



BEFORE THE BOARD OF ZONING ADJUSTMENT
OF THE DISTRICT OF COLUMBIA



FORM 125 - APPEAL

Before completing this form, please review the instructions on the reverse side.
Print or type all information unless otherwise indicated.

Pursuant to §§ 3100 and 3101 of the Zoning Regulations of the District of Columbia, an appeal is hereby taken from the

administrative decision of:

Mr. Matthew Le Grant, Name of administrative officer and title
Zoning Administrator DCRA

made on

1/15/2015 Date of decision

that states

Allowed for the granting of Building permit B1408491

for the construction of 8 unit apartment building with only 3 parking spaces in R-5-B zone that requires 4 parking spaces. Approved building also exceeds the allowable FAR and Lot Coverage

for an R-5-B zone. Approved DC Surveyor's Plat shows roof decks that were deleted from plans by DCRA structural review for non-compliance with DC building codes.

Address(es) of Affected Premises	Square(s)	Lot(s)	Zone Districts
2305 Ontario Rd. NW	2567	0045	R-5-B
2307 Ontario Rd. NW	2567	0046	R-5-B

Present use of Property:

two single-family homes

Proposed use of Property:

8-unit apartment building

Name of Owner of Property:

2305 Ontario Rd NW LLC and 2307 Ontario Rd NW LLC ("202 Development")

Address:

114 N. Jackson St. Arlington, VA 22201

Phone No(s):

703-868-1184

Fax No.:

E-Mail:

info@202development.com

Name of Lessee:

Address:

Phone No(s):

Fax No.:

E-Mail:

Name of Appellant, if other than Owner:

ANC 1C

Address:

P.O. Box 21009 Kalorama Station, Washington, DC 20009

Phone No(s):

202-340-7476

Fax No.:

E-Mail:

wreynoldsanc@aol.com

I/We certify that the above information is true and correct to the best of my/our knowledge, information and belief. Any person(s) using a fictitious name or address and/or knowingly making any false statement on this appeal is in violation of D.C. Law and subject to a fine of not more than \$1,000 or 180 days imprisonment or both. (D.C. Official Code § 22-2405)

Date:

3/13/15

Signature of Appellant*:

Waiver of Fee - Status of Appellant

☒ ANC ☐ DC Government Agency ☐ NCPD ☐ Citizens' Association/Association created for civic purposes that is not for profit

To be notified of hearing and decision (Appellant or Authorized Agent*):

Name:

Mr. Wilson Reynolds, ANC 1C Commissioner

Address:

P.O. Box 21009 Kalorama Station, Washington, DC 20009

Phone No(s):

202-340-7476

Fax No.:

E-Mail:

wreynolds@aol.com

* If an appeal is filed by the agent of the Appellant, Form 125 - Appeal shall be accompanied by a letter signed by the Appellant authorizing the agent to act on its behalf in this appeal.

ANY APPLICATION THAT IS NOT COMPLETED IN ACCORDANCE WITH THE INSTRUCTIONS ON THE BACK OF THIS FORM WILL NOT BE ACCEPTED.

Appeal Filing: Required Information

Property address: 2305-2307 Ontario Rd. NW

Required Information

Item:	Description:
The date upon which the appellant first had notice or knowledge of the decision being appealed:	1/15/15 was the date permit #B1408491 was issued according to DCRA's Online Building Permit Application Tracker (OBPAT)
The circumstances under which such notice or knowledge occurred:	After much correspondence with the Zoning Administrator on the issues, with appellants' last inquiry to the Zoning Administrator on December 29, 2014 going unanswered.
Standing: How the appellant is aggrieved:	Appellant ANC1C, on behalf of its constituents on the 2200 and 2300 blocks of Ontario Road NW, are aggrieved by the subject permit being granted in conflict with the zoning regulations re: parking, lot coverage, FAR and with inconsistencies between the project's plat and plans. The ramifications of these items are practical issues for the immediate neighbors in terms of street parking availability, excess of unsightly trash bins on the sidewalk, and potentially unpermitted work taking place that is unsafe, inappropriate and non-compliant (such as a roof deck that appears on the plats but was rejected from the plans, in this case).
Statement of Issues	This application is filed to appeal permit #B1408491, allowing the re-development of two single family row homes at 2305-2307 Ontario Rd. NW (the "Project" or the "Property") into an 8-unit building with just 3 parking spaces by virtue of a "credit of one off-street parking space for prior sfd use." In addition, the permit provides for work that exceeds both FAR and lot coverage requirements of R-5-B zoning, and has numerous inconsistencies with the plat that should have been reconciled before the permit was issued, so that all parties are clear on what work is permitted.
Witnesses	TBD

March 13, 2015

BEFORE THE BOARD OF ZONING ADJUSTMENT OF THE DISTRICT OF COLUMBIA

Re: BZA Appeal of permit #B1408491 for the re-development of 2305-2307 Ontario Rd. NW

Dear BZA Members:

We ask that you appeal permit #B1408491 based on a number of Zoning issues that need to be resolved in order to bring the proposed development into compliance with DC Building and Zoning Code.

- DCRA erroneously granted a “parking credit”, even though existing parking was provided at the property, that resulted in the developer being able to build 8 units, rather than the allowable 6 “by right” units.
- The permitted project does not properly comply with the stipulations of combining Lots.
- The permitted project exceeds both FAR and lot coverage requirements of R-5-B zoning.
- The DC Surveyor's Plat shows roof decks that are required to be omitted from the plans at the request of the DC Structural reviewer.
- Furthermore, we believe it violates both the letter and spirit of Title 10 (Comprehensive Plan) and Title 11 (Zoning Regulations) of the D.C. code.

The undersigned neighbors have drafted the appeal attached and have the unanimous support of the ANC 1C and vast majority of the residents of the Lower Ontario Road Neighborhood.

By way of background, the proposed development by 202Development, based in Virginia, will convert two single family houses into a single new building, on a single combined lot, containing 8 units and provide only 3 parking spaces when 4 are required by zoning. A legal parking space is 16’ x 9’ and the combined lot at 2305-2307 Ontario Road is just shy of 33’ wide, meaning 3 legal parking spaces can be accommodated. Additionally code requires that 1 space for every 2 units be provided in the R-5-B zone. The neighbors hoped that the DC permitting process would enforce that the correct number of units (6) and corresponded extensively with zoning officials during the permitting process. Nonetheless, the neighbors were dismayed when a permit was granted for a total of 8 units with only 3 parking spaces, based on the application of parking credit, a concept historically reserved for properties without the ability to provide parking.

This plan effectively quadruples the number of units per lot and will:

- Change the character and density of the block dramatically.
- Strain parking availability in an already very constrained location, based on the proximity to 18th Street and given the significant number of single family homes already on the block that do not have an off-street parking option (no alley access to the rear yard or curb cuts).

- Replace 4 trash/recycling bins (for 2 households) with 16 (for 8 households) on a block where trash is picked up in the front because the alley behind is too narrow for public trash removal.
- Drive up prices beyond those of traditional single family homes on the block, apparently based on the assumption that they can be replaced with 4 units each, a trend that will encourage more sales to developers, more chopping up of the row house fabric on Ontario Road, fewer families, tighter parking, and more unsightly trash/recycling bins.

202Development has also bought two more houses on the block at 2303 and 2315 Ontario Road NW, and per their website and permit applications in to DC, plans to turn them each into 4-unit buildings, effectively quadrupling the number of units per lot once again, and banking on DCRA granting more inappropriate parking credits. To demonstrate the level at which this developer is willing to manipulate the zoning parking requirement, the existing parking pad located at 2315 Ontario has been removed and shrubs have been planted in its place. We speculate that this is an attempt to make a claim that no existing parking was present or available, in order to be granted a parking credit. We have strong evidence to the contrary.

Since the proposed development was announced in July 2014, we have worked with the Zoning Administrator, Office of Zoning, DCRA, Office of Planning, our current and former Ward 1 council members, and ANC 1C-07 Commissioner Willison Reynolds to closely monitor the permitting process and express our concerns regarding inappropriate development on our block. More than half of the residents and homeowners of our block have signed a petition in support of an overlay to our zoning designation that would preserve the row house fabric and neighborhood character of our block. Thus, we have demonstrated ample citizen demand for the ANC's action and leadership on this appeal.

We look forward to discussing with you in more detail the nature and facts of this case as we all strive to make Washington DC the best city the country.

Sincerely,

The Appellants:

ANC 1C

ANC 1C-07 Commissioner Willison Reynolds

Hugo Roell

Eric Blodnikar

Terra Blodnikar

Alia Khan

**BEFORE THE BOARD OF ZONING ADJUSTMENT
OF THE DISTRICT OF COLUMBIA**

Submission by ANC 1C

Date: March 13, 2015

SUMMARY OF APPEAL

This application is filed pursuant to Section 3100.2 and 3112.2 of the Zoning Regulations to appeal the error made by the Department of Consumer and Regulatory Affairs (“DCRA”) in issuing permit #B1408491, issued on January 15, 2015, allowing the re-development of two single family row homes at 2305-2307 Ontario Rd. NW (the “Project” or the “Property”) into an 8-unit building with (1) just 3 parking spaces by virtue of a “credit of one off-street parking space for prior sfd use,” (2) excess lot coverage; (3) excess FAR; and (4) inconsistencies between the approved plan and the plat.

HISTORY

In August of 2014, a sign was posted in front of 2305-2307 Ontario Rd. NW that indicated that 10 condominiums were coming. The neighborhood was puzzled as to how this would be possible from a zoning standpoint, considering the combined lot width of 33.66’ and the 1:2 required parking ratio, and began communicating with Zoning Administrator Mr. Le Grant (all correspondence attached as Exhibit 8):

- August 16, 2014 email to Mr. Le Grant from Terra Blodnikar
- August 16, 2014 email to Mr. Le Grant from Alia Khan
- August 17, 2014 email to Mr. Le Grant from Lisa Landmeier
- August 17, 2014 email to Mr. Le Grant from Julie Lopez
- August 17, 2014 email to Mr. Le Grant from Zoe Beckerman
- August 18, 2014 email to Mr. Le Grant from Fiona Bell
- August 18, 2014 email to Mr. Le Grant from Lynsey Jeffries
- August 19, 2014 email to Mr. Le Grant from Missy McGoogan
- August 20, 2014 letter to Mr. Le Grant from Hugo Roell
- August 21, 2014 email to Mr. Le Grant from Alia Khan
- August 22, 2014 email to Mr. Le Grant from Hugo Roell
- November 20, 2014 email to Mr. Le Grant and Ms. Beeton, Deputy Zoning Administrator, from Hugo Roell
- November 25, 2014 email to Mr. Le Grant from Terra Blodnikar
- December 1, 2014 email to Mr. Le Grant from Hugo Roell

On December 4, 2014, Mr. Le Grant responded to an email from Hugo Roell, carbon copying many other neighbors, and explained that he was in the process of “re-reviewing the plans... to examine your concerns about the provision of parking spaces required under the Zoning Regulations.”

On December 15, 2014, Mr. Le Grant responded to Hugo Roell, et al, again with the following:

I wanted to let you know that I have finished my re-review of this matter and found that each of the two (2) existing single family dwellings each provided one (1) parking space each for a total of two (2) existing spaces, so no credit may be applied to the proposed use, and as such the credit of one (1) space was erroneously applied. Therefore, I put the project back on review for Zoning.

A parking credit is applied in cases only where the prior use was required to provide off-street parking and no spaces were provided. In this case, because the project is the conversion to an apartment building with eight (8) dwelling units, a minimum of four (4) off-street parking spaces are required under the applicable R-5-B standard of one (1) parking space per each two (2) dwellings [11 DCMR 2101.1].

I have advised the applicant to either revise the plat and plans as necessary to provide the minimum number of required off-street parking spaces, reduce the number of proposed dwelling units, or obtain relief from the Board of Zoning Adjustment [BZA].

ANC 1C agrees with the position taken by Mr. Le Grant in his December 15, 2014 email.

On December 19, 2014, Mr. Le Grant emailed Hugo Roell again with the following:

Since my last email to you I met with the applicant who provided me with additional information on this matter. He has demonstrated to me that the paved area at the rear of 2307 Ontario Rd NW is of insufficient size to provide a compliant parking space. The depth of the concrete paved area, as measured perpendicular to the alley, is only 11 feet 8 inches to the fence; therefore it cannot be counted as a pre-existing parking space.

Therefore, I have concluded that my office's original granting of the parking credit one parking space is valid, and the project is compliant with the zoning regulations. I will accept the proposed plat showing three parking spaces that, along with the above described valid parking credit of one space, total four parking space requirement.

My office will proceed with approving permit application number B1408491. Please let me know if you have any questions.

On December 29, 2014, Hugo Roell responded to Mr. Le Grant asking about the reasons for the reversal of his earlier decision, with detailed arguments and photographs showing that the Project had two existing parking spaces. Mr. Le Grant never responded to Hugo Roell further.

On January 15, 2015, permit #B1408491 was issued.

PROPERTY HISTORY

The pre-May 12, 1958 buildings at 2305 and 2307 Ontario were each single family homes when the developer purchased them in the summer of 2014.

The lot at 2305 has a private garage (pictured below) and therefore has a parking space.

The lot at 2307 also had a parking space (see Honda Accord below). The fence was constructed at least 15'8" from the alley (the length of a Honda Accord) and a conforming parking space of 9'x19' can be accommodated on this lot.



BASIS FOR APPEAL

- 1) **The DCRA erroneously granted permit #B1408491 with a parking credit, allowing for the construction of 8 units (rather than 6) with only 3 parking spaces.**
 - a) **The Regulations require the Project to provide 4 parking spaces for the proposed 8 units.** The Project is zoned R-5-B and 11 DCMR §§ 2101.1 clearly requires a parking ratio of “1 [space] for each 2 dwelling units” in the R-5-B zone. The existing buildings had two parking spaces and the Regulations require two additional parking spaces to be provided for the conversion to an 8-unit building.
 - b) **The Project’s lot can accommodate three conforming parking spaces.** Per 11 DCMR §§ 2115.1, the dimension of a conforming “parking space shall be a minimum of nine feet (9 ft.) in width and nineteen feet (19 ft.) in length, exclusive of access drives, aisles, ramps, columns, office or work areas and shall be striped...” The combined width of the Project’s lot is 32.66’ (per the plat) thus allowing for 3 conforming parking spaces.
 - c) **When there is a change in use or intensity of use of a pre-1958 building, additional parking spaces must be provided to conform with current Regulations.** 11 DCMR §§ 2100.1 states, “All buildings or structures erected on or after May 12, 1958 shall be provided with parking spaces to the extent specified in § 2101, except as permitted by §§ 2102 through 2108” Buildings erected prior to that time were not required to create parking spaces or increase the size of existing parking spaces to make them conforming in size.

11 DCMR §§ 2100.4 requires pre-1958 buildings that *change their use*, to conform with current parking requirements from that point. It states “Except for historic resources as defined in § 2120.2, when the use of a building or structure is changed to another use that requires more parking spaces than required for the use existing immediately prior to the change or, if the building or structure is vacant, the use that existed immediately prior to the vacancy, parking spaces shall be provided for the additional requirement in the amount necessary to conform to § 2101.”

Similarly, 11 DCMR §§ 2100.6 requires pre-1958 buildings that *change the intensity of their use*, to conform with current parking requirements from that point on. It states “When the intensity of use of a building or structure existing before May 12, 1958 is increased by an addition of employees, dwelling units, gross floor area, seating capacity, or other unit of measurement specified in 2101, parking spaces shall be provided for the addition, subject to 2100.7 through 2100.9.”

- d) **No parking “credit” should be given, because parking spaces were previously provided.** As stated in Mr. Le Grant’s email of December 15, 2014 [Exhibit 8], and established in prior BZA cases, “a parking credit is applied in cases only where the prior use was required to provide off-street parking and no spaces were provided.” (emphasis in original) Here, one parking space was required for each 2305 and 2307 Ontario, and for each of those lots, one nonconforming parking space is “grandfathered.”

It is clear that 2305 Ontario and 2307 Ontario each had an existing parking space, thus there should be no parking “credit.” The neighbors can testify to this and the DC Public Information Verification System (PIVS) shows a car parked in the rear of 2307 and a wood frame garage in the rear of 2305 in its BING aerial view (see Exhibit 1). The real estate listings for 2307 and 2305 also indicate that off parking was part of both properties (see Exhibit 2) and photographs of both are also attached (see Exhibit 3).

- e) **Additionally, the subdivision that occurred when the lots were combined required compliance with current Regulations, thereby also ending any right to “grandfathering” or any parking credit.** Furthermore, the lots of the two properties were combined prior to the permit being granted, and because this happened after May 12, 1958, 11 DCMR §§ 2100.1 is not applicable, and “grandfathering” should not even be an option.

The DC Surveyor’s Office treats a lot combination as a sub-division, which requires approval by DC Zoning. 11 DCMR §§ 101.6 states that “Where a lot is divided, the division shall be affected in a manner that will not violate the provisions of this title for yards, courts, other open space, minimum lot width, minimum lot area, floor area ratio, percentage lot occupancy, parking spaces [emphasis added], or loading berths applicable to that lot or any lot created.” When the lots were combined, DC Zoning must have determined that the new lot was in compliance with the parking requirements (i.e. there is no nonconformity to grandfather and no parking credit is warranted), because at least one parking space was provided. Even if the open air parking space was deemed to be non-conforming, the garage parking space was undeniably an existing parking space.

Attached is a letter sent to the building owner of 1310 Q Street NW (see Exhibit 4) by Mr. Le Grant, the DC Zoning Administrator, that shows the analysis that should be performed when building lots are combined, including how parking is taken into consideration as required by 11 DCMR §§ 101.6.

- f) **The Project’s Zoning data summary stated that there are two existing parking spaces.** The Zoning data summary for the Project signed by the owner’s agent (see Exhibit 5) lists two parking spaces as being existing. Therefore there is nothing to grandfather and no parking credit is warranted.

- g) **The dimensions of the existing nonconforming parking space should not determine whether a parking credit is granted.** Mr. Le Grant grants the parking credit based on the argument that “[T]he paved area at the rear of 2307 Ontario Rd NW is of insufficient size to provide a compliant parking space. The depth of the concrete paved area, as measured perpendicular to the alley, is only 11 feet 8 inches to the fence; the[re]fore it cannot be counted as a pre-existing parking space.” This determination is erroneous for several reasons.

The logic is flawed. Paving is temporary, irrelevant and not a requirement of a parking space. Additionally, a fence is a temporary structure. The paving and fence, or lack thereof, may have changed many times since 1958, when the Regulations took effect. The nonconforming size of the existing parking spaces was grandfathered under the Regulations, resulting in them being treated as meeting the requirement of one legal space for each of the single family dwellings.

The outcome is also not consistent with the practical reality. The lots each have had a parking space that has consistently been used and treated as such, so should not be eligible for a parking credit.

The potential outcome is also unfair to property owners. According to the logic applied in issuing the permit, two neighbors owning adjacent lots of identical dimensions could be treated differently. If one neighbor paved an area less than 19’ from the alley, that neighbor would be granted the parking credit. If the other neighbor had a 19’ paved parking pad, that neighbor would be denied the parking credit. In the context of a neighborhood experiencing rapid development, a parking credit is worth a substantial amount. The economic impact of the different outcomes in this scenario is unfair for the neighbor that does not receive a parking credit.

In addition, the decision was based on inaccurate dimensions. As shown in the photo in the Property History, a Honda Accord is 15’9” in length so the distance from the property line at the alley to the fence is at least 15’9”.

Applying the Regulations in this way invites manipulation of the existing conditions to try to accumulate parking credits. For example, we have noticed that the developer of this Project also recently purchased 2315 Ontario, and according to its website intends to develop it into 4 units. The developer has planted shrubs in what was the previous owner’s parking space on this lot, presumably in order to get another “parking credit” to enable development of all 4planned units there as well.

- h) **Development of the Project as 8 units should require a variance from the BZA.** The proper route for the Project developer to take, in order to pursue the development of 8 units with just 3 parking spaces on this lot, is to apply to the BZA for a parking variance through its authority under 11 DCMR §§ 3100. That will result in a public process, and provides for important input and compromise on neighborhood impacts of the Project such as parking, trash, and city services.

2) **The DCRA erroneously granted permit #B1408491 even though the Project exceeds the allowable lot coverage of 60% for R-5-B zoning.**

- a) **Excess lot coverage.** The DC Surveyor's plat (see Exhibit 6) provided and approved by DC Zoning shows that the Project exceeds the allowable lot coverage of 60%. The proposed building with the existing front porch occupies the lot as follows:

$$71.0' \text{ building length} \times 32.66' \text{ building width} + 8.25' \text{ porch depth} \times 16.33' \text{ porch width} / (118' \text{ lot length} \times 32.66' \text{ lot width}) \times 100 = 63\%$$

This exceeds the allowable lot coverage by 3%.

- b) **Lot coverage may be even greater.** The Permit plans list two elevations titled as "rear" (2/A201, 1/A201 see Exhibit 6) that show a 4-story building. One of these elevations is perhaps actually the front elevation (2/A201) and it shows balconies. If the balconies are added to the front, as shown in the elevations but not on the plat, the building lot coverage will be exceeded even further. These elevations are not coordinated with the building floor plans and building sections. The Zoning reviewer noted these issues in the Permit Status website, but as far as we can tell this inconsistency has not been corrected.
- c) **Development of the Project with the current excess lot coverage should require a variance from the BZA.** The proper route for the Project developer to take, in order to pursue the development of this size on this lot, is to apply to the BZA for a variance through its authority under 11 DCMR §§ 3100. That will result in a public process, and provides for important input and compromise on neighborhood impacts of the Project such as parking, trash, and city services due to high density.

3) The DCRA erroneously granted permit #B1408491 even though the Project exceeds the allowable FAR of 1.8 for R-5-B zoning.

- a) **Excess FAR.** The proposed areaways¹ and patios shown in the plans are omitted from the DC Surveyor's plat although they will contribute towards the building FAR. They count toward FAR because they are bigger than what is required for entrance into the cellar units.

The FAR exceeds the allowable FAR by a substantial amount, as follows:

Allowable floor area = $1.8 \times 32.66 \text{ lot width} \times 118 \text{ lot length} = 6,936.9 \text{ sq ft}$

Proposed building gross floor area:

1st floor = $71.0 \text{ length} \times 32.66 \text{ width} - 37.54 \text{ atrium} = 2,281.32 \text{ sq ft}$

2nd floor = $71.0 \text{ length} \times 32.66 \text{ width} - 37.54 \text{ atrium} = 2,281.32 \text{ sq ft}$

3rd floor = $71.0 \text{ length} \times 32.66 \text{ width} - 37.54 \text{ atrium} = \underline{2,281.32 \text{ sq ft}}$
= 6,843.96 sq ft

Cellar floor area contributing to FAR by perimeter method, with the full-width areaways front and back but excluding a 5 feet wide cellar entrance way:

$(30.66 - 5.0) + (30.66 - 5.0) \text{ areaway widths} / 207.32 \text{ total building perimeter} \times$
2,318.8 cellar floor area = 574.00 sq ft

Total proposed floor area = **7417.96 sq ft**

This exceeds the allowable FAR by = **481.05 sq ft**

The attached letters (see [Exhibit 7](#)) were sent by Mr. Le Grant to an architect concerning the design of buildings at 3918 W Street NW and 3921 Fulton Street NW and discuss how large areaways cause cellars to contribute towards a building's FAR.

- b) **FAR may be even greater.** The Permit plans list two elevations titled as "rear" (2/A201, 1/A201 see [Exhibit 6](#)) that show a 4-story building. One of these elevations is perhaps actually the front elevation (2/A201) and it shows balconies. The FAR is calculated as a 3-story building with a cellar. If the building is indeed a 4-story building it would exceed the FAR by a very large amount. These elevations are not coordinated with the building floor plans and building sections. The Zoning reviewer noted these issues in the Permit Status website, but as far as we can tell this inconsistency has not been corrected.

¹ An "areaway" is a small sunken area allowing access or light and air to cellar doors or windows.

- c) **Development of the Project with the current excess FAR should require a variance from the BZA.** The proper route for the Project developer to take, in order to pursue the development of this size on this lot, is to apply to the BZA for a variance through its authority under 11 DCMR §§ 3100. That will result in a public process, and provides for important input and compromise on neighborhood impacts of the Project such as parking, trash, and city services due to high density.
- 4) **The DCRA erroneously granted permit #B1408491 even though there are further inconsistencies between the plat and the plans, which create confusion about the permitted construction:**
 - a) **There should be no roof deck.** The DC Surveyor's plat approved by DC Zoning shows roof decks which were omitted from the plans at the request of the DC Structural review (see Exhibit 6 sheet A103). These should have been removed from the DC Surveyor's plat, to clearly reflect that a common roof deck is not included in the approved permit. This would require 2 means of egress (not in the plans) as required by Section 1021 of The District of Columbia Building Code of 2013 for an occupied roof located at the fourth story and could be very noisy for an otherwise relatively quiet street.
 - b) **Steps and stoops.** Additionally the DC Surveyor's plat approved by DC Zoning contains the following discrepancies: 1. Front and rear exterior steps leading to the cellar units are not shown. 2. The plat shows an existing stoop to remain at a different location from the building main entrance stoop on the permitted architectural plans (see Exhibit 6 sheet A101).
 - c) **Building length.** The building length on the DC Surveyor's plat is noted as being 71'-0" long but in the plans it is noted as being 70'-10".
 - d) **The developer should be required to correct these inconsistencies.** The permit should be withdrawn due to these inconsistencies.

NEGATIVE IMPACT OF THE PROJECT AS ERRONEOUSLY PERMITTED

ANC 1C is experiencing fast, high density development. The 2200-2300 blocks of Ontario Road are single family row houses, except for one small apartment building that has been there since the 1960s. At present, four houses on the east side of the 2300 block have been purchased by the same developer who owns the Project – two more, in addition to the two that constitute the Project. The ANC, and a high proportion of the Project's neighbors, oppose the Project as erroneously permitted because this type of development – beyond what is allowed by matter of right – should occur only pursuant to a variance. The BZA is the agency authorized to review the proposed development, hold a public hearing to enable input from the community, including from neighbors, and from government planning agencies, and to weigh the positive and negative effects of the development.

Development beyond what is permitted as a matter of right will otherwise continue unchecked, quickly changing the character of our neighborhood. We anticipate that unchecked development would result in the conversion of all the remaining single family homes in our R-5-B neighborhood into high-end condominiums or apartments over the next decade. The inflated prices paid by developers are beyond the reach of homebuyers interested in our neighborhood. This type of development will eliminate any truly affordable housing, as well as homes that would be suitable for families with children.

RELIEF REQUESTED

For the reasons set out above, Appellant requests that the BZA withdraw the permit and require the owner to (A) stop work on the Project unless and until it is granted a variance by the BZA for (1) having less parking than legally required for 8 units, (2) excess lot coverage, and (3) excess FAR; or (B) modify the plans for the Project to reduce it to a scope that is permissible as a matter of right, and obtain a new permit for those revised plans; and (C) correct the inconsistencies between the Project plan and the plat.

Exhibit 1

2307 ONTARIO RD NW

[Click to change map style](#)



2305 ONTARIO RD NW

Click to change map style



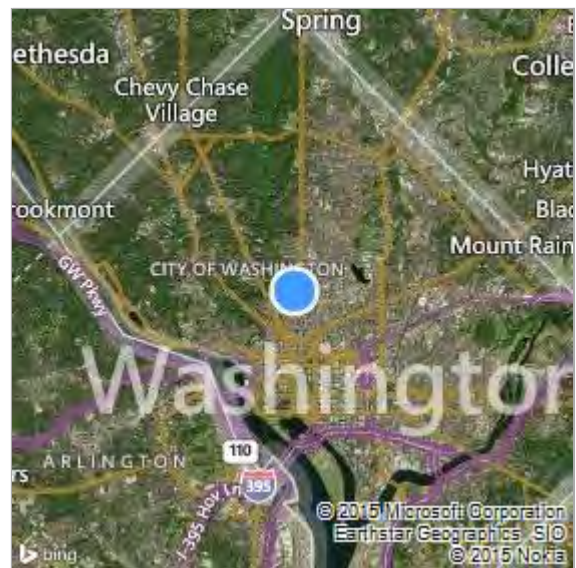


**2305 Ontario Rd NW, Washington, DC
20009**

2305 Ontario Rd NW shown with 1 car
garage.



On the go? Use **m.bing.com** to find maps,
directions, businesses, and more



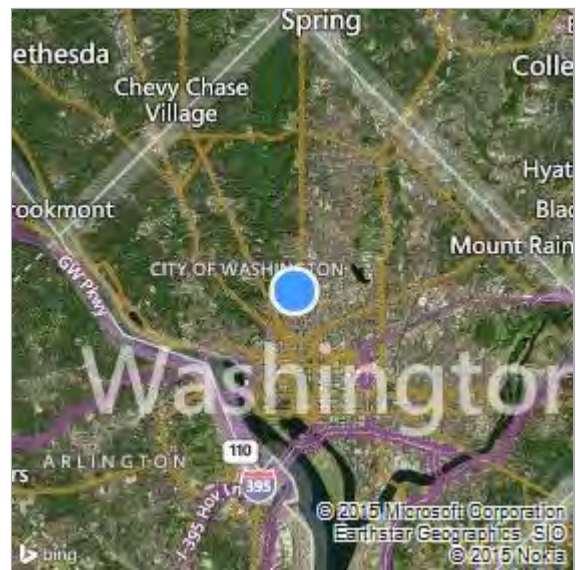


**2307 Ontario Rd NW, Washington, DC
20009**

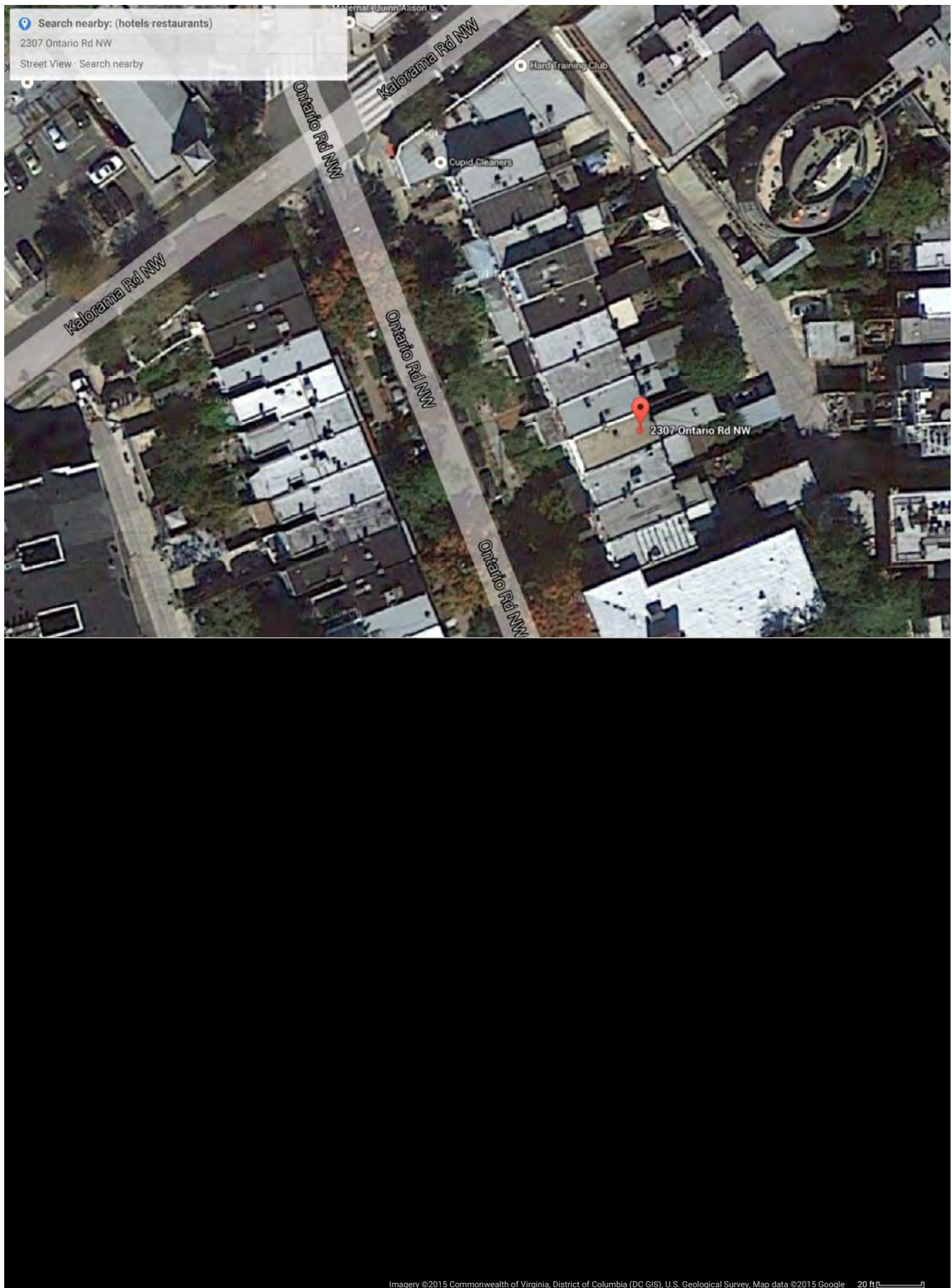
My Notes



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Appeal Exhibit Section: Submitted March 13 2015



Appeal Exhibit Section: Submitted March 13 2015

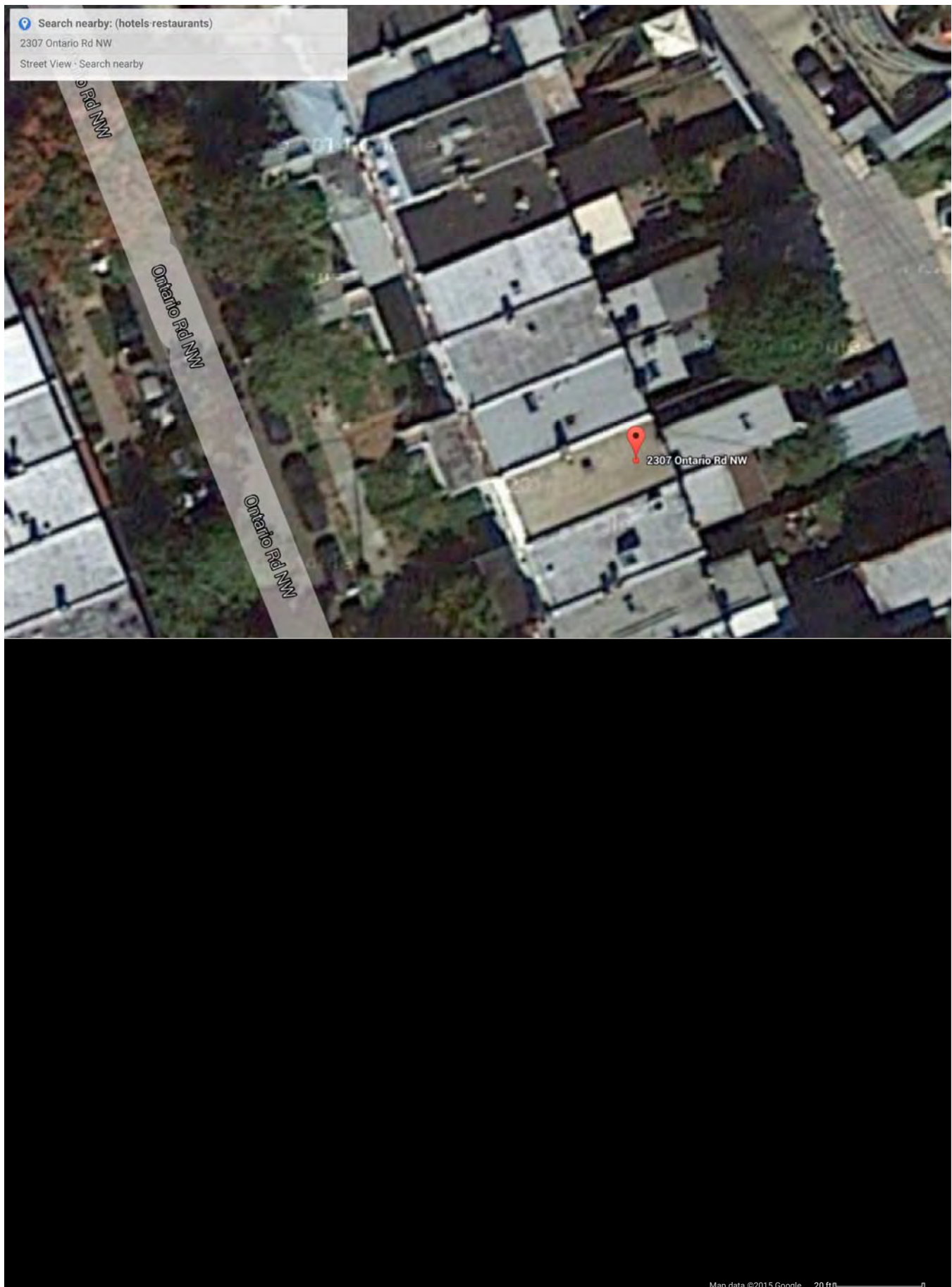


Exhibit 2

Appeal Exhibit Section: Submitted March 13 2015

Homes

Rentals

Mortgages

Agents

Advice

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Home design

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CORRECT HOME FACTS

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Washington D.C. · Washington · Adams Morgan · 2307 Ontario Rd NW



2307 Ontario Rd
NW,
Washington, DC 20009

3 beds · 2.5 baths · 2,700 sqft

Edit

Edit home facts for a more accurate Zestimate.

This 2700 square foot single family home has 3 bedrooms and 2.5 bathrooms. It is located at 2307 Ontario Rd NW Washington, Washington, DC.

SOLD: \$905,000

Sold on 05/20/14

Zestimate®: \$925,203

[Update my Zestimate](#)

Est. Mortgage

\$3,344/mo

[See current rates on Zillow](#)

[See your 2015 Credit Score from Equifax](#)

CONTACT A LOCAL AGENT



Keri Shull

★★★★★ (143)

92 Recent sales
(571) 485-9832

PREMIER
AGENT



Samer Kuraishi

★★★★★ (363)

309 Recent sales
(240) 600-0699

PREMIER
AGENT



James Hafferman

★★★★★ (5)

10 Recent sales
(202) 644-8246

PREMIER
AGENT



Your Name



Phone



Email

I would like advice about selling a home similar to 2307 Ontario Rd NW, Washington, DC 20009

Contact Agent

[Learn how to appear as the agent above](#)

FACTS

- Lot: 1,927 sqft
- Single Family
- Built in 1908
- Cooling: Central
- Heating: Forced air
- Last sold: May 2014 for \$905,000
- Last sale price/sqft: \$335

FEATURES

- Deck
- Finished basement
- Flooring: Hardwood
- Parking: Off street

[More ▾](#)[County website](#) [See data sources](#)

Zestimate Details

[Add owner estimate](#)Zestimate [?]

\$925,203

+\$27,546 Last 30 days

\$814K \$1.05M

Zestimate range

Rent Zestimate [?]

\$3,639/mo

+\$111 Last 30 days

\$2K \$4.8K

Zestimate range

Zestimate ▾

This home --

Adams Morgan --

Washington --

1 year

5 years

10 years

Dairy-Free Food in DC

We deliver table-ready, delicious & dairy-free food by DC area chefs.

Similar Homes for Sale



FOR SALE

\$789,500

3 beds, 3.0 baths, 2557 s...

[1756 Kilbourne Pl NW, W...](#)

FOR SALE

\$999,990

6 beds, 3.0 baths, 3089 s...

[1315 Euclid St NW, Wash...](#)

FOR SALE

\$985,000

5 beds, 3.0 baths, 2408 s...

[1214 Euclid St NW, Wash...](#)[See listings near 2307 Ontario Rd NW](#)

Service in a snap!

Angie's list

Join Now

Shop, schedule and save on top-rated local services.

Nearby Similar Sales

SOLD: \$795,000

Sold on 1/15/2015

3 beds, 3.0 baths, 1600 sqft

[1814 Florida Ave NW, Washington, DC 20009](#)

SOLD: \$800,000

Sold on 9/5/2014

4 beds, 3.0 baths, 2400 sqft

[2910 18th St NW, Washington, DC 20009](#)

SOLD: \$849,000

Sold on 8/11/2014

Appeal Exhibit Section: Submitted March 13 2015

Homes

Rentals

Mortgages

Agents

Advice

Local

Home design

More

Sign in or Join

Advertise

CORRECT HOME FACTS

SAVE

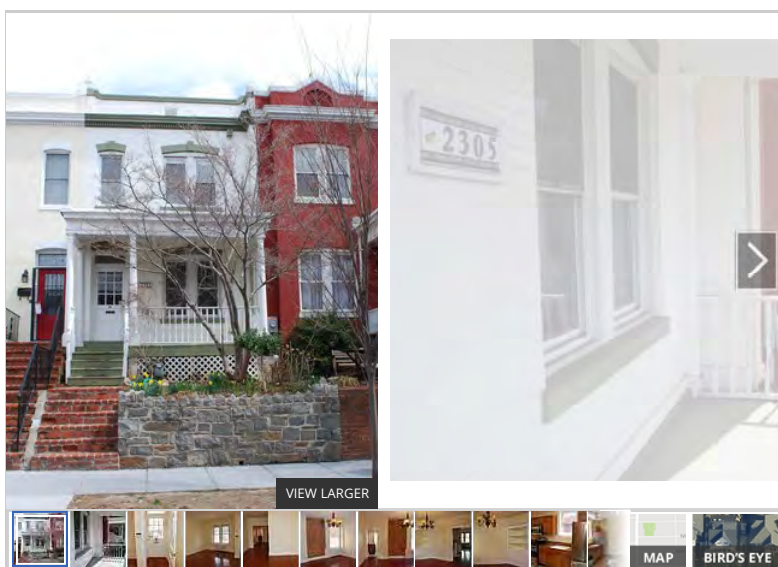
GET UPDATES

REPORT LISTING

MORE

City, State, or Zip

Washington D.C. · Washington · Adams Morgan · 2305 Ontario Rd NW



2305 Ontario Rd NW,
Washington, DC 20009

2 beds · 3 baths · 1,349 sqft [Edit](#)

Edit home facts for a more accurate Zestimate.

● **SOLD: \$549,560**

Sold on 12/31/14

Zestimate®: \$709,355

[Update my Zestimate](#)

Est. Mortgage

\$2,027/mo

[See current rates on Zillow](#)

[See your 2015 Credit Score from Equifax](#)

Charming row-house w/ so much character. NEWER gourmet granite/ stainless kitchen w/exposed brick walls + breakfast rm. Spacious LR. Captivating DR w/ built-in corner cabinet. Gorgeous wood flrs. 2 BR & 2 full BA's (1 w/ claw tub) on upper level. Great LL w/ sep. entrance, FB, sauna, & FR (or 3rd BR) w/ exposed brick walls. Private rear patio and sitting porch. 1 car garage! 1 mile metro! A winner

FACTS

- Lot: 1,927 sqft
- Townhouse
- Built in 1908
- Cooling: Central, Other
- Heating: Other
- Last sold: Dec 2014 for \$549,560
- Last sale price/sqft: \$407

FEATURES

- Deck
- Flooring: Hardwood
- Parking: Garage - Attached, 1 space
- Patio
- Porch

[More](#)

[County website](#) [See data sources](#)

Zestimate Details

[Add owner estimate](#)

CONTACT A LOCAL AGENT

- ☒

Jennifer Smira
 ★★★★★ (65)
 911 Recent sales
 (202) 600-9197

PREMIER AGENT
- ☐

Alex Martinez
 ★★★★★ (19)
 58 Recent sales
 (301) 850-7118

PREMIER AGENT
- ☐

Carlos Garcia, Esq.
 ★★★★★ (86)
 88 Recent sales
 (202) 684-7258

PREMIER AGENT

Your Name

Phone

Email

I would like advice about selling a home similar to 2305 Ontario Rd NW, Washington, DC 20009

[Contact Agent](#)

[Learn how to appear as the agent above](#)

Schedule your appointment in a 2-hour window guaranteed

[Get Started Now](#)

Similar Homes for Sale

- FOR SALE**
\$924,900
 2 beds, 2.5 baths, 1322 s...
 1427 Swann St NW, Was...
- FOR SALE**
\$629,900
 2 beds, 1.0 baths, -- sqft
 1469 Harvard St NW # 5,...
- FOR SALE**
\$789,500
 3 beds, 3.0 baths, 2557 s...
 1756 Kilbourne Pl NW, W...

[See listings near 2305 Ontario Rd NW](#)

Exhibit 3



Appeal Exhibit Section: Submitted March 13 2015



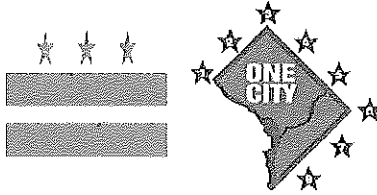
Appeal Exhibit Section: Submitted March 13 2015

Exhibit 4

**GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
OFFICE OF THE ZONING ADMINISTRATOR**

August 11, 2014

Christine Roddy, Director
Goulston & Storrs
1999 K Street, NW, 5th Floor
Washington, DC 20006-1020



RE: 1310 Q Street, NW -Square 241, Lot 847- ("Property")

Dear Ms. Roddy:

You have asked me to confirm that the project proposed for 1310 Q Street, NW (Square 241, Lot 847) ("Property") conforms with Title 11 of the District of Columbia Municipal Regulations ("Zoning Regulations"), and that no zoning relief is necessary prior to issuance of a building permit for this project. The project is depicted in the attached set of plans dated June 25, 2014 ("Project"). I have reviewed the attached plans and I confirm that the Project conforms in all respects with the Zoning Regulations, and that no zoning relief is necessary from the BZA.

I understand that Lot 847 is comprised of two record lots: Lots 56 and 57. You have represented that Lot 56 is currently improved with a three-story rowhouse that was constructed prior to 1958 and that Lot 57 is currently vacant. Both properties are located in the R-4 Zone District and I understand the two record lots will be combined via a lot consolidation subdivision to create a single record lot.

The R-4 Zone District allows the conversion of rowhouses to multi-family use so long as there is 900 square feet of lot area for every unit proposed (Section 401.3). Once lots 56 and 57 are combined, the lot area of the Property will be 6,000 square feet. Accordingly, a maximum of 6 units will be permitted on the Property. I understand that the existing rowhouse will be converted into three units: one unit in the cellar, one unit on floors 1-2, and a third unit on floor 3. You are constructing an addition to the existing building, which will also house three units: one unit on the cellar floor and one unit on the first floor and one unit on the second and third floors.

Below are specific zoning requirements for buildings constructed in the R-4 Zone District and the Building's compliance with each:

- 1) Lot occupancy: The R-4 Zone District permits 60% lot occupancy for residential use (Section 403.2). Accordingly, Project complies with this requirement as it will occupy no more than 59.3% of the lot (Cover Sheet). The open court in the center of the Project includes a glass canopy that is less than 4 feet tall. As such, the area below the glass canopy does not count against the lot occupancy.

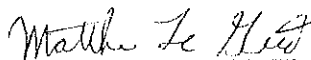
- 2) Height: The R-4 Zone District allows a maximum height of 40 feet. Because the Project does not have a flat roof, building height is measured from the building height measuring point to the average level between the highest eave, not including the eave of a dormer, and the highest point of the roof. The building height measuring point is established at the existing grade at the mid-point of the building façade (Sections 400.16 - 400.18). The existing building is 40 feet tall to the top of its parapet. The height of the addition is 38 feet, 8 inches, as measured per Section 400.16-400.18 (Sheet A-8). The turret on the addition, also known as a tower, exceeds the 40 foot height limit; however, this will not include any occupiable space, and is therefore treated as an architectural feature. Architectural features may exceed the height limit otherwise imposed in the R-4 Zone District (Section 400.3).
- 3) Floor Area Ratio ("FAR"): No floor area ratio is prescribed in the R-4 Zone District. (Section 402.4)
- 4) Side Yard: There is no side yard requirement for a rowhouse in the R-4 Zone District but if one is provided, it must be 3 inches for every foot of height and at least 8 feet wide (Section 405.6). According to the attached plans, there are no side yards on the Property, which is consistent with the Zoning Regulations (Cover Sheet).
- 5) Rear Yard: The required rear yard is 20 feet (Section 404.1). The Project provides a rear yard of 38 feet, 1 inch, which exceeds the minimum rear yard requirement of 20 feet (Cover Sheet). Surface parking will be provided in the rear yard, which does not diminish the depth of the rear yard.
- 6) Court: Courts are not required; however, if an open court is provided, it must have a width of at least 4 inches per foot of height but not less than 10 feet. The Project includes a court that opens onto the required rear yard; and therefore, it is an open court. The court height is 35 feet, 2 inches. Accordingly, the court must be at least 11.7 feet wide. The Project provides a minimum court width of 11.8 feet (Cover Sheet), so it complies.
- 7) Parking: The Property is located in the "Great 14th Street" Historic District. Since the existing building on the Property was constructed before 1958 and since the addition does not require at least 4 additional parking spaces, no additional parking is required (Section 2120.3(b)).
- 8) Loading: The Building does not trigger a loading requirement as there are less than 50 units on-site (Section 2201.1).
- 9) Roof Structures: According to the plans, there are no roof structures and as such, no relief is required.
- 10) Green Area Ratio: The R-4 Zone District is not subject to the Green Area Ratio requirements (Section 3401.2). The Property is, however, subject to the pervious surface requirements of Section 412. Section 412.4 sets forth the pervious surface requirement for lots greater than 2000 square feet in the R-4 Zone District at 20%. The Project will

provide between 20-28% pervious surface on the Property, which is consistent with this requirement (Cover Sheet).

- 11) Single Building on Record Lot: A single building is permitted on a single record lot; accordingly, there must be a connection between the existing rowhouse and the addition. Unit 3 provides the requisite connection between the structures as it occupies a portion of the third floor on both the existing building and the proposed addition (Sheet A-6).

In sum, the Project complies with the Zoning Regulations, and no areas of zoning relief are necessary from the BZA. It is therefore my conclusion that, if you present plans for a building permit which carry out the design reviewed in this letter, and illustrated in the attached plan set, my office would approve those plans for zoning purposes.

Please let me know if you have any further questions.

Sincerely, 
Matthew Le Grant
Zoning Administrator

Attachments: Plan Set dated 6/25/14

File: Det Let re 1310 Q St NW to Roddy 8-11-14

Exhibit 5



Zoning Data Summary

General Instructions: Pursuant to 12 DCMR, § 106.1.11.6, submit this completed form with Building Permit and Certificate of Occupancy applications for:

- proposed new construction of buildings
- additions to existing buildings
- changes in use or occupant load.

Print clearly in ink. Do not write in gray areas. Write N/A (non-applicable) for items that do not apply. If you erase, cross out, white out, or otherwise change any information on this application, the application will be void.

For more information, call the Office of Zoning Administrator at 202-442-4576. If you need more forms, you can download them at dcra.dc.gov (go to Permits/Zoning/Certificates of Occupancy and Zoning) or pick them up at the Permit Center, 1100 4th St SW, 2nd Floor

A. Site Address

Give complete and legal District address. If you need to apply for a new address, complete a New Address Application, before you complete this form. Do not abbreviate street names. Write the correct quadrant (NW, NE, SW, SE), suite or office number. Enter the correct Square, Suffix, and Lot number (SSL) or parcel ID.

Street Number 2305	Street Name ONTARIO ROAD	Quadrant NW	Unit / Suite	Application Date 06/11/2014
Square 2567	Suffix	Lot 0045	Proposed use MULTI-FAMILY BUILDING	

B. Owner & Contact Information

Agent must be an individual -- not company.

Owner of Building or Property 202 DEVELOPMENT	Complete mailing address (include zip) 2305 ONTARIO ROAD NW, WASHINGTON, DC 20009	Phone Number(s) 703-868-1184	Email
Agent for owner, if applicable WORKSHOP T10	Complete mailing address (include zip) 1429 5TH STREET NW, WASHINGTON, DC 20001	Phone Number(s) 202-758-2930	Email INFO@WORKSHOPT10.COM

C. Zoning District & Special Development Restrictions

Give the correct zoning and overlay zoning district(s). Check with Zoning staff if you are unsure. If your proposed construction was subject to Board of Zoning Adjustments (BZA) or Zoning Commission review, write the order number. Attach copies of BZA order and Office of Zoning stamped plan exhibits (site plan, elevations, and floor plans).

District R-5-B	Overlay(s), if any NOT APPLICABLE
Number of Board of Zoning Adjustment (BZA) or Zoning Commission (ZC) Order, if applicable. NOT APPLICABLE	

D. Zoning Data

For items with asterisks (*) refer to the Definitions Section of the Zoning Regulations, 11 DCMR, § 199.1, available online at dcra.dc.gov/info/reg.shtm.

Data	Existing	Proposed	Official Use Only (code requirement)
Fill in both columns: numbers must match those on attached applications, plats, and plans.			
Units & Parking Spaces			
Number of dwelling units	1 Units	8 Units	
Number of parking spaces (9' x 19')	2 Units	3 Units	
Setbacks & Building Heights			
Side Yard* Setback (left when you face property)	0 Linear feet	0 Linear feet	
Side Yard* Setback (right when you face property)	0 Linear feet	0 Linear feet	
Rear Yard* Setback	61'-9" Linear feet	47' Linear feet	
Building Height*	2 Stories	3 Stories	
	25 Feet	36 Feet	
Areas			
Lot Area	1927 Square feet	3854 Square feet	
Gross Floor Area* (GFA) of entire building (sum of all floors)	2167 Square feet	6885 Square feet	
Floor Area Ratio*	1.124 GFA / Lot Area	1.786 GFA / Lot Area	
Building Area* (sum of footprints of all buildings)	578 Square feet	2295 Square feet	
Lot Occupancy* (Bldg Area / Lot Area)	30 %	59.5 %	

Form Completed by (sign and print name): **JAMES PHILLIPS**

Date: **06/11/2014**

Exhibit 6

2365 Ontario Rd NW
B1408491
R-5-B

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., June 26, 2014

Plat for Building Permit of: SQUARE 2567 SITE PER SUB

Scale: 1 inch = 20 feet

Receipt No. 14-05836

Furnished to: J. PHILLIPS

B. D. M.
Surveyor, D.C.

By: B.D.M. *B. D. M.*

I hereby certify that all existing improvements shown thereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining Lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified that all Lot divisions or combinations pending at the Office of Tax & Revenue are correctly depicted, and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and private restricted property.) Owner/Agent shall indemnify, defend, and hold the District, its officers, employees and agents harmless from and against any and all losses, costs, claims, damages, liabilities, and causes of action (including reasonable attorneys' fees and court costs) arising out of death of or injury to any person or damage to any property occurring on or adjacent to the Property and directly or indirectly caused by any acts done thereon or any acts or omissions of Owner/Agent; provided however, that the foregoing indemnity shall not apply to any losses, costs, claims, damages, liabilities, and causes of action due solely to the gross negligence or willful misconduct of District or its officers, employees or agents.

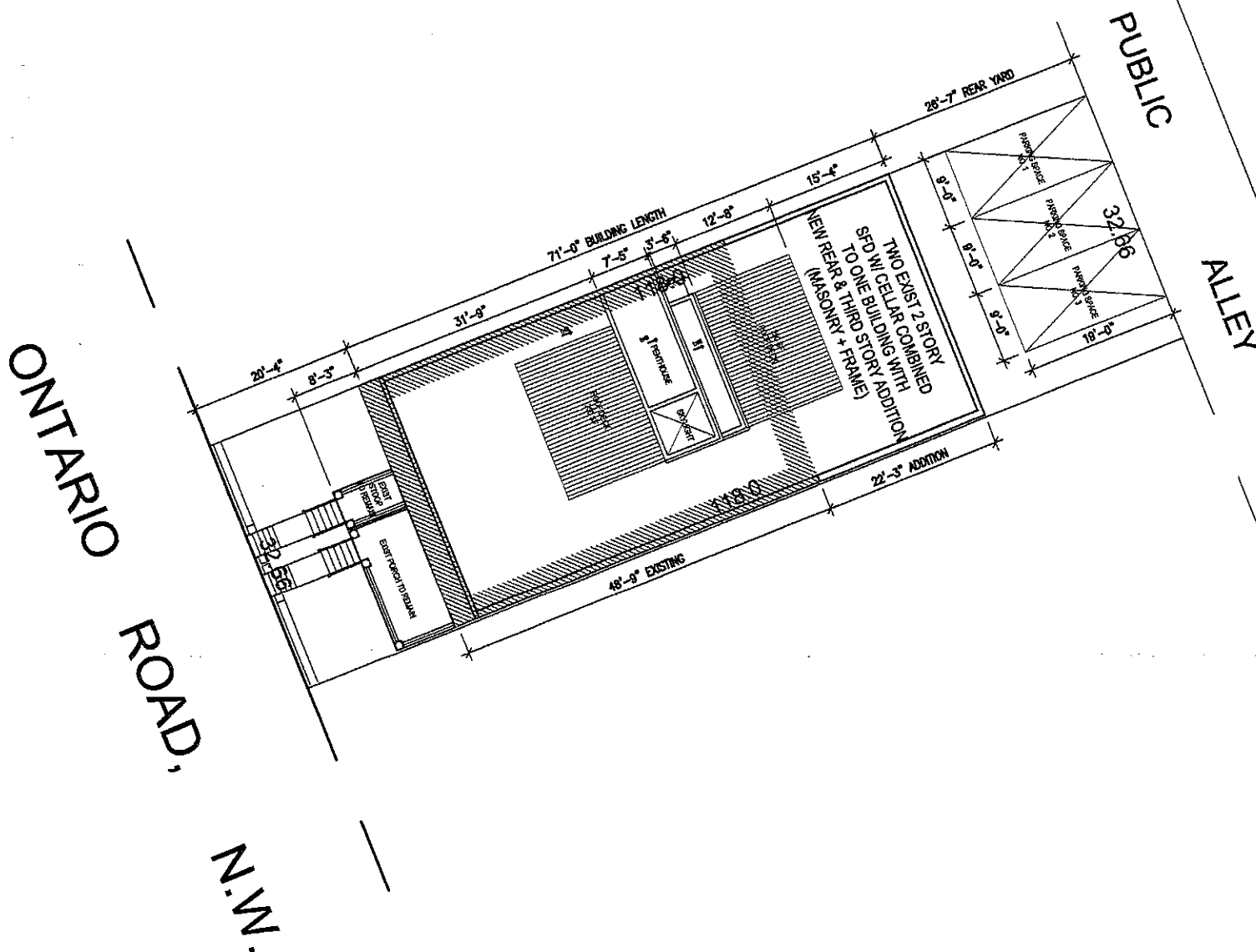
Date: 6 Nov 2014

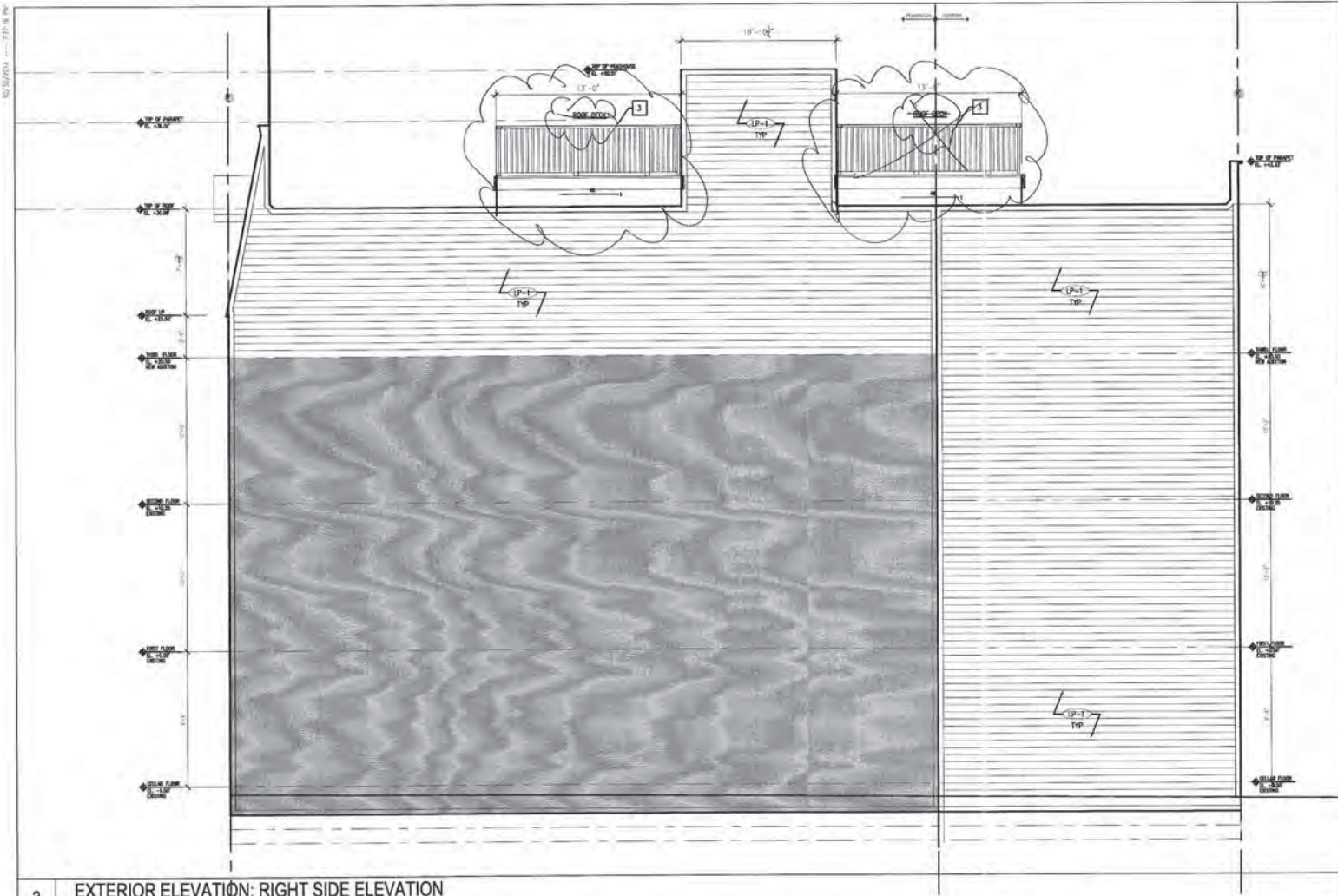
[Signature]
(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

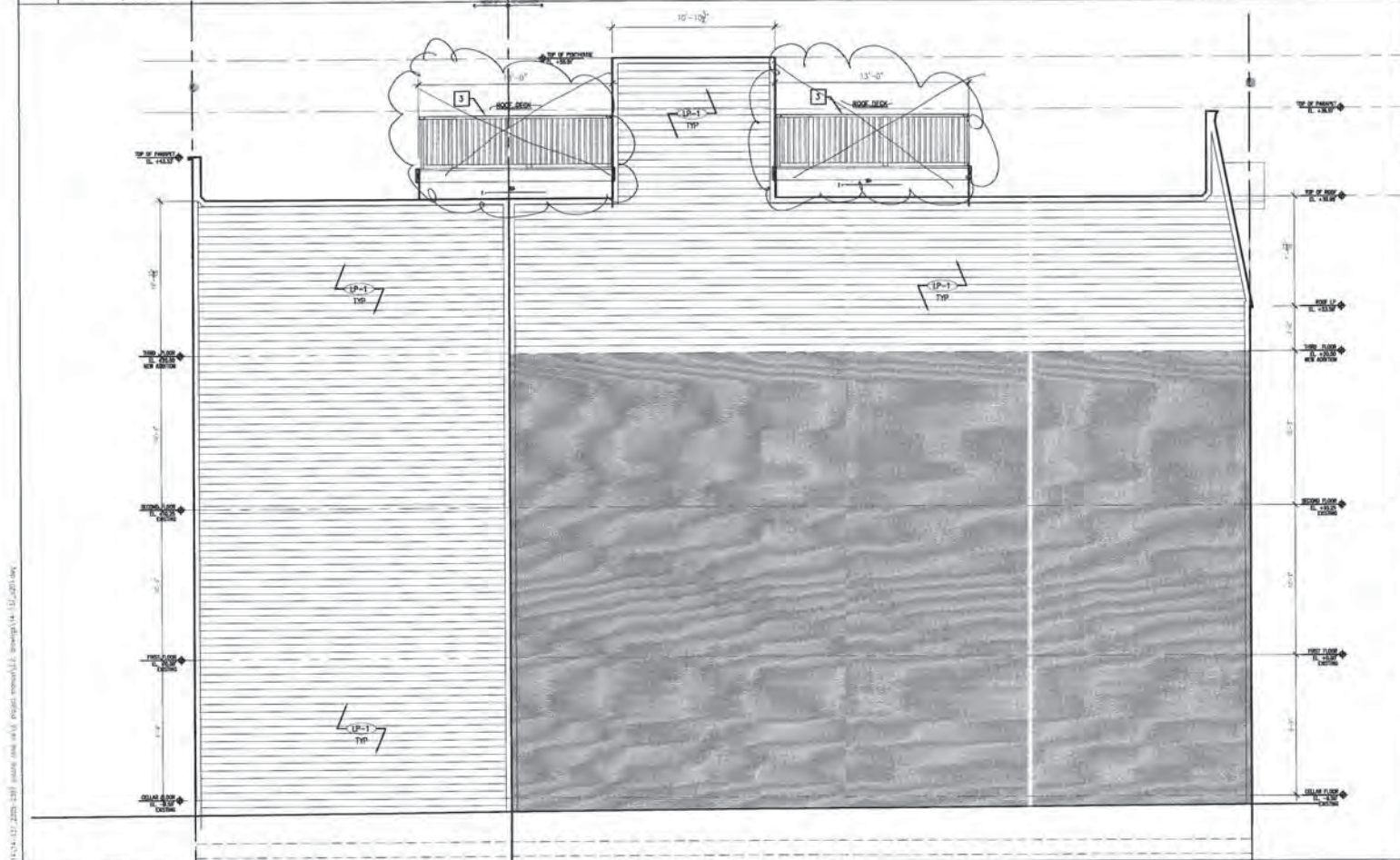
DCRA/OFFICE OF THE ZONING
ADMINISTRATOR/COMPLIES
WITH REQUIREMENTS OF
DC ZONING REGULATIONS (11DCMR)

111414 UNB
Conversion of 2 SFD into
8 unit apartment building
with rear addition in R-5
B Zone

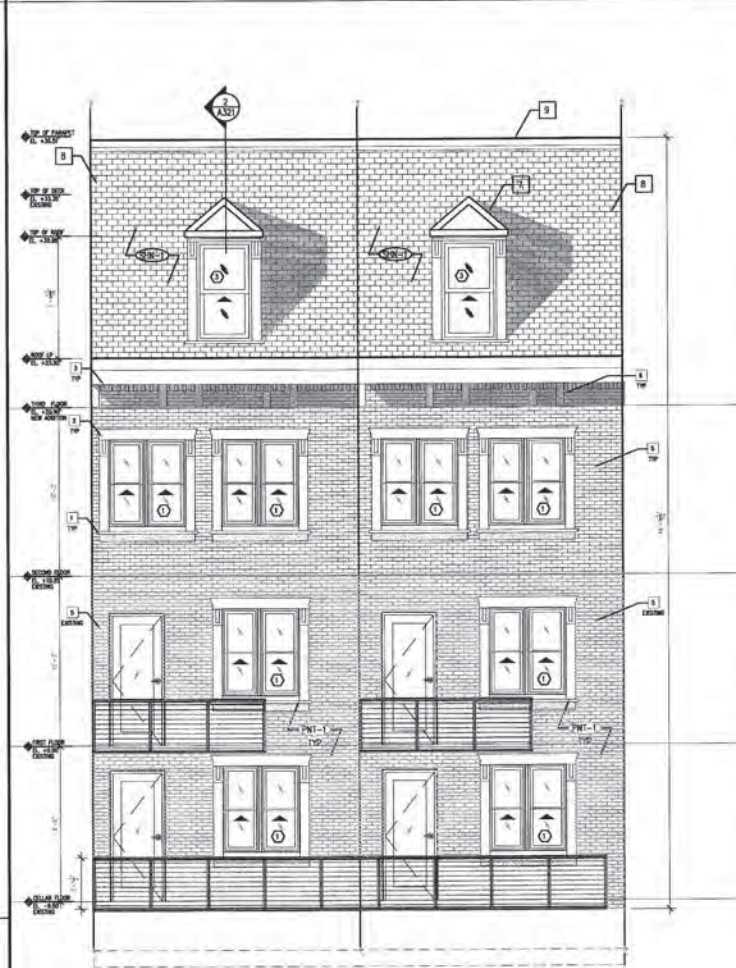




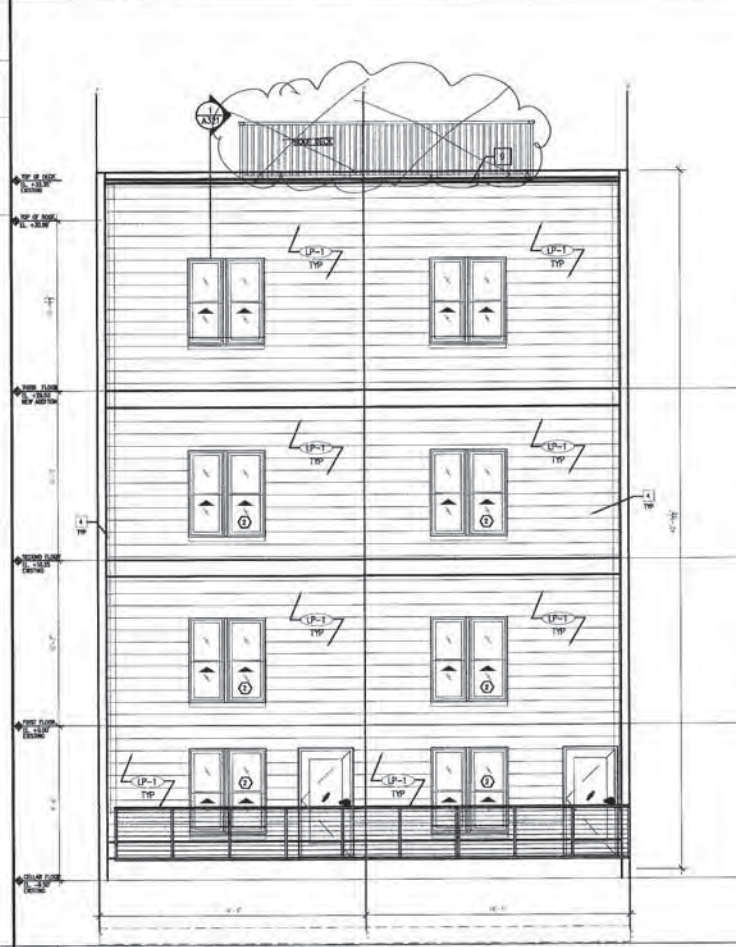
3 EXTERIOR ELEVATION: RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION: LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION: REAR FACADE
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION: REAR FACADE
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- SEE SHEET A701 FOR WINDOW SCHEDULE.
- SCRAPE & REPAIR EXTERIOR MASONRY UNITS @ FRONT FACADE.
- REPOINT BRICK MASONRY AS NEEDED.

ELEVATION KEYNOTES:

- 1 PRECAST SILL - REUSE/MATCH EXISTING COLOR - PNT-2
- 2 MASONRY UNITS W/PRECAST KEYSTONE PER DWG - REUSE/MATCH EXISTING COLOR - PNT-2
- 3 CYBON CORNICE W/ DENTIL (PAINT-)
- 4 EXTERIOR LAP SIDING
- 5 4" EXTERIOR FACEBRICK W/ 8" WOOD STUDS @ 16" O.C. W/5" CYPSUM DRYWALL
- 6 WOOD BRACKETS
- 7 DORMER W/DOUBLE WOOD WINDOW
- 8 MANSARD ROOF EDGE STARLING MAJESTIC SLATE ROOFING
- 9 LEAD COATED RIDGE & AZTEC TRIM (PAINT-)

EXTERIOR FINISHES:

- (PNT-1) PAINT 1 (BASE): COLOR - TBD
- (PNT-2) PAINT 2 (ACCENT): COLOR - TBD
- (MTL-) METAL PANEL: COLOR - TBD
- (LP-) EXTERIOR LAP SIDING
- (SH-) SLATE SHINGLE ROOFING: COLOR - TBD

DCRA/OFFICE OF THE ZONING ADMINISTRATOR/COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR) 11/14/14 WTB

DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION STRUCTURAL WORK IN GENERAL APPROVED SUBJECT TO THE FURTHER APPROVAL OF CONSTRUCTION

Date: JAN 15 2015 Structural Engr. Section KMM

SITE LOCATION

2305 & 2307
ONTARIO
2305 & 2307 ONTARIO ROAD
WASHINGTON, D.C. 20001
SQUARE2567 LOT0045 ZONE:R-5-B

DESIGNER

workshop | t10

Workshop T10 Design Studio
1429 Fifth Street NW
Washington, DC 20001
202-758-2930 | office
202-758-2993 | fax

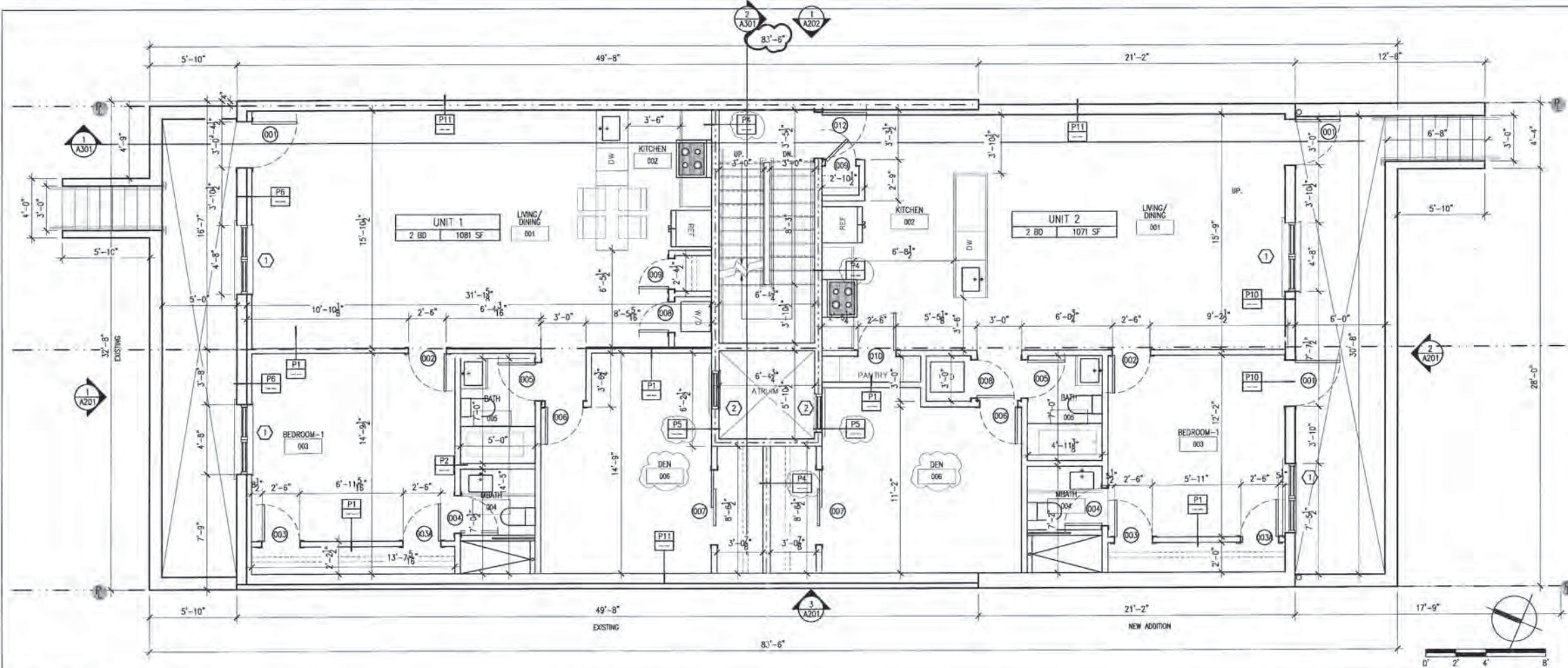
OWNER

PROJECT TEAM

PERMIT SET

EXTERIOR ELEVATIONS

A 201



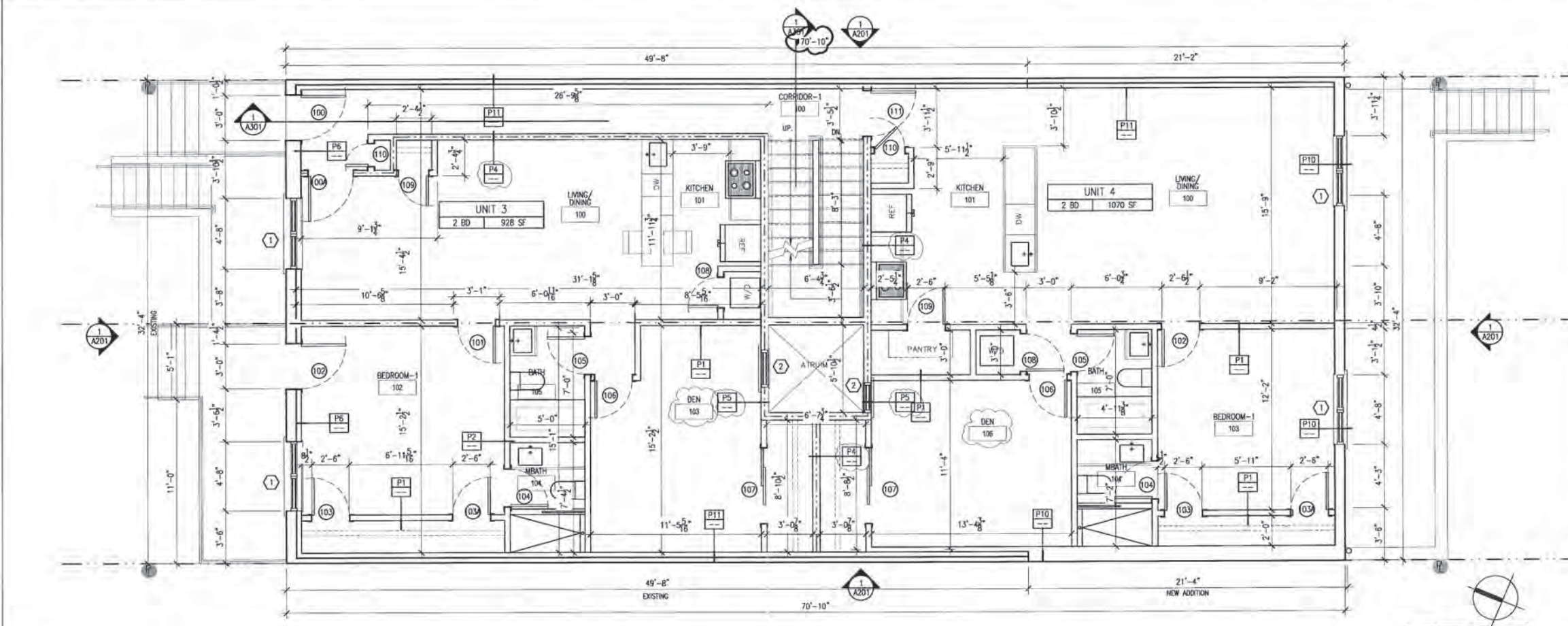
1 CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0"

GRAPHIC KEY:

- FULL HT MASONRY
- FULL HT CMU WALL
- FULL HT CONC WALL
- EXIST FULL HT WALL
- NEW FULL HT WALL
- NEW FIRE RATED WALL
- CONSTRUCTION ABOVE
- BEAM ABOVE

- PLAN NOTES:**
- SEE SHEET SERIES A150 FOR REFLECTED CEILING PLANS.
 - SHAFT PARTITIONS ARE "P" AND OTHER PARTITIONS ARE "P1" UNO - SEE SHEET A701 FOR ASSEMBLY TYPES.
 - DOORS AT CORNERS TO BE FRAMED 4" FROM INSIDE CORNER TYP - OTHER DOORS TO BE CENTERED IN SPACES UNO.
 - DOORS TO BE EQUIPPED WITH FUNCTION ASSOCIATED HARDWARE - SEE SHEET A702 FOR DOOR SCHEDULE.
 - SEE SHEET A704 FOR FINISH SCHEDULE & LEGENDS.

- PLAN KEYNOTES:**
- 1 KEYNOTE TBD
 - 2 KEYNOTE TBD



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DISTRICT OF COLUMBIA
PERMIT DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION

Date: JAN 13 2015

Structural Eng. Section

SITE LOCATION

2305 ONTARIO
2305 ONTARIO ROAD
WASHINGTON, D.C. 20001
SQUARE2567 LOT0045 ZONE-R-5-B

DESIGNER

workshop | t10

Workshop T10 Design Studio
1429 Fifth Street NW
Washington, DC 20001
202-758-2930 | office
202-758-2993 | fax

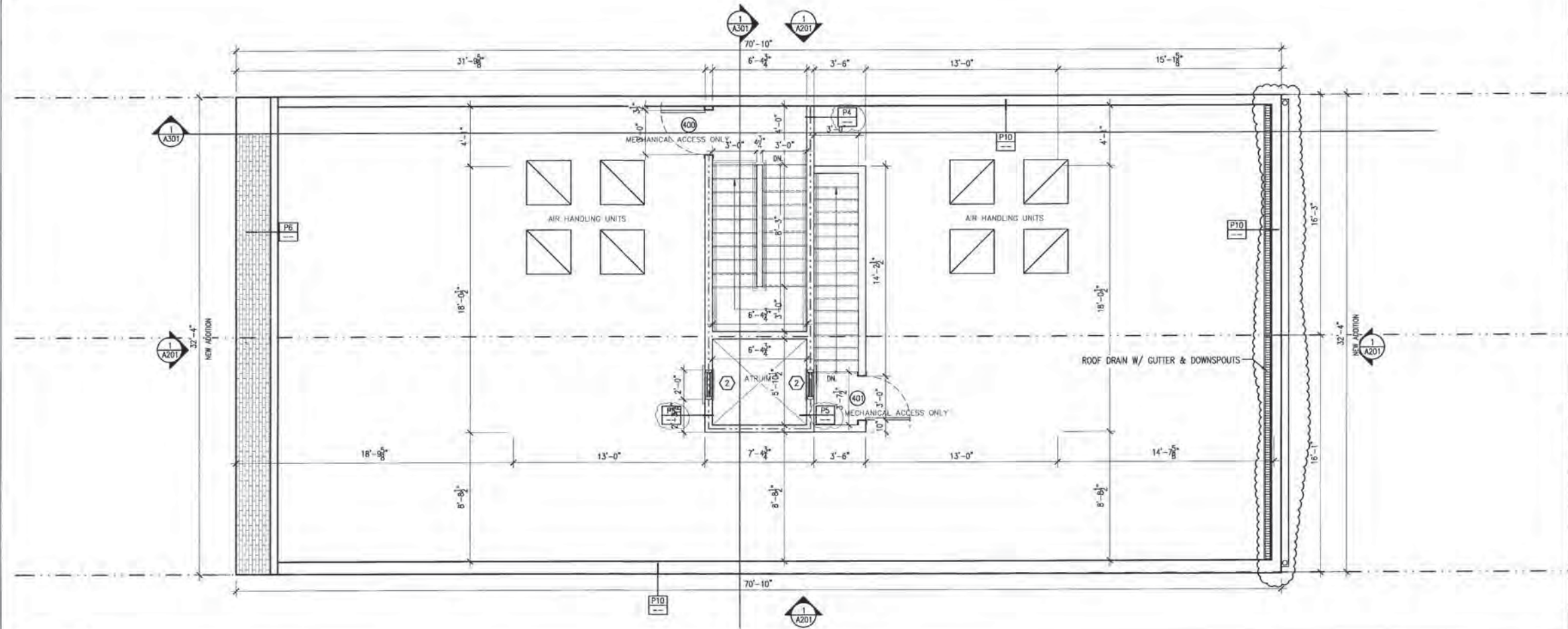
OWNER

PROJECT TEAM

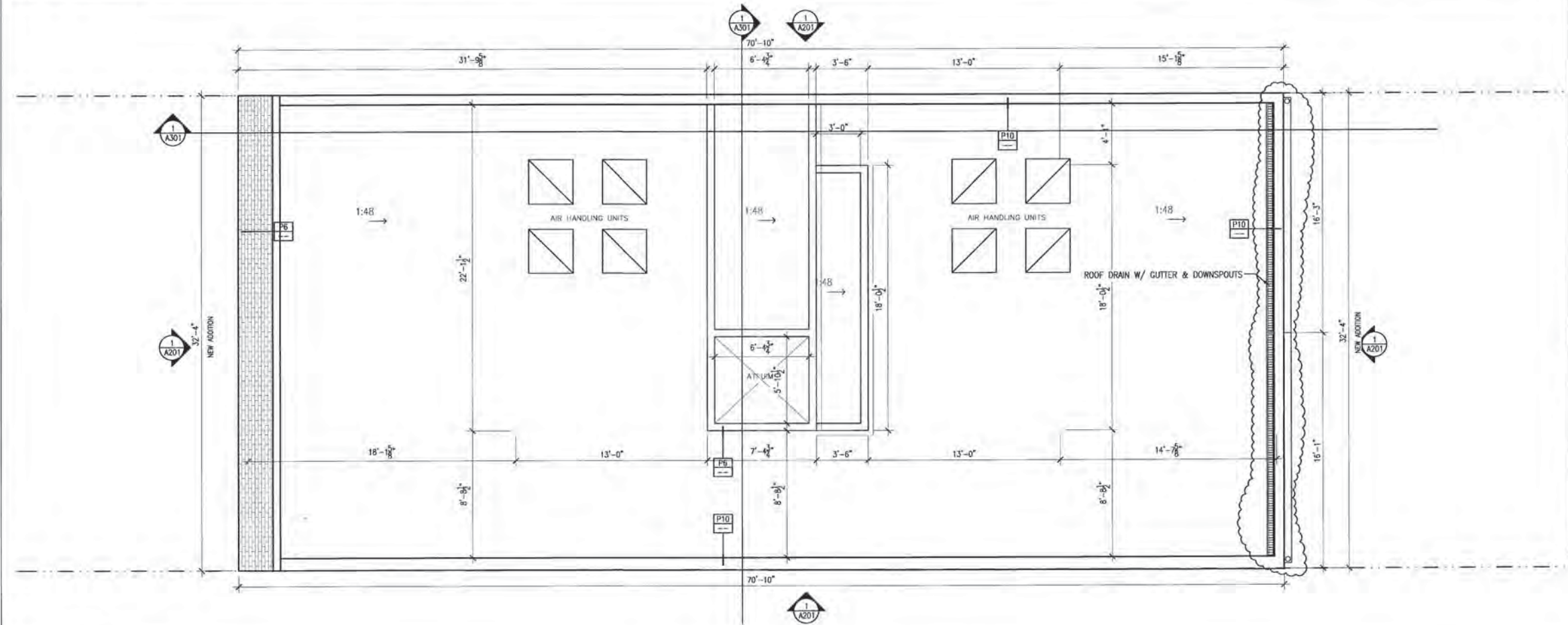
PERMIT SET

PLANS

A 101



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



2 PENTHOUSE ROOF PLAN
SCALE: 1/4" = 1'-0"

GRAPHIC KEY:

- FULL HT MASONRY
- FULL HT CMU WALL
- FULL HT CONC WALL
- EXIST FULL HT WALL
- NEW FULL HT WALL
- NEW FIRE RATED WALL
- CONSTRUCTION ABOVE
- BEAM ABOVE

PLAN NOTES:

- SEE SHEET SERIES A150 FOR REFLECTED CEILING PLANS.
- SHAFT PARTITIONS ARE "P..." AND OTHER PARTITIONS ARE "P1" UNO - SEE SHEET A701 FOR ASSEMBLY TYPES.
- DOORS AT CORNERS TO BE FRAMED 4" FROM INSIDE CORNER TYP - OTHER DOORS TO BE CENTERED IN SPACES UNO.
- DOORS TO BE EQUIPPED WITH FUNCTION ASSOCIATED HARDWARE - SEE SHEET A702 FOR DOOR SCHEDULE.
- SEE SHEET A704 FOR FINISH SCHEDULE & LEGENDS.

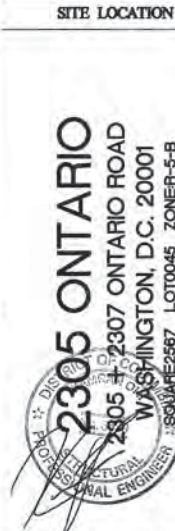
PLAN KEYNOTES:

- KEYNOTE TBD
- KEYNOTE TBD

DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION

Date: JAN 15 2015

Structural Engr. Section
Klin



DESIGNER

workshop | t10

Workshop T10 Design Studio
1429 Fifth Street NW
Washington, DC 20001
202-758-2930 | office
202-758-2993 | fax

OWNER

PROJECT TEAM

ALL DIMENSIONS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE
ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER AND THE
SAME MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED
WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

NOTES

REVISIONS

DATE	1/15/2015
SCALE	1/4" = 1'-0"
OWNER	
CHECKED	
COMMISSION NO.	11-111

REVISIONS

DATE	1/15/2015
SCALE	1/4" = 1'-0"
OWNER	
CHECKED	
COMMISSION NO.	11-111

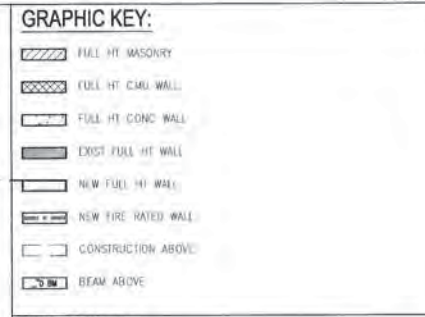
DATE: 1/15/2015
SCALE: 1/4" = 1'-0"
OWNER:
CHECKED:
COMMISSION NO.: 11-111

PERMIT SET

DRAWING TITLE

PLANS

SHEET NO.
A 103



PLAN NOTES:

1. SEE SHEET SERIES ALSO FOR REFLECTED CEILING PLANS
2. SWIFT PARTITIONS ARE "P" AND OTHER PARTITIONS ARE "P1" (IND - SEE SHEET A701 FOR ASSUMED TYPES)
3. DOORS AT CORNERS TO BE FRAMED 4" FROM INSIDE CORNER TYP - OTHER DOORS TO BE CENTERED IN SPACES UNO
4. DOORS TO BE EQUIPPED WITH FUNCTION ASSOCIATED HARDWARE - SEE SHEET A702 FOR DOOR SCHEDULE.
5. SEE SHEET A704 FOR FINISH SCHEDULE & LEGENDS.

1 KEYNOTE 133

2 KEYNOTE 130

DCRA/OFFICE OF THE ZONING
ADMINISTRATOR/COMPLIES
WITH REQUIREMENTS OF
DC ZONING REGULATIONS (11DCMR)
11/14/14 *lwb*

DESIGNER

workshop | t10

Workshop T10 Design Studio
1429 Fifth Street NW
Washington, DC 20001
202-758-2930 | office
202-758-2993 | fax

OWNER

PROJECT TEAM



PERMIT SET

SEAL

DRAWING TITLE

PLANS

SHEET NO.

A 103

Exhibit 7

**GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
OFFICE OF THE ZONING ADMINISTRATOR**

August 11, 2014

Via Emailed PDF



Ronald Schneck AIA
Square 134 Architects, PLLC

Re: Zoning PDRM – 3921 Fulton Street, NW (Square - 1806 / Lot – 22) – Subject Property

Mr. Schneck:

Please allow this letter and attached drawings to serve as a confirmation of our conversation on April 7, 2014 regarding the proposed development at the subject property. The subject property is currently an existing apartment building within an R-5-A zone. The proposed matter of right development will renovate the existing building and provide for a rear addition, adding four (4) dwelling units to the existing four (4) units, for a total of eight (8) units. The discussion is summarized below:

Cellar Level Exterior Areaways and Contribution to FAR and Lot Occupancy

The cellar level areaways shown on the attached site plan that are provided as part of the entrance path into the cellar units do not contribute to the building FAR. However, the areaways that are not provided as part of the entrance into the cellar units that exceed 3 feet by 4 feet do constitute a 'sunken patio' and the grade of which is used as the 'charagble FAR' calculation using the perimeter wall method. Neither type of areaway contributes to lot occupancy.

First Floor Exterior Stairways and Landings and Contribution to FAR and Lot Occupancy

The exterior stairway and landings necessary for entry into the building also do not count towards FAR, nor to the Lot Occupancy, as reflected in the attached site plan.

Courts

There are two open courts on this project, as shown on the attached plans. One on each side of the connector between the addition and the existing building. Both of which comply with the width requirements. However, the one on the west side does so because the width can be measured at the connector instead of the rear addition.

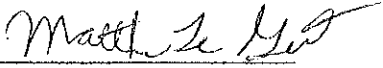
Rooftop Access

Since the common stair enclosure cannot be extended to the roof because penthouses are not allowed to be located on exterior walls, access to the roof is provided by two spiral staircases compliant with Zoning Regulations.

Parking

The existing building was built in 1937 and contains four (4) dwelling units without any off-street parking being provided. The zoning regulations require parking only for the additional

dwelling units, and four (4) new parking spaces are required. The four (4) spaces are off the alley to the rear as shown on the attached plans.

Sincerely, 
Matthew Le Grant
Zoning Administrator

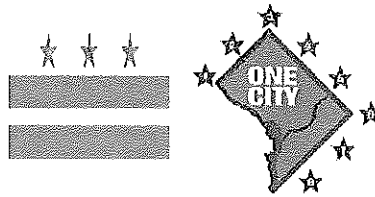
Attachment: Site Plan

File: Det Let re 3921 Fulton Pl NW to Schneck 8-11-14

**GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
OFFICE OF THE ZONING ADMINISTRATOR**

November 14, 2014

Ronald Schneck AIA
Square 134 Architects, PLLC



Via Emailed PDF

Re: Zoning PDRM – 3918W Street, NW (Square - 1315 / Lot – 0040) – Subject Property

Dear Mr. Schneck:

Please allow this letter and attached drawings to serve as a confirmation of our conversation on April 3, 2014, regarding the proposed development at the subject property.

Renovation, Conversion and Addition

The subject property is currently an existing apartment building within an R-5-A zone. The proposed development will renovate the existing building and provide for a third floor addition, adding three (3) new dwelling units to the four (4) existing dwelling units, for a total of seven (7) dwelling units. The new dwelling units and conversion of existing units is allowed as a matter of right.

Under Section 350.4(f) of the Zoning Regulations, multiple dwellings are a permitted use in the subject R-5-A zone. Also, Section 353 a special exception would NOT be required for the addition. Specifically, Section 353.1 states that “all *new* residential developments... shall be reviewed by the BZA as a special exception...” Since the apartment house already exists, the addition is not considered to be a new residential development and, therefore, this project is not subject to special exception approval.

Height, Density and Bulk Requirements

As is shown in the Plan Set dated 4/02/2014, the project’s proposed height, density and bulk requirements as defined by the Zoning requirements for FAR, Lot Occupancy, Building Height, Number of Stories, Rear and Side Yard setbacks, comply. The proposed third floor addition is within the allowable height of 3 stories and 40 feet, the Rear Yard setback exceeds the minimum 20 foot rear yard setback requirement, and the compliant Side Yard setback is unchanged.

Inclusionary Zoning

No Inclusionary Zoning units are required because the building has less than 10 dwelling units.

Lot Occupancy

The existing building contained a covered rear porch that exceeded the allowable lot occupancy of 40%. The proposed design removes the covered rear porch and provides for a new lot occupancy of 35%.

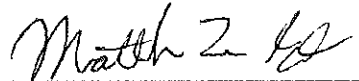
Cellar Level Exterior Areaways and Contribution to FAR and Lot Occupancy

The cellar level areaways shown on the attached plans (6 total) are not provided as part of the entrance into the Cellar units. However, 4 of them do not exceed a 3 feet by 4 feet dimension and therefore do not count towards FAR. The 2 northernmost areaways do exceed a 3 feet by 4 feet dimension and are included in the total FAR, calculated using the perimeter method. None of the areaways contribute to lot occupancy.

Parking

The existing building was built before 1958 and contains 4 residential units with 3 existing parking spaces. The zoning regulations require additional parking for the new residential units, or 3 more parking spaces, for a total of 6 parking spaces as shown on attached plans. Please note that parking spaces P5 and P6 are brought into compliance by providing a 3'-0" space between them.

Sincerely,



Matthew Le Grant

Zoning Administrator

Attachment: Plan Set dated 4/2/14

File: Det Let re 3918 W ST NW to Schneck 11-14-14

Exhibit 8

From: [REDACTED]
To: matt.legrant <matt.legrant@dc.gov>
Subject: 2305 Ontario Road NW - Permit number B1408491
Date: Thu, 17 Jul 2014 11:15 am

Dear Mr. LeGrant,

Recently two single family homes were bought by a developer on my street, Ontario Road NW, and a sign was put up outside advertising a proposed development of 10 new apartments. My street is almost all two story single family houses on the block of Ontario Road between Kalorama Street and Florida Avenue (there is one old apartment building and a few flats as well) and my neighbors are expressing concern about the size and character of this proposed development and its effect on our block. I am also concerned about this and would like to ask you some questions about required parking.

The two buildings are next to each other at 2305 and 2307 Ontario Road NW are on two lots that are about 16.33 feet wide by 116 feet deep. The project proposes to combine the lots as a larger development and would therefore have space in the rear for 3 legal parking spaces (9 feet wide). The zoning is R-5-B and the existing homes have one parking space each in the rear yard (accessible from an alley in the rear, one is a garage and the other a parking pad). My questions are as follows:

1. How many parking spaces does an 10 unit building at need to provide by current zoning regulations?
2. How many parking spaces does an 8 unit building need to provide?
3. How many parking spaces does an 6 unit building need to provide?

I believe the answer would be one parking space for each two units, but over the years of working in DC, I have heard that parking spaces are sometimes grand fathered in. Namely that buildings erected before 1958 have one parking space that can be described as a freebie and does not need to physically exist. I believe this rule only applies to buildings erected before 1958 that have no parking space (because there is no room on the lot or because it is technically impossible due to the physical characteristics of the site).

Also does the change of use have an effect on this rule if it exists and what is the effect of combining the lots? Does the new larger lot have one freebie or two?

There is a permit under review for this project at DCRA.

I appreciate your help in this matter and also would like this question answered as I am also an architect working in DC and would like to advise my clients correctly on this matter.

Hugo A. Roell
Roell Architects PC



Terra Blodnikar ~~terra.blodnikar@gmail.com~~

2305-2307 Ontario Rd. permit # B1408491

1 message

Terra Blodnikar <~~terrablodnikar@gmail.com~~>

Sat, Aug 16, 2014 at 2:48 PM

To: Matt Legrant <matt.legrant@dc.gov>

Cc: ~~Eric Biederman <eric_biederman@hotmail.com>~~, Irene Gutierrez <irene_gutierrez@yahoo.com>, Hugo A. Roda <hugoroda@prod.com>, "Lisa M. Landwehr" <lisa@landwehr.com>, "Joe Basko" <jbasko@yahoo.com>, Marc Gerard <marc.gerard@gmail.com>, Justin White <whitejustin@hotmail.com>, Julie Lopez <julie@julielopez.com>, Lynsey Wood <lynseywood@yahoo.com>, Dave Jeffries <davejeffries_99@yahoo.com>, Mark Houghton <houghtonfinances@gmail.com>, "Alia Nader" <alinaderpartner@yahoo.com>, Scott Goldstein <sdg2001@yahoo.com>, Fiona Bell <fionabell@hotmail.com>, Cody Johnson <cjohnson@del>

Hello Mr. LeGrant,

I wanted to be sure you were aware of permit B1408491 for 2305-2307 Ontario Rd. NW under review by DCRA. The developer appears to be attempting to build 8-10 units where 2 row houses currently sit. I believe based on a required parking ratio of 1:2, only 6 units are allowed without a parking variance from BZA. Our block is very concerned about this and want to be sure the permit, as submitted, in violation of zoning, is not approved.

Thanks,
Terra Blodnikar
2300 Ontario Rd. NW

Sent from my iPhone.


Re: 2305-2307 Ontario Rd. permit # B1408491

1 message

Alia N. Khan <[REDACTED]>

Sat, Aug 16, 2014 at 5:05 PM

Reply To: "Alia N. Khan" <[REDACTED]>

To: Matt Legrant <matt.legrant@dc.gov>

Cc: Eric S. [REDACTED], Irene [REDACTED], [REDACTED]

<[REDACTED]>, "Lisa M. Landwehr" <[REDACTED]>, "J. Zoe Beckman" <[REDACTED]>

<[REDACTED]>, [REDACTED], [REDACTED]

<[REDACTED]>, [REDACTED], [REDACTED], [REDACTED], [REDACTED]

<[REDACTED]>, [REDACTED], [REDACTED], [REDACTED], [REDACTED], [REDACTED]

<[REDACTED]>, [REDACTED], [REDACTED], [REDACTED], [REDACTED], [REDACTED]

<[REDACTED]>, [REDACTED], [REDACTED], [REDACTED], [REDACTED], [REDACTED]

<[REDACTED]>, [REDACTED], [REDACTED], [REDACTED], [REDACTED], [REDACTED]

<[REDACTED]>, [REDACTED], [REDACTED], [REDACTED], [REDACTED]

Dear Mr. LeGrant,

We would like to echo the concerns outlined below. We have owned and lived in our home at 2252 Ontario Rd. for ten years and want to ensure that any requests for permits, zoning relief and exemptions are carefully reviewed with respect to existing regulations, the Comprehensive Plan, especially the language excerpted from Chapter 20 - the Mid-City Element - copied at the end of this email, and, most importantly, neighborhood/community engagement.

We are concerned by the very rapid pace at which developers are converting single family rowhouses into multi-unit condominiums and apartments in Adams Morgan, throughout Ward 1 and elsewhere in the city, often in direct conflict with the views of residents and homeowners. To that end, any assurances you can provide that our and other neighbors' concerns are carefully and thoughtfully considered would be greatly appreciated. We are already working with our ANC representatives and welcome your advice with respect to where and how we can ensure that decisions concerning development on our block reflect the views of residents and homeowners.

Many thanks,

Alia Khan & Scott Goldstein
2252 Ontario Rd. NW
([REDACTED])

Excerpt from chapter 20, the Mid-City Element, of the Comprehensive Plan:

2. The row house fabric that defines neighborhoods like Adams Morgan, Columbia Heights, Pleasant Plains, Eckington, and Bloomingdale should be conserved. Although Mid-City includes six historic districts ... most of the row houses in Mid-City are not protected by historic district designations. Some are even zoned for high-density apartments.

A variety of problems have resulted, including demolition and replacement with much larger buildings, the subdivision of row houses into multi-unit flats, and top story additions that disrupt architectural balance. Intact blocks of well-kept row houses should be zoned for row houses, and not for tall apartment buildings, and additional historic districts and/or conservation districts should be considered to protect architectural character.

Policy MC-1.1.5: Conservation of Row House Neighborhoods

Recognize the value and importance of Mid-City's row house neighborhoods as an essential part of the fabric of the local community.

Ensure that the Comprehensive Plan and zoning designations for these neighborhoods reflect the desire to retain the row house pattern. Land use controls should discourage the subdivision of single family row houses into multi-unit apartment buildings but should encourage the use of English basements as separate dwelling units, in order to retain and increase the rental housing supply. 2008.6

...

Action MC-1.1.A: Rezoning Of Row House Blocks

Selectively rezone well-established residential areas where the current zoning allows densities that are well beyond the existing development pattern. The emphasis should be on row house neighborhoods that are presently zoned R-5-B or higher, which include the areas between 14th and 16th Streets NW, parts of Adams Morgan, areas between S and U Streets NW, and sections of Florida Avenue, Calvert Street, and 16th Street. 2008.11

Action MC-1.2.A: Conservation Districts

Consider the designation of Columbia Heights, Eckington, Bloomingdale, and other Mid-City neighborhoods as "Conservation Districts." Design standards and review procedures for such districts would be less rigorous than those used in Historic Districts, but would strive for more compatible infill development and maintenance of historic building scale, mass, and height conditions. 2009.7



1 message

Cc: Eric Blodnik <~~red_designs@hotmail.com~~, ~~phons.gutierrez@tiscali.es~~, ~~hugo.a.paul@nashua.com~~, ~~l.j.zeebeck@msn.com~~, ~~justin.white@white-justice.com~~, ~~marc.gerard@gmail.com~~, ~~justine.white@white-justice.com~~, ~~julio.tapani@juliopersona.com~~, ~~justine.white@white-justice.com~~, ~~buffy.burns@buffy99@yahoo.com~~, ~~Mark.Houghton@thoughtfinances@gmail.com~~, ~~Scott.Selstein@sdg2004@yahoo.com~~, ~~Flora.Dell@fremontbell.com~~, ~~Deja.Dejan@dejadesigns.com~~, ~~Stefan.Kaimann@sk@case-assembly.com~~, ~~Stana.Kiril@stana.kiril@yahoo.com~~, ~~Bis.Bayraktar@bisbayraktar@gmail.com~~, ~~Ming.McGowan@mcgowanm@gmail.com~~, ~~Richard.Aronow@richardaronow.com~~, ~~Tara.Blodnik@tara.blodnik.com~~, ~~Peter.Lyons@peter.lyons@peter.lyons.com~~, ~~"Alain Blodnik"~~, ~~alain.blodnik@yahoo.com~~>

()



~~From: [Redacted] <[Redacted]@gmail.com>~~

RE: 2305-2307 Ontario Rd. permit # B1408491

1 message

Julie <[Redacted]@juliaperez.com>

Sun, Aug 17, 2014 at 6:48 AM

To: [Redacted] <[Redacted]@landseigneur.com>

Cc: Diana Richi <diana_richi@yahoo.com>, Cecilia <[Redacted]@sacramento.org>, Tom Blodiker <tomblodiker@gmail.com>, Irene Gutierrez <irene_gutierrez@yahoo.com>, Peter Lago <[Redacted]@peterlago.com>, Dan Liffes <danliffes@yahoo.com>, Matt Laguarda <[Redacted]@laguarda.com>, Raja <[Redacted]@jstudios.net>, Rio Reynolds <[Redacted]@gmail.com>, Scott Goldstein <[Redacted]@scottgoldstein.com>, Missy McGowan <[Redacted]@missymcgowan.com>, Ellen Bell <[Redacted]@ellensbell.com>, Justin White <[Redacted]@justinwhite.com>, Joe Baker <[Redacted]@joebaker.com>, Eric Blodiker <[Redacted]@eriblodiker.com>, Kate Walker <[Redacted]@katewalker.com>, Mark Houghton <[Redacted]@markhoughton.com>, Mary Grand <[Redacted]@marygrand.com>, Lynsey Wood <[Redacted]@lynseywood.com>, Hugo Roldan <[Redacted]@hugoroldan.com>, Richard Avonson <[Redacted]@richardavonson.com>, [Redacted] <[Redacted]@[Redacted].com>

Dear Mr. LeGrant,

I live directly across the street from 2305-7 in 2304 Ontario Road. I live in my home with my husband Grover Thomas and our 4 elementary age children (11, 10, 8 & 6). We have lived here for 8 years.

The reasons we chose our home are many and one includes the incredible and unique neighborhood and community feel of our block. Until now it has been a neighborhood full of other families whom we call friends. Our children have grown up together. We enjoy the community that has been created by the porches and front yards of the homes. One that has fostered nice friendships.

The proposed development across the street has gone up quickly and aggressively. The large number of units initially proposed on 32 feet of curbside scared us, although reduced, it still scares us. 8 units where 2 are now standing. The sign announcing the developers plans conjures up the idea of many trashcans, and a more cosmopolitan, indifferent type of residence. A community much different than the trees, porches and gardens we currently enjoy.

It is directly across the street from us.

And maybe this developer has wonderful plans to preserve this community aspect of our neighborhood. We all are hoping so.

Our fear is that he is only focused on his profits with little regard to the impact on us, the people who have made this block our home. For our family it has been home for almost a decade.

To exacerbate things, apparently he could drastically alter the facade of these two (now recently 3) homes he has purchased right in front of us because of some zoning loop holes.

In your very important position in this process of awarding permits and reviewing zoning regulations I hope you will take into account the families whose lives are impacted as well as the spirit of the language highlighted by my other neighbors.

My hope is that our neighborhood will remain one of row houses with strong communities as it has for over 100 years.

Thank you for your care and compassion for us and other long time residents of Ontario Road.

Sincerely and hopefully,

Julie, Grover, Landon, Maya, Wes & Lucas

PS - I have attached 2 pictures of our children. One is from our front porch and steps.

Julie Lopez, PhD, LICSW, EMDR-C

Executive Director

The Viva Center:

A Wellness Organization

for Mind, Body & Spirit

~~Washington, DC~~
Washington, DC



Re: RE: 2305-2307 Ontario Rd. permit # B1408491

1 message

J. Zoe Beckerman ~~is a senior advisor at the Center for Strategic and Budgetary Priorities.~~

Sun, Aug 17, 2014 at 1:24 PM

To: ~~Johnnie Mae Smith, 1000 1/2 N. 1st St., Oklahoma City, Oklahoma~~

<matt.legrant@dc.gov>

Dr. Diana Nishi - diana.nishi@yale.edu, Cecilia - sk@cs.yale.edu, Tara Nishida

<plene@waterbasement.com> <plene@waterbasement.com> <plene@waterbasement.com> <plene@waterbasement.com>

~~Deis.schejan@diystudio.us, Die.Dowmells.wie.a.reynolds@gmail.com, Scott.Caldwell@~~

~~SECRET - INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE~~

<Fiananbhall@hotmail.com>

Altogether, the results of the present study suggest that the use of a single, standardized, and validated questionnaire is a feasible and reliable method for assessing the prevalence of mental health problems in a community sample. The results also suggest that the use of a single, standardized, and validated questionnaire is a feasible and reliable method for assessing the prevalence of mental health problems in a community sample.

~~Choukterfina~~

James W. Johnson, Helen Bell, William L. Brown, Richard A. Anderson, Rickson, Wynn

111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1041 1042 1043 1044 1045 1046 1047 1048 1049 1050 1051 1052 1053 1054 1055 1056 1057 1058 1059 1060 1061 1062 1063 1064 1065 1066 1067 1068 1069 1070 1071 1072 1073 1074 1075 1076 1077 1078 1079 1080 1081 1082 1083 1084 1085 1086 1087 1088 1089 1090 1091 1092 1093 1094 1095 1096 1097 1098 1099 1100 1101 1102 1103 1104 1105 1106 110

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Dear Mr. Legrant,

My husband and I live at 2316 Ontario Road NW, across the street from a proposed new development that will take 3 existing small rowhouses and turn them into several high-end condos in very short order.

I am concerned about traffic and related parking issues, public health problems, and child safety due to this development. Specifically:

Traffic and Parking Issues: Our block backs on Marie Reed school and we house its back playground. We already deal with many traffic and parking issues (from people visiting or working at Marie Reed, the new soccer field at the corner of Champlain and California, and 18th Street, just a few blocks away). If you grant any parking waivers for the Beasley development at 2305-07 Ontario Road NW, it will cause significantly greater hardship on those of us who already take a lot of time each day dealing with traffic, the noise it brings, and looking for nearby parking. Please do not grant any parking waivers for this development.

Public Health Issues: The alley on the side of the street that the development sits on (the east side of Ontario Road) is not wide enough to accommodate garbage trucks. As a result, all of the single family homes on that side of the street have garbage bins out front. Because the development will cut up 3 rowhouses into many small units, each will require many more trashcans than what currently exists (more people = more garbage). I am very concerned that the developer plans to set up his cans in the front, causing greater rat problems than we already have, leading to public health concerns that additional rodents bring. If there is any way that you can require an indoor garbage room or enclosed cans out back, or some other measure under the existing rules, we would really appreciate it.

Child Safety Issues: Children play out front regularly and comfortably on our tree lined street, with houses set back from the sidewalk. They set up lemonade stands, hopscotch and other things in the space they have. If we have more cars in front, a bigger trash problem, or buildings that come directly up to the sidewalk line, my neighbors' children will be placed at risk. Please help us to ensure this is not the case.

In sum, I ask that you keep a very close eye on this new development, and do not grant any waivers. If other parts of DC government need to be included to address these concerns, please help us to alert those agencies. Thank you for your consideration and for the work that you do for our city every day.

Sincerely,

J. Zoe Beckerman



~~Tara Blackiker <tara.blackiker@gmail.com>~~

Re: 2305-2307 Ontario Rd. permit # B1408491

1 message

Lynsey Jeffries <~~lynseywood@yahoo.com~~>

Mon, Aug 18, 2014 at 9:33 PM

~~Tara Blackiker <tara.blackiker@gmail.com>~~

Cc: Matt Ligrant <matt.legrant@dc.gov>, ~~Brian Blackiker <brian.blackiker@gmail.com>~~, ~~John Blackiker <john.blackiker@gmail.com>~~

~~<john_blackiker@yahoo.com>~~, ~~John Blackiker <john.blackiker@gmail.com>~~, ~~John Blackiker <john.blackiker@gmail.com>~~

~~<john_blackiker@yahoo.com>~~, ~~Marc Gerard <marc.gerard@gmail.com>~~, ~~Justin White~~

~~<white_justine@hotmail.com>~~, ~~Julie Lopez <julie@julilopez.com>~~, ~~Dave Johnson~~

~~<davejohnson99@yahoo.com>~~, ~~Mark Houghton <houghtonmark@gmail.com>~~, ~~Scott Solstak~~

~~<solstak99@yahoo.com>~~, ~~Cecilia Kuhlman <ck@scopus.org>~~, ~~Diana Richi <diana_richi@yahoo.com>~~, ~~De~~

~~Reynolds <dianareynolds@gmail.com>~~, ~~Missy McCogan <missymcogan@gmail.com>~~, ~~Richard Brown~~

~~<richardbrown@usa.net>~~, ~~Tara Blackiker <tara.blackiker@gmail.com>~~, ~~Peter Long <plong@peterlong.com>~~, ~~Di~~

~~Knapp <knappsuperstar@yahoo.com>~~, ~~Lisa Landwehr <lisal@landwehr.com>~~

Dear Mr. LeGrant,

I am writing to echo the concerns that are cogently laid out by my neighbors. My husband and I live at 2246 Ontario Road, across the street and a few doors down from the proposed development. I recently learned that the proposed development could possibly add two stories and extend to the sidewalk. This type of construction is completely misaligned with the aesthetic and character of our block.

I share the concerns of my neighbors, which are described below.

- Parking and Traffic Zoning
- Child Safety
- Public Health
- Neighbor Character and Appeal

As described in the Mid City element of the Comprehensive Plan, our block of Ontario Road is a special place.

Our historic block is a place where most of us are truly friends AND neighbors... we chat on front porches, host community improvement days (murals, gardening, schoolyard rehab), carve pumpkins together, host music festivals on our front porches, play hopscotch with and buy lemonade from the kids, organize to support Mary's Center, Marie Reed School, and local political campaigns, and much much more.

I value the character of our block enormously, and encourage you to deny the parking variance (at a minimum) for the proposed 2305 - 2307 Ontario Road development.

Many thanks,
Lynsey Wood Jeffries
2246 Ontario Road, NW



~~-----stuart@stuartdillon.com-----~~

RE: 2305-2307 Ontario Rd. permit # B1408491

1 message

Fiona Bell <~~REDACTED~~>

Mon, Aug 18, 2014 at 9:41 AM

To: Matt Legrant ~~smattleggrant@delaware~~

CC: ~~For: [Redacted] <[Redacted]@yahoo.com>, [Redacted] <[Redacted]@yahoo.com>, Hugo A. Dell~~
~~<[Redacted]@yahoo.com>, [Redacted] <[Redacted]@yahoo.com>, [Redacted]~~
~~<[Redacted]@gmail.com>, [Redacted] <[Redacted]@hotmail.com>, [Redacted] <[Redacted]@netop.com>~~
~~[Redacted] <[Redacted]@yahoo.com>, Dave Jeffries <[Redacted]@yahoo.com>, Mark Houghton~~
~~<[Redacted]@gmail.com>, Scott Goldstein <[Redacted]@yahoo.com>, Cecilia Kullman <[Redacted]~~
~~us <[Redacted]@yahoo.com>, [Redacted] <[Redacted]@gmail.com>, [Redacted]~~
~~[Redacted] <[Redacted]@gmail.com>, [Redacted] <[Redacted]@comcast>, [Redacted]~~
~~<[Redacted]@gmail.com>, Peter Logo <[Redacted]@peterlogo.com>, [Redacted] <[Redacted]@yahoo.com>~~
~~[Redacted] <[Redacted]@hotmail.com>~~

Dear Mr Legrant

I live at 2313 Ontario Road NW, 3 houses along from the proposed new development at that will take the three existing row homes at one end of our small block and convert them into multiple unit condos.

I echo the concerns outlined by my neighbors on the block. I am concerned that the current proposed development could set an unhealthy precedent for other developers looking to make a quick profit and depart from the neighborhood as rapidly as they appeared, in the process changing the character and uniqueness of our block and elsewhere in our neighborhood, contrary to the Comprehensive Plan and the interests of current homeowners and other residents.

I understand that based on a required parking ratio of 1:2, only 6 units are allowed without a parking variance. I request that the permit, as submitted, in violation of zoning, is not approved.

Sincerely
Fiona Bell



~~Tara Blodgett <tara.blodgett@gmail.com>~~

Re: 2305-2307 Ontario Rd. permit # B1408491

1 message

Missy McGoogan <missymcgoogan@gmail.com>

Tue, Aug 19, 2014 at 8:54 PM

To: Matt Ligrant <mattligrant@cityofottawa.ca>

C. Fiona Bell <fionabell@hotmail.com>, Eric Blodgett <eric.blodgett@gmail.com>, Tara Blodgett <tara.blodgett@gmail.com>

<missymcgoogan@gmail.com>, Hugo A. Boell <hboell@cityofottawa.ca>, "J. Beckerman" <jbeckerman@yahoo.com>

<jbeckerman@yahoo.com>, Marc Grand <marc.grand@gmail.com>, Justin White

<justin.white@hotmail.com>, John Loper <jloper@gmail.com>, Denis Joffe

<d.joffe@cityofottawa.ca>, Mark Houghton <houghtonmark@gmail.com>, Scott Goldstein

<scottgoldstein@gmail.com>, Matt Mulligan <matt.mulligan@cityofottawa.ca>, Diana Rodriguez <diana.rodriguez@cityofottawa.ca>

Reynolds <iris.reynolds@gmail.com>, Richard Arsenault <richard.arsenault@cityofottawa.ca>, Tara Blodgett

<tara.blodgett@gmail.com>, Peter Loper <peter.lopez@cityofottawa.ca>, Eric Blodgett <eric.blodgett@gmail.com>

<eric.blodgett@gmail.com>, Lynsey Jeffries <lynseyjeffries@yahoo.com>

Dear Mr. Ligrant:

I live at 2207 Ontario Rd. NW in a row of smaller row-houses on the same block as the proposed condo development. None of the row houses in this row have private parking. We all rely on street parking.

Street parking is already very difficult for many reasons including the ones stated in J. Zoe Beckerman's e-mail. We often have to drive around for up to a half hour (occasionally longer) to find parking and wind up parking blocks away. This is a real hardship when trying to manage a small baby, groceries and everything else. I ask that you not grant any parking waivers for the Beasley development at 2305-07 Ontario Road NW. The additional cars that would go hand in hand with an increase in the population density on our block would impact the livability of this block for families such as mine.

Regards,

Melissa McGoogan

ROELL ARCHITECTS P.C.
2312 ONTARIO ROAD, NW
WASHINGTON, DC 20009
(202) 332-4430

August 20th, 2014

Mr. LeGrant,
Zoning Administrator
DCRA
1100 4th Street SW
Washington DC, 20024

Re: Permit number B1408491 for development at 2305 and 2307 Ontario Road NW,
Washington, DC 20009

Dear LeGrant,

I am writing this to you as a concerned citizen who lives and works in Adams Morgan and as a licensed architect of more than 20 years in the District of Columbia. Across the street from me at 2305 and 2307 Ontario Road NW a developer is planning a new condominium building that is under review by the DCRA permitting process. I have seen the DCRA comments to date online and my concerns for the proposed project are as follows:

1. The plans have a small closed court with a roof (to avoid zoning requirements for a closed court) that has bedroom windows located on it at all levels for all eight of the proposed units. The building has one means of egress via a stair, and therefore the International Building Codes (IBC) Section 1026 requires the bedroom windows to be emergency escape and rescue windows that open into a yard or court that leads directly to a public way. The proposed court as designed in this development does not do this. As you know, this is an important fire rescue rule based on the fact that people usually go to their bedroom window in a fire and wait to be rescued. **If the DC Fire Department cannot see or reach the bedroom windows from the public way, people may not be rescued. The development sign outside the project at 2305 Ontario Road NW already announces that the building will have two-bedroom units for sale and unsuspecting DC consumers are likely to be hurt again. DCRA should not allow this to happen.**
2. Even if the rooms looking into this small closed court with a roof are not bedrooms, if they are to be habitable rooms, they need to be provided with fresh air by ventilated means (as per Section 406 table 403.3 of the International Mechanical Codes – 0.35 air changes per hour or 15 cfu per occupant) and with artificial light. This is based on the fact that they are not ‘adjoining spaces’ as per section 402.3 titled ‘adjoining spaces’ and are separate rooms.

3. The planned building appears to be four stories as the front yard will be fully excavated. It therefore must have two means of egress. Buildings with one exit under IBC Section 1019 table 1019.2 may only have three stories above grade. Fully excavating the front yard would result in the existing basement counting as another story.
4. There is a roof deck planned for the use of all the units. Section 1019 of the IBC states that 'occupied roofs shall be provided with exits as required for stories'. As this roof deck would be an additional story above the third floor, it is required to have two means of egress. Alternatively, if the roof deck were to be private and only for the use of one unit, it would need to satisfy the 50 feet travel distance rule for a building with one egress as per table 1019.2 of Section 1019 of the IBC
5. The proposed building in increasing the number of bathrooms and kitchens from two to eight and will need to sprinkler the building. Why is WASA not reviewing this project?
6. The developer is also in the process of buying a third lot next door at 2303 and planning to build enough units to be subject to the rules of accessible units.

Unfortunately, I have noticed that these small closed courts with glass roofs, that are designed to avoid zoning requirements for closed courts, are becoming pervasive in new developments. On my street alone, on the 2400 hundred block of Ontario Road NW, there are three completed developments with these small closed courts. They are as follows:

-  Ontario Road NW (four units)
-  Ontario Road NW (four units)
-  Ontario Road NW (four units)

I do not know what the permit plans indicated for these built projects, or how the projects were inspected, but I know that none of the closed courts were built with a roof and that none of these closed courts therefore meet the DC Zoning requirements for closed courts. Furthermore, as built, they do not even meet the size requirements for closed courts used for natural ventilation and lighting as outlined in Chapter 12 of the IBC, Section 1206 titled 'Yards or Courts'. If you do a realty search on the sales of these properties, the rooms looking into these closed courts are listed as second bedrooms. I have noticed that all three projects have a small spiral staircase on the back of the building to access parking that may be considered second means of egress by some, but I do not think the IBC agrees with this.

This is where I believe that unsuspecting DC residents and DC homebuyers are potentially being put in danger and where DC homeowners are potentially being hurt financially as well. They have bought "two bedroom units" that have only one legal bedroom and the purported second "bedrooms" may not even be habitable rooms if they look into a court that is too small for natural ventilation and no provisions have been made for mechanical ventilation (with fresh air) as required by the DC Building Codes.

It is also important that the practice of labelling a room something other than a bedroom for permitting is also not acceptable. A room name cannot simply be altered, allowing it

to be misrepresented and sold as a bedroom once DC permitting and inspections have been passed. And condominium documents should state this, if they do not already.

I also believe that if the glass roof is an integral part of the proposed design, these small closed courts should be reviewed by the DCRA Permitting and Inspection Division as atriums as defined by the International Building Codes. Therefore they should meet the multiple requirements of IBC Section 404 titled 'atriums', and at a minimum since there is no fresh air provided, the International Mechanical Codes (as adopted by DC) as follows:

1. Habitable room looking into the atrium cannot be a bedroom if the building only has one means of egress, as the window would not meet the emergency escape and rescue requirements for a sleeping room.
2. Habitable rooms looking into the atrium must be provided with fresh air by ventilated means (as per Section 406 table 403.3 of the International Mechanical Codes – 0.35 air changes per hour or 15 cfu per occupant) with artificial light. This is based on the fact that they are not 'adjoining spaces' as per section 402.3 titled 'adjoining spaces'.
3. The atrium should have a sprinkler system.
4. An atrium that connects more than two floors needs a smoke control system with standby power.
5. The atrium needs a 1-hour fire rated enclosure with protected openings.

If DC Zoning rules for closed courts are to be changed in the future, at a minimum the closed courts should follow the International Building Code rules for closed courts that are used for fresh air and ventilation of habitable spaces. The rules are in Chapter 12, Section 1206 titled 'Yards or Courts'. I believe that these rules were developed to avoid the unhealthy tenement buildings of the early 20th Century. The rules are minimal but require specific sizes for the width and depth of a court, and for closed courts require fresh air intakes of 10 square feet at the bottom of the courts. The minimum permissible size requirement is 3 feet wide, or 6 feet wide court if windows are facing each other, increasing by 1 foot for every story above two stories, and 10 feet in length increasing 2 feet for every story above two stories. And by the definition of Section 202, these courts must be 'open, uncovered space, unobstructed to the sky etc.'

Thank you for your time. If you have any questions or comments, you can call me at (202) 332-4430 or e-mail me at [REDACTED].

Sincerely,

Hugo A. Roell
Roell Architects PC

CC: Mr. Khokhar, Acting Deputy Chief of Permitting
Mr. Sabbakhan, Chief Building Official



Request for assistance understanding Zoning Review comments for permit # B1408491/2305-07 Ontario Rd NW

1 message

Alia N. Khan <~~alia.khan@superstar.com~~>

Thu, Aug 21, 2014 at 10:50 AM

Reply-To: "Alia N. Khan" <~~alia.khan@superstar.com~~>

To: Matt Legrant <matt.legrant@dc.gov>

~~Gabe E. Blackman <gblackman@designs.com>, Irene Gutierrez <irene_gutierrez@yahoo.com>, Margaret Bell~~

~~<bellmargaret@aol.com>, Lisa M. Landmeter <lisa@landmeter.net>, "D. Sue Deckman"~~

~~<dsdeckman@yahoo.com>, Mike Samuels <mikesamuels@gmail.com>, Justin Smith~~

~~<whitejustine@hotmail.com>, Julie Lopez <julie@julielopez.com>, Lynsey Wood <lynseywood@yahoo.com>~~

~~Dave Liffman <dave.liffman@dc.gov>, Mark Houghton <houghtonmark@gmail.com>, Scott Goldstein~~

~~<slg3394@yahoo.com>, Fiona Bell <fionabell@hotmail.com>, Deja Dejan <ddej@studios.com>, Leslie M. Bell~~

~~<lm@dcgoa.org>, Diana Riem <diana_riem@yahoo.com>, Eric Reynolds <eric.reynolds@gmail.com>~~

~~Mossy McGeoghan <mossymcgeoghan@gmail.com>, Richard Aronson <richardaronson@gmail.com>, "Shelley"~~

~~<shelley@dcgoa.org>, Peter Trapp <petr@trappdesign.com>, John Wilcox <jwilcox@jwilcox.com>~~

~~Jennifer Wilcox <jwilcox@jwilcox.com>~~

Dear Mr. Legrant,

I'm writing to follow up on my email below and request your assistance in understanding the permitting process. The comments under the Zoning Review section entered this Monday (8/18/14) do not reference the number of units proposed or the number of parking spaces to be provided, although unit count is referenced in the comments under "Electrical Review." I also don't understand the what the last sentence means regarding maximum lot occupancy.

[1] show (e) front porch on the entire width of lot as shown on drawings on dcra plats, [2] provide/show front porch dimensions on all applicable line drawings, [3] exterior front elevation does not match first floor architectural drawing, [4] where does the door in bedroom no. 2 in unit no. 2 lead to? [5] provide a completed and signed zoning data summary form, and [6] the maximum lot occupancy permitted in the r-5-b residential zone is sixty percent (60%), existing and proposed is 2,588 sf. at 67% permitted with a special exception from the board of zoning adjustment.

I tried calling the number listed under "Agent Name" (Workshop T10) only to learn that it's an architectural firm (I'd thought it was the relevant DCRA reviewer), and they were unable to speak to the details of the project.

I can only imagine the size of your workload and competing pressures you face daily. I'd be very glad for you to forward me to the appropriate contact person or office to help me interpret and understand the building permitting process so that I know where and how to register my concerns about protecting the rowhouse fabric and character of my neighborhood.

Many thanks for your time and consideration of our concerns,

Alia Khan

(202) 3-~~XXXXXX~~

superstar (n.): someone who is dazzlingly talented in any field

From: ~~Matthew LeGrant <matthew.legrant@dc.gov>~~

To: matthew.legrant <matthew.legrant@dc.gov>

Subject: 2305 Ontario Road NW - permit application number B1408491

Date: Fri, 22 Aug 2014 11:10 am

Attachments: Mr._LeGrant_closed_court_letter_8-20-14.doc (61K)

Dear Mr. LeGrant,

I apologize if this is a repeat of a message you already received. I have already sent you two e-mails to your e-mail address at matt.legrant@dc.gov, as have many neighbors, but I just found this address for you and worry that the other e-mail address may not be correct anymore.

As you may already know from e-mails, there is a development planned at 2305 Ontario Road NW that has the all my neighbors very upset. A developer recently bought two adjoining single family homes and proposes to join the properties to make one large multi-unit condominium. The developer out bid families who wanted to buy on our street by a small amount on the first house and then convinced the neighbor to sell by offering an extraordinary amount.

I also live across from this development and as an architect want to make sure that the proposed development follows all the DC Zoning and Construction Codes for development by right.

Here are the concerns that I addressed in my previous e-mails:

1. The project proposes 8 units and I believe should therefore provide 4 parking spaces as required by our R-5-B zoning. Parking in our area is extremely difficult at night because of all the restaurants and this is very important us.
2. The proposed project will excavate the entire front yard at the cellar level and build an areaway in the rear. The cellar should therefore start counting in the FAR calculation. The excavation of the front yard concerns us as all the current houses have the traditional terraced front yards. A gap in these front yards is not appealing.

Attached is a letter that lists further concerns I have for this project as planned under both zoning and construction codes. I have also mailed this to you. I am following the DCRA permitting process comments online and hope these concerns are being addressed.

Thank you,

Hugo A. Roell
Roell Architects PC

From: [REDACTED]
To: matthew.legrant <matthew.legrant@dc.gov>
Cc: jatinder.khokhar <jatinder.khokhar@dc.gov>; rabbiah.sabbakhan <rabbiah.sabbakhan@dc.gov>
Subject: Re: 2305 Ontario Rd NW- B1408491
Date: Fri, 29 Aug 2014 2:25 pm

Mr. LeGrant - The issue of the non-conforming closed courts in new construction remains a zoning issue until the certificate of occupancy has been approved. The DCRA certificate of occupancy requirements are listed at the DCRA a web site as follows:

Following completion of the construction, and submittal of the pre-occupancy data sheet* call (202) 442-9557 and use code #745 to request a zoning inspection. It normally takes 24-48 hours before the inspection results are entered into the Department's computer system. You may then complete and submit the Certificate of Occupancy Application*. C of O applications for New Construction and Load Change

If the glass roofs are not installed over these non-conforming closed courts they should fail the zoning inspection. Therefore the completed buildings at 2431, 2444 and 2456 Ontario Road NW should not have received a certificate of occupancy based on the fact that the non-conforming closed courts had no roofs over them. So my question is, who is doing the zoning inspections and who is making sure they are done correctly?

The design and use of a non-conforming closed court with a glass roof and then the omission of the glass roof in construction is becoming a common architect / developer trick for avoiding the requirements of the DC Zoning Regulations, and it is harming and endangering DC consumers. It's obvious that developers are using this trick to make more money by cramming in more units and bedrooms. Furthermore, these courts also fail the requirements the DC building Code Section 1206.3 for courts used for ventilation and light.

As far as the development at 2305 Ontario Road is concerned, I agree with you regarding matters of rights. I, as an architect, constantly advise developers and homeowners about their properties based on these rights and their right to seek exceptions and relief from the BZA. I saw the comments on the project from the zoning technician and assume the parking requirements will be dealt with when the Zoning Date Summary Form is turned in. My understanding of the DC Zoning regulations for parking requirements in an R-5-B district is that an 8 unit building needs to provide 4 parking spaces that are 9 feet by 19 feet. Please correct me if I am wrong, because I have told almost all the upset neighbors on both sides of the street that this is my professional opinion. When I advise developers on purchasing and developing properties, one of the first issues I review with them is parking requirements.

The 2300 block of Ontario Road consists of mostly single family houses occupied by DC residents who bought houses here because they like this street. I know that they are all very upset and ready to make sure that the development at 2305 Ontario Road follows all the DC Codes and Regulations. We understand that a property owner has the right to develop a property within the limits set by the DC Zoning Codes, and that an owner who wants to exceed any of those limits needs to follow the established process for getting an exception from the BZA. We expect to have input at that point in the process.

Thank you for taking the time to review my emails and answering them.

Hugo A. Roell
Roell Architects PC

-----Original Message-----

From: LeGrant, Matt (DCRA) (DCRA) <matthew.legrant@dc.gov>
To: [REDACTED]
Cc: Khokhar, Jatinder S. (DCRA) (DCRA) <jatinder.khokhar@dc.gov>; Sabbakhan, Rabbiah A. (DCRA) (DCRA) <rabbiah.sabbakhan@dc.gov>
Sent: Wed, Aug 27, 2014 5:04 pm
Subject: 2305 Ontario Rd NW- B1408491

Subject: 2305 Ontario Road NW - permit application number B14011753 Appeal Exhibit Section: Submitted March 13 2015

Ms. Beeton - I am a neighbor of the proposed development at 2305 Ontario Road NW and noticed on the DCRA permit status site that you have given this project a credit of one parking space for prior use. As a neighbor of this project and as a practicing architect in DC, I would like to know how Zoning made this decision.

The project consists of two one-family homes that each had one parking space in the rear (see the attached photographs), that are now being joined into one lot with eight units but only three parking spaces. I believe this proposed use should have been required to have 4 parking spaces, and would like to point out that the intensity of use has increased dramatically. This is a change of use from two one-family homes to an apartment house with eight units. As a result we could have six more cars looking for parking space on our street.

I understand that there are certain lots that were created before 1958 in DC for single family homes which did not need parking spaces at the time and that cannot have a parking space after 1958 due to special physical characteristics of the lot (such as there being no alley or due to steep slopes etc.) and that these were credited with a parking space. But both these houses at 2305 and 2307 already had parking spaces in the rear. One has a garage and the other has a parking area. They had the required minimum number of parking spaces for their use, and did not have (or need) any parking space credit. In this situation, why have they now been given a credit of a parking space?

Furthermore I did not know that parking spaces could be credited to a newly created lot as this project proposes to do.

The same developer has also bought the house at 2303 Ontario Road NW and plans to turn this single family house with a parking space in the rear into four units. The lot is only 16.34 feet wide and cannot fit in two legal parking spaces. I am concerned that crediting the 2305 Ontario Road project with a parking space will lead the developer to expect the same concession for the neighboring development as well. The permit application number for this neighboring project is B1411753.

Please note that almost every single neighbor on this block of Ontario Road is opposed to this project and believes it will add to our parking problem significantly. I am in constant contact with the neighbors about this project and hope that you can give me an answer as soon as possible. The neighbors organized an ANC meeting about this project at which Mr. Sabbakhan, the chief building official at DCRA, assured us that DCRA would make sure this building complies with all DC regulations. I also sent e-mails to Matt Legrant about our concerns for this project.

Thank you,

Hugo A. Roell

-----Original Message-----

[REDACTED]

[REDACTED]

Sent: Tue, Nov 18, 2014 10:01 am

Sent from my T-Mobile 4G LTE Device

-----Original Message-----

From: Beeton, Kathleen A. (DCRA) (DCRA) <kathleen.beeton@dc.gov>

To: ~~Matthew LeGrant~~ <~~matthew.legrant@dc.gov~~>

Appeal Exhibit Section: Submitted March 13 2015

Cc: LeGrant, Matt (DCRA) (DCRA) <matthew.legrant@dc.gov>

Sent: Tue, Nov 18, 2014 4:34 pm

Subject: RE: 2305 Ontario Road NW - permit application number B1408491

Dear Mr. Roell:

Thank you for your email. On the basis of the concerns you have indentified below, the Zoning Administrator will review the matter and communicate his determination to you.

Best regards,
Kathleen

Kathleen A. Beeton, AICP
Deputy Zoning Administrator
Department of Consumer and Regulatory Affairs, Office of Zoning Administrator
1100 4th Street, SW, Suite E340
Washington, District of Columbia 20024
Office: 202.442.4559
Fax: 202.442.4871
Email: kathleen.beeton@dc.gov

From: [REDACTED]

To: kathleen.beeton <kathleen.beeton@dc.gov>

Cc: matthew.legrant <matthew.legrant@dc.gov>

Subject: 2305 Ontario Road NW - permit application number B1408491

Date: Thu, 20 Nov 2014 11:00 am

Ms. Beeton - Thank you for replying. I hope Mr. Legrant can review this issue before they are issued a permit. There are at least 30 households on this block who do not like the proposed development. We have lived in this neighborhood for many years and are interested in keeping the homes as single family row houses or two unit buildings and we are trying to develop an overlay with the Office of Planning at this moment. We understand there are apartments in our area and do not oppose these, but want to keep the neighborhood from turning into an area of only apartment buildings. We also understand that developments can occur by a matter of right.

The developers of the project at 2305 and 2303 Ontario Road, which are in the permitting process, recently bought 2315 as well. They are planning to put the equivalent of 4 units in each town house. I not only have issues with the way they believe they have the required parking spaces, but also the way they are advertising their units as being two bedroom. The permitting plans show 'dens' with no windows that they apparently plan to sell as second bedrooms to unsuspecting DC residents. I realize that we cannot review the plans that are being permitted, but we will review them for compliance with all DC regulations once the permit has been issued and the plans are available for viewing by the general public.

Thank you,

Hugo A. Roell

Appeal Exhibit Section: Submitted March 13 2015

~~Terra Blodnikar - terra.blodnikar@gmail.com~~**Permit B1408491 parking error**

1 message

Terra Blodnikar ~~terra.blodnikar@gmail.com~~

Tue, Nov 25, 2014 at 1:28 PM

To: kathleen.beeton@dc.gov, Matt Ligrant <matt.legrant@dc.gov>

Cc: ~~Terra Blodnikar - terra.blodnikar@gmail.com~~, ~~Kathleen Beeton - kathleen.beeton@dc.gov~~, ~~Hugo A. Rios - hugo.rios@dc.gov~~, ~~Terra Blodnikar - terra.blodnikar@gmail.com~~

Dear Matt & Kathleen,

Please take a look at permit B1408491 which I believe it about to be granted erroneously. The code very clearly states that 1 parking space is required for every 2 dwelling units in the R-5-B zone. Your office has approved a "credit of one off-street parking space for prior sfd use" per the permit comments, allowing this developer to build at total of 8 units (rather than 6) with 3 parking spaces. I believe you are basing this "credit" on the concept of grandfathering (whereby a house with NO parking can convert to 2 units) such as explained in the attached BZA appeal. However, grandfathering is not at issue here because these houses have alley access and existing parking. This request by the developer for parking relief is appropriately heard and determined by BZA with neighborhood input and consideration of things like parking demand in the neighborhood.

You should also know that this developer has purchased additional houses (each with existing parking in back) on the block and intends to replace each SFD with a 4-unit building, so is assuming you are going to keep granting this credit over and over.

Everyone on the block is opposed to this project for reasons of parking and trash (as pickup is in front). We are exploring our legal remedies and will most definitely consider appeal to BZA if this permit is granted.

Feel free to contact me with any questions.

Terra Blodnikar**17526_1056-39.pdf**
160K

From: ~~Matthew L. Grant <matthew.legrant@dc.gov>~~

To: matthew.legrant <matthew.legrant@dc.gov>; kathleen.beeton <kathleen.beeton@dc.gov>

Cc: ~~jbocker <jbocker@yahoo.com>; fionambell <fionambell@hotmail.com>; rad_designs <rad_designs@hotmail.com>; terrablodnikar <terrablodnikar@gmail.com>; rombendes <rombendes@gmail.com>; diana_richt <diana_richt@yahoo.com>; christillibson <christillibson@yahoo.com>; marjengard <marjengard@gmail.com>; kellygoldstein <kellygoldstein@yahoo.com>; sdg2001 <sdg2001@yahoo.com>; guineer <guineer@ecg.com>; houghtonfinance <houghtonfinance@gmail.com>; nunglun <nunglun@verizon.net>; aliaisauperstar <aliaisauperstar@yahoo.com>; scottlambert <scottlambert@gmail.com>; lisa <lisa@landinutor.net>; ploger <ploger@powerlog.com>; julie <julie@julielopez.com>; chancel <chancel@yahoo.com>; missyngogoga <missyngogoga@gmail.com>; rustictz <rustictz@usbbn.com>; justinmiller <justinmiller@gmail.com>; white_justine <white_justine@hotmail.com>; lyanayana <lyanayana@yahoo.com>; jimmyrock <jimmyrock1980@gmail.com>; simpson_billy <simpson_billy@yahoo.com>; wraymold <wraymold1980@gmail.com>; wraymold <wraymold1980@gmail.com>~~

Subject: 2305 Ontario Road NW - Permit application number B1408491

Date: Mon, 1 Dec 2014 2:09 pm

Dear Mr. Legrant & Ms. Beeton,

I am contacting you again about the development at 2305 Ontario Road NW (permit number B1408491) that is in the process of getting a permit from DCRA for the construction of 8 one-bedroom (with dens) units in what was formerly two single-family homes. I know that you have given this project a parking credit so that it can get approval from Zoning, but I would like you to reconsider that decision before the permit is issued.

Here is my reasoning for why you should reconsider this parking credit:

1. Chapter 1 Section 199 definitions - "Garage, private - building or other structure, or part of a building or structure, not to exceed 900 square feet in area, used for the parking of one (1) or more motor vehicles." **The lot at 2303 has a private garage in the rear and therefore has a parking space. When the lot was combined with the lot at 2305 into one lot by the developer, this garage was still in existence. The pre-1958 building therefore had one parking space and did not need or have any parking credit. There is no justification for creating a parking credit at this time.**
2. Chapter 21 Off-Street parking requirements - Section 2100.4 - "Except as provided in 2101.5 (for Historic Districts), when the use of a building or structure is changed to another use that requires more parking spaces than required for the use existing immediately prior to the change or, if the building is vacant, the use that existed immediately prior to the vacancy, parking spaces shall be provided for the additional requirement in the amount necessary to conform to 2101." **The pre-1985 buildings at 2305 and 2307 were each single family homes when the developer purchased them. The developer combined the 2 lots into 1 larger lot in preparation for the current permit application. By combining the existing lots into 1 new lot, the developers changed the use to 1 two-unit building. Per the DC Zoning Regulations, the two-unit building only needed 1 parking space, which is provided by the existing garage. Through the requested permit, the developer now wants to change the use from a two-unit building to a multi-family apartment building containing 8 units. Per Section 2100.4, they therefore need to provide 3 more legal spaces in addition to the existing parking space in the garage. Again, the regulations do not provide for the creation of a parking credit in this situation.**

Almost all of the neighbors, on both sides of the affected block of Ontario Road, do not want to see this project get approved for so many units. We understand that developers have rights to develop properties they buy within the

rules of DC Zoning and DC Construction Codes, but they should have a long-term interest in our neighborhood, they just want to make a profit. We, the residents and DC taxpayers, have lived on this street for many years and plan to continue living here for many more years. We chose to live on this street because we liked the street and the neighborhood. Our block consists of mostly single-family homes and we do not want to see it changed into a street of apartment buildings. There is also a local school at Marie Reed that needs families living nearby to support it.

We also have further concerns for our street. The developer has also bought the house at 2303 Ontario Road NW (permit number B1411753 under review for construction) and the house at 2315 Ontario Road (permit number B1501738 under review for demolition?). The plans for 2303 show a total of 4-one bedroom (with dens) units and the developer's website states that 4 two-bedroom units are also planned for 2315. Both these houses have existing parking in the rear (as listed on their real estate sales information) but they do not have the required width to provide two parking spaces for the proposed 4 units in each house. We are very concerned that the developer will ask for - and receive - parking credits for these 2 projects as well. I understand that buildings that were built pre-1958 and do not have a parking space are 'grandfathered in' for their current use if no parking space exists. This makes sense as there were plenty of buildings in DC that were built before cars existed, that have no space for parking on the lot, have no alley in the rear, were built on a steep hill etc. The Zoning Regulations had to grandfather these in for their current use when the codes were established.

In contrast, all three projects on our block involve not only lots that have had parking spaces, but also changing a use from single-family dwellings to multi-family apartment buildings. There were 4 homes with parking in the rear at these locations, and the developer wants to get approval for 16 units with only 5 parking spaces. That means there is a potential for 11 more cars looking for space on our block. The developer has submitted plans to DC that show one-bedroom units with dens. Meanwhile, the future units are being advertised as being two-bedroom units. So, if two people end up sharing these units we may have as many as 27 more cars looking for space on our block. If Chapter 21 of the DC Zoning Regulations on off-street parking is not applicable to this incredible increase in the intensity of use, I do not know what its purpose is.

Finally I would also like to point out that Chapter 1 section 101 of the Zoning Regulations talks about the interpretation and application of the regulations as follows:

101.1 In their interpretation and application, the provisions of this title shall be held to the minimum requirements adopted for the promotion of the public health, safety, morals, convenience, order, prosperity, and general welfare to:

(a) Provide adequate light and air;

(b) Prevent undue concentration of population and the overcrowding of land; and....

Back in August I sent an e-mail and a letter you (Mr. Legrant), Mr. Khokhar, Acting Deputy Chief of Permitting, and Mr. Sabbakhan, Chief Building Official, about my concerns that the proposed project at 2305 did not have enough parking and that the project used a covered closed court to avoid the Zoning Regulations concerning the design of closed courts that make sure adequate light and ventilation is provided. The rooms looking into these courts were also noted as being dens to avoid the DC Construction Regulations concerning safe egress from bedrooms in the event of a fire. I pointed out that the large advertising sign outside the building and the website of the developer listed these units as being two-bedroom units. Federal Regulations concerning mortgages also require egress from bedroom windows for safety. The proposed project at 2303 Ontario Road NW has no covered courtyard but has dens with no windows at all, that are also planned for sale as two-bedroom units. I am sure the developer plans to do the same at 2315, as the website already lists 4 two-bedroom units. That is potentially 16 new units on our block that have second bedrooms advertised for sale that by DC Codes and Federal mortgage rules cannot be second bedrooms.

I therefore ask you to take these facts into account when you review these projects and interpret how the DC Zoning Regulations affect them. If you make the developer build a smaller amount of units based on the parking requirements, they will most certainly be able to build units that provide adequate air, adequate light and safety for all the bedrooms and units and you will have made sure that the future DC residents and consumers are fully protected in terms of light, air and safety. As an alternative the developer can of course seek relief from the parking requirement by going to the Board of Zoning Adjustment

Sincerely,

Hugo A. Roell.

CC: William Simpson, ANC Chairperson
Wilson Reynolds, Deputy Chief of Staff of WARD 1 Council Member Jim Graham & ANC Commissioner
Jimmy R. Rock, ANC Commissioner
Ontario Road NW neighbors

From: LeGrant, Matt (DCRA) (DCRA) <matthew.legrant@dc.gov>

To: [REDACTED]; Beeton, Kathleen A. (DCRA) (DCRA)
<kathleen.beeton@dc.gov>

[illegible]

Subject: RE: 2305 Ontario Road NW - Permit application number B1408491

Date: Thu, 4 Dec 2014 3:12 pm

Hugo A. Roell-

I apologize for the delay in responding to your emails. I am in the process of re-reviewing the plans for this pending permit [please note that the permit has NOT been issued] to examine your concerns about the provision of parking spaces required under the Zoning Regulations.

Once I conclude my review I will let you know if my office's original review of the parking matter was correct, or if the parking proposed is insufficient to meet zoning standards.

Best Regards,

Matthew Le Grant

Zoning Administrator

Dept of Consumer and Regulatory Affairs

Matthew Le Grant

Zoning Administrator

Dept of Consumer and Regulatory Affairs

Government of the District of Columbia

1100 4th St SW - Room 3100

Washington, DC 20024

Phone: 202 442-4652

Email: matt.legrant@dc.gov

Web: <http://dcra.dc.gov/service/zoning-dcra>

From: [REDACTED]

To: matthew.legrant <matthew.legrant@dc.gov>

Cc: kathleen.beeton <kathleen.beeton@dc.gov>

Subject: RE: 2305 Ontario Road NW - Permit application number B1408491

Date: Fri, 19 Dec 2014 9:33 am

Dear Mr. Le Grant,

Thank you for keeping our neighborhood's concerns in mind while reviewing this project and making your decision. I know the permit status web site was not designed for third parties to monitor permit issuance, but once a permit is issued it is hard to turn back. I would encourage DCRA to continue the permit status web site as it offers a transparent way for DC citizens to monitor permit issuance.

My neighbors have been very concerned about this project, the proposed projects at 2303 Ontario Road NW and 2315 Ontario Road NW and asked me to get involved. I told them that the parking requirements should limit the number of units in all these proposed projects and that as all the buildings had existing parking in the rear they would need to provide 1 parking space for every two units. I also told them that the developer has a 'matter of right' to build units within the framework of all the DC codes. We understand that these same rules will apply to the other proposed projects on our block.

Sincerely,

Hugo A. Roell
Roell Architects PC

Cc: Reid, Rohan (DCRA) (DCRA) <rohan.reid@dc.gov>

Date: Fri, 19 Dec 2014 5:25 pm

Since my last email to you I met with the applicant who provided me with additional information on this matter. He has demonstrated to me that the paved area at the rear of 2307 Ontario Rd NW is of insufficient size to provide a compliant parking space. The depth of the concrete paved area, as measured perpendicular to the alley, is only 11 feet 8 inches to the fence; therefore it cannot be counted as a pre-existing parking space.

Therefore, I have concluded that my office's original granting of the parking credit one parking space is valid, and the project is compliant with the zoning regulations. I will accept the proposed plat showing three parking spaces that, along with the above described valid parking credit of one space, total four parking space requirement.

My office will proceed with approving permit application number B1408491. Please let me know if you have any questions.

Best Regards,

Matthew Le Grant

Zoning Administrator

Dept of Consumer and Regulatory Affairs

Government of the District of Columbia

1100 4th St SW - Room 3100

Washington, DC 20024

Phone: 202 442-4652

Email: matt.legrant@dc.gov

Web: <http://dcra.dc.gov/service/zoning-dcra>

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Date: Mon, 29 Dec 2014 10:36 am

Dear Mr. Le Grant,

It also does not seem reasonable to use the distance between an existing fence and the lot line at the alley to determine whether an existing parking space "counts" as parking. Would building a fence across a previously existing parking space, and thereby shortening it to under 19 feet, have the effect of creating a new parking credit? What about removing a fence? I note that the fence that was in the back of 2307 has now been removed.

The proposed project as designed could not be built without combining the two lots into one, before the permit can be issued. The new lot was created by the DC Surveyor's Office for this project at the request of the developer. I see that the new lot now has one existing pre-1958 building, but it also has an existing parking pad for one car to park in the rear and a garage providing a parking space for another car. I think the existing wood frame garage with siding in the photograph is pretty hard to ignore, and I do not see how even the developer could argue that it isn't existing parking. Why is the developer entitled to a parking credit when these two parking spaces exist?

Finally the developer has not only combined the lots but is also requesting a change of use from the two single-family homes on the combined lot to an 8-unit apartment building. This is an incredible increase in the use of the existing building and should require the developer to provide all the parking spaces.

Sincerely,

Hugo A. Roell

2 Attached Images







Exhibit 9



Track Status of Building Permit Application

To review the status of an application, enter the Application ID or Property Address below and click find to continue. Please note that the application status is refreshed every night at **3.00 AM** so the status you see below reflects the updates from the day before.

Search By:		Application ID	Property Address		
Enter the ApplicationID to review Application Status:					
ApplicationID*:	B1408491	Find			
Application Status:					
Please see the table below for review statuses. The table is not shown if the reviews have not been identified. A blank Status date means that the initial review has not been completed.					
ApplicationID	Date Filed	Full Address	Agent Name	Phone Number	
B1408491	06/11/2014	2305 ONTARIO RD NW	WORKSHOP T10	202-758-2930	
Discipline	Review Status	Status Date	Review Comment	Reviewer Name	Reviewer Email
Wall Check Verification					
Mechanical Review	Mechanical Review Approved	06/26/2014		Harrison Shelton	harrison.shelton@dc.gov
Plumbing Review	Plumbing Review - HFC	06/26/2014	obtain dc water approval.	Harrison Shelton	harrison.shelton@dc.gov
Plumbing Review	Plumbing Review - HFC	06/26/2014		Harrison Shelton	harrison.shelton@dc.gov
Plumbing Review	Plumbing Review Approved	07/24/2014		Harrison Shelton	harrison.shelton@dc.gov
Electrical Review	Electrical Review - HFC	08/04/2014	1- submitted drawings for review are for 10 unit's apartments and the description is for 8 units. clarify. 2- provide a complete electrical riser diagram to each service equipment and panel (existing and new) used for the project. to comply with dcmr 12a 106.1.8 and nec 215.5 3- all design for new construction work, alteration, repair, expansion, addition or modification work involving the practice of professional architecture or engineering, shall be prepared by registered architects or professional engineers licensed to practice in the district of columbia, per dcmr 12a, 105.3.10.	Michel Mba	Michel.mba@dc.gov
Fire Review	Fire Review - HFC	08/07/2014	as per dcra requirements: *provide submittal documents prepared by a registered design professional as per 2006 ibc section 106.1 i.e. architectural a sheets. *provide the use group and occupancy classification on sheet a001 as per 2006 ibc section 310. *provide the corridor/tenant separation wall detail p4 (sheet a701) on the plans. *provide a site plan as approved by dc water showing incoming pipe and appurtenances. *provide a fire sprinkler riser detail with labels describing valves, drain and switches on the plumbing sheet as per 2006 ibc section 903.2.7. *provide the roof deck (ul) fire resistance rating as per 2006 ibc 602.4.5.	Samuel Mutia	samuel.mutia@dc.gov
Structural Review	Structural Review - HFC	08/13/2014	1) a site plan is required showing all adjacent features. [dcmr 12a 2008, sec. 106.2] applies to everything except construction entirely within the footprint of an existing building. includes retaining walls >36" aag. 2) sheet # (all): the plans must have the "live" stamp of a design professional. [dcmr 12a 2008, 106.1.1.1] required for any of the following items: 1. structural steel and steel trusses with connection details. 2. open web steel joists. 3. precast and prestressed concrete. 4. post tensioning. 5. space frames. 6. strongbacks. 7. curtain walls. 8. structural wood trusses, beams, girders, and columns. 9. concrete mixes. 10. structural, electrical, and mechanical loads related to new construction installations of elevators, escalators and other vertical transportation systems including, but not limited to accessibility lifts. 11. pre-engineered elements. 12. suspended plaster ceiling systems. 13. underpinning. 14. sheeting and shoring. 15. formwork. 16. automatic fire suppression systems. 17. fire alarm systems. 19. commercial kitchen hood suppression systems. 20. flammable and combustible liquid storage tanks. 3) sheet # s-1.1: underpinning of existing foundations must clearly show the method being used to support the old foundation while the new foundation is being installed. sheet s-1.1 refers to sheet up-1.1, which is missing from the package. [dcmr 12 2008 106.1] 4) sheet # : please provide details and/or specifications to indicate how uplift connections are being made from the roof and top floor double top plates to the foundation. [ibc 107.2.1] 5) sheet # a401: handrails are required on each side of the stairway. [ibc 1009.10] 6) sheet # s-1.1: please provide details for the insulation in the 2x4 exterior wall on the 3rd floor. [dcmr 12 2008 table ec402.1.1] minimum r-18 required (table p.381). 7) sheet # a-321: roof drains are required. was unable to find details and/or specifications showing how storm water from the roof will be conveyed to a proper place of disposal. please provide. surface drainage, including drainage from the roof, must be diverted away from the foundation. please indicate the method(s) you will be using to move storm water from the roof and surface water away from the foundation to a proper place of termination/disposal. [ipc 1101.2] ***note: please provide a written response narrative detailing how each comment was addressed and where the revisions are found on your plans. please do not respond to the points by using phrases such as "will comply" "will be built according to ibc" or similar.***	Joseph Fletcher	joseph.fletcher@dc.gov
Zoning Review	Zoning Review - HFC	08/18/2014	[1] show (e) front porch on the entire width of lot as shown on drawings on dcra plats, [2] provide/show front porch dimensions on all applicable line drawings, [3] exterior front elevation does not match first floor architectural drawing, [4] where does the door in	Jeannette Anderson	jeannetteb.anderson@dc.gov

Appeal Exhibit Section: Submitted March 13 2015

			bedroom no. 2 in unit no. 2 lead to? [5] provide a completed and signed zoning data summary form, and [6] the maximum lot occupancy permitted in the r-5-b residential zone is sixty percent (60%), existing and proposed is 2,588 sf. at 67% permitted with a special exception from the board of zoning adjustment.		
DDOE Review	DDOE Review - HFC	08/26/2014	civil drawings were not provided. 1. please address zoning comments and obtain approval. 2. provide a full erosion and sediment control site plan for review containing the following: a title that indicates the plan is a soil erosion and sediment control plan. proposed project narrative. address, lot, square, property boundaries, north arrow, dimensions and graphic scale. outline the limit of disturbance (lod) to include proposed work, erosion and sediment control measures, stock pile area and stabilized construction entrance. total disturbed area in square feet. total volume of excavation in cubic yards/feet. total volume of fill in cubic yards/feet. stabilized construction entrance (sce). material stockpile areas. show existing and proposed contours or indicate there will be no change in elevation. show adjacent area which may be affected by the plan. erosion and sediment control legend. location of erosion and sedimentation control practices such as stabilized construction entrance, silt fence, sediment tank, straw bale dike, and storm drain inlet protection. add erosion and sediment control plan title block signed and sealed by a dc professional engineer, land surveyor or architect. 3. add erosion and sediment control detail sheet to each set of plans.	Nykia Barnes	Nykia.Barnes@dc.gov
DDOE WSP Review	DDOE WSP Review - HFC	08/26/2014	additions and interior renovations to existing buildings must comply with green area ratio (gar) when the cost to construct exceeds 100% of the assessed building value within any twelve-month period. the green area ratio is an environmental sustainability zoning regulation that sets standards for landscape and site design to help reduce stormwater runoff, improve air quality, and keep the city cooler. for additional information, please contact markku.mcglynn@dc.gov (202) 535-2242 or http://ddoe.dc.gov/gar	Nykia Barnes	Nykia.Barnes@dc.gov
Structural Review	Structural Review - HFC	09/12/2014	administration: 1) a site plan is required showing all adjacent features. [dcmr 12a 2008, sec. 106.2] applies to everything except construction entirely within the footprint of an existing building. includes retaining walls >36" aag. 2) sheet # (all): the plans must have the "live" stamp of a design professional. [dcmr 12a 2008, 106.1.1.1] required for any of the following items: 1. structural steel and steel trusses with connection details. 2. open web steel joists. 3. precast and prestressed concrete. 4. post tensioning. 5. space frames. 6. strongbacks. 7. curtain walls. 8. structural wood trusses, beams, girders, and columns. 9. concrete mixes. 10. structural, electrical, and mechanical loads related to new construction installations of elevators, escalators and other vertical transportation systems including, but not limited to accessibility lifts. 11. pre-engineered elements. 12. suspended plaster ceiling systems. 13. underpinning. 14. sheeting and shoring. 15. formwork. 16. automatic fire suppression systems. 17. fire alarm systems. 19. commercial kitchen hood suppression systems. 20. flammable and combustible liquid storage tanks. foundation: 3) sheet # s-1.1: underpinning of existing foundations must clearly show the method being used to support the old foundation while the new foundation is being installed. sheet s-1.1 refers to sheet up-1.1, which is missing from the package. [dcmr 12 2008 106.1] structure: 4) sheet #: please provide details and/or specifications to indicate how uplift connections are being made from the roof and top floor double top plates to the foundation. [ibc 107.2.1] 5) sheet # a401: handrails are required on each side of the stairway. [ibc 1009.10] 6) sheet # s-1.1: please provide details for the insulation in the 2x4 exterior wall on the 3rd floor. [dcmr 12 2008 table ec402.1.1] minimum r-18 required (table p.381). (plumbing) 7) sheet # a-321: roof drains are required. was unable to find details and/or specifications showing how storm water from the roof will be conveyed to a proper place of disposal. please provide. surface drainage, including drainage from the roof, must be diverted away from the foundation. please indicate the method(s) you will be using to move storm water from the roof and surface water away from the foundation to a proper place of termination/disposal. [ipc 1101.2] ***note: please provide a written response narrative detailing how each comment was addressed and where the revisions are found on your plans. please do not respond to the points by using phrases such as "will comply" "will be built according to ibc" or similar.***	Joseph Fletcher	joseph.fletcher@dc.gov
Zoning Review	Zoning Review - HFC	09/15/2014	minor hfc's. [1] you have two (2) front elevations on a201, cross out the bottom and write in rear elevation. [2] newly submitted dcra surveyor's plats is missing owner/authorized agent date/signature and the subdivision ordered stamp. james, correct and email me when done so we can meet for approval.	Jeannette Anderson	jeannetteb.anderson@dc.gov
Electrical Review	Electrical Review - HFC	09/30/2014	1- need original seal and signature of the professional engineers licensed to practice in the district of columbia on plans as per dcmr 12a, 105.3.10. 2- provide accurate panel schedules for all panels used on this project to comply with dcmr 12a 106.1.7 & nec 408.4. identify panels per floor with different circuits used for outlets and lightings, and clearly state the specific purpose for which each circuit is used.	Michel Mba	Michel.mba@dc.gov
Fire Review	Fire Review - HFC	10/07/2014	see previous comments that were not addressed: as per dcra requirements: *provide submittal documents prepared by a registered design professional as per 2006 ibc section 106.1 i.e. architectural a sheets. i.e. sheets a001 through a302. *provide the roof deck (ul) fire resistance rating as per 2006 ibc 602.4.5.	Samuel Mutia	samuel.mutia@dc.gov
DDOE WSP Review	DDOE WSP Review - HFC	10/28/2014	please address previous gar comments r-5 zone; additions and interior renovations to existing buildings must comply with green area ratio (gar) when the cost to construct exceeds 100% of the assessed building value within any twelve-month period. to apply for gar exemption complete application and have it signed by zoning administration http://ddoe.dc.gov/sites/default/files/dc/sites/ddoe/service_content/attachments/application%20for%20exemption%20status_1.pdf	Nykia Barnes	Nykia.Barnes@dc.gov
DDOE Review	DDOE Review - HFC	10/29/2014	please address previous comments: erosion and sediment control plan title block signed and sealed by a dc professional engineer, land surveyor or architect.	Nykia Barnes	Nykia.Barnes@dc.gov
Electrical Review	Electrical Review Approved	11/10/2014		Michel Mba	Michel.mba@dc.gov
Fire Review	Fire Review Approved	11/10/2014		Samuel Mutia	samuel.mutia@dc.gov
Zoning Review	Zoning Review Approved - WC	11/14/2014	approved for conversion of two existing sfd's into a new a multifamily building yielding 8 units in r-5-b zone. scope of work includes a new rear and third story addition, all new mechanical, electrical, plumbing to be provided. credit of one off-street parking space for prior sfd use; a total of 3 off-street parking spaces provided at rear of building. applicant has obtained subdivision approval to consolidate the lots into one lot.	Kathleen Beeton	kathleen.beeton@dc.gov
Zoning Review	Zoning Review - HFC	12/04/2014	building permit under review by zoning administrator.	Kathleen Beeton	kathleen.beeton@dc.gov
Zoning Review	Zoning Review Approved - WC	12/22/2014	(r-5-b) approved for conversion of two existing sfd's into a new a multifamily building yielding 8 units in r-5-b zone. scope of work includes a new rear and third story addition. credit of one off-street parking space for prior sfd use; a total of 3 off-street parking spaces provided at rear of building. applicant has obtained subdivision approval to consolidate the lots into one lot.	Jeannette Anderson	jeannetteb.anderson@dc.gov
Structural Review	Structural Review - HFC	12/29/2014	comments: 12/29/14 a. use group r-3 sprinklered / one means of egress - roof deck i. table 503 = 5b -4 stories 1. section 1015.1 exception: the occupant load of the space exceeds one of the values in table 1015.1. occupant load maximum = 20 with an automatic sprinkler system. 2. 1014.3 common path of egress travel. the common path of egress travel shall not exceed the common path of egress travel distances in table 1014.3. maximum 125 feet (from furthest point of roof deck to exit discharge) 3. section 1406.3: balconies and similar projections. balconies and similar projections of combustible construction other than fire-retardant-treated wood shall be fire-resistance rated where required by table 601. exception # 3. balconies and similar projections on buildings of type iii, iv and v construction shall be		

Appeal Exhibit Section: Submitted March 13 2015

			permitted to be of type v construction, and shall not be required to have a fire-resistance rating where sprinkler protection is extended to these areas. b. sheet a051: lot occupancy shall be 60% max., it is 71'0" / 118'0" = 60.16%, please correct it. c. sheet a101: provide ul rated wall types for party wall, corridor walls, staircase wall, d. sheet a201: exterior front façade doesn't match with existing building elevations. provide a detailed section thru front wall showing existing wall and proposed wall. e. sheet 1/a302: wall provided over common party wall doesn't match with structurals 1/s1.1. f. sheet 1&2/a321: detail doesn't match w 3/s1.2. exterior wall shown as p6 & p7. there are two p6 walls shown on a701. porch is shown as demolished on a072. g. there are no drawings demonstrating the ability of the common walls and floor/ceiling assemblies to meet the sound transmission requirements of the code. provide air-borne and structural-borne sound transmission requirements. [dcmr 12a 2008, sec. 106a & irc appendix k] h. sheet s1.5: interior 2x6 bearing stud wall shall be rated, provide ul rating & coordinate with arch dwgs. i. sheet 1/a401, a101: show open courtyard next to stairs in section. if both bed # 2 are deriving light from the court, shall be designed per ibc sections 1205, 1205.2, 1205.2.2 & 1205.3. if it is deriving natural light and ventilation, shall be designed per ibc sections 1206.1, 1206.3, 1206.3.1, 1206.3.2, 1206.3.3, dcmr 12 section 1205.2. provide details accordingly. j. sheet a201: a flight of stairs shall not have a vertical rise more than 12 ft. (top of deck – top of 3rd flr) 33.35'-20.5= 12.85'. (ibc section 1009.6) ----- - earlier comments: 1) a site plan - provided 2) sheet # (all): the plans must have the "live" stamp - provided. 3) sheet # s-1.1: underpinning of existing foundations must clearly show the method being used to support the old foundation while the new foundation is being installed. sheet s-1.1 refers to sheet up-1.1, which is missing from the package. [dcmr 12 2008 106.1] not provided 4) sheet # : please provide details and/or specifications to indicate how uplift connections are being made from the roof and top floor double top plates to the foundation. [ibc 107.2.1] not provided 5) sheet # a401: handrails.... - provided 6) sheet # s-1.1: please provide provided 7) sheet # a-321: roof drains are required. was unable to find details and/or specifications showing how storm water from the roof will be conveyed to a proper place of disposal. [ipc 1101.2] - not provided ***note: please provide a written response narrative detailing how each comment was addressed and where the revisions are found on your plans. ***		
Structural Review	Structural Review - HFC	01/14/2015	permit set requires engineers signature,		
Structural Review	Structural Review Approved	01/15/2015	response to comments is submitted, drawings modified - noted.		
DDOE Review	DDOE Review Approved	01/15/2015		Charles Edwards	Charles.Edwards@dc.gov
WASA Review	WASA Review Approved	01/15/2015	k cole	Justin Bellow	Justin.Bellow@dc.gov
DDOE WSP Review	DDOE WSP Review N/A	01/15/2015		Charles Edwards	Charles.Edwards@dc.gov
Issue Permit	Permit Issued	01/15/2015		Patrice Derricott	Patrice.Derricott@dc.gov

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