL CONFORM TO ASTM C33. MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4 INCH.
- GROUND GRANULATED BLAST-FRANCE SLAG MAY BE USED AS A POZZOLAN TO REPLACE THE PORTION OF PORTLAND CEMENT IN A CONCRETE MIX, SUBJECT TO THE APPROVAL OF STRUCTURAL ENGINEER. GROUND GRANULATED BLAST-FRANCE WHEN USED, SHALL CONFORM TO ASTM C898.
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED WITH 6% AIR. ALL OTHER CONCRETE SHALL BE AIR ENTRAINED WITH 4% AIR.
- CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGN FOR EACH CONCRETE STRENGTH SHOWN IN CONSTRUCTION DOCUMENT FOR STRUCTURAL ENGINEER'S APPROVAL. THE CONCRETE MIX DESIGN SHALL BE PREPARED UNDER THE SUPERVISION OF PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION. THE SUBMITTED CONCRETE MIX DESIGN SHALL INCLUDE CONCRETE STRENGTH, SLUMP, AIR ENTRAINMENT, AGGREGATES, AND ADMIXTURE.
- OWNER SHALL RETAIN THE SERVICES OF A TESTING AGENCY TO PROVIDE TESTING OF CONCRETE INCLUDING COMPRESSIVE STRENGTH, TEMPERATURE, SLUMP, AND AIR ENTRAINMENT. TESTING AGENCY SHALL SUBMIT REPORTS TO ARCHITECT AND STRUCTURAL ENGINEER FOR THEIR REVIEW AND APPROVAL.
- ALL CONCRETE WORK INCLUDING PLACEMENT OF REINFORCING BARS, FORMWORK ETC. SHALL BE INSPECTED UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION.

CONCRETE COVER PROTECTION FOR REINFORCEMENT:

- MINIMUM CONCRETE COVER PROTECTION FOR REINFORCING BARS AND WIRE MESH SHALL BE AS FOLLOWS:
 - FOOTINGS 3 INCH
 - SLAB-ON-GRADE 2 INCH (TOP)
 - COLUMNS 1-1/2 INCH
 - PLASTER 2 INCH
 - BEAMS 1-1/2 INCH
 - STRUCTURAL SLABS 3/4 INCH
 - WALLS BELOW GRADE (BACKFILLED SIDE) 2 INCH

STEEL REINFORCEMENT:

- REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
- COLUMN TIES SHALL CONFORM TO ASTM A615, GRADE 40, U.N.O.
- REINFORCEMENT BARS SHALL NOT BE TACK WELDED, WELDED, OR HEATED UNLESS SHOWN ON CONSTRUCTION DOCUMENT OR APPROVED BY STRUCTURAL ENGINEER.
- WELDED WIRE MESH SHALL CONFORM TO ASTM A185 AND SHALL LAP TWO MESH AT SPICE.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING ALL REINFORCEMENT BARS, PLACEMENT, AND LOCATION OF COLD JOINTS FOR THE APPROVAL OF STRUCTURAL ENGINEER.

WELDING:

- WELDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY "STANDARD CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION" (AWS D1.1), LATEST EDITION, AND SHALL BE PERFORMED BY CERTIFIED WELDERS ONLY.
- ALL WELDS SHALL BE 3/16" FILLET WELDS UNLESS OTHERWISE NOTED. ALL PARTIAL AND FULL PENETRATION WELDS SHALL BE PERFORMED BY WELDERS CERTIFIED TO PERFORM SUCH WELDS. ALL PARTIAL AND FULL PENETRATION WELDS ARE SUBJECT TO TESTING AS DIRECTED BY ENGINEER.

MASONRY:

- SOLID MASONRY SHALL BE GRADE M IN ACCORDANCE WITH ASTM C-20 AND MAY BE 75% SOLID, U.N.O. HOLLOW MASONRY UNITS SHALL BE GRADE M1 CONFORMING TO ASTM C-90. ALL MORTAR SHALL CONFORM TO ASTM C270, AND SHALL BE PORTLAND CEMENT / LIME MORTAR. MASONRY CEMENT SHALL NOT BE ACCEPTABLE.
- MORTAR IN BEARING WALLS SHALL BE TYPE 'S'. MORTAR IN NON-BEARING WALLS MAY BE TYPE 'N'. MORTAR BELOW GRADE SHALL BE TYPE 'M'. ALL MORTAR JOINTS IN MASONRY WALLS (HORIZONTAL & VERTICAL) SHALL BE FILLED 100% WITH MORTAR.
- PROVIDE CARE TO ELIMINATED EXCESSIVE MORTAR IN AIR SPACE OF CAVITY WALLS.
- PROVIDE DAMP-PROOFING ON EXTERIOR FACE OF MASONRY WALLS BELOW GRADE.
- PROVIDE A MINIMUM OF 3 COURSES OF SOLID BRICK, ONE COURSE 100% SOLID BLOCK, OR A CONTINUOUS BOND BEAM AT BEARING OF JOISTS, BEARING WALLS OR SUPPORTED SLABS.
- PROVIDE CONTROL JOINTS IN MASONRY WALLS AT 30'-0" MAXIMUM OR AS SHOWN ON ARCHITECTURAL DRAWINGS.
- ALL PORTIONS OF BEARING WALLS HAVING A HORIZONTAL CROSS SECTION OF 4 SQUARE FEET OR LESS SHALL BE OF SOLID MASONRY DOWN TO FOOTINGS.
- PROVIDE HORIZONTAL MASONRY REINFORCING (BUR-O-WALL OR EQUAL) AT 16" O.C. IN ALL MASONRY WALLS U.N.O.
- USE BUCKETS TO MEASURE MATERIALS FOR MIXING MORTAR. GROUT SHALL BE SAND AND CEMENT, 8 BAGS OF CEMENT PER CUBIC YARD.
- PROVIDE 12 GAGE GALVANIZED MASONRY STRAPS WITH 3/16" DIAMETER TIES @ 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY BETWEEN VENEER WALLS AND BACK-UP. MASONRY TIE ASSEMBLIES SHALL BE SCREWED (NOT NAILED) TO WOOD AND LIGHT GAGE STUD BACKUP. PROVIDE DOVETAIL ANCHOR SLOTS AT 24" O.C. WHERE MASONRY ABUTS CONCRETE.
- THE OWNER SHALL RETAIN THE SERVICES OF A QUALIFIED INSPECTOR TO INSPECT ALL MASONRY CONSTRUCTION IN ACCORDANCE WITH LEVEL 2 QUALITY ASSURANCE AS DEFINED BY ACI 530-99/ASCE 5-99 / TMS 402-99.
- CONTRACTOR SHALL PROVIDE TESTS AND SUBMITTALS IN ACCORDANCE WITH LEVEL 2 QUALITY ASSURANCE AS DEFINED BY ACI 530-99/ASCE 5-99 / TMS 402-99.

TIMBER FRAMING:

- DIMENSIONAL LUMBER FOR POSTS, BEAMS AND JOISTS SHALL BE DOUGLAS FIR-LARCH SELECT STRUCTURAL OR APPROVED EQUAL WITH THE FOLLOWING MINIMUM PROPERTIES: F_b = 2142 PSI, E = 1,900,000 PSI, F_v = 625 PSI, F_y = 207 PSI.
- WALL TOP PLATES AND SILL PLATES SHALL BE SOUTHERN PINE NO. 2 WITH THE FOLLOWING MINIMUM PROPERTIES: F_b = 1500 PSI, E = 1,600,000 PSI, F_v = 90 PSI.
- WALL STUDS SHALL BE SPRUCE PINE FIR NO. 1 AND 2 OR APPROVED EQUAL WITH THE FOLLOWING MINIMUM PROPERTIES: F_b = 875 PSI, E = 1,400,000 PSI, F_c = 1150 PSI, F_v = 70 PSI.
- FLOOR JOISTS SHALL BE DESIGNED FOR L/480 MAXIMUM DEFLECTION.
- FRAMING LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.
- ROOF SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING OR OSB AND SHALL BE ATTACHED TO RAFTERS OR ROOF TRUSSES WITH 16D COMMON NAILS SPACED NO MORE THAN 4" O.C. PROVIDE PLYWOOD CLIPS SPACED NO MORE THAN 12" O.C. EXCEPT ON ROOFS TO RECEIVE FINISH METAL.
- PROVIDE DIAGONAL LET-IN BRACING, 12 GAGE DIAGONAL STRAPS OR PLYWOOD SHEATHING AT ALL CORNERS OF EXTERIOR WOOD-FRAMED WALLS U.N.O.
- JOISTS OR TRUSSES RUNNING PARALLEL TO MASONRY WALLS SHALL BE ANCHORED TO THE WALLS WITH 3/16"x2" STEEL STRAP ANCHORS AT 4'-0" O.C. TOP AND BOTTOM, OR APPROVED ALTERNATIVE.
- WOOD JOISTS AND BEAMS SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE ENGINEER.
- LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST DECAY.
- ALL HARDWARE AND FASTENERS FOR PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL OR TRIPLE ZINC G-165 GALVANIZED.
- PROVIDE DOUBLE JOISTS BELOW NON-BEARING PARTITIONS PARALLEL TO JOISTS, U.N.O.
- PROVIDE APPROVED HEAVY DUTY FRAMING ANCHORS AT ALL BEAM CONNECTIONS NOT DIRECTLY OVER BEARING WALLS OR COLUMNS AS MANUFACTURED BY TICO, SIMPSON, ETC.
- PROVIDE APPROVED WOOD POST BASE ASSEMBLIES AS REQUIRED AT BEARING CONDITIONS.
- PROVIDE END SEALER AND CUT BEAMS OF ALL LUMBER TO BE UTILIZED BELOW GRADE OR IN CONTACT WITH MSY, CONCRETE OR GRADE.
- ALL ORDERS AND BEAMS TO BE SUPPORTED BY (2)X6 STUDS ALL THE WAY TILL FOUNDATION U.N.O.

WOOD TRUSSES:

- SHALL BE DESIGNED TO RESIST ANTICIPATED DEAD LOADS, LIVE LOADS AND ANY MECHANICAL EQUIPMENT LOADS INDICATED ON THE DRAWINGS.
- TRUSSES SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENING".
- FLOOR TRUSSES SHALL BE DESIGNED SUCH THAT THE CALCULATED LIVE LOAD DEFLECTION IS LIMITED TO SPAN/480.
- SHOP DRAWINGS INCLUDING AN ERECTIONS PLAN AND DETAILS INDICATING DIMENSIONS, FORCES, LUMBER SIZES, GRADES, CONNECTOR SIZES AND PROPERTIES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION.
- SEE MECHANICAL DRAWINGS FOR ANY ROOFTOP EQUIPMENT.
- CONTRACTOR SHALL ADEQUATELY BRACE TRUSSES UNTIL SHEATHING IS IN PLACE AND ROOF SYSTEM IS STABILIZED AGAINST EXTERIOR FORCES.

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STRUCTURAL WORK IN GENERAL
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Structural Eng. Section

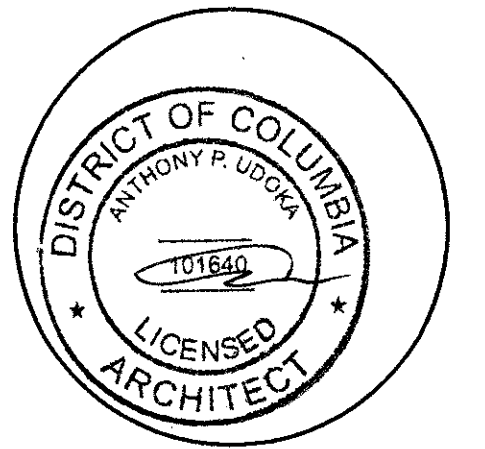
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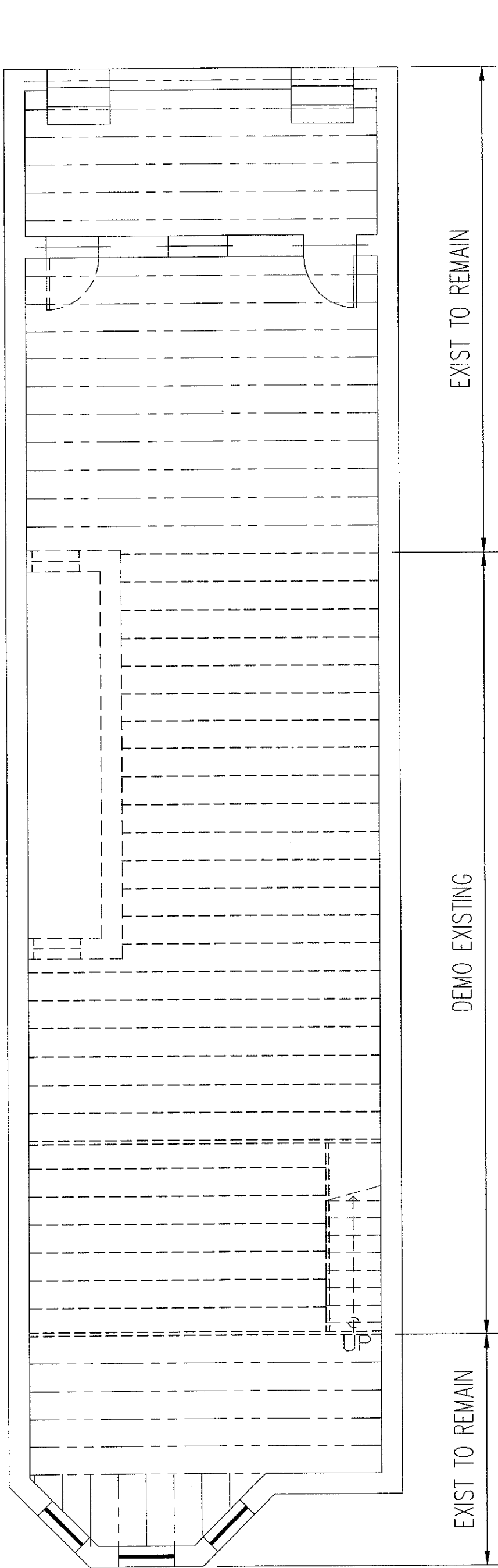
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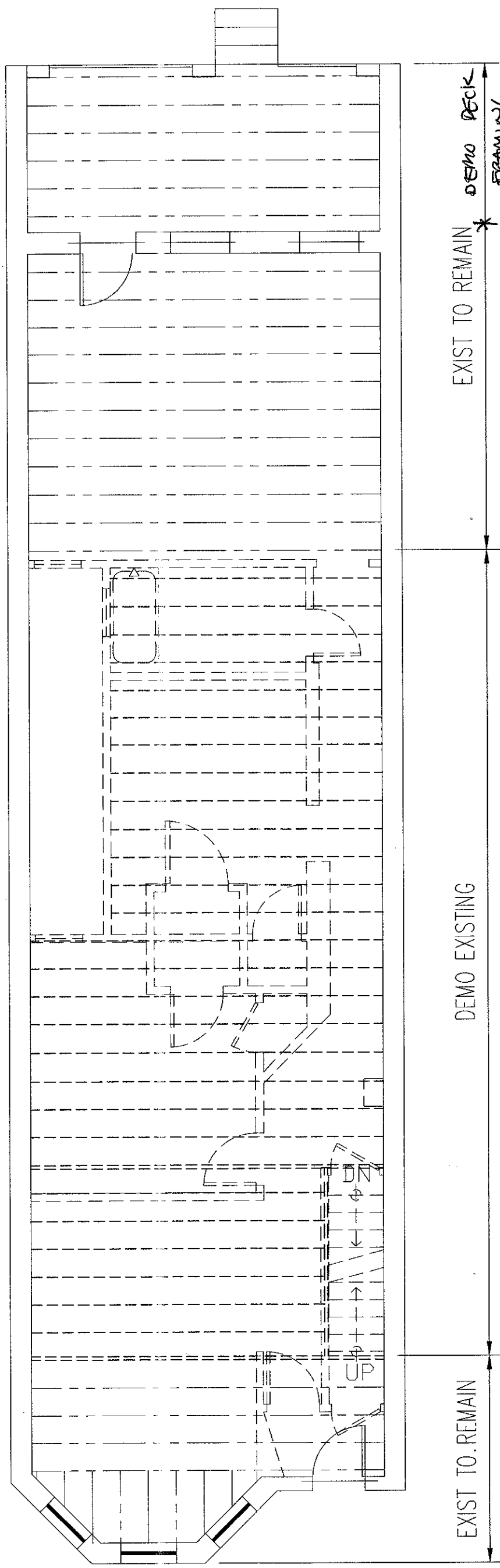
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PLAN

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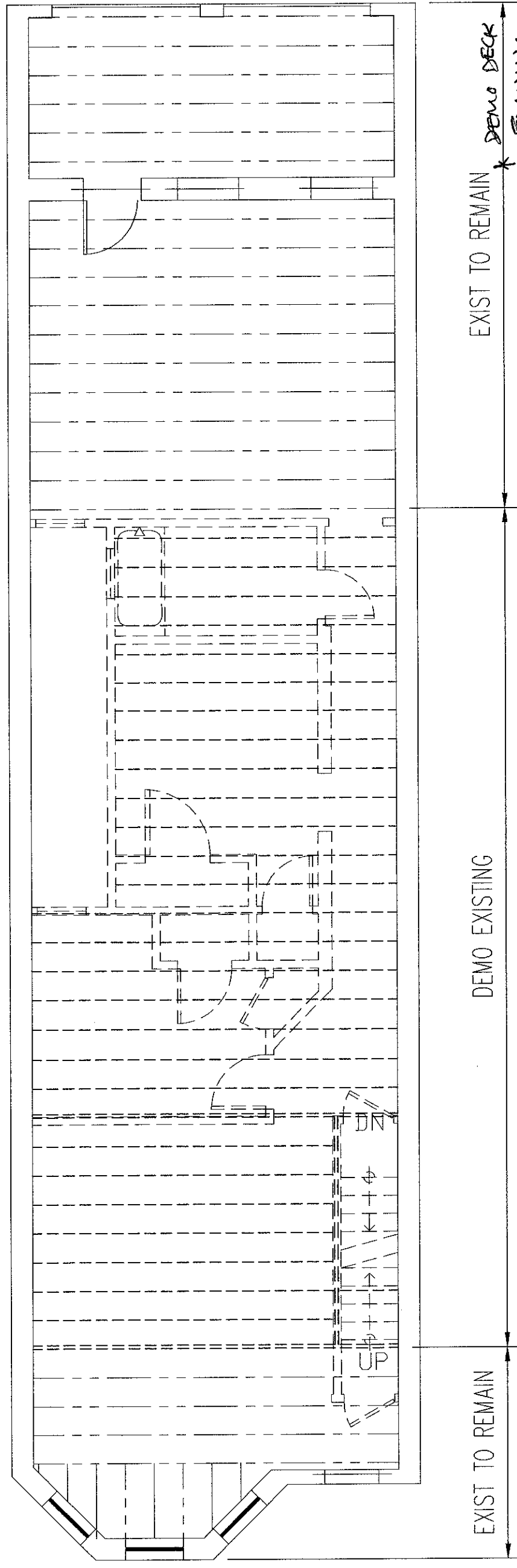
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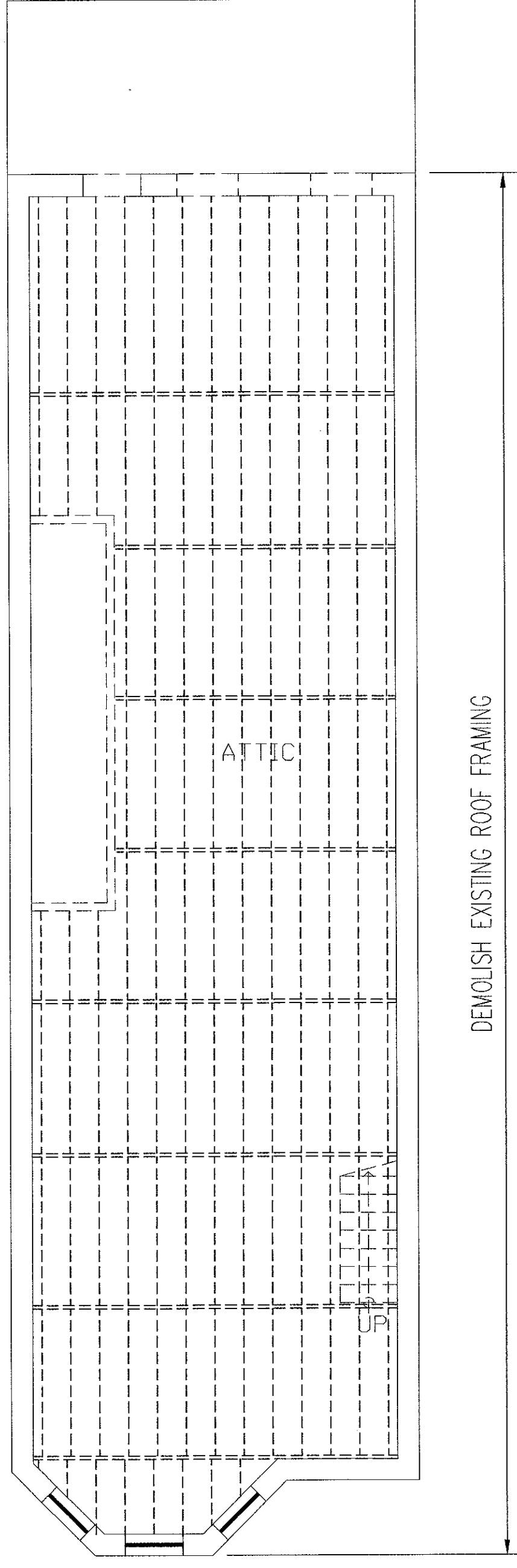
41 FIRST FLOOR FRAMING PLAN
S0.1 3/16"= 1'-0"



42 SECOND FLOOR FRAMING PLAN
S0.1 3/16"= 1'-0"



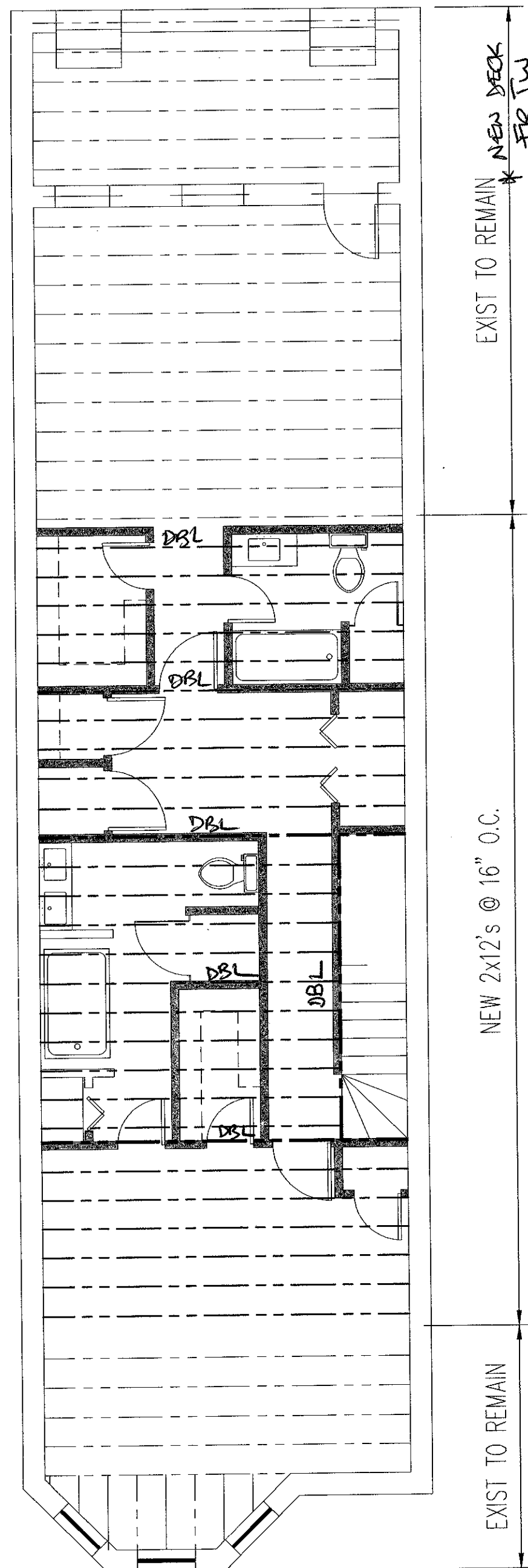
43 THIRD FLOOR FRAMING PLAN
S0.1 3/16"= 1'-0"



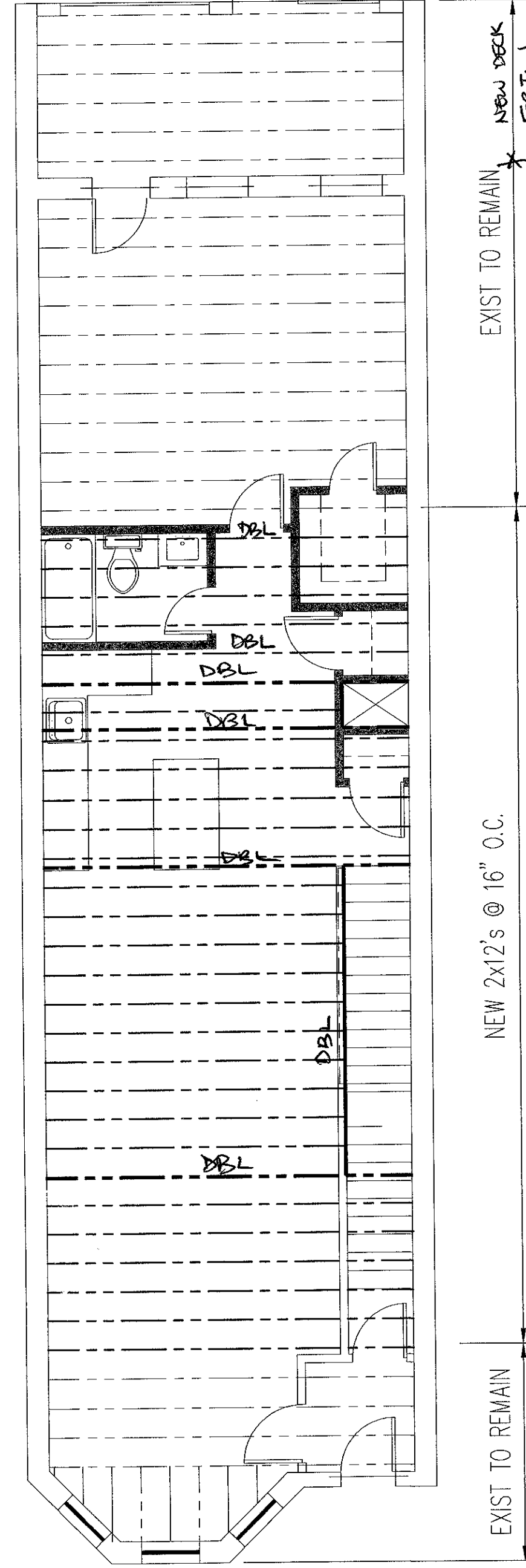
44 ROOF FRAMING PLAN
S0.1 3/16"= 1'-0"

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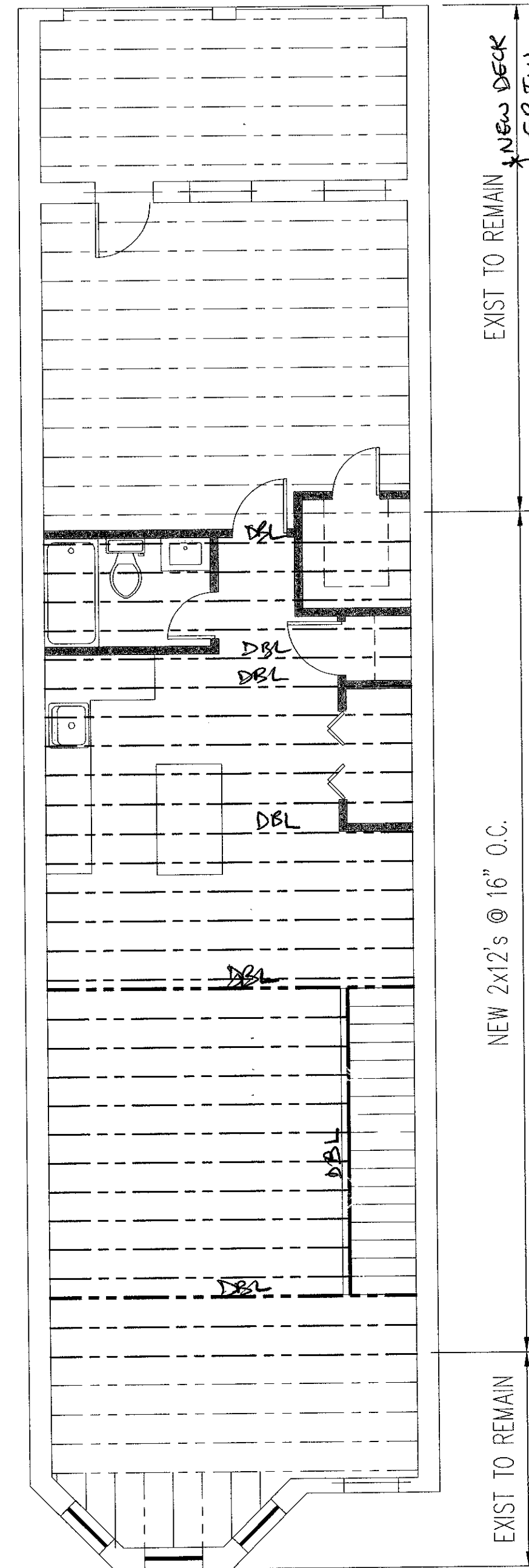
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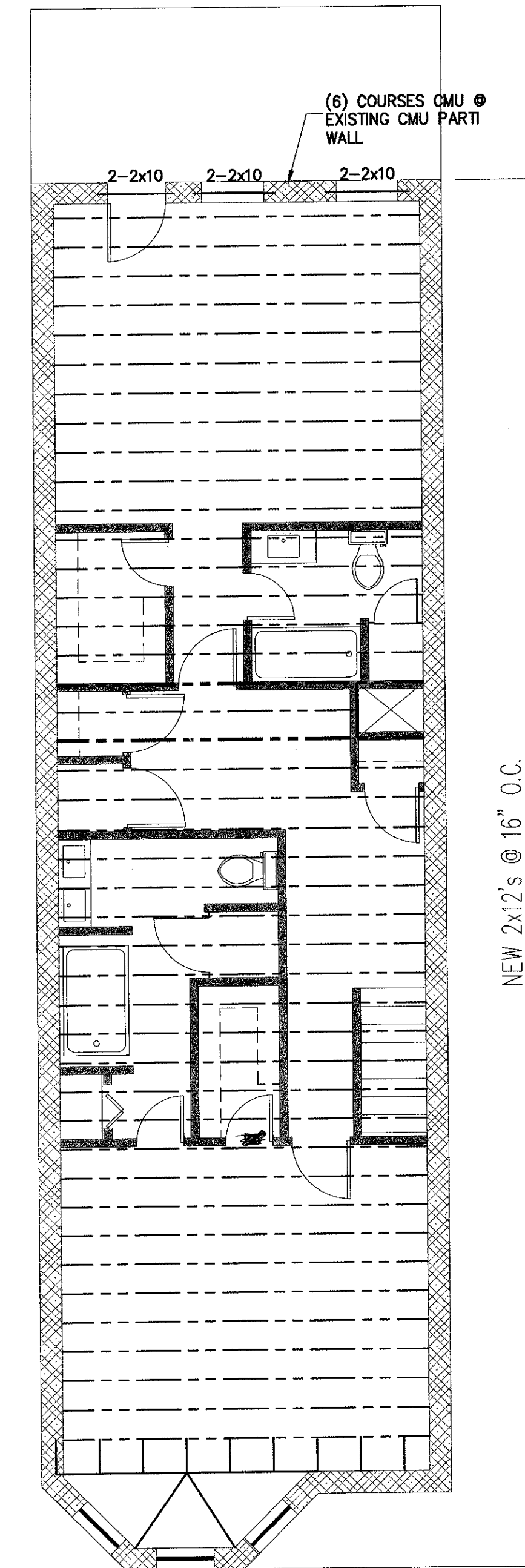
31 FIRST FLOOR FRAMING PLAN
S1.1 3/16"= 1'-0"



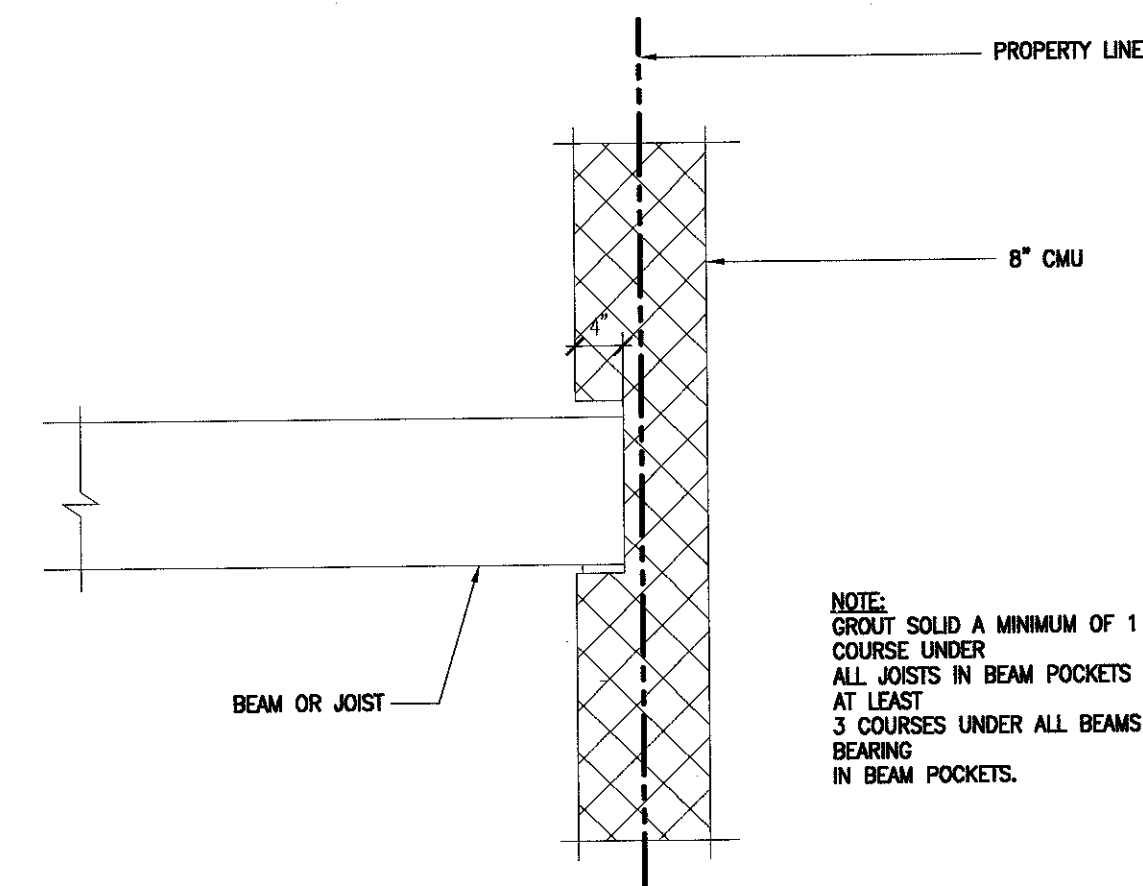
32 SECOND FLOOR FRAMING PLAN
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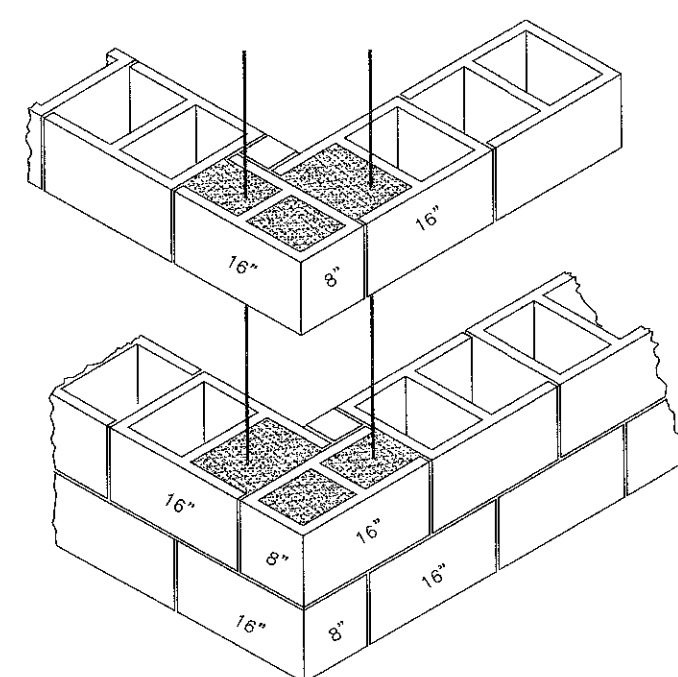
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S1.1 3/16"= 1'-0"



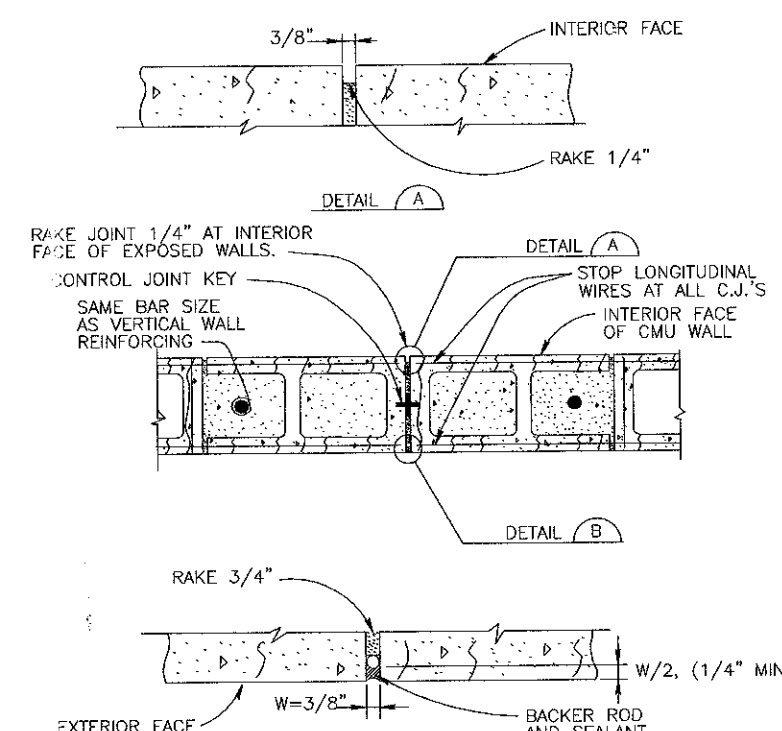
34 ROOF FRAMING PLAN
S1.1 3/16"= 1'-0"



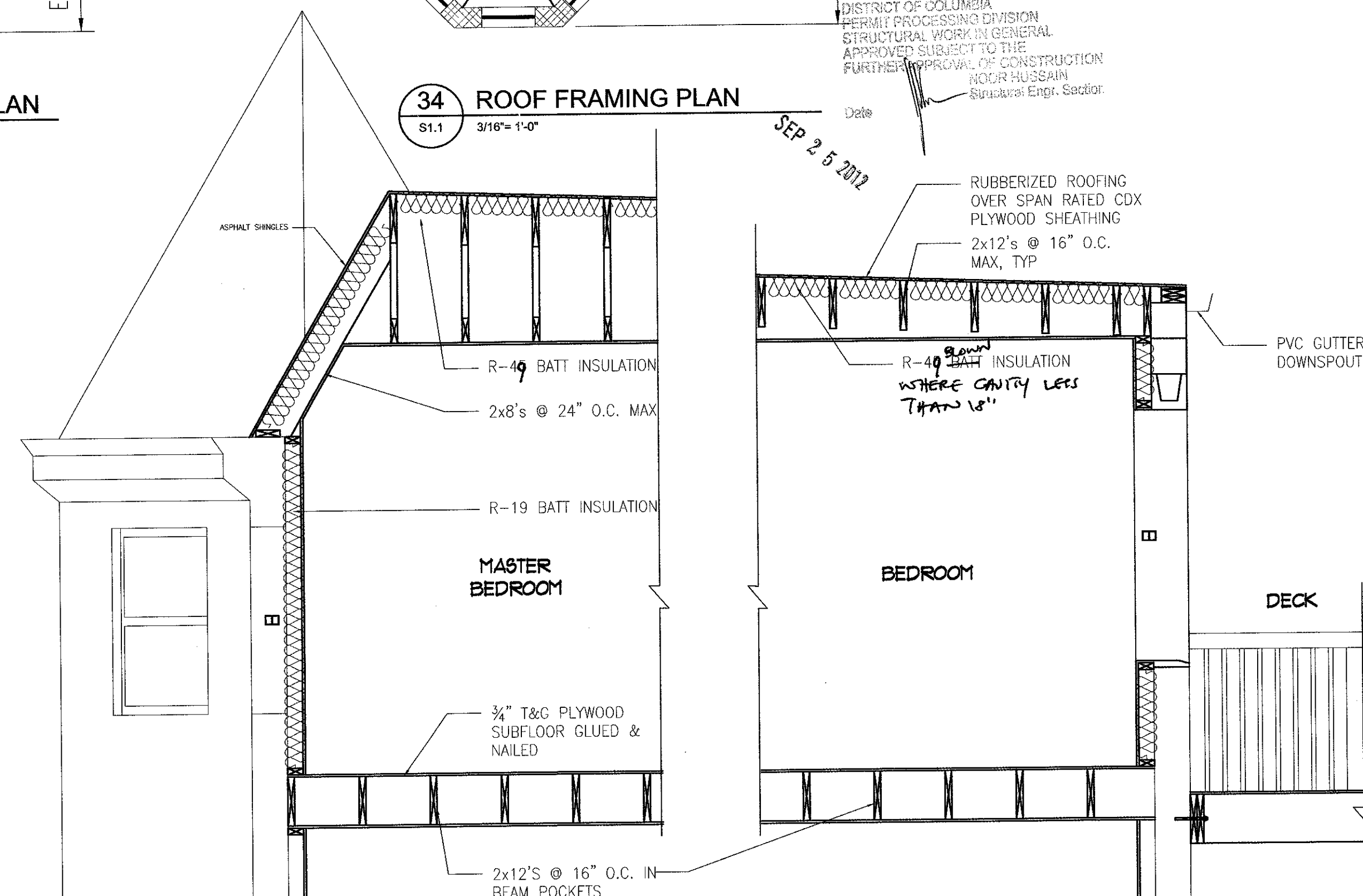
41 CMU BEAM POCKET DETAIL
S1.1 3/4"= 1'-0"



42 CMU CORNER DETAIL
S1.1 3/4"= 1'-0"



43 EXPANSION JOINT DETAIL
S1.1 3/4"= 1'-0"



44 TRANSVERSE SECTION
S1.1 3/4"= 1'-0"

LEGEND:

- BEARING WALL
- SHEAR WALL TYPE
- INTERIOR BRACING WALL

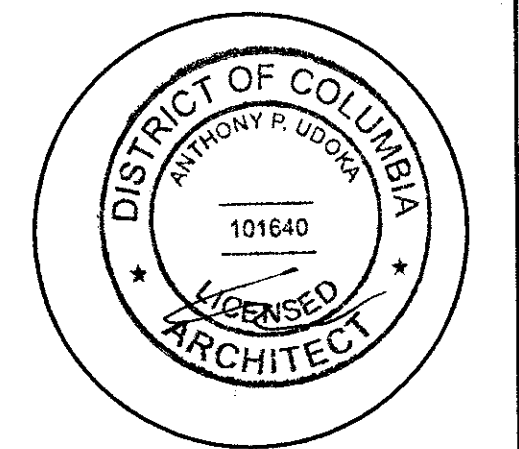
FRAMING NOTES:

- NAIL SPACING @ ROOF SHEATHING NOT TO EXCEED 4" O.C.
- ALL WOOD IN CONTACT WITH CONCRETE, CMU, OR GRADE SHALL BE PRESSURE TREATED
- USE DOUGLASS FIR-LARCH SELECT STRUCTURAL GRADE WOOD FOR ALL STRUCTURAL MEMBERS



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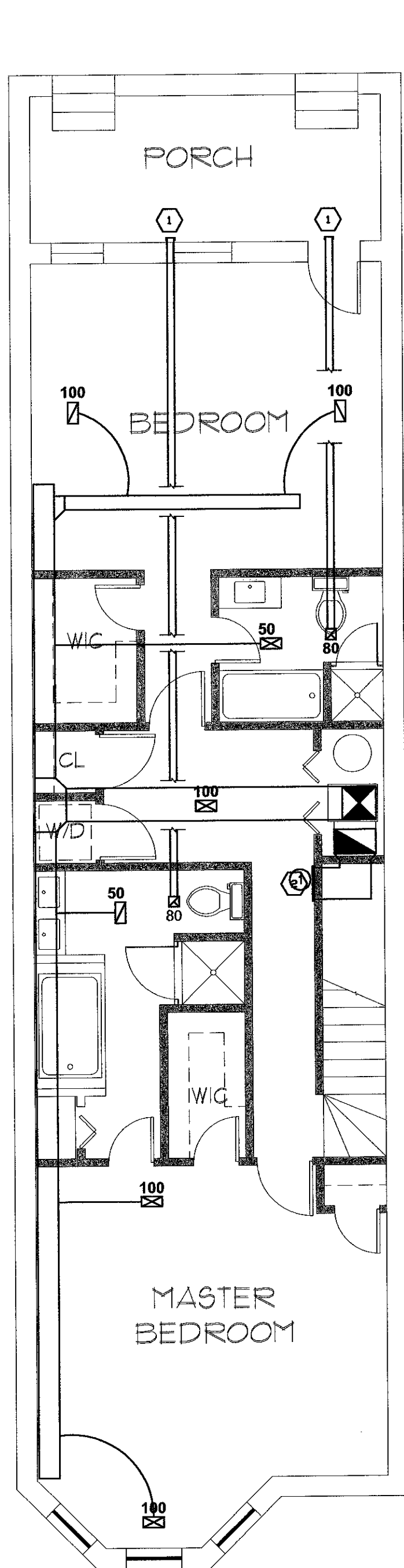
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SCALE AS SHOWN
PROJ. # 12037
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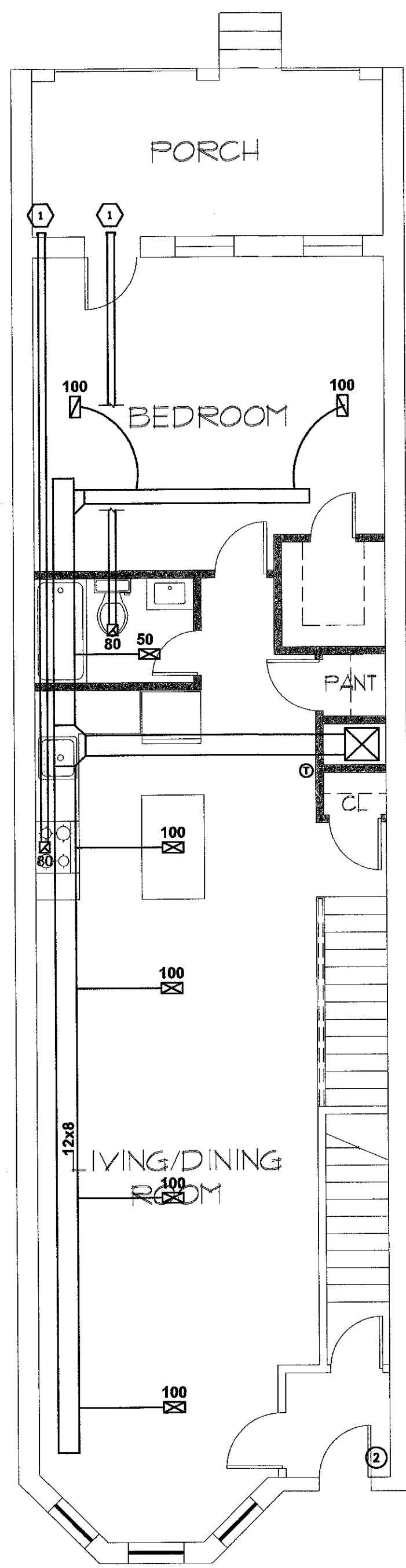
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STRUCTURAL FRAMING
PLANS, NOTES & DETAILS

SHEET NUMBER:

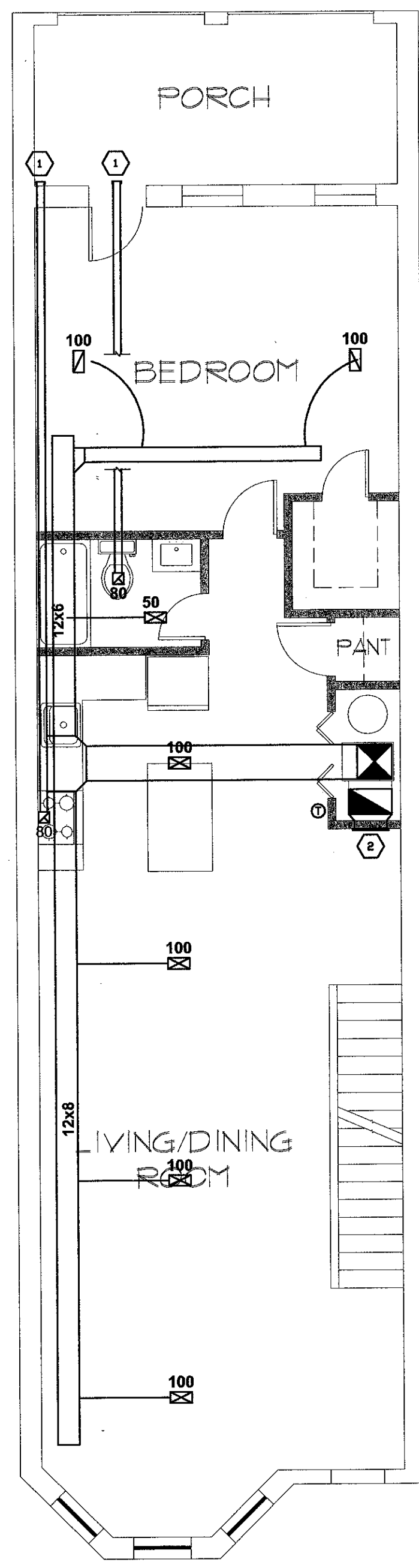
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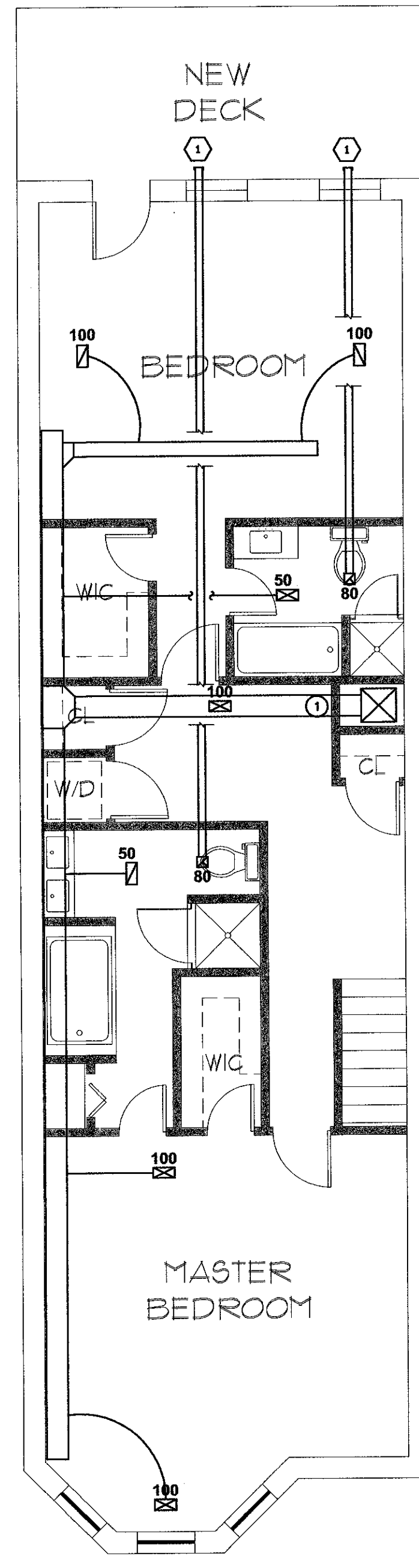
41 BASEMENT PLAN (UNIT A)
M1.1 3/16" = 1'-0"



42 1ST FLOOR PLAN (UNIT A)
M1.1 3/16" = 1'-0"



43 2ND FLOOR PLAN - (UNIT B)
M1.1 3/16" = 1'-0"



44 3RD FLOOR PLAN - (UNIT B)
M1.1 3/16" = 1'-0"

MECHANICAL LEGEND:

- XX SUPPLY REGISTER, XX CFM
- VERTICAL SUPPLY DOWN
- RETURN GRILLE
- ROUND EXHAUST UP THROUGH ROOF
- RETURN AIR DUCT
- RECTANGULAR/ROUND BRANCH TAKE-OFF
- ECCENTRIC CONVERGING TRANSITION
- CONCENTRIC CONVERGING TRANSITION
- ROOM THERMOSTAT/SENSOR

KEYED NOTES (THIS SHEET):

- 1 WALL CAP WITH BACKDRAFT DAMPER
- 2 RETURN AIR GRILLE, SIDEWALL MOUNTED. COORDINATE WITH ARCHITECTURE FOR THE MOUNTING HEIGHT. SEE THE DIFFUSERS, REGISTERS, AND GRILLE SCHEDULE FOR PERFORMANCE DATA.

GEN MECHANICAL NOTES:

- ALL METAL DUCTWORK SHALL BE CONSTRUCTED FROM G90 GALVANIZED STEEL. THE DUCTWORK SHALL BE CONSTRUCTED FOR A 0.5" W.C. PRESSURE CLASSIFICATION AS PER SMACNA
- ALL ROUND DUCTWORK ROUTED TO A SUPPLY REGISTER SHALL TRANSITION TO THE DUCTWORK RUNOUT SIZE INDICATED ON THE DIFFUSERS, REGISTERS AND GRILLES SCHEDULE PRIOR TO CONNECTION TO THE SUPPLY REGISTER
- PROVIDE 2"Ø COMBUSTION AIR PIPE. COMBINE WITH 2"Ø FLUE VENT PIPE INTO A 3"Ø CONCENTRIC VENT PIPE. ROUTE 3"Ø CONCENTRIC VENT PIPE TO THE ROOF. TERMINATE WITH A ROOF TERMINATION KIT, AS PER THE MANUFACTURERS' RECOMMENDATIONS.

EXHAUST FAN									
MARK	TYPE/MOUNTING	LOCATION	MANUFACTURER	MODEL	CFM	VOLTS	AMPS	RPM	REMARKS
EF-1	CEILING MT'D	BATHROOM	BROAN	QTR080	80	120	0.2	360	PROVIDE DEDICATED SWITCH
EF-2	RANGE HOOD	KITCHEN	ARIETTA	BEKOR GLASS 30	400	120	4.5	1550	HORIZONTAL DISCHARGE

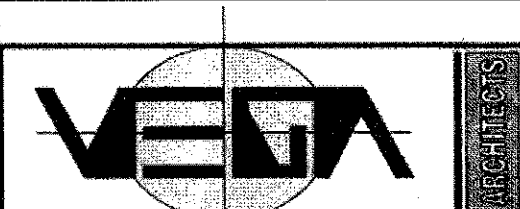
FURNACE									
MARK	MFGR	MODEL	FAN	FUEL	BTUH IN	BTUH OUT	GAS	FILTER SIZE	REMARKS
GF-1	CARRIER	58MVBI20F10014	11,880 CFM @ 0.5" WC (E.S.P.) @ FLA: 7.7 @ 0.5 HP	NATURAL GAS	120,000	113,000	1/2" Ø	16x25x1	2 STAGE, VAR. SPEED w/HUMIDIFIER COOLING COIL CAPVP3617A, 3" TERMINATION CONCENTRIC KIT

DIFFUSERS, REGISTERS AND GRILLES					
DESCRIPTION	MANUFACTURER	MODEL	COLLAR SIZE	FACE/OPENING SIZE	REMARKS
CEILING REGISTER	TITUS	300FS	6"x6"	6"x6"	CFM RANGE: 0-80
RETURN GRILLE	TITUS	350RLF	24"x16"	VARIES, SEE PLANS	CFM RANGE: 81-1,065 @ WITH FILTER

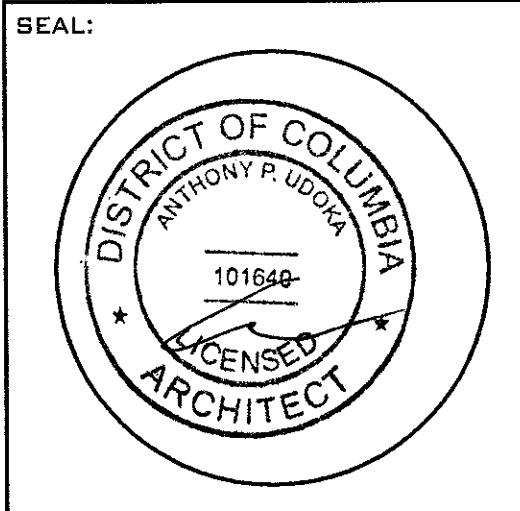
CONTROLS					
MARK	DESCRIPTION	MANUFACTURER	MODEL	MOUNTING	HEIGHT AFF
T-1	PROGRAMMABLE THERMOSTAT	CARRIER	TSTATCCPAC01-B	WALL	60"

THE GENERAL LAYOUT OF THE MECHANICAL SYSTEMS AND/OR THE MECHANICAL EQUIPMENT SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.

Date: SEP 24 2012
Mechanical Engineering Section



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MECHANICAL PLANS

SHEET NUMBER:

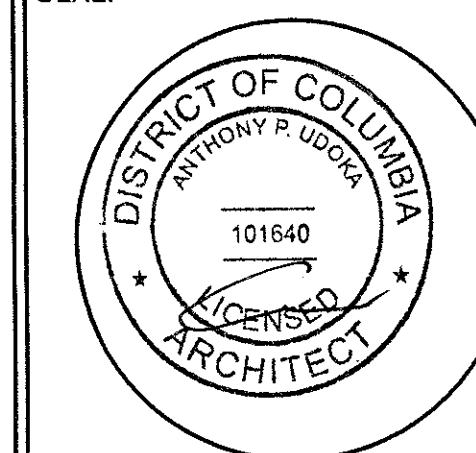
M1.1

---G--- GAS PIPING
 ————— COLD WATER
 - - - - - HOT WATER
 GAS METER
 WATER METER



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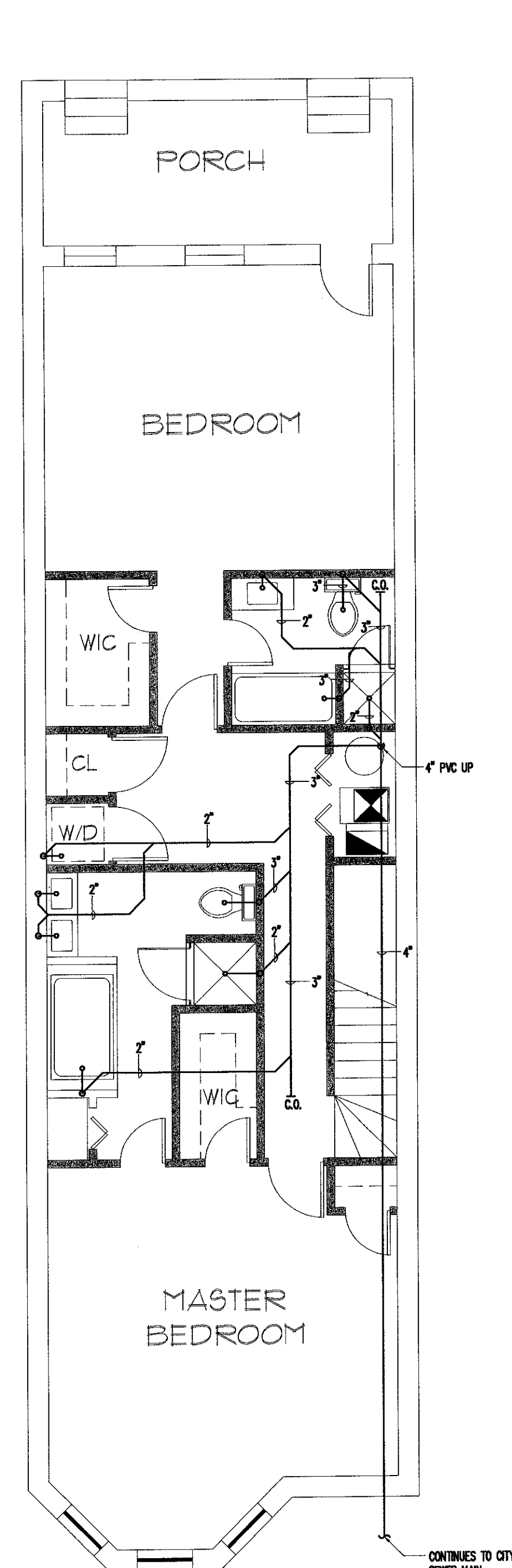
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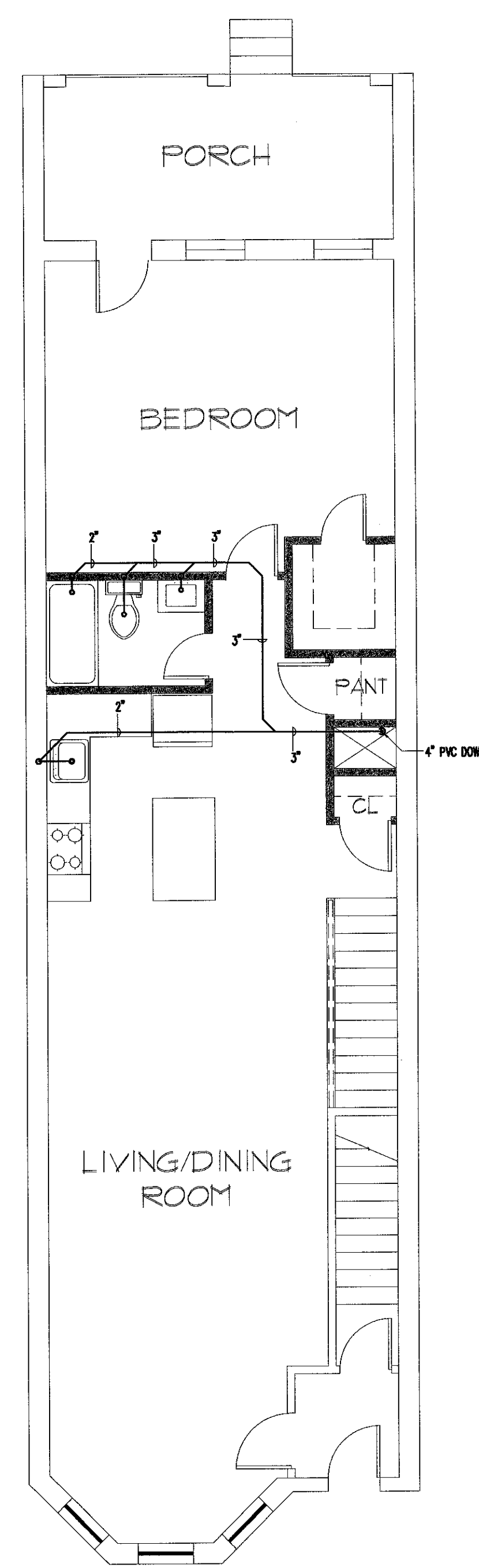
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SHEET NUMBER:

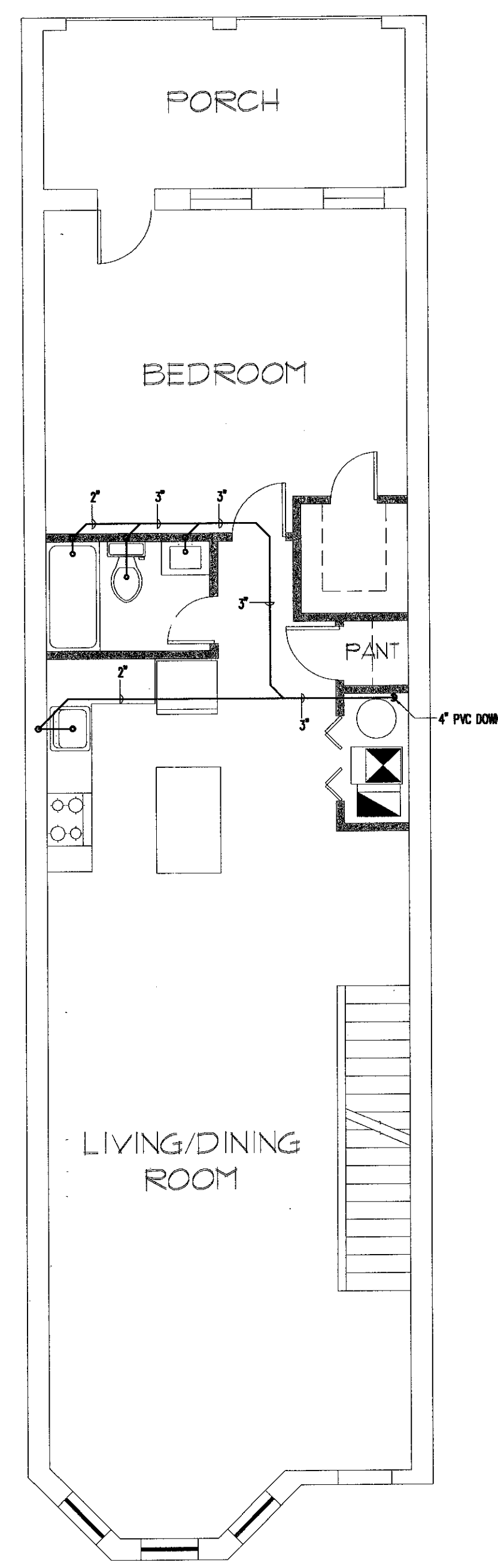
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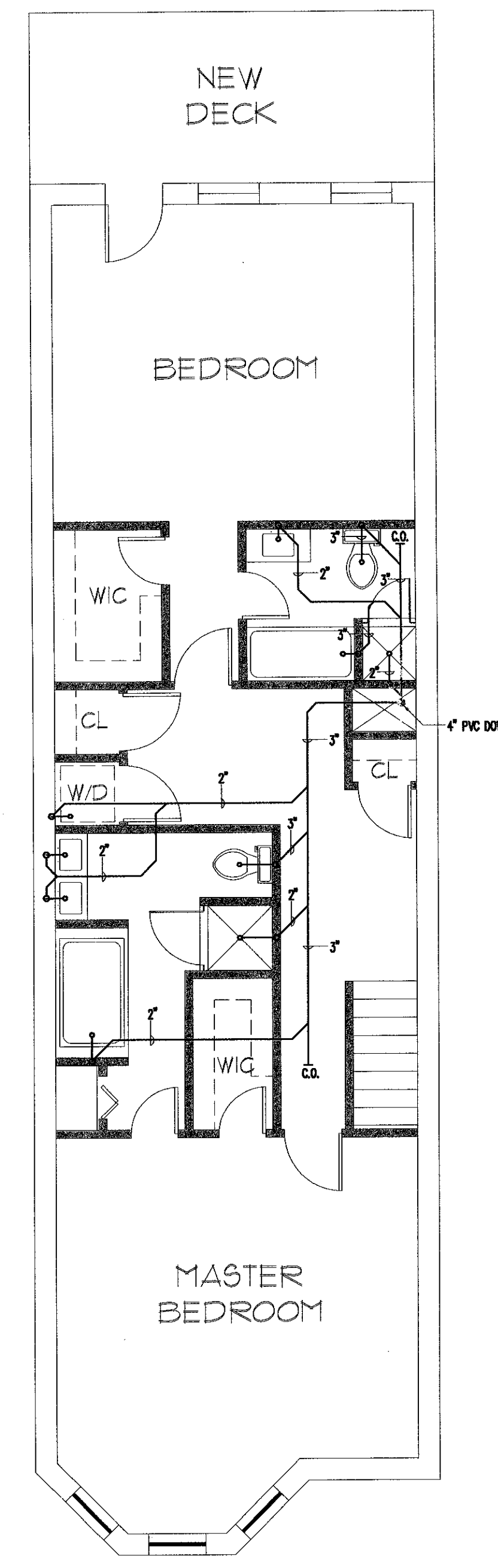
41 BASEMENT PLAN (UNIT A)
P1.1 3/16" = 1'-0"



42 1ST FLOOR PLAN (UNIT A)
P1.1 3/16" = 1'-0"



43 2ND FLOOR PLAN - (UNIT B)
P1.1 3/16" = 1'-0"



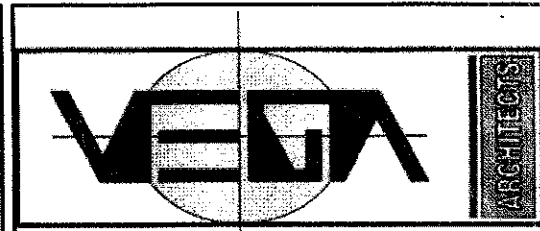
44 3RD FLOOR PLAN - (UNIT B)
P1.1 3/16" = 1'-0"

1. MINIMUM SLOPE FOR DRAINAGE PIPING 6" OR LESS IN DIAMETER SHALL BE 1/8" PER FOOT.
2. ALL UNDERGROUND SANITARY PIPING SHALL BE HUB & SPIGOT SCHEDULE 40 PVC.
3. ALL ABOVE GROUND SANITARY PIPING SHALL BE HUBLESS CAST IRON WITH STAINLESS STEEL CLAMP-AND-SHEILD ASSEMBLY.
4. ALL EQUIPMENT INSTALLED ABOVE THE CEILING PLENUM SHALL HAVE A MINIMUM FLAME SPREAD/SMOKE DEVELOPED RATING OF 25/50 IN ACCORDANCE WITH ASTM E84.
5. ALL HORIZONTAL BRANCH VENTS TO BE SLOPED AT 8% MAX.
6. ALL SANITARY VENT PIPING SHALL BE ROUTED ABOVE THE CEILING. PIPING SHALL BE SUPPORTED FROM ROOF MEMBERS WITH CLEVIS HANGERS AND BEAM CLAMPS.

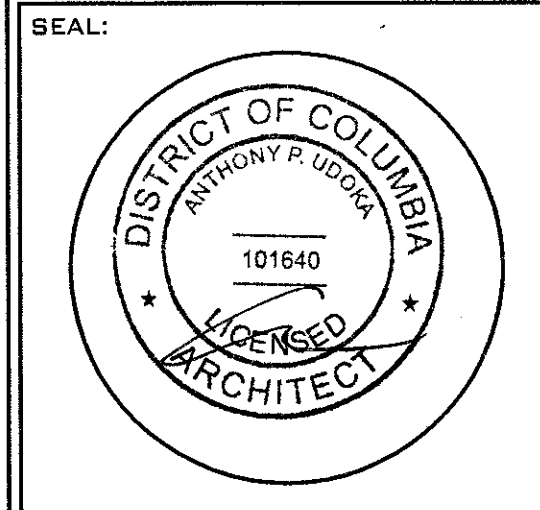
THE GENERAL LAYOUT OF THE GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.

Date: SEP 24 2012 *CP*

Mechanical Engineering Section



ARCHITECTS, LLC
ARCHITECTURE | SPACE PLANNING | INTERIOR DESIGN



MARK	REVISION	DATE

CLIENT:

PROJECT TITLE:

18 T STREET NE
WASHINGTON, DC 20002

DESIGNER	VEGA
DRAFTER	AU
CHECKED	AU
DATE	9/8/12
SCALE	AS SHOWN
PROJ. #	12037
PROJ. MGR	
PROJ. OFCR.	

SHEET TITLE:

PLUMBING WATER PLANS

SHEET NUMBER:

P2.1

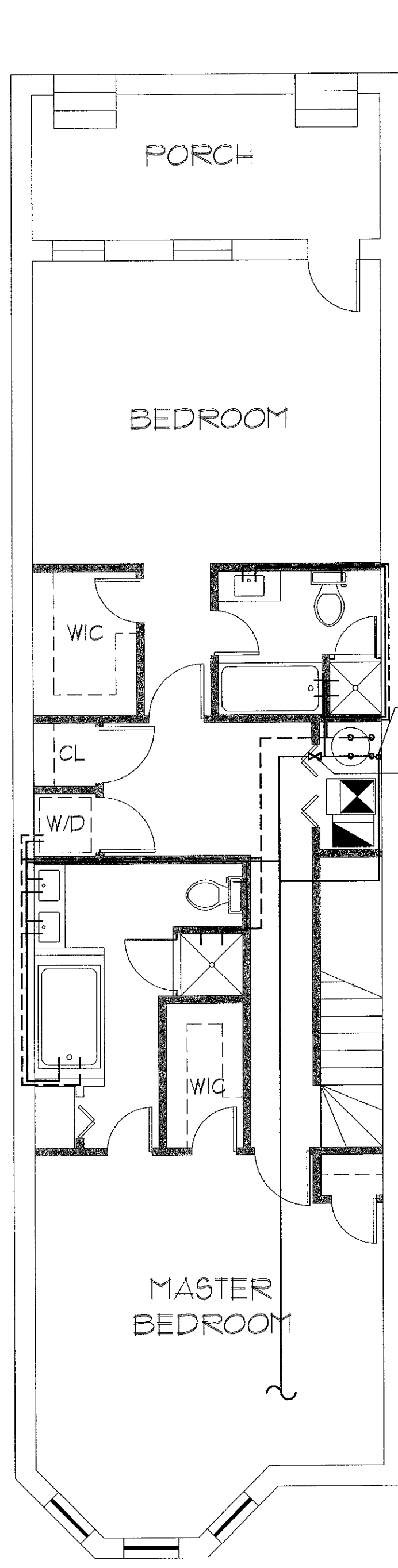
PLUMBING LEGEND:

- GAS PIPING
- COLD WATER
- HOT WATER
- GAS METER
- WATER METER

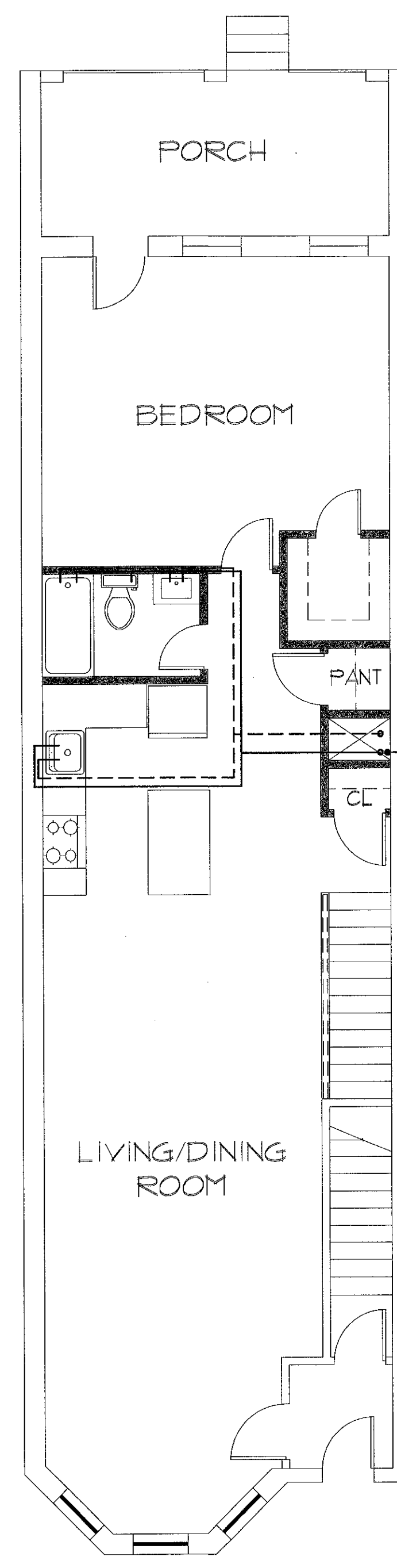
PLUMBING NOTES:

- CONTRACTOR SHALL FIELD VERIFY LOCATION OF SERVICE ENTRY PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCY IN LOCATION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT
- ALL BRANCH PIPING SHALL BE 3/4" Ø U.N.O.
- ALL PIPING FEEDING PLUMBING FIXTURES SHALL BE 1/2" Ø U.N.O.
- ALL ABOVE GROUND COPPER PIPING SHALL BE TYPE 'L' COPPER TUBING. THE PIPING SHALL BE INSULATED WITH MOLDED FIBERGLASS INSULATION w/REINFORCED KRAFT FOIL. PIPE SHALL BE CONCEALED IN WALL TO FULLEST EXTENT POSSIBLE.
- ALL BELOW GROUND DOMESTIC WATER PIPE SHALL BE TYPE 'K' COPPER TUBING. THERE SHALL BE NO JOINTS IN UNDERGROUND DOMESTIC WATER.
- ALL PIPING SHALL BE PROVIDED WITH SECTIONAL SHUT OFF VALVES AND ACCESS PANELS FOR ALL CONCEALED VALVES, PROVIDE ISOLATION VALVES FOR ALL PLUMBING FIXTURES.

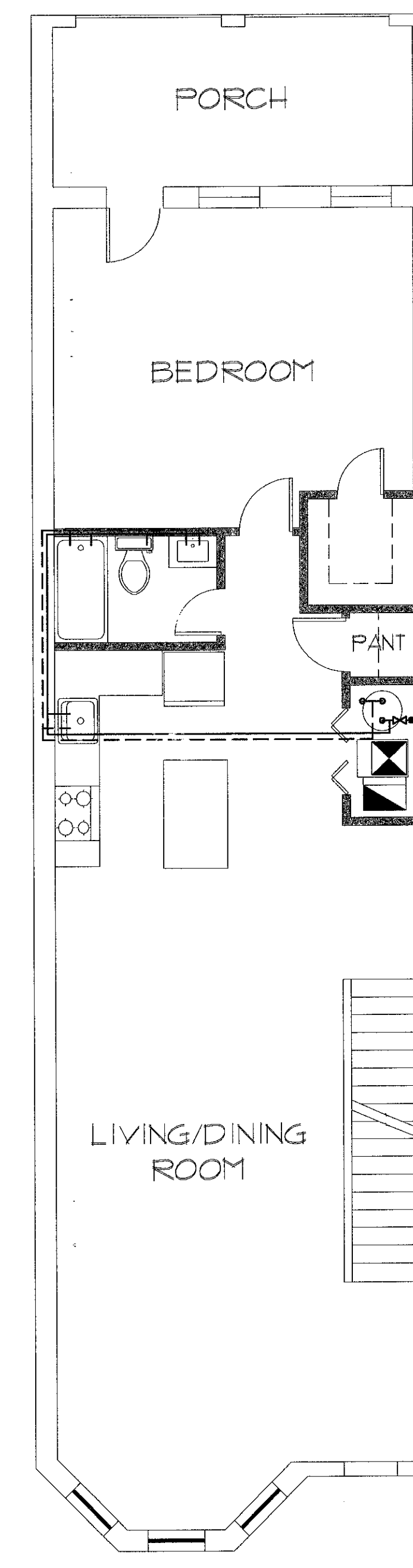
THE GENERAL LAYOUT OF THE GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date SEP 24 2012
Mechanical Engineering Section



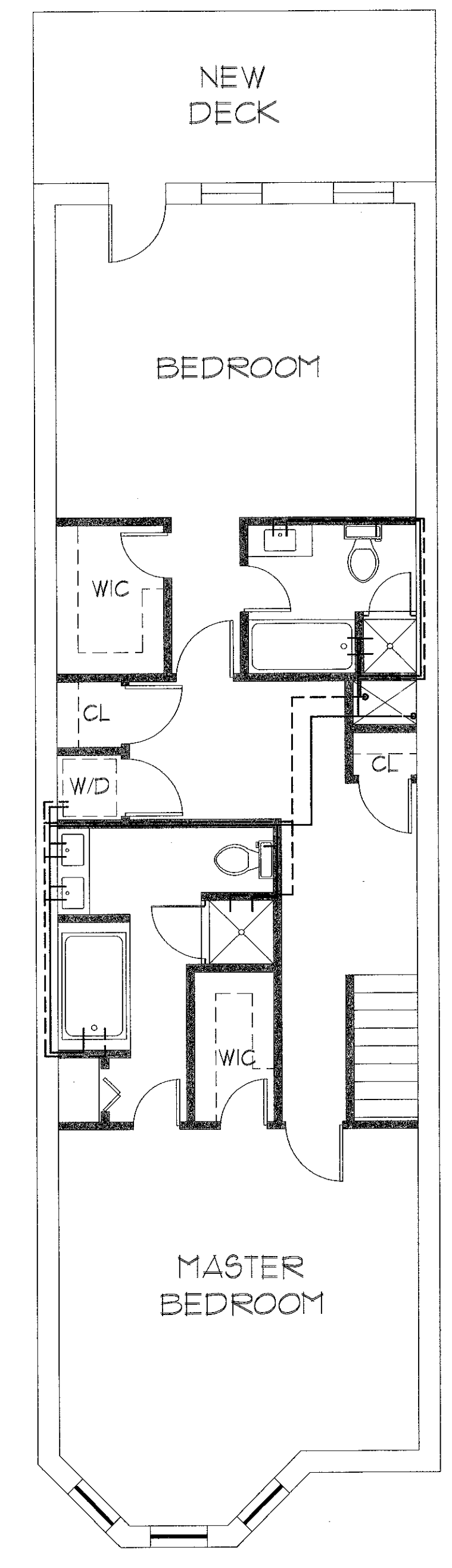
41 BASEMENT PLAN (UNIT A)
P2.1 3/16"= 1'-0"



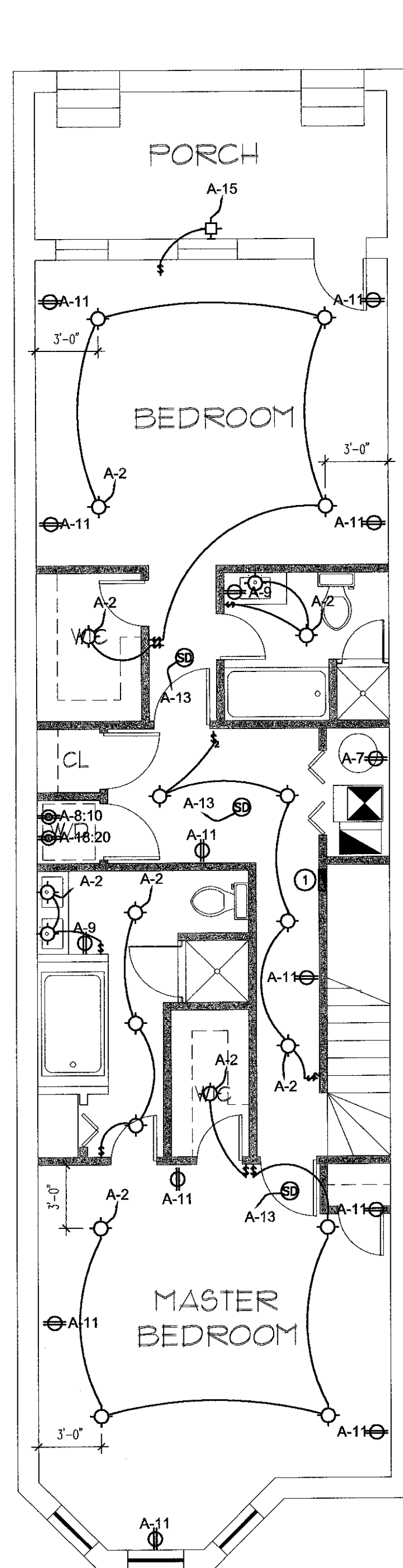
42 1ST FLOOR PLAN (UNIT A)
P2.1 3/16"= 1'-0"



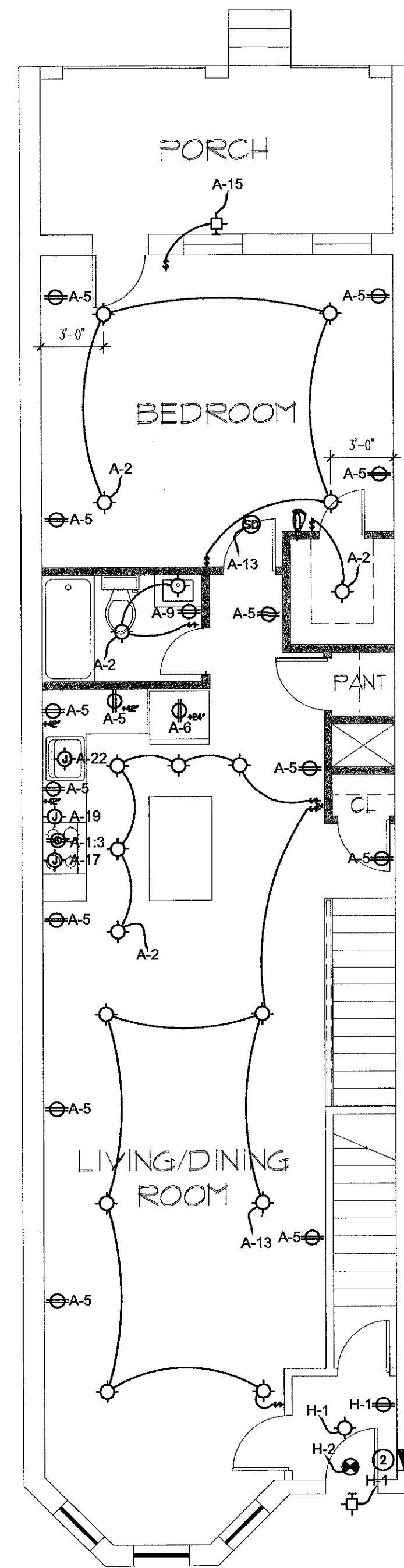
43 2ND FLOOR PLAN - (UNIT B)
P2.1 3/16"= 1'-0"



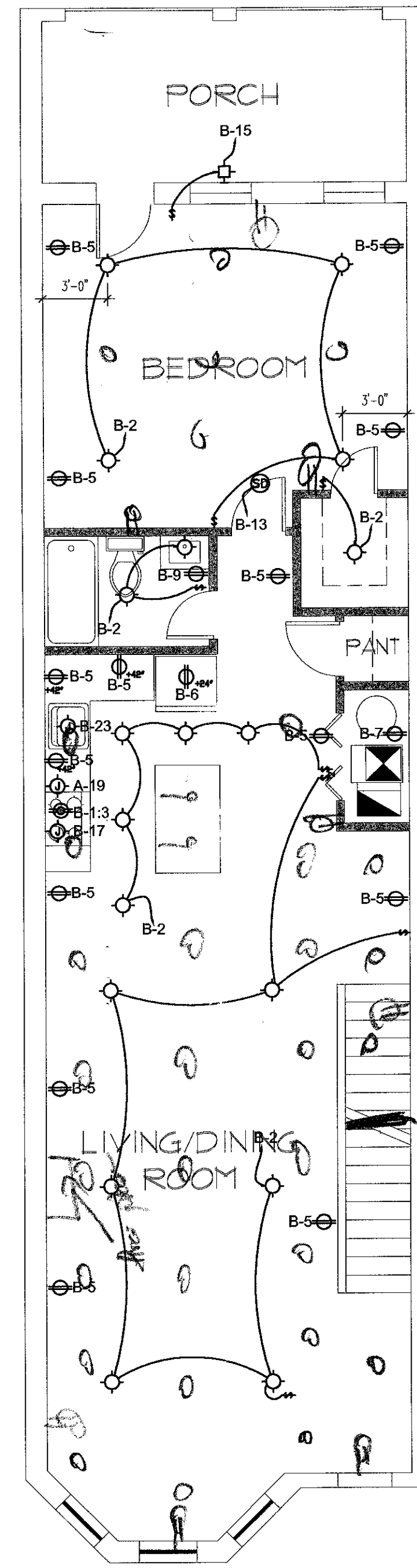
44 3RD FLOOR PLAN - (UNIT B)
P2.1 3/16"= 1'-0"



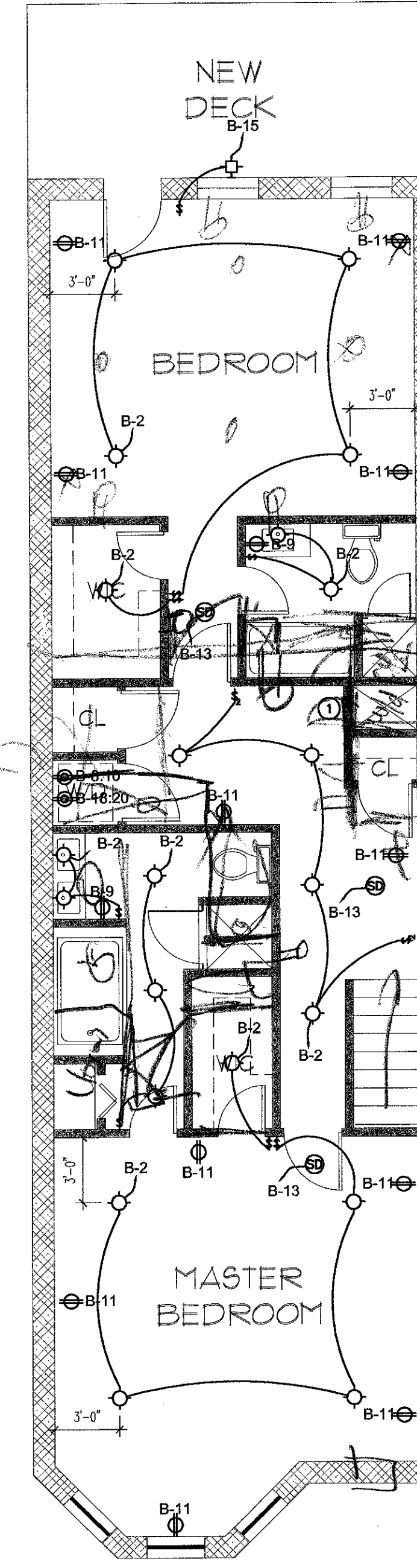
41 BASEMENT PLAN (UNIT A)
E1.1 3/16" = 1'-0"



42 1ST FLOOR PLAN (UNIT A)
E1.1 3/16" = 1'-0"



43 2ND FLOOR PLAN - (UNIT B)
E1.1 3/16" = 1'-0"



44 3RD FLOOR PLAN - (UNIT B)
E1.1 3/16" = 1'-0"

ELECTRICAL LEGEND:

- ⊕ EXTERIOR WALL SCONCE IN WEATHERPROOF ENCLOSURE
- ⊙ COMPACT FLORESCENT DOWNLIGHT
- ⊙ SMOKE DETECTOR, HARDWIRED TO ELECTRICAL PANEL w/BATTERY BACKUP
- ⊙ CEILING MOUNTED JUNCTION BOX
- ⊙ ELECTRIC PANEL
- ⊙ ONE WAY SWITCH
- ⊙ TWO WAY SWITCH

KEYED NOTES (THIS SHEET):

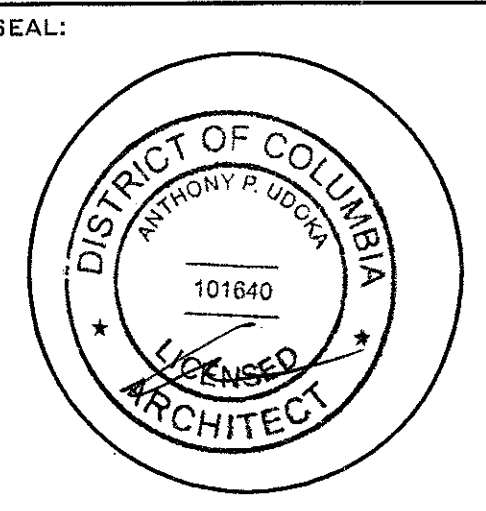
- ① NEW 40 SPACE 200 AMP MAIN PANEL BY SQUARE D OR EQUAL
- ② NEW 10 SPACE 125 AMP HOUSE PANEL BY SQUARE D OR EQUAL

GENERAL ELECTRICAL NOTES:

1. USE # 12 (3) WIRE COPPER WIRE FOR ALL LIGHTING CIRCUITS U.N.O.
2. ALL CONDUIT ROUTING SHOWN IS DIAGRAMATIC.
3. CONTACT "MISS UTILITY" PRIOR TO ANY EXCAVATION.
4. COMPLETELY REMOVE ANY ABANDONED WIRING AND CONDUITS BEFORE INSTALLATION OF NEW WORK.
5. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL ELECTRIC CODES.
6. ALL WALL MOUNTED RECEPTACLES TO BE MOUNTED AT 18" AFF TO CENTERLINE OF RECEPTACLE, U.N.O.



ARCHITECTS, LLC
ARCHITECTURE / SPACE PLANNING / INTERIOR DESIGN



MARK	REVISION	DATE

CLIENT:

PROJECT TITLE:

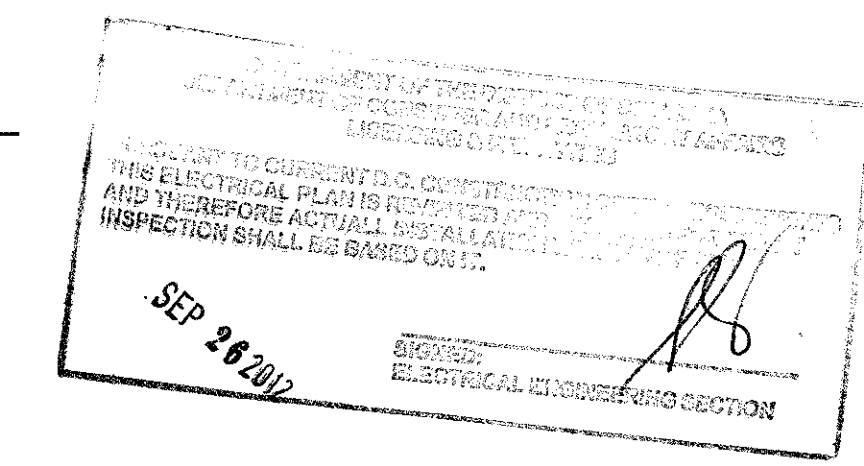
18 T STREET NE
WASHINGTON, DC 20002

DESIGNER	VEGA
DRAFTER	AU
CHECKED	AU
DATE	9/8/12
SCALE	AS SHOWN
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PROJ. OFCR	

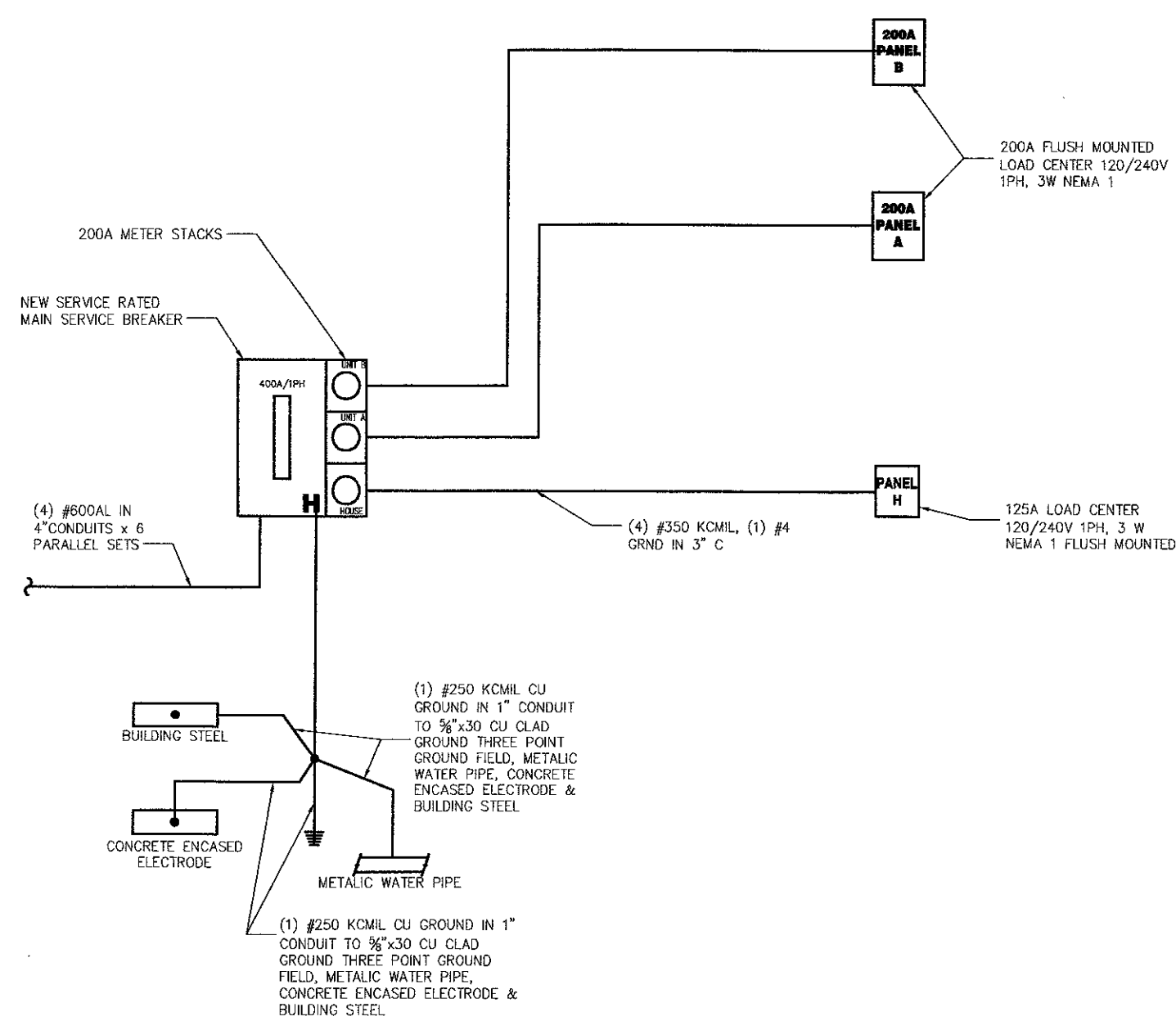
SHEET TITLE:
ELECTRICAL PLANS

SHEET NUMBER:

E1.1



GOVERNMENT OF THE DISTRICT OF COLUMBIA
LICENSING & PERMITTING
Electrical wiring must conform to the
National Electric Code.
ELECTRICAL ENGINEERING SECTION
DATE: 9/8/12



11 ELECTRICAL RISER DIAGRAM
E2.1 NTS

CIRCUIT #	LOAD DESCRIPTION	LOAD VA	TRIP AMPS	POLE	POLE	TRIP AMPS	LOAD VA	LOAD DESCRIPTION	CIRCUIT #
A-1	ELECTRIC COOKER	7680	40	2	1	20	1440	UPPER FLOOR LIGHTS	A-2
A-3	-	-			1	20	1440	LOWER FLOOR LIGHTS	A-4
A-5	UPPER FLOOR OUTLETS	1440	20	1	1	20	1920	REFRIGERATOR	A-6
A-7	GF-1 FURNACE	1440	20	1	2	30	5040	DRYER	A-8
A-9	OUTLETS-GFI	1300	20				-	-	A-10
A-11	LOWER FLOOR OUTLETS	1440	20	1	1	20	-	SPARE	A-12
A-13	SMOKE DETECTORS	20	20	1	1	20	-	SPARE	A-14
A-15	OUTSIDE LIGHTING	400	20	-	1	20	-	SPARE	A-16
A-17	HOOD FAN	400	20	-	2	30	5040	WASHER	A-18
A-19	DISH WASHER	1200	20	-			-	-	A-20
A-21	UPPER FLOOR LIGHTS	1440	20	-	1	20	300	GARBAGE DISPOSAL	A-22
A-23	SPARE	-	20	-	-	20	-	SPARE	A-24
A-25	SPARE	-	20	-	-	20	-	SPARE	A-26
A-27	SPARE	-	20	-		20	-	SPARE	A-28
A-29	SPARE	-	20	-		20	-	SPARE	A-30
A-31	SPARE	-	20	-	-	20	-	SPARE	A-32
A-33	SPARE	-	20	-	-	20	-	SPARE	A-34
A-35	SPARE	-	20	-	-	20	-	SPARE	A-36
A-37	SPARE	-	20	-	-	20	-	SPARE	A-38
A-39	SPARE	-	20	-	-	20	-	SPARE	A-40
TOTAL		23,240					23,100	TOTAL	

PANEL A: 0.53KVAx100%(1ST 10KVA)= 0.53KVA
 LIGHTING DEMAND LOAD: 6.16KVAx125%= 9.50KVA
 RECEPTACLES DEMAND LOAD: 5.62KVAx100%(1ST 10KVA)= 5.62KVA
 TOTAL DEMAND LOAD = 15.65KVA

SUMMARY
 TOTAL CONNECTED KVA= 41.34

42 PANEL SCHEDULES
E2.1 NTS

CIRCUIT #	LOAD DESCRIPTION	LOAD VA	TRIP AMPS	POLE	POLE	TRIP AMPS	LOAD VA	LOAD DESCRIPTION	CIRCUIT #
H-1	LIGHTS/OUTLETS	720	20	1	1	20	720	EMERGENCY	H-2
H-3	SPARE	-	20	1	1	20	-	SPARE	H-4
H-5	SPARE	-	20	1	1	20	-	SPARE	H-6
H-7	SPARE	-	20	1	1	20	-	SPARE	H-8
H-9	SPARE	-	20	1	1	20	-	SPARE	H-10
TOTAL		1440					1440	TOTAL	

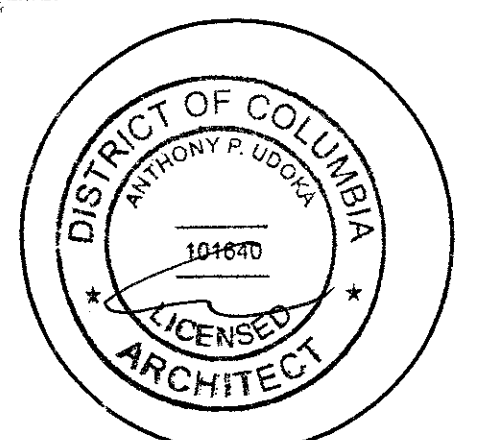
CIRCUIT #	LOAD DESCRIPTION	LOAD VA	TRIP AMPS	POLE	POLE	TRIP AMPS	LOAD VA	LOAD DESCRIPTION	CIRCUIT #
B-1	ELECTRIC COOKER	7680	40	2	1	20	1440	UPPER FLOOR LIGHTS	B-2
B-3	-	-			1	20	1440	LOWER FLOOR LIGHTS	B-4
B-5	FIRST FLOOR OUTLETS	1440	20	1	1	20	1920	REFRIGERATOR	B-6
B-7	GF-1 FURNACE	1440	20	1	2	30	5040	DRYER	B-8
B-9	OUTLETS-GFI	1300	20				-	-	B-10
B-11	LOWER FLOOR OUTLETS	1440	20	1	1	20	-	SPARE	B-12
B-13	SMOKE DETECTORS	20	20	1	1	20	-	SPARE	B-14
B-15	OUTSIDE LIGHTING	400	20	-	1	20	-	SPARE	B-16
B-17	HOOD FAN	400	20	-	2	30	5040	WASHER	B-18
B-19	DISH WASHER	1200	20	-			-	-	B-20
B-21	UPPER FLOOR LIGHTS	1440	20	-	1	20	300	GARBAGE DISPOSAL	B-22
B-23	SPARE	-	20	-	-	20	-	SPARE	B-24
B-25	SPARE	-	20	-	-	20	-	SPARE	B-26
B-27	SPARE	-	20	-		20	-	SPARE	B-28
B-29	SPARE	-	20	-		20	-	SPARE	B-30
B-31	SPARE	-	20	-	-	20	-	SPARE	B-32
B-33	SPARE	-	20	-	-	20	-	SPARE	B-34
B-35	SPARE	-	20	-	-	20	-	SPARE	B-36
B-37	SPARE	-	20	-	-	20	-	SPARE	B-38
B-39	SPARE	-	20	-	-	20	-	SPARE	B-40
TOTAL		23,240					23,100	TOTAL	

PANEL B: 0.53KVAx100%(1ST 10KVA)= 0.53KVA
 LIGHTING DEMAND LOAD: 6.16KVAx125%= 9.50KVA
 RECEPTACLES DEMAND LOAD: 5.62KVAx100%(1ST 10KVA)= 5.62KVA
 TOTAL DEMAND LOAD = 15.65KVA

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 LICENSING & PERMITTING
 Electrical wiring must conform to the
 National Electric Code.
 ELECTRICAL ENGINEERING SECTION
 DATE: / /



ARCHITECTS, LLC
 ARCHITECTURE | SPACE PLANNING | INTERIOR DESIGN



MARK	REVISION	DATE

CLIENT:

PROJECT TITLE:
 18 T STREET NE
 WASHINGTON, DC 20002

DESIGNER	VEGA
DRAFTER	AU
CHECKED	AU
DATE	9/8/12
SCALE	AS SHOWN
PROJ. #	12037
PROJ. MGR	
PROJ. OFDR	

SHEET TITLE:
 SCHEDULES & RISERS

SHEET NUMBER:

E2.1



Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4689

Fax (202) 442 - 4862



13-000-296

B

BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF
WORK UNTIL WORK IS COMPLETED AND APPROVED

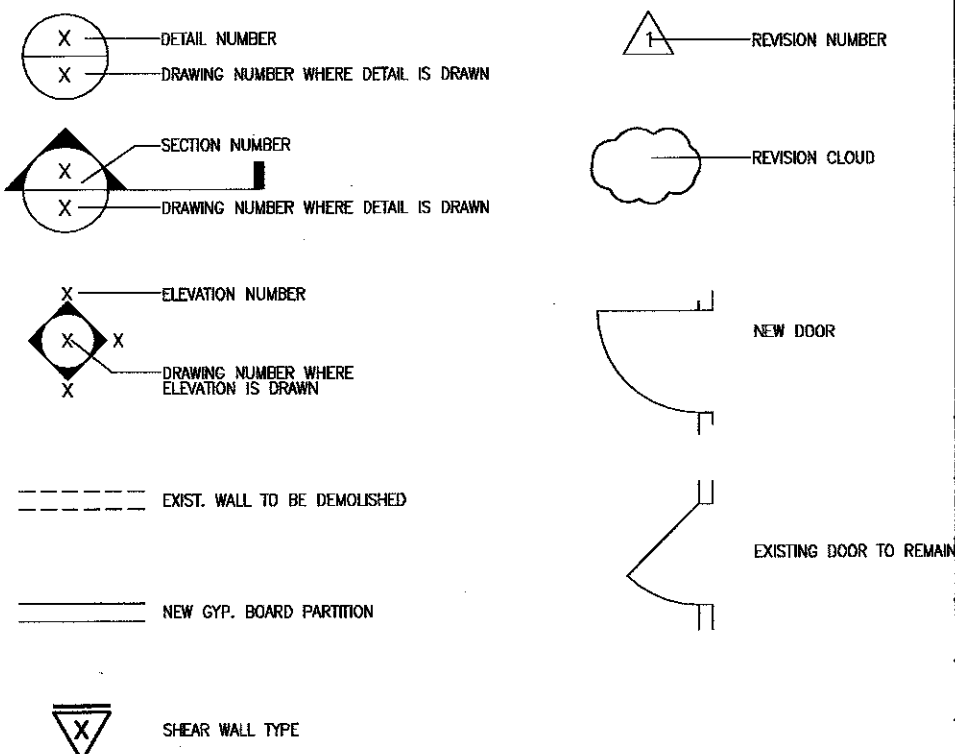
Issue Date: 05/07/2013

PERMIT NO. B1214503

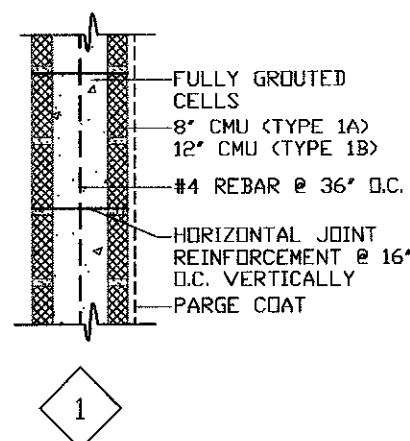
Expiration Date: 05/07/2014

Address of Project: 18 T ST NE		Zone: R-4	Ward: 5	Square: 3509	Suffix:	Lot: 0043
Description Of Work: Interior Renovation to include removal of non load bearing walls, replacement of electrical, mechanical & plumbing systems, doors and windows of a two family flat.						
Permission Is Hereby Granted To: Edward V Naybor		Owner Address: 8752 COPELAND POND CT FAIRFAX, VA 22031-2739		PERMIT FEE: \$5,890.50		
Permit Type: Addition Alteration Repair	Existing Use: Two-Family Flat - R-3		Proposed Use: Two-Family Flat - R-3		Plans:	
Agent Name: Udoka	Agent Address: 20851	Existing Dwell Units: 2	Proposed Dwell Units: 2	No. of Stories: 3	Floor(s) Involved: 3	
Conditions/ Restrictions:						
This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year. All Construction Done According To The Current Building Codes And Zoning Regulations; As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund Lead Paint Abatement Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to http://ddoe.dc.gov, Lead and Healthy Housing						
Director: Nicholas A. Majett		Permit Clerk Stacie Williams				
TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639 FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-9557 TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442-9557.						

SYMBOLS:



WALL TYPES:



ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	MET	METAL
ALUM.	ALUMINUM	MDF	MEDIUM DENSITY FIBERBOARD
APPROX	APPROXIMATE	MFG	MANUFACTURER
ARCH	ARCHITECTURAL	MO	MASONRY OPENING
ATC	ACOUSTIC TILE CEILING	MTD	MOUNTED
BD	BOARD	NIC	NOT IN CONTRACT
BLDG	BUILDING	N	NORTH
BLKG	BLOCKING	PLAM	PLASTIC LAMINATE
B.O.	BOTTOM OF	PRESS	PRESSURE
CG	CORNER GUARD	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CMU	CONCRETE MASONRY UNIT	OFOI	OWNER FURNISHED OWNER INSTALLED
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	ORIG	ORIGINAL
COL	COLUMN	PLYWD	PLYWOOD
CONST	CONSTRUCTION	PNL	PANEL(S)
CONC	CONCRETE	PT	PRESSURE TREATED
CPT	CARPET	PTD	PAINTED
DTL	DETAIL	PTN	PARTITION
DIA	DIAMETER	RD	ROOF DRAIN
DIM	DIMENSION	R.O.	ROUGH OPENING
DN	DOWN	REQ'D	REQUIRED
DR	DOOR	SECT	SECTION
DWG	DRAWING(S)	SG	SPLASH GUARD
E	EAST	S	SOUTH
EA	EACH	SL	SLIDER, SLIDING
EF	EXHAUST FAN	SS	STAINLESS STEEL
ELEC	ELECTRICAL	STN	STONE
EQ	EQUAL	STOR	STORAGE
ETR	EXISTING TO REMAIN	SUSP	SUSPENDED
EXIST	EXISTING	SVF	SEAMLESS VINYL FLOORING
FEC	FIRE EXTINGUISHER CABINET	SYMM	SYMMETRICAL
FF	FINISHED FLOOR	TD	TRENCH DRAIN
FG	FULL GLASS	T&G	TONGUE & GROVE
FO	FACE OF	TEMP	TEMPORARY
FRT	FIRE RETARDANT TREATED	THK	THICK
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZED	T.O.S	TOP OF STEEL OR SLAB
GYP BD	GYP SUM WALL BOARD	TYP	TYPICAL
HC	HANDICAP	U/C	UNDER COUNTER
HDW	HARDWARE	UV	ULTRA VIOLET
HM	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
INST	INSTALL(ATION)	VNL	VINYL
INT	INTERIOR OR INTEGRAL	W	WEST
LB	POUND	W/	WITH
LU	LEG UNIT	W/O	WITHOUT
MAT	MATERIAL	WD	WOOD
MECH	MECHANICAL	WDO	WINDOW

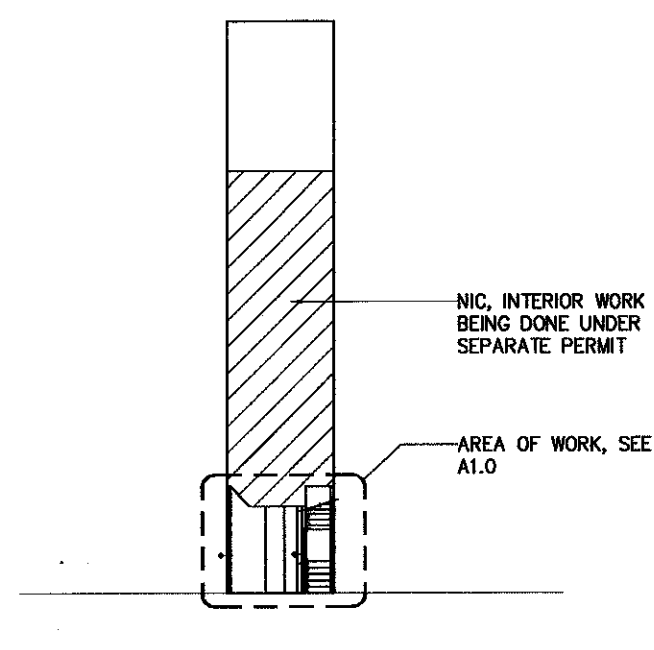
CODE ANALYSIS:

LOT/SQUARE	0835/1027
LEGAL JURISDICTION	DISTRICT OF COLUMBIA
APPLICABLE CODES	INTERNATIONAL BUILDING CODE 2006, INTERNATIONAL PLUMBING CODE 2006, INTERNATIONAL MECHANICAL CODE 2006, INTERNATIONAL FIRE CODE 2006, INTERNATIONAL PROPERTY MAINTENANCE CODE 2006, INTERNATIONAL RESIDENTIAL CODE 2006, INTERNATIONAL FUEL CODE 2006, INTERNATIONAL ENERGY CONSERVATION CODE 2006, NFPA NATIONAL ELECTRICAL CODE 1996, DCMR 12 (2009), DCMR TITLE 11, DCMR 13, DCMR 13A
IBC CONSTRUCTION TYPE	IIIB
IBC USE GROUP	B
ZONING CLASSIFICATION	R-4
MAXIMUM ALLOWABLE HEIGHT	65'
REAR YARD	NONE REQUIRED
SIDE YARD	NONE REQUIRED

SCOPE OF WORK

THE PROJECT CONSISTS OF THE REPLACEMENT OF RETAINING WALLS AND EXTERIOR APPROACH TO EXISTING CELLAR FLOOR OF EXISTING THREE STORY ROW HOUSE. WORK ON THE INTERIOR OF THE BUILDING IS EXCLUDED FROM THIS SCOPE OF WORK AND IS BEING DONE UNDER SEPARATE PERMIT.

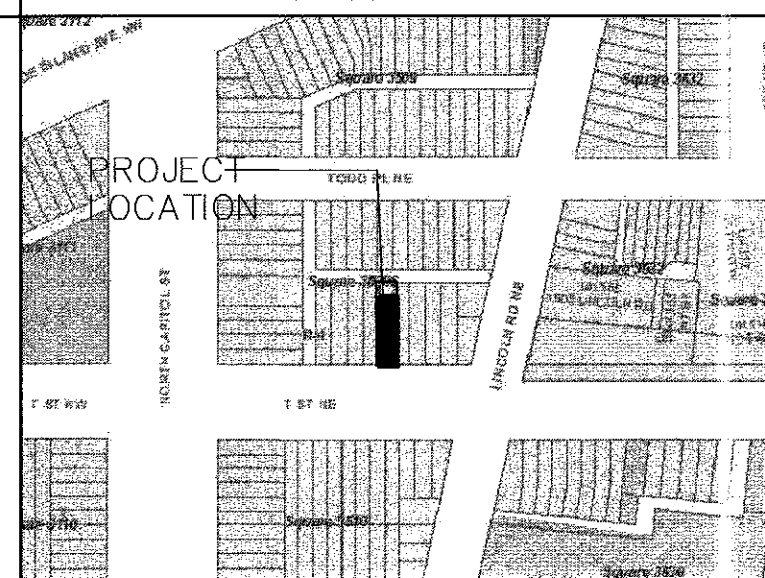
SITE PLAN:



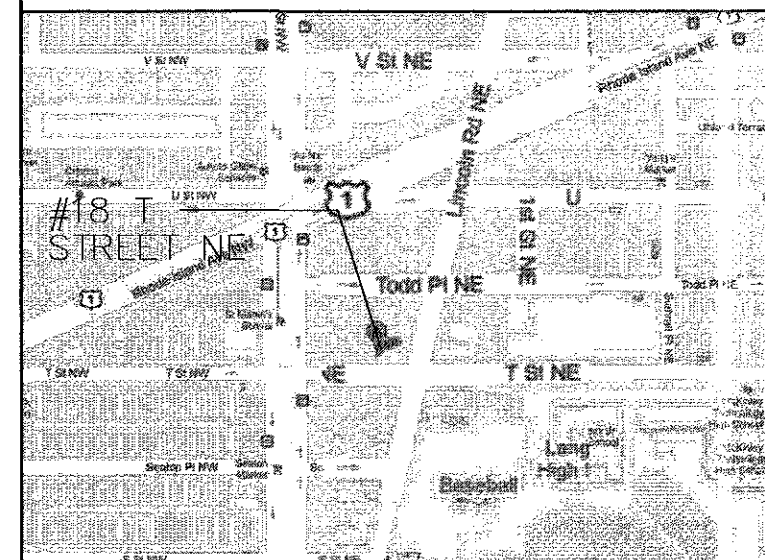
40 SITE PLAN

A0.0 1/32" = 1'-0"

LOCATION MAP:



VICINITY MAP:



EXTERIOR IMPROVEMENTS TO #18 T STREET NE, WASHINGTON DC 20002

DISTRICT DEPARTMENT OF THE ENVIRONMENT
WATERSHED PROTECTION DIVISION
PAID PERMIT CONTROL APPROVAL
PLAN NUMBER **B1307184**

NOTICE: This approval is for the Grading and Sediment Control Permit. The applicant is required to construct design features as shown on these plans. The applicant must notify this office by phone (see below) at least 72 hours prior to the start of grading activity and within two (2) weeks after completion of project to request final inspection. If there is need to make any changes or modifications in the approved design, this office must be notified immediately.

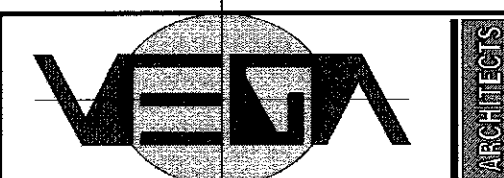
Approved by: **535-2913** **5/24/13**
Date

SHEET INDEX

SHEET #	NAME
A0.0	COVER SHEET
A0.1	PARTIAL FIRST DEMO FLOOR PLAN
A1.0	PARTIAL FIRST FLOOR PLAN
A5.1	SECTIONS AND DETAILS

GENERAL NOTES

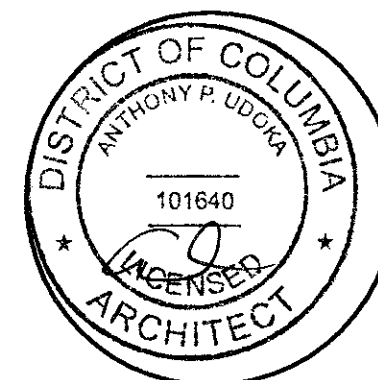
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, ORDINANCES, REGULATIONS AND LAWS OF THE DISTRICT OF COLUMBIA.
- DO NOT START CONSTRUCTION UNTIL ALL REQUIRED PERMIT APPROVALS ARE OBTAINED.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS SHOWN OR IMPLIED ON THE DRAWINGS U.N.O.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN IN THE DRAWINGS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING ANY WORK.
- ALL DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION U.N.O.
- ALL WINDOW AND DOOR OPENING DIMENSIONS ARE TO ROUGH OPENING.
- ALL PENETRATIONS THROUGH EIFS SHALL BE SEALED WITH MANUFACTURER APPROVED SEALANTS.
- CAULK ALL JOINTS AROUND OPENINGS TO PROVIDE A WATER TIGHT AND AIR TIGHT SEAL. JOINTS GREATER THAN 3/8" SHALL BE FILLED WITH BACK UP MATERIAL. EXPOSED CAULKING AND SEALANT SHALL MATCH IN COLOR ALL ABUTTING MATERIAL AND NATURAL OR PAINTED FINISHES.
- CERAMIC TILE GROUT SHALL MATCH AS CLOSELY AS POSSIBLE THE ADJACENT FIELD TILE COLOR.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT IN WRITING.
- CONTRACTOR SHALL PROVIDE ALL SUBS WITH A COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
- CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- APPROVED FLASHINGS SHALL BE PROVIDED AT THE TOP AND SIDES OF ALL WINDOW AND EXTERIOR DOOR OPENINGS, WALL AND ROOF INTERSECTIONS, ROOF VALLEYS AND ALL ROOF PENETRATIONS.
- EXCESSIVELY NOISY CONSTRUCTION TASKS SHALL NOT BE CARRIED OUT AFTER 7PM.
- WHERE DOOR DIMENSIONS ARE NOT GIVEN, THE DOOR SHALL BE LOCATED 3" FROM THE FINISHED FACE OF DRYWALL TO FACE OF ROUGH OPENING.
- PROVIDE ALL BASES, BLOCKING AND ANCHORS REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT.



ARCHITECTS, LLC
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN

CONSULTANTS:

SEAL:



MARK	REVISION	DATE

CLIENT:

PROJECT TITLE:

#18 T STREET NE
WASHINGTON, DC 20002

DESIGNER	AU
DRAFTER	AU
CHECKED	AU
DATE	05/23/13
SCALE	AS SHOWN
PROJ. #	12037
PROJ. MGR	AU
PROJ. OFCR.	AU

SHEET TITLE:
COVER SHEET

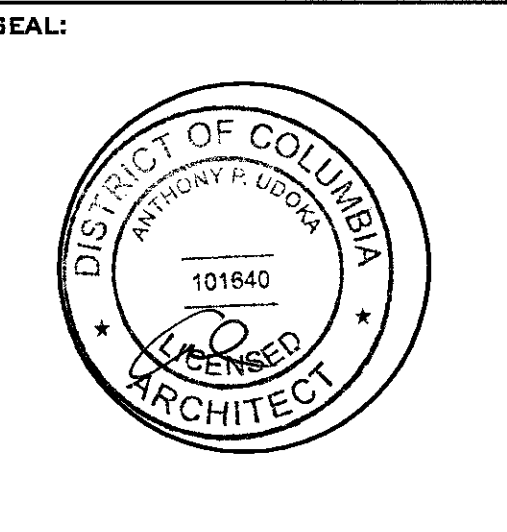
SHEET NUMBER:

A0.0



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CONSULTANTS:



MARK	REVISION	DATE

CLIENT:

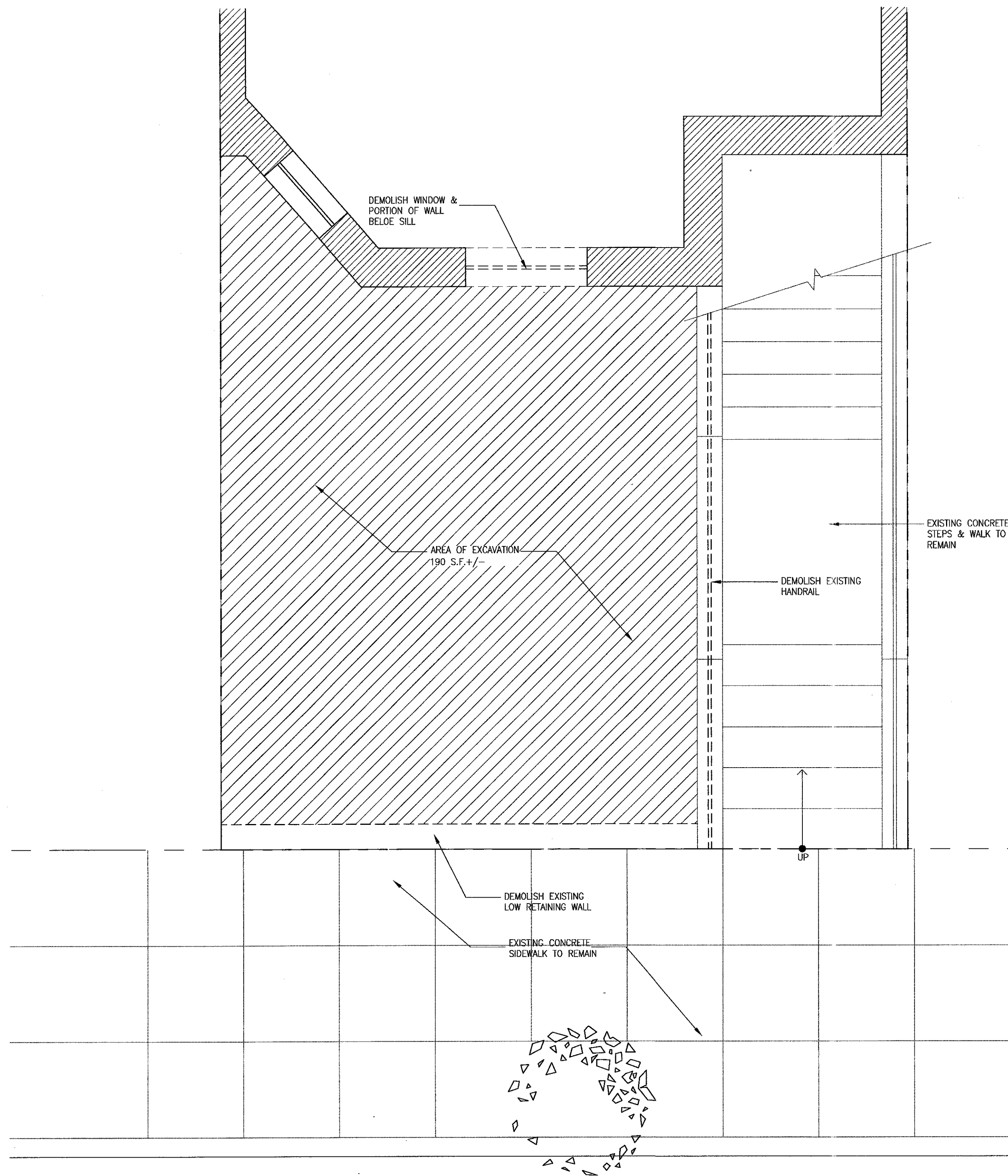
PROJECT TITLE:

18 T STREET NE
WASHINGTON, DC 20002

DESIGNER	AU
DRAFTER	AU
CHECKED	AU
DATE	05/23/13
SCALE	AS SHOWN
PROJ. #	11045
PROJ. MGR	AU
PROJ. OFCR.	AU

SHEET TITLE:
**PARTIAL FIRST
FLOOR DEMO PLAN**

SHEET NUMBER:
A0.1



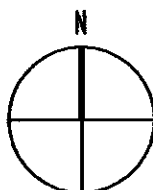
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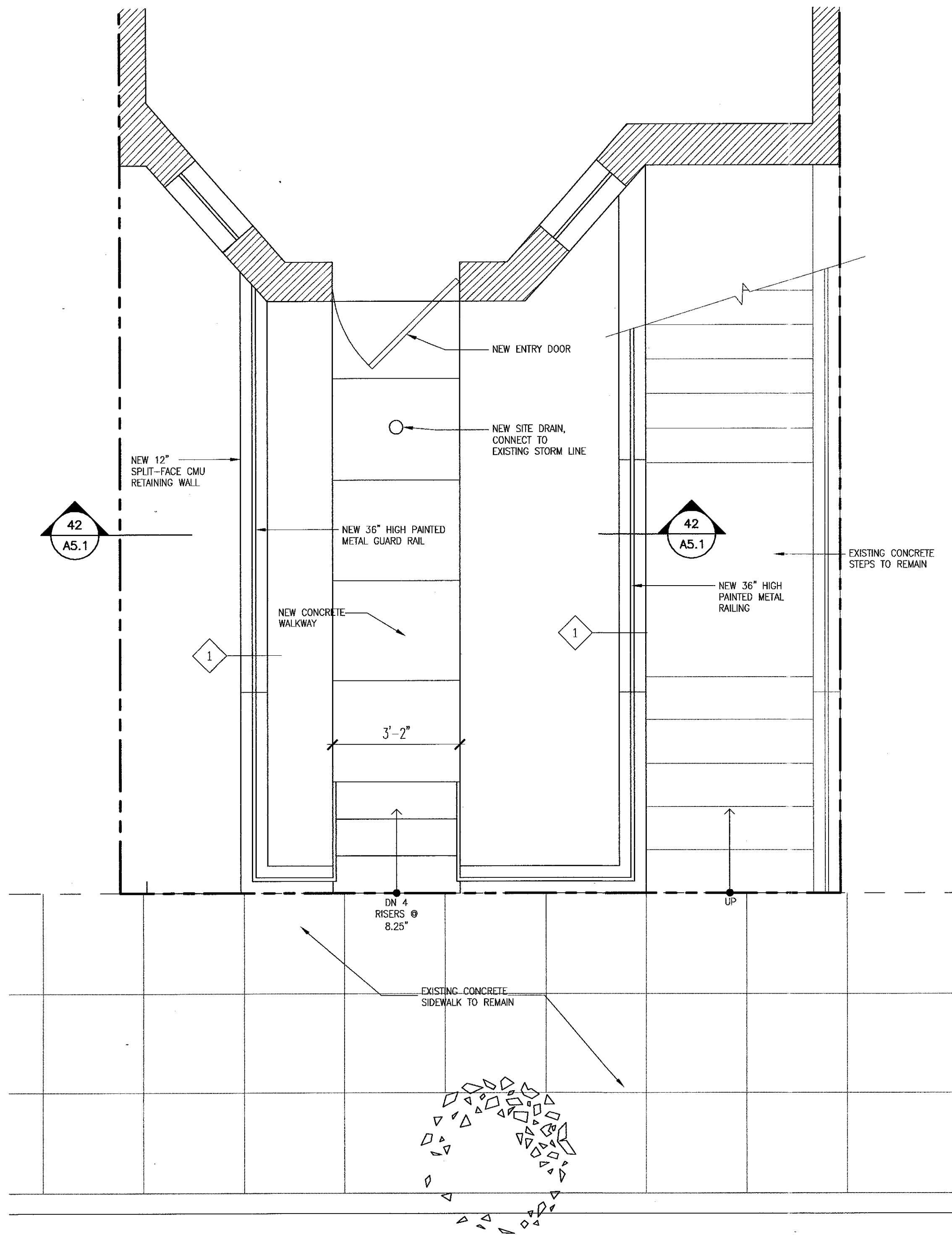
1. CONTACT MISS UTILITY PRIOR TO COMENCING ANY EXCAVATION

22
A0.1

PARTIAL FIRST FLOOR DEMO PLAN

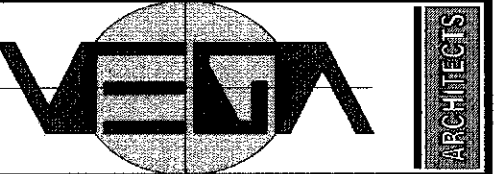
1/2" = 1'-0"





NOTES

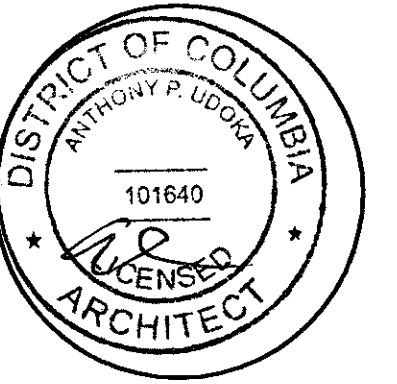
1. CONCRETE SHALL BE CAST IN PLACE WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000psi
2. STEEL REINFORCEMENT PROTECTION SHALL BE A MINIMUM OF 3" WHEN PLACED AGAINST THE EARTH
3. ALL REINFORCEMENT STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60 KSI
4. LAP ONE AND ONE HALF MESH SPACES @ SPLICES FOR WWF



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WASHINGTON, DC 20002

DESIGNER	AU
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SCALE	AS SHOWN
PROJ. #	12037
PROJ. MGR	AU
PROJ. OFCR.	AU

SHEET TITLE:
**PARTIAL FIRST
FLOOR PLAN**

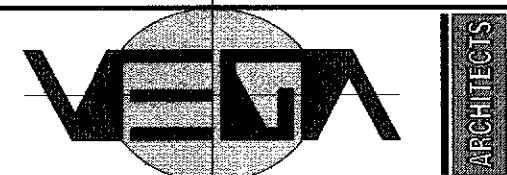
SHEET NUMBER:

A1.0

22 PARTIAL FIRST FLOOR PLAN
A1.0 1/2" = 1'-0"



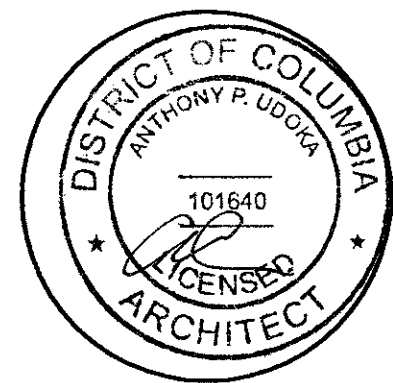
KEYED NOTES (THIS SHEET):



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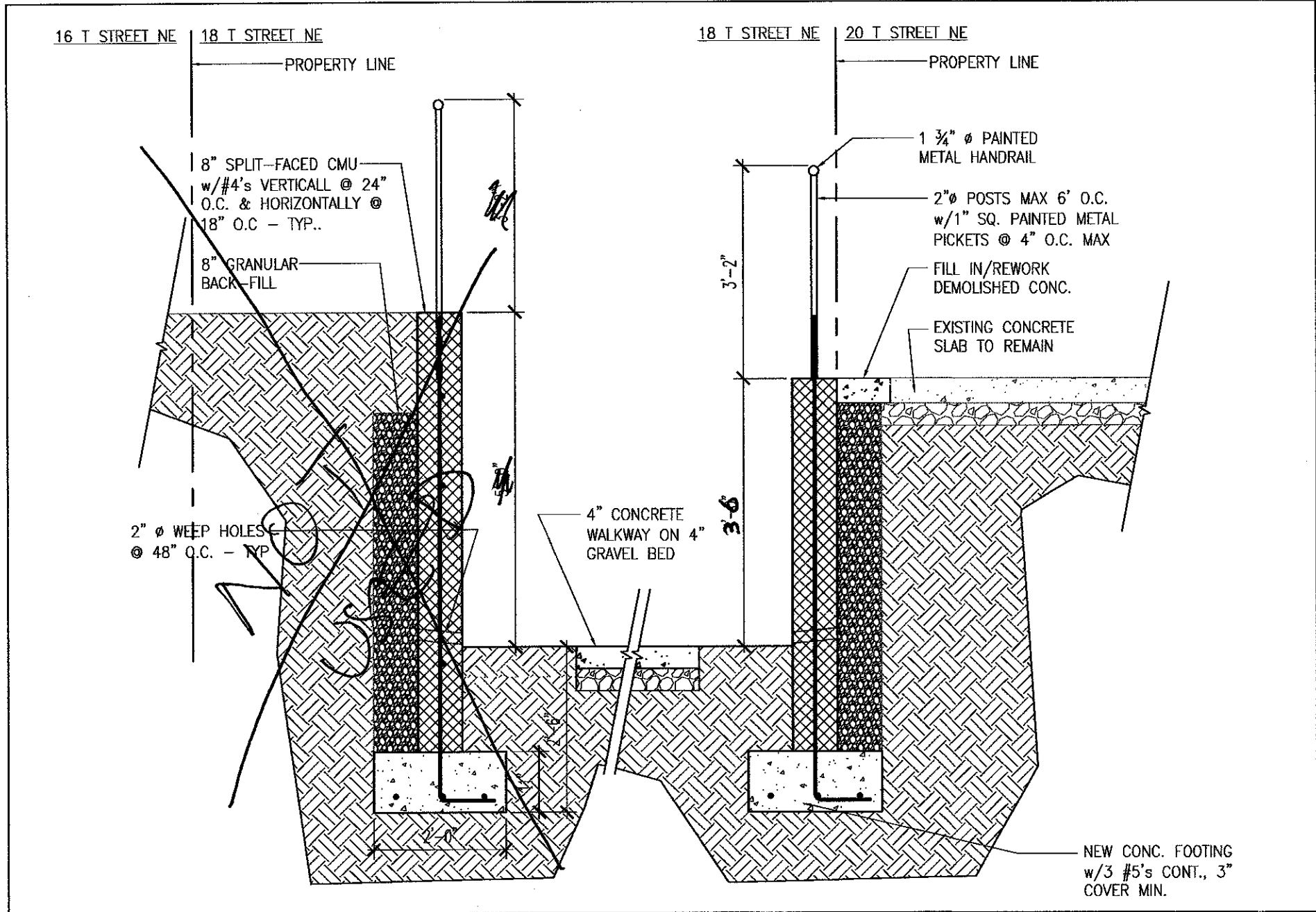
PROJECT TITLE:
#18 T STREET NE
WASHINGTON, DC 20002

DESIGNER	AU
DRAFTER	AU
CHECKED	AU
DATE	05/23/13
SCALE	AS SHOWN
PROJ. #	12037
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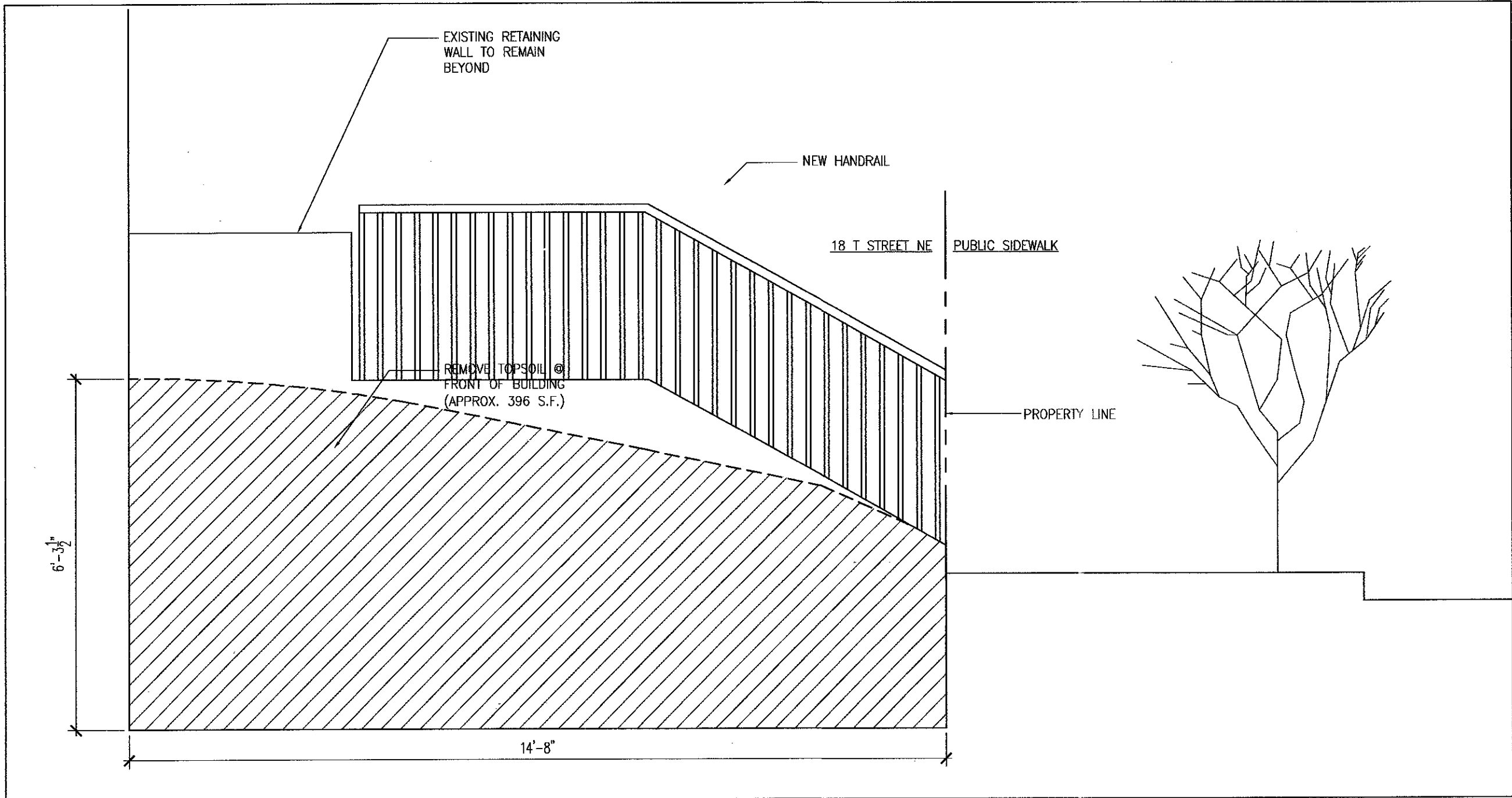
SHEET TITLE:
BUILDING SECTION

SHEET NUMBER:

A5.1



22 SECTION @ BASEMENT ACCESS
A5.1 1/2" = 1'-0"



42 SECTION @ BASEMENT ACCESS
A5.1 1/2" = 1'-0"