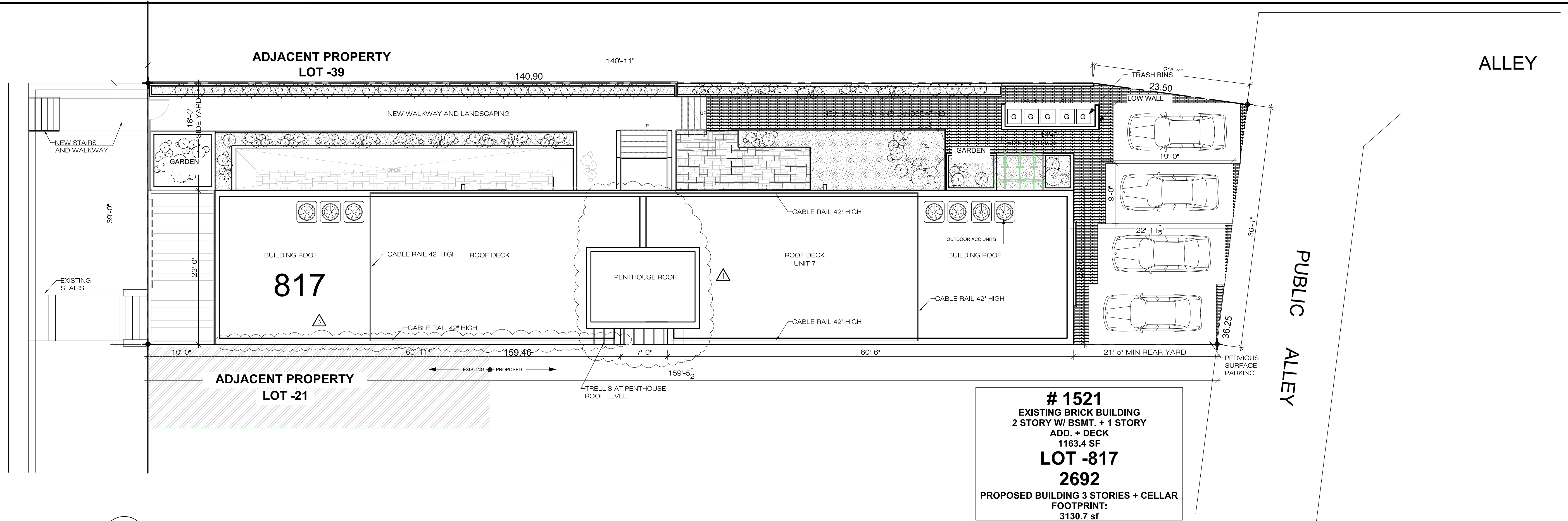


VARNUM STREET NW

VARNUM STREET, N.W.

VARNUM STREET, N.W.



RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

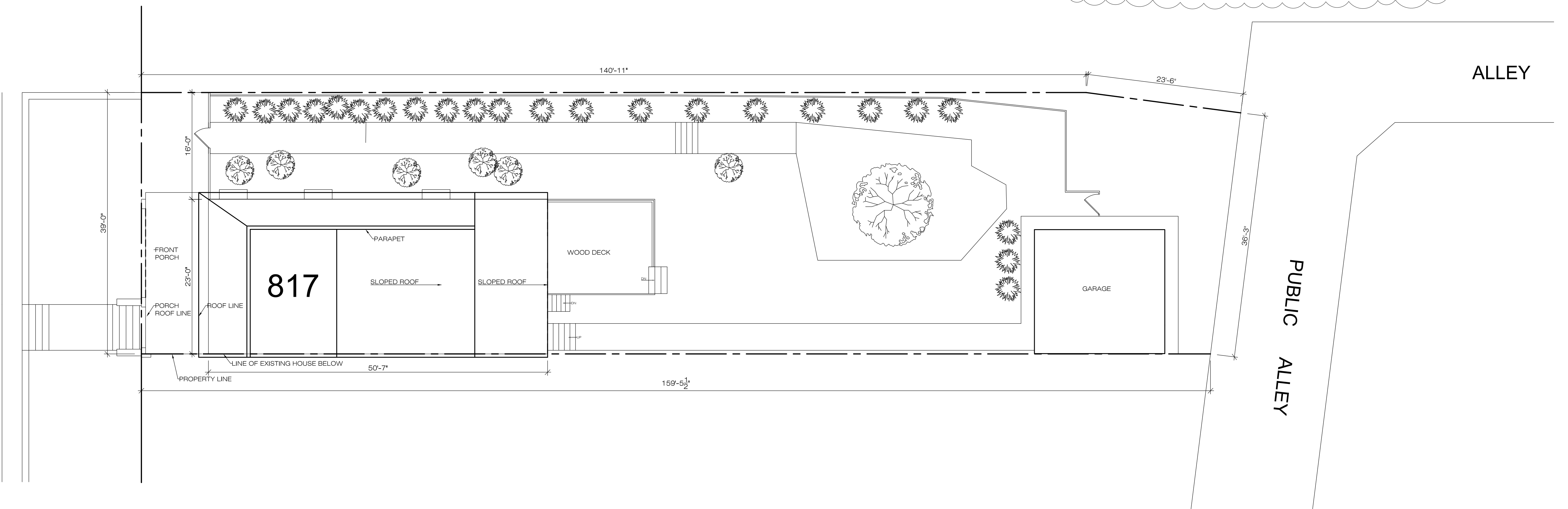
EXISTING & NEW WORK SITE PLANS

2	MAY 12, 2015
3	JUNE 22, 2015
REVISIONS	

AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

A001
Board of Zoning Adjustment
District of Columbia
CASE NO. 2020
EXHIBIT NO. 50

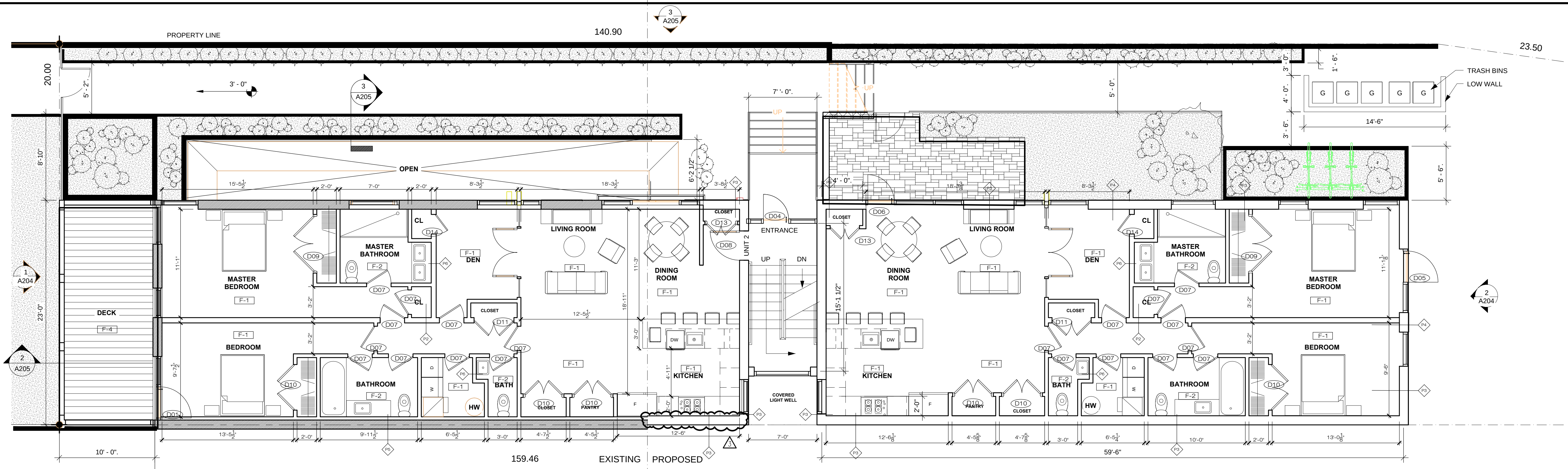


2) NEW WORK SITE PLAN
1/8" = 1'-0"

1 EXISTING SITE PLAN
1/8" = 1'-0"

$\frac{\text{GRASS + PARKING SF}}{\text{PROPERTY SF}} = \frac{1318 \text{ SF}}{6279 \text{ SF}} = \text{PROPERTY IS 21\% PERVIOUS SURFACE}$ $= \text{GREATER THAN 20\% REQUIREMENT}$
--





2 FIRST FLOOR PLAN
3/16" = 1'-0"

LEGEND | SCHEDULES

ROOM FINISH SCHEDULE					
MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	--
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

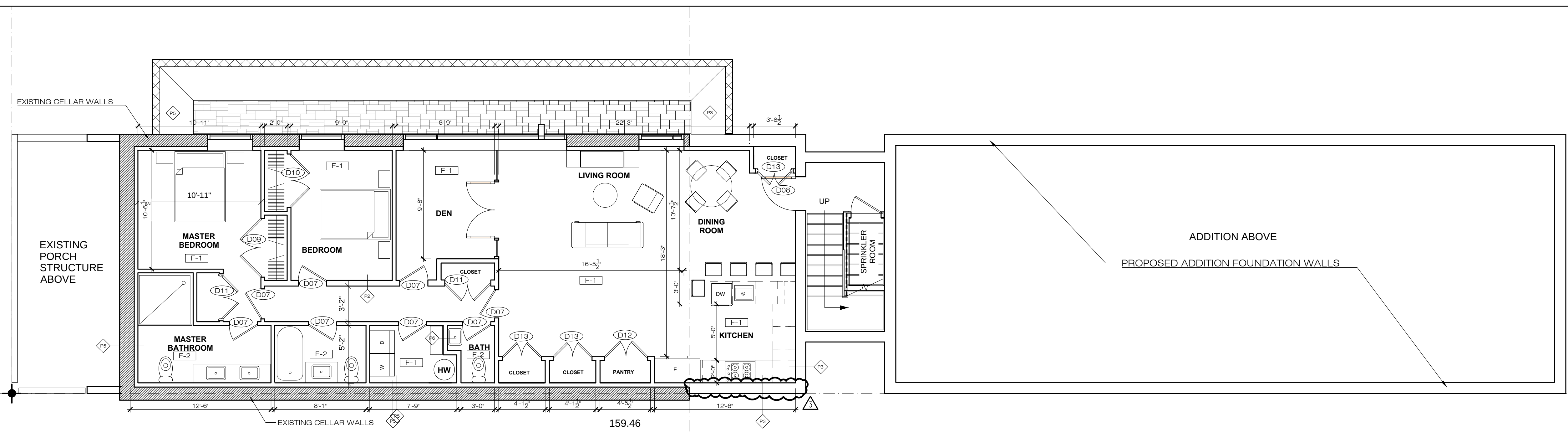
LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

CONSTRUCTION PLAN SYMBOLS

- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
- DRAWING REFERENCE
-

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- B. ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANSI / ADA REQUIREMENTS.
- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-003 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.
- F. THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HR FIRES RESISTANCE RATED CONSTRUCTION OR THE FIRE- RESISTANCE RATING OF STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. PER SECTION 1009.5.3 IBC 2006



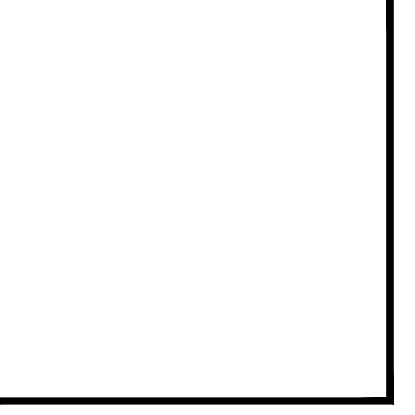
1 CELLAR FLOOR PLAN
3/16" = 1'-0"

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

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WASHINGTON, DC

PROPOSED
FLOOR PLANS

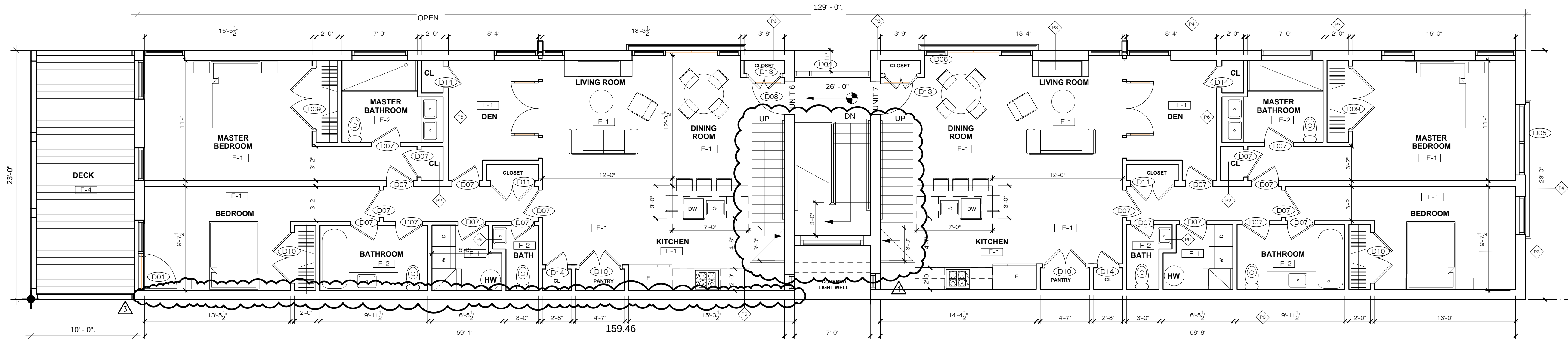
REVISIONS
JUNE 22, 2015



AS NOTED
SCALE

ISSUE FOR PERMIT
JULY 29, 2014
ISSUE

A201
DRAWING NUMBER



2 THIRD FLOOR PLAN
3/16" = 1'-0"

LEGEND | SCHEDULES

ROOM FINISH SCHEDULE					
MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

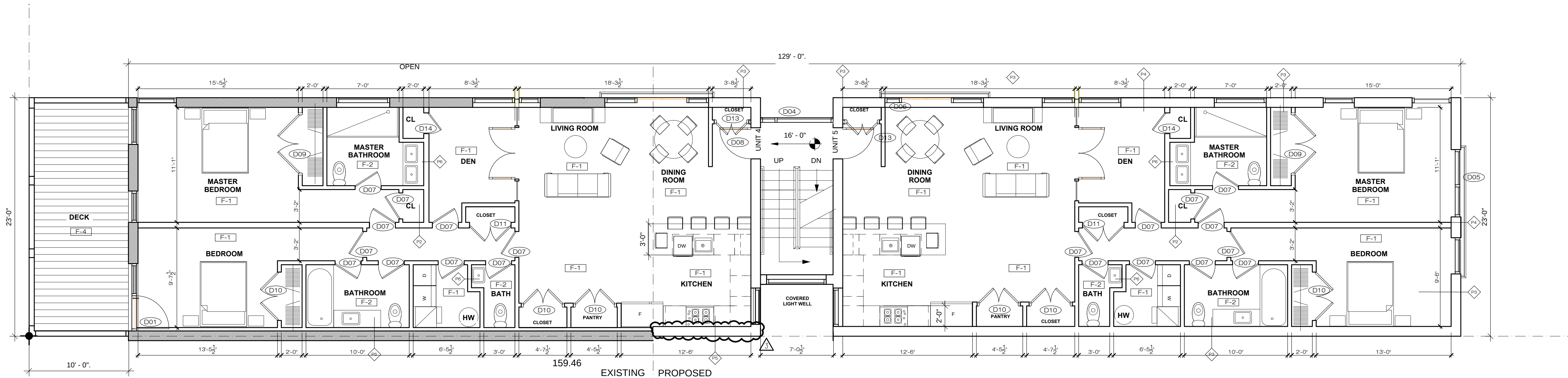
LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

CONSTRUCTION PLAN SYMBOLS

- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
- DRAWING REFERENCE

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- B. ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANSI / ADA REQUIREMENTS.
- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-002 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.



1 SECOND FLOOR PLAN
3/16" = 1'-0"

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

PROPOSED
FLOOR PLANS

FEB, 2015	
JUNE 22, 2015	

AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

A202

DRAWING NUMBER

LEGEND | SCHEDULES

ROOM FINISH SCHEDULE					
MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	--
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

CONSTRUCTION PLAN SYMBOLS

- KEY NOTE- SEE NOTES ON DRAWING SHEET.
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- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE.
RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES
RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE
RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
DRAWING REFERENCE
- N

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
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- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-002 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.

1 ROOFTOP DECK PLAN
3/16" = 1'-0"

