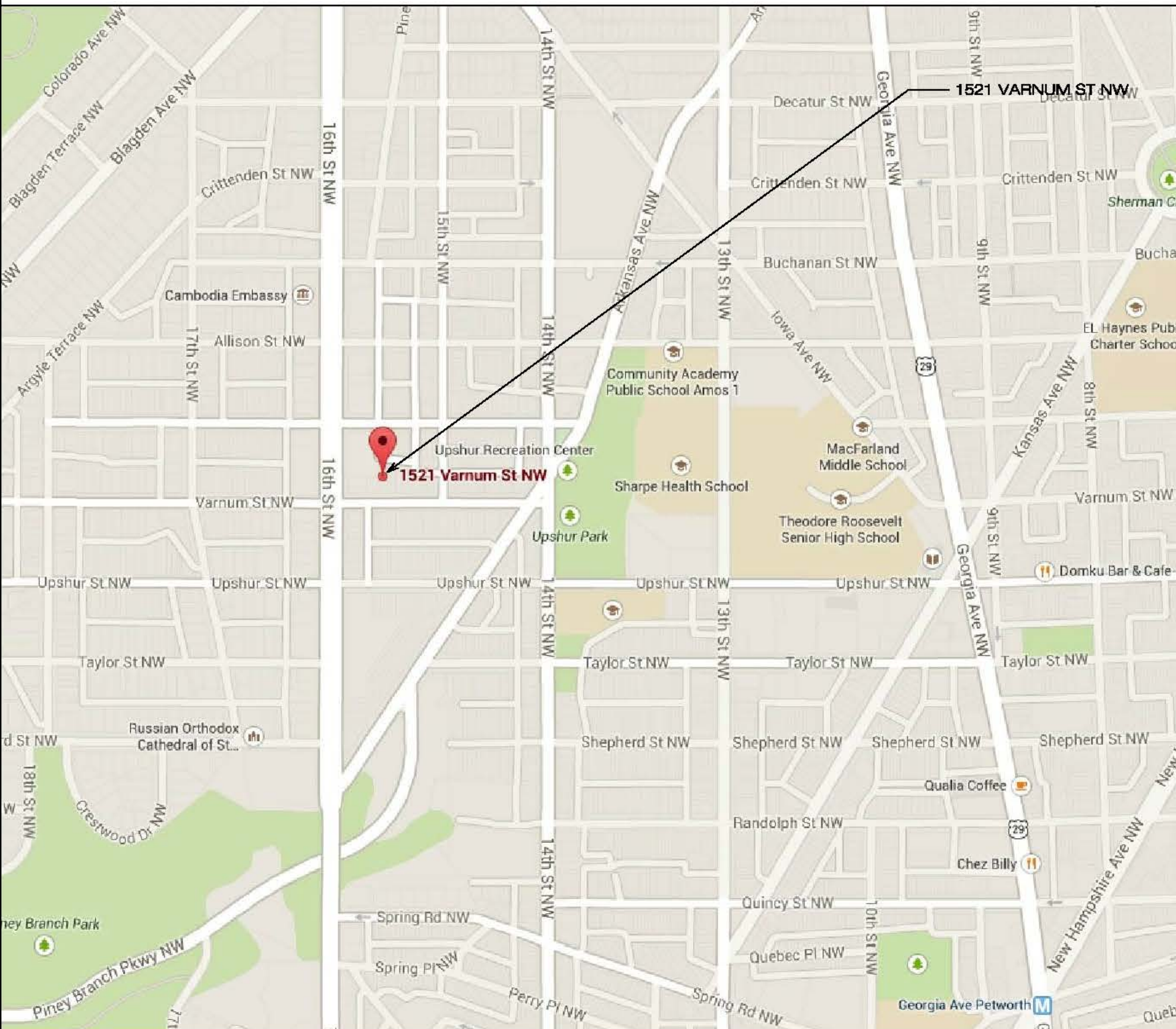


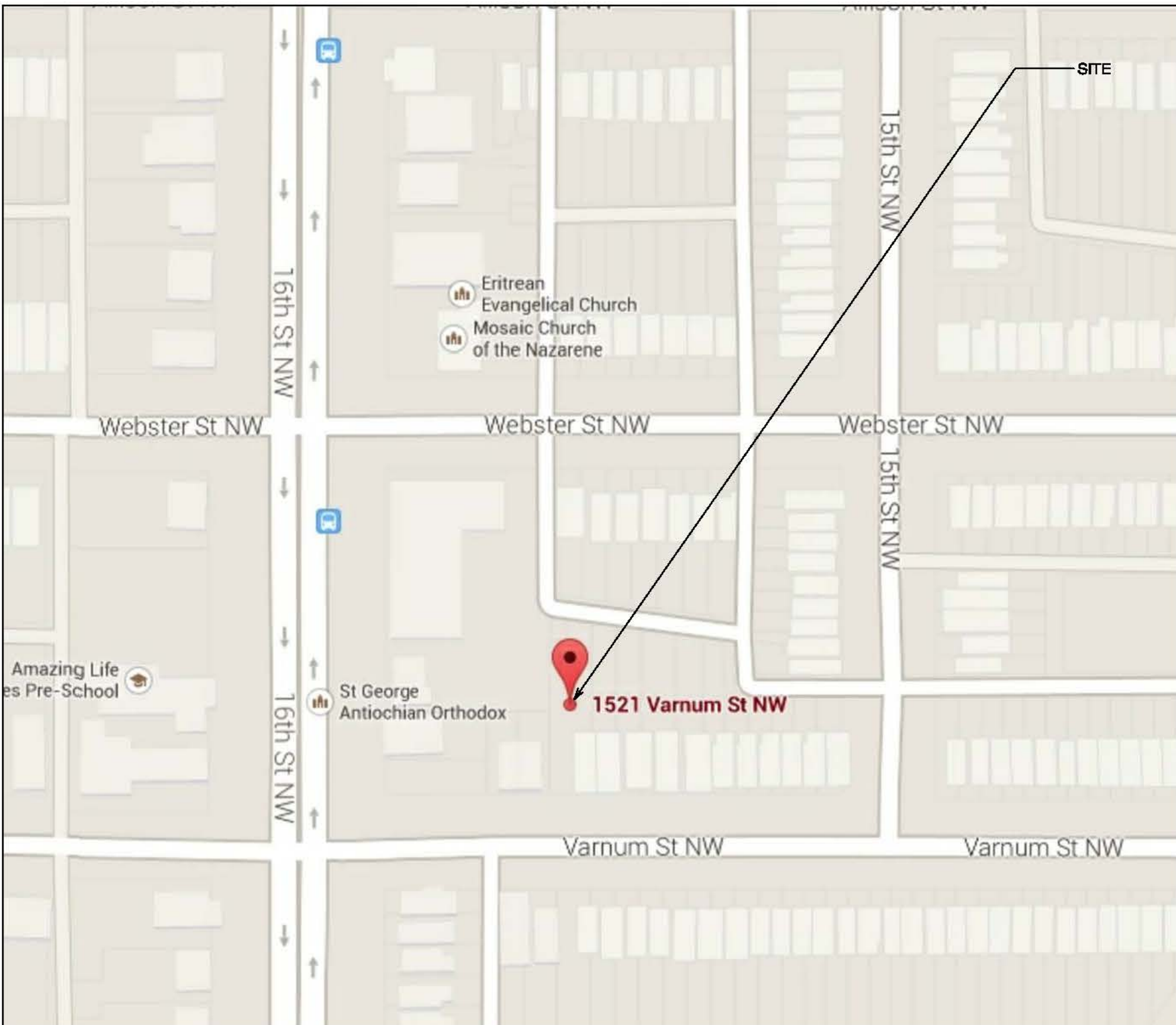
WESTEND DEVELOPMENT
1521 VARNUM ST, NW
WASHINGTON, DC

LOT: 817 SQUARE: 2698

LOCATION



VICINITY MAP



GENERAL NOTES

- DIVISION 1 - GENERAL REQUIREMENTS
- THE SUB-CONTRACTOR SHALL READ ALL GENERAL AND SPECIFIC NOTES AND BE BOUND TO THEIR REQUIREMENTS SUB-CONTRACTOR SHALL VISIT SITE AND EXAMINE EXISTING CONDITIONS PRIOR TO BID.
 - THE SUB-CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
 - THE BID SHALL BE BASED ON THE USE OF ALL EQUIPMENT, MATERIALS, MANUFACTURERS AND SYSTEMS DESCRIBED IN THIS SET OF CONSTRUCTION CONTRACT DOCUMENTS UNLESS SPECIFICALLY INDICATED IN THE PRICE SUBMISSION. UNLESS AN ITEM IS SPECIFICALLY EXCLUDED OR A SUBSTITUTION IS LISTED ON THE SUBMISSION BY THE SUB-CONTRACTOR, HE SHALL BE RESPONSIBLE FOR THE FULL EXTENT OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
 - ANY QUESTIONS OR CONFLICTS REGARDING ARCHITECTURAL DRAWINGS OR SPECIFICATIONS ARE TO BE IN WRITING AND DIRECTED TO RICH MARKUS AT RICH MARKUS ARCHITECTS
 - IF CONFLICTS ARE DISCOVERED AT ANY TIME BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS, ARCHITECT SHALL BE CONTACTED AT ONCE TO RESOLVE THE PROBLEM. IF ARCHITECT IS NOT CONTACTED, SUB-CONTRACTOR SHALL ACCEPT ANY RESPONSIBILITY TO CORRECT ANY WORK INSTALLED THAT IS NOT IN ACCORDANCE WITH THE DWGS.
 - IF CONFLICTS ARE DISCOVERED AT ANY TIME BETWEEN SITE CONDITIONS AND ARCHITECTURAL DWGS, ARCHITECT SHALL EXACT LOCATIONS OF ALL UTILITIES PRIOR TO CUTTING AND DIGGING. ALL SLAB PENETRATION SHALL BE CONTACTED AT ONCE TO RESOLVE ANY DISCREPANCIES, OTHERWISE CONTRACTOR TAKES FULL RESPONSIBILITY.
 - IN CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING SPECIFICATIONS OF FINISHES, ARCHITECTURAL DWGS SHALL TAKE PRECEDENCE AND ALL CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES IN THE FIELD.
 - WHERE SLAB CUTTING IS REQUIRED, IT SHALL BE THE SUB-CONTRACTOR'S RESPONSIBILITY TO VERIFY EXACT LOCATIONS OF ALL UTILITIES PRIOR TO CUTTING AND DIGGING. ALL SLAB PENETRATION SHALL BE DONE BY EITHER CORE DRILLING OR SAW CUTTING SLAB. FOR SLABS ON GRADE, SUB-CONTRACTOR SHALL BACKFILL IN LIFTS NOT TO EXCEED 8" AND TAMPER USING A MECHANICAL COMPACTOR. NEW PATCHING SHALL BE THE SAME THICKNESS AS EXISTING SLAB AND, SHALL ALIGN AND MAINTAIN THE LEVEL OF EXISTING SLAB.
 - SUB-CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
 - ALL PERMITS, INSPECTIONS AND FEES ARE TO BE OBTAINED, SECURED AND PAID FOR BY THE SUB-CONTRACTOR.
 - SUB-CONTRACTOR MAY SUBSTITUTE MATERIALS AND/OR CONSTRUCTION ITEMS AND METHODS UPON SUBMITTAL OF A SUBSTITUTION IN WRITING OR BY SAMPLE TO ARCHITECT. ANY COST CHANGES MUST ALSO BE SUBMITTED. THE ARCHITECT WILL COMMUNICATE THE DECISION TO THE SUB-CONTRACTOR BY LETTER IF THE SUBMISSION IS ACCEPTED. SUBSTITUTION FOR LONG LEAD ITEMS MUST BE PROPOSED EARLY ENOUGH IN THE CONSTRUCTION PROCESS THAT NO DELAY IS CREATED IN COMPLETION OF THE PROJECT DUE TO THE SUBSTITUTION, OTHERWISE THE SUB-CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY COST TO THE OWNER ARISING OUT OF SUCH WORK.
 - WARRANTIES, GUARANTEES AND MANUFACTURERS INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE SUB-CONTRACTOR SHALL BE ASSEMBLED INTO A NOTEBOOK AND GIVEN TO THE OWNER AT THE TIME OF OCCUPANCY.
 - AT COMPLETION OF THE WORK, THE SUB-CONTRACTOR SHALL ENSURE ALL SURFACES ARE CLEAN AND UNMARKED, AND THAT ALL SYSTEMS ARE OPERATING PROPERLY.
 - SUB-CONTRACTOR SHALL REPAIR ALL DAMAGE CAUSED BY HIM OR HIS PERSONNEL DURING CONSTRUCTION.
 - SUB-CONTRACTOR SHALL CLEAN ALL WINDOWS AT THE COMPLETION OF CONSTRUCTION.
 - SUB-CONTRACTOR SHALL ENSURE THAT ALL PAINT HAS BEEN REMOVED FROM ALL WINDOW SURFACES PRIOR TO DELIVERY OF THE SPACE.
 - ALL MISCELLANEOUS NAILS, HANGERS, STAPLES, WIRES AND WIRE CONDUITS SHALL BE REMOVED FROM WALLS AND CEILINGS WHERE THEY WILL BE EXPOSED IN THE NEW WORK.
 - HVAC SUB-CONTRACTOR TO CLEAN AND CHECK EXISTING HVAC SYSTEM AND REPORT TO ARCHITECT ANY PROBLEMS OR REPAIRS REQUIRED.
 - SUB-CONTRACTOR SHALL EXAMINE ALL DRAWINGS RELATED TO HIS AND OTHER TRADES, AND SHALL BE FULLY INFORMED AS TO THE EXTENT OF THIS CONTRACT AND ALL INCLUDED WORK ON PLANS IN OTHER TRADES.
 - ALL SYSTEMS AND EQUIPMENT TO BE GUARANTEED FOR ONE YEAR FREE LABOR AND MATERIALS.

DEMOLITION NOTES

1. COORDINATE THE REMOVAL AND PROPER DISPOSAL OF ALL CONSTRUCTION DEBRIS AND TAKE NECESSARY PRECAUTIONS TO PROTECT THE BUILDING ELEMENTS TO REMAIN AND OCCUPANTS FROM CONSTRUCTION RELATED DEBRIS, DAMAGE, INJURY OR ACCIDENT.

GENERAL NOTES / CODE ANALYSIS

GENERAL INFORMATION	EXISTING LOT	PROPOSED BUILDING
USE GROUP	SINGLE-FAMILY	R-2
TYPE OF CONSTRUCTION	V-A	V-A
FULLY SUPPRESSED (SPRINKLED)	-	YES; (AUTOMATIC)
BUILDING FOOTPRINT	1163.4 SQ FT	3130.7 SQ FT
BUILDING HEIGHT	33'-8"	38'-4" / 3 STORIES + CELLAR
NUMBER OF EXITS	-	2

SOUND TRANSMISSION	-	STC50 IIC50
FIRE ALARM:	-	YES; HARDWIRED AND INTERCONNECTED ON DEDICATED CIRCUIT WITH BATTERY BACKUP
SMOKE DETECTORS	-	YES; EXTERIOR WALLS @ R19; ROOF @ R-49
INSULATION:	-	YES; EXTERIOR WALLS @ R19; ROOF @ R-49

COVERING CODES:	
BUILDING	2006 INTERNATIONAL BUILDING CODE
MECHANICAL	2006 INTERNATIONAL MECHANICAL CODE
ELECTRICAL	2006 NATIONAL ELECTRICAL NFPA-70
PLUMBING	2006 INTERNATIONAL PLUMBING CODE

FIRE RATINGS	
FIRE SEPARATION WALLS (PROPERTY LINE WALLS)	2 HR: (UL U301 - above grade / U 905 - below grade)
EXTERIOR BEARING WALLS:	1 HR: (UL U301 - above grade / U 905 - below grade)
STAIR ENCLOSURES	1 HR: (UL U305)
COLUMNS AND GIRDERS	(none provided)
FLOOR / CEILING CONSTRUCTION	1 HR: (UL L 501)
ROOF CONSTRUCTION	1 HR: (UL L 501)
TENANT SEPARATION / CORRIDOR	1 HR: (UL L 305)

GENERAL NOTES / ZONING CODE ANALYSIS	1521 VARNUM ST NW WASHINGTON, DC
ZONING DISTRICT	R-4
USE GROUP	(R-2) RESIDENTIAL MULTI-FAMILY
TOTAL LOT AREA	6,277.5 SF
TOTAL LOT WIDTH	39'-0"

LOT		817	
SQUARE		2698	
REQUIREMENT	EXISTING	ALLOWABLE / REQUIRED	PROPOSED
LOT OCCUPANCY	(19%) 1163.4 SF	60% (3766.5 SF)	50% (3130.7 SF)
HEIGHT	29'-4" - / 2 STORIES + CELLAR	40 FT / 3 STORIES	38'-4" FT / 3 STORIES + CELLAR BELOW GRADE 
F.A.R.	NO REQUIREMENT	NO REQUIREMENT	NO REQUIREMENT
SIDEYARD WIDTH	16'-0"	NO REQUIREMENT	16'-0" (NO CHANGE)
REAR YARD SETBACK	109'-5"	20 FT MIN	23'-6"
PARKING	-	3	4
FRONT YARD	0'	NO REQUIREMENT	0' (NO CHANGE)
DWELLING UNITS	1	6	7 (7 UNITS ARE ALLOWED PER DETERMINATION LETTER PER ZONING ADMINISTRATOR)
PERVIOUS SURFACE	-	20% (569 SF)	22% (634 SF)

SCOPE OF WORK

THIS PERMIT IS FOR THE NEW ADDITION AND RENOVATION TO AN EXISTING ROWHOUSE DWELLING TO BE CONVERTED INTO A 7-UNIT CONDOMINIUM DWELLING.
NOTE : 7 UNITS ARE ALLOWED PER DETERMINATION LETTER PER ZONING ADMINISTRATOR 8.12.2014

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

COVER SHEET

FEB 2015

REVISIONS

AS NOTED

SCALE

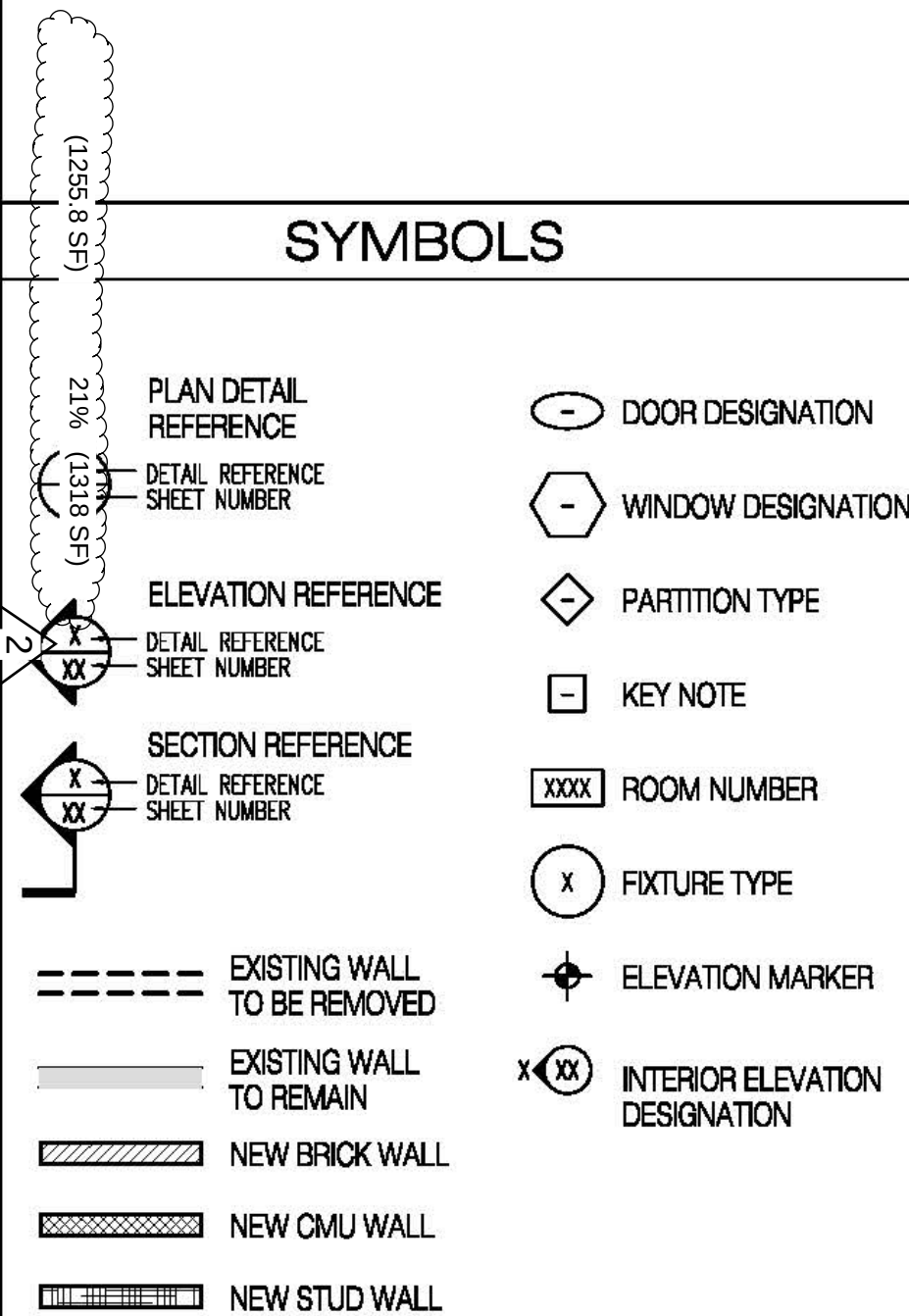
ISSUE FOR PERMIT
JULY 29, 2014

A000
Board of Zoning Adjustment
District of Columbia
DRAWING NUMBER

SYMBOLS

ABBREVIATIONS

DRAWING INDEX



AFF	ABOVE FINISH FLOOR	MAT	MATERIAL
AA	ALL AROUND	MAX	MAXIMUM
ACOUS	ACOUSTICAL	MC	MILLWORK CONTRACTOR
ACT	ADJUSTABLE	MDF	MEDIUM DENSITY FIBERBOARD
ADJ	ADJUSTABLE	MDO	MEDIUM DENSITY OVERLAY
ALUM	ALUMINUM	MECH	MECHANICAL
ANOD	ANODIZED	MIN	MINIMUM
BD	BOARD	MISC	MISCELLANEOUS
BLKG	BLOCKING	MOLING	MASONRY OPENING
BS	BOTH SIDES	MO	MOUNTED
<	CENTER LINE	MTD	MOUNTED
CLG	CEILING	MTL	METAL
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CONT	CONTINUOUS	OPP	OPPOSITE
DIA	DIAMETER	PLYWD	PLYWOOD
DIM	DIMENSION	PL	PLATE
DN	DOWN	PLT	POLISHED
DOUG	DOUGLAS	PTD	PAINTED
DR	DOOR	RCP	REFLECTED CEILING PLAN
DTL	DETAIL	RND	ROUND
DWG	DRAWING	ROU	ROUGH OPENING
ELEC	ELECTRICAL	SC	SOLID CORE
ELEV	ELEVATION	SC	SIMILAR
EQ	EQUAL	SH	SHEET
EQUIP	EQUIPMENT	STND	STAINED
EXST.	EXISTING	STL	STEEL
FF	FINISH FLOOR	STOR	STORAGE
FKT	FIXTURE	TEL	TELEPHONE
FLR	FLOOR	TR	TYPICAL
INT	INTERIOR	TIME	TO MATCH EXISTING
INT	INTERIOR	UNLESS OTHERWISE NOTED	
INT	INTERIOR	VCT	VINYL COMPOSITION TILE
INT	INTERIOR	GL	GLAZING
INT	INTERIOR	GYP	GYPSUM
INT	INTERIOR	QWB	GYPSUM WALL BOARD
INT	INTERIOR	HDWR	HARDWARE
INT	INTERIOR	HM	HOLLOW METAL

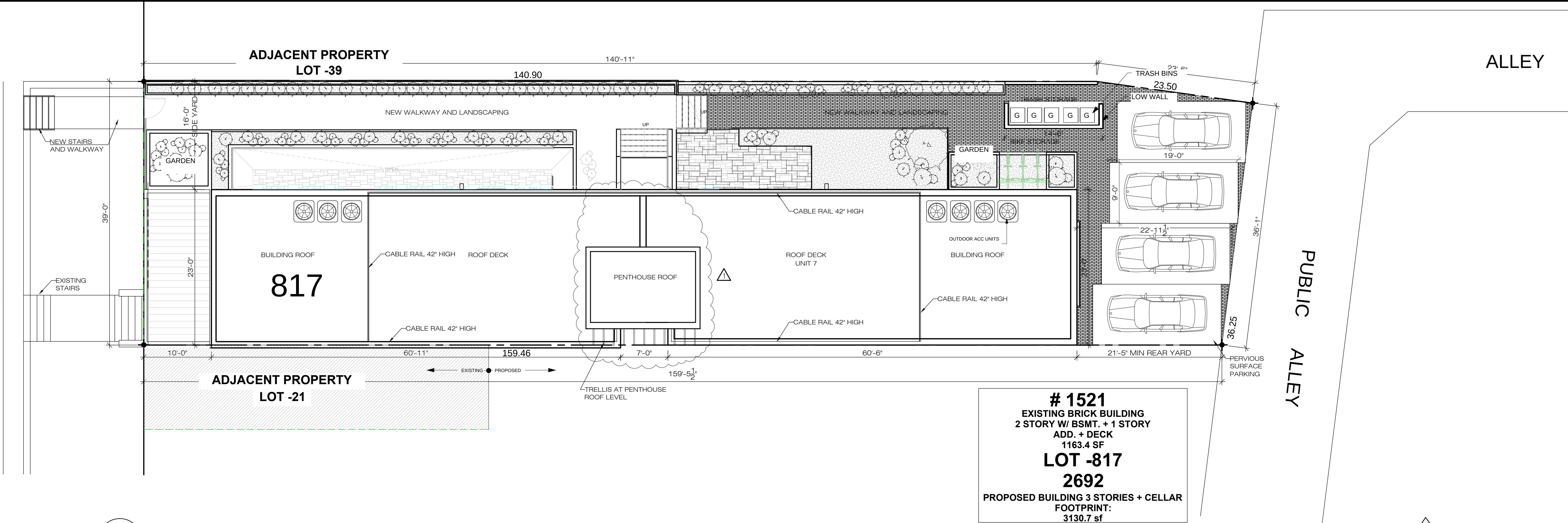
A000	COVER SHEET
A001	EXISTING + PROPOSED SITE PLAN
A002	PARTITION TYPES AND UL RATED DETAILS
A003	WINDOW, DOOR, WALL TYPES / HEAD-JAMB DETAILS
A004	SEDIMENT & EROSION CONTROL SITE PLAN
A005	DEMOLITION FLOOR PLANS
A102	DEMOLITION FLOOR PLANS
A201	PROPOSED CELLAR + 1ST FLOOR
A202	PROPOSED 2ND + 3RD FLOOR
A203	PROPOSED ROOF DECK
A204	PROPOSED ELEVATIONS
A205	PROPOSED BUILDING SECTION
A301	STAIR AND RAILING DETAILS
A302	ROOF DECK AND RAILING DETAILS

S-0.1	STRUCTURAL GENERAL NOTES
S-0.2	STRUCTURAL GENERAL NOTES
S-1.1	FOUNDATION LAYOUT AND DETAILS
S-1.2	FIRST AND SECOND FLOOR FRAMING PLAN
S-1.3	THIRD AND ROOF FLOOR FRAMING PLAN
S-1.4	ROOF DECK/UPPER ROOF FRAMING PLAN
S-2.1	TYPICAL DETAILS
S-2.2	TYPICAL DETAILS
S-2.3	TYPICAL DETAILS

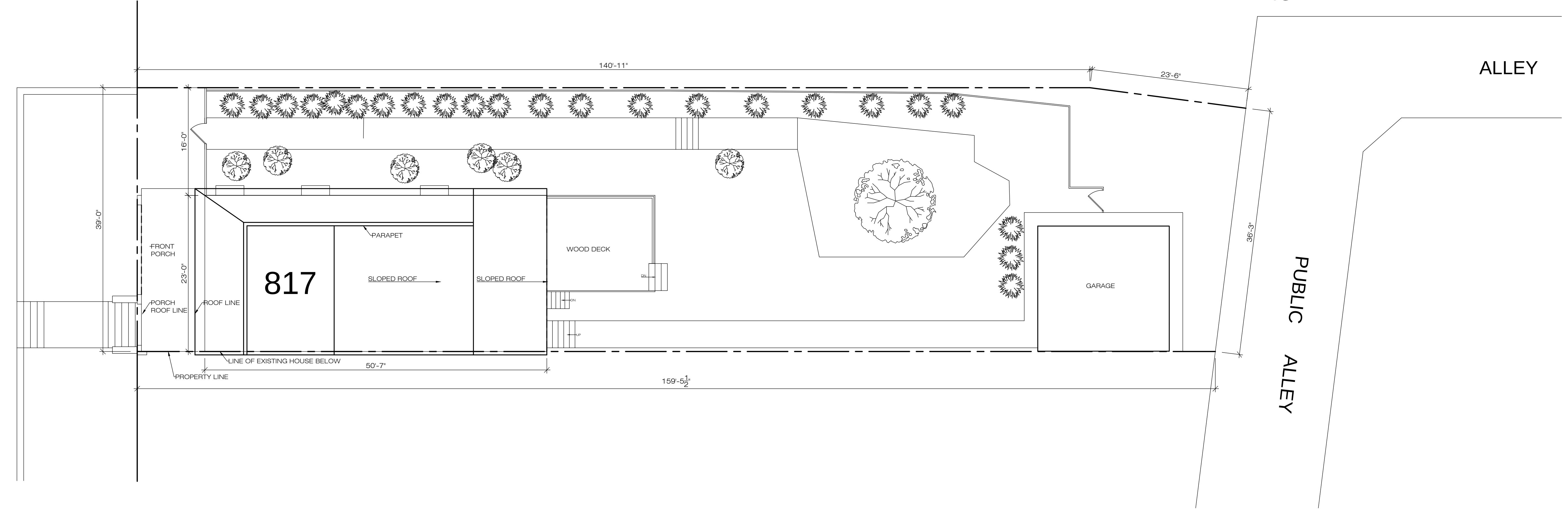
M1	MECHANICAL PLANS
E1	ELECTRICAL PLANS
P1	PLUMBING PLANS

VARNUM STREET, N.W.
VARNUM STREET NW

VARNUM STREET, N.W.



2 NEW WORK SITE PLAN
1/8" = 1'-0"



1 EXISTING SITE PLAN
1/8" = 1'-0"

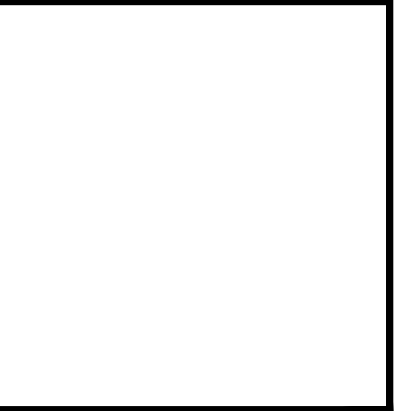


RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

EXISTING & NEW WORK
SITE PLANS

REVISIONS
05/12/15
FEB. 2015

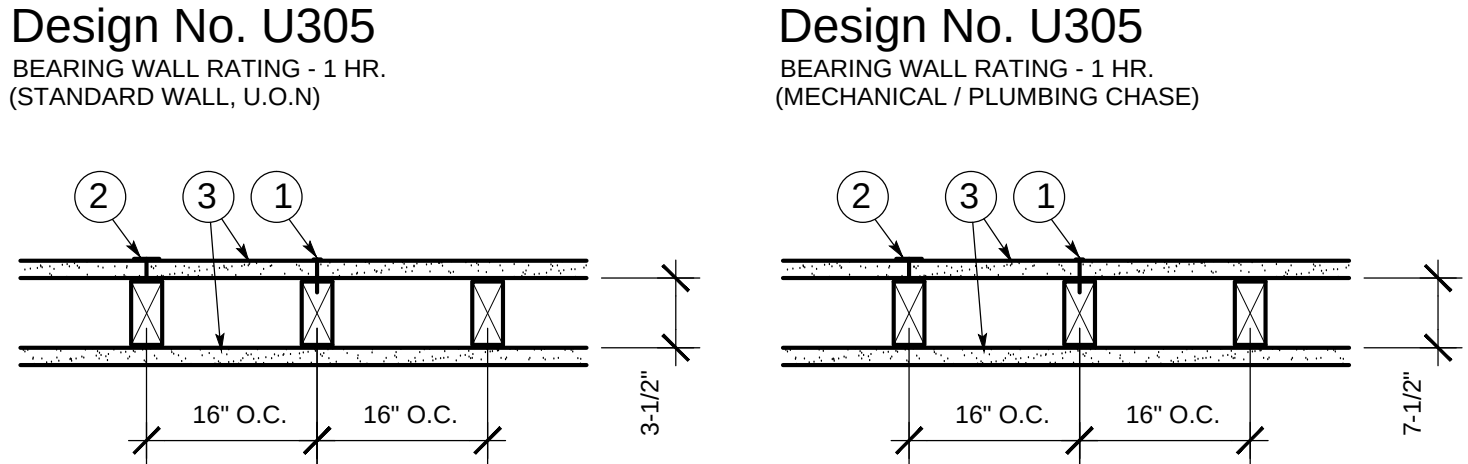


AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

A001
DRAWING NUMBER

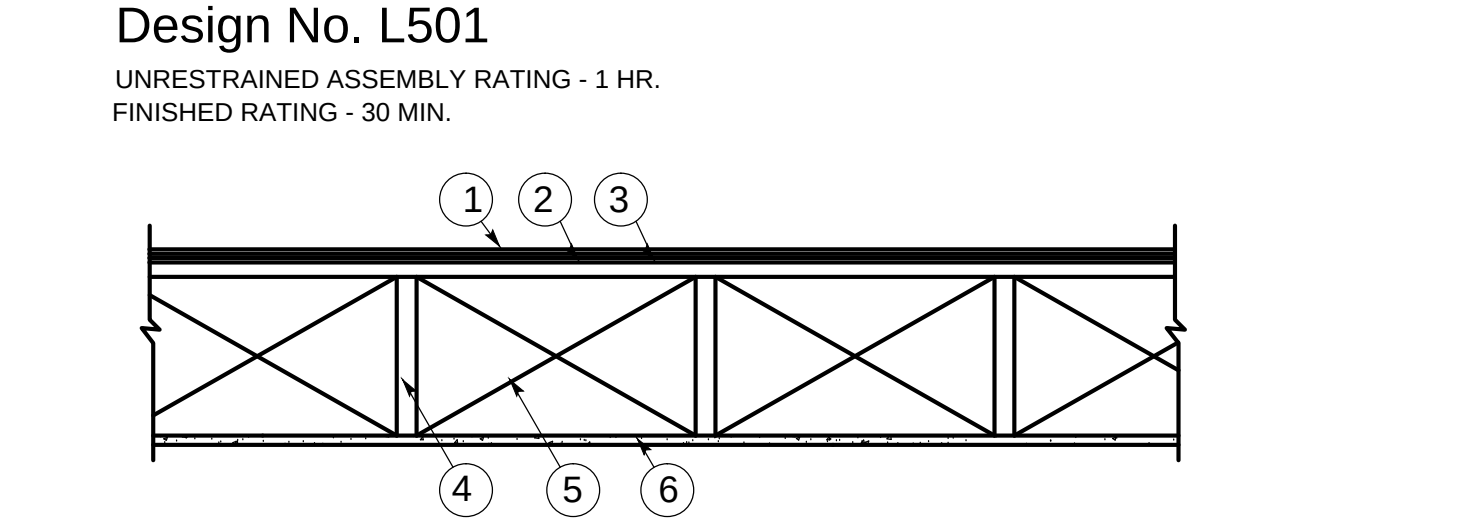
[PROPOSED 1-HR. RATED WALL SYSTEMS - INTERIOR]



1. NAILHEADS - EXPOSED OR COVERED WITH JOINT COMPOUND.
2. JOINTS - EXPOSED OR COVERED WITH FIBER TAPE AND JOINT COMPOUND, EXCEPT WHERE REQUIRED FOR SPECIFIC EDGE CONFIGURATION. FOR TAPERED, ROUNDED-EDGE WALLBOARD, JOINTS COVERED WITH COMPOUND OR FIBER TAPE AND JOINT COMPOUND. AS A ALTERNATE, NOM. 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD. JOINTS REINFORCED.
3. WALLBOARD, GYPSUM* - 5/8 IN. THICK WALLBOARD PAPER OR VINYL SURFACED, WITH BEVELED SQUARE, OR TAPERED EDGES. APPLIED EITHER HORIZONTALLY OR VERTICALLY. WALLBOARD NAILED 7 IN. O.C. WITH 6D CEMENT COATED NAILS 1 7/8 IN. LONG, 0.0915 IN. SHANK DIA. AND 1/4 IN. DIA. HEADS. WHEN USED IN WIDTHS OF OTHER THAN 48 IN., WALLBOARD IS TO BE INSTALLED HORIZONTALLY. UNITED STATES GYPSUM CO. - TYPE AR (FINISH RATING 26 MIN.), TYPE SOX (FINISH RATING 26 MIN.), TYPE C (FINISH RATING 26 MIN.), TYPE WRX (FINISH RATING 26 MIN.), TYPE WRC (FINISH RATING 26 MIN.), TYPE IP-X1 (FINISH RATING 26 MIN.), TYPE FOV (FINISH RATING 26 MIN.), TYPE IP-X2 (FINISH RATING 26 MIN.), TYPE SHX (FINISH RATING 26 MIN.), TYPE FRX (FINISH RATING 20 MIN.).
4. STEEL CORNER FASTENERS - (OPTIONAL)-FOR USE AT WALL CORNERS. CHANNEL SHAPED, 2 IN. LONG BY 1 IN. HIGH ON THE BACK SIDE WITH TWO 1/8 IN. WIDE CLEATS PROTRUDING INTO THE 5/8 IN. WIDE CHANNEL, FABRICATED FROM 24 GAUGE GALV. STEEL. FASTENERS APPLIED ONLY TO THE END OR CUT EDGE (NOT ALONG TAPERED EDGES) OF THE WALLBOARD, NO GREATER THAN 2 IN. FROM CORNER OF WALLBOARD, MAX. SPACING 16 IN. O.C. NAILED TO ADJACENT STUD THROUGH TAB USING ONE NO. 6D CEMENT COATED NAIL PER FASTENER. CORNERS OF WALLBOARD SHALL BE NAILED TO TOP AND BOTTOM PLATE USING NO. 6D CEMENT COATED NAILS.
5. BATTS AND BLANKETS* - (OPTOINAL, NOT SHOWN) GLASS FIBER OR MINERAL WOOL INSULATION.

*BEARING THE UL CLASSIFICATION MARK

[EXISTING / PROPOSED FLOOR SEPARATION SYSTEM BETWEEN ALL FLOORS AND ROOF]

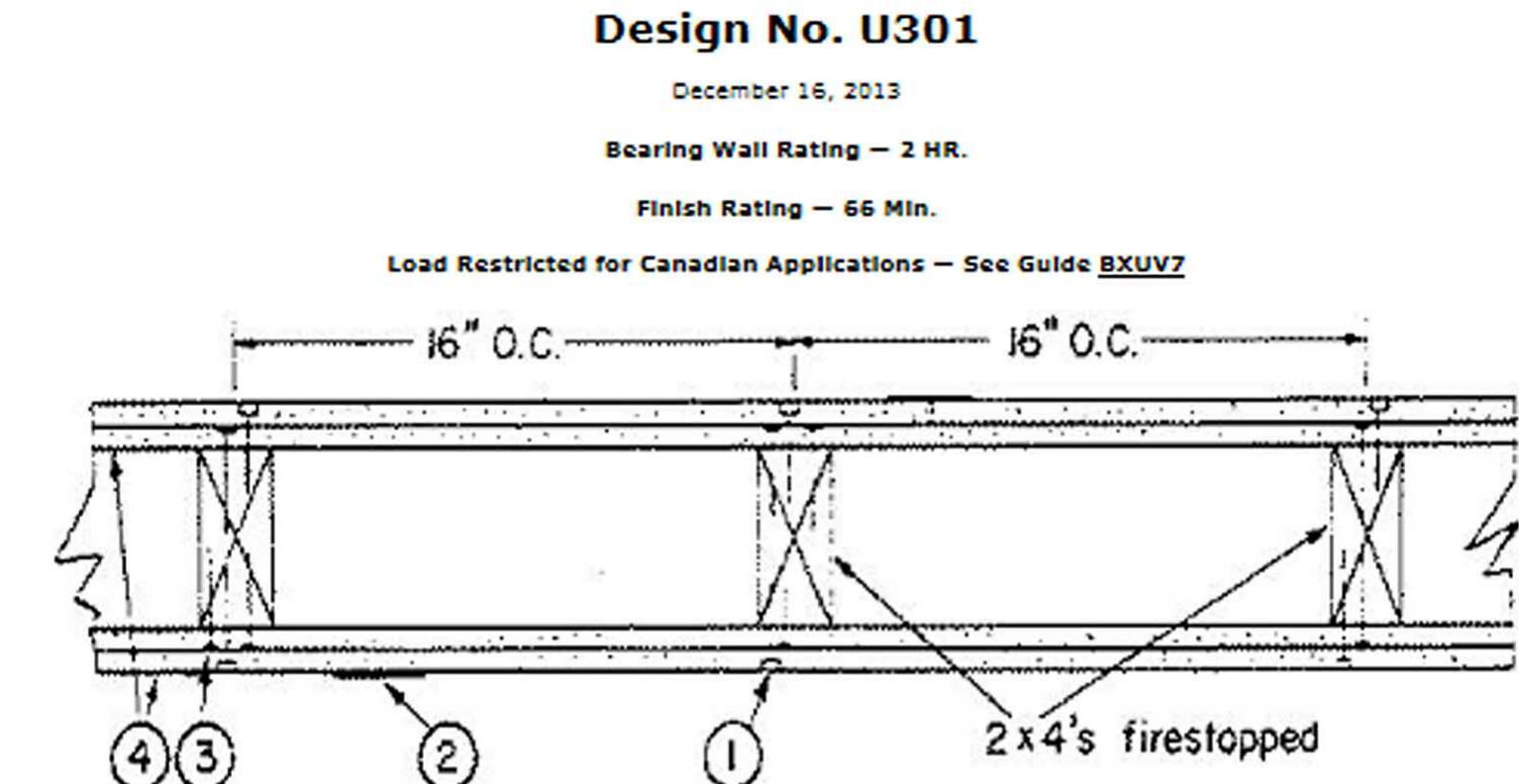


1. FINISH FLOORING 4 FT BY 8 FT BY 23/32 IN. THICK T & G WOOD STRUCTURAL PANELS MIN GRADE "UNDERLAYMENT" OR "SINGLE FLOOR". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANEL TO BE INSTALLED PERPENDICULAR TO TRUSSES WITH END JOINTS STAGGERED 4 FT. FINISH FLOORING PANELS SECURED TO TRUSSES WITH CONSTRUCTION ADHESIVE AND 6D RING SHANK NAILS. ADHESIVE APPLIED AS 3/8 IN. DIAM BEAD TO TOP CHORD OF TRUSSES AND GROOVE EDGES OF FINISH FLOORING PANELS. NAILS SPACED 12 IN. O.C. ALONG EACH TRUSS.
2. VAPOR BARRIER - COMMERCIAL ROSIN-SIZED 0.010 IN THICK.
3. SUBFLOORING - 15 / 32 IN THICK PLYWOOD, MIN. GRADE "C-D" EXPOSURE 1 OR "C-D" WITH EXTERIOR GLUE CONFORMING WITH PS 1-63 SPECIFICATIONS FOR NON-VENEER APA RATED SHEATHING PANELS PER APA SPECIFICATIONS PRP-108.
4. WOOD JOIST - 2 BY 10 IN., SPACED 16" O.C., FIRESTOPPED
5. CROSS-BRACING - 1 BY 3 IN. MEMBERS
6. GYPSUM BOARD* ONE LAYERS OF 5/8 IN. THICK BY 48 IN. WIDE SHEETS (TYPE - FIRE RATED) INSTALLED WITH LONG DIMENSION PERPENDICULAR TO TRUSSES. INNER LAYER ATTACHED TO TRUSSES USING 1-1/4 IN. LONG, TYPE S BUGLE HEAD STEEL SCREWS SPACED 24 IN. OC AND LOCATED A MIN 1-1/2 IN. FROM SIDE AND END JOINTS. OUTER LAYER ATTACHED TO TRUSSES THROUGH INNER LAYER WITH 1-7/8 IN. TYPE S BUGLE HEAD STEEL SCREWS SPACED 12 IN. OC. ALL JOINTS IN OUTER LAYER OFFSET 24 IN. FROM INNER LAYER JOINTS. BUTT JOINTS OCCUR OVER TRUSSES.

*BEARING THE UL CLASSIFICATION MARK

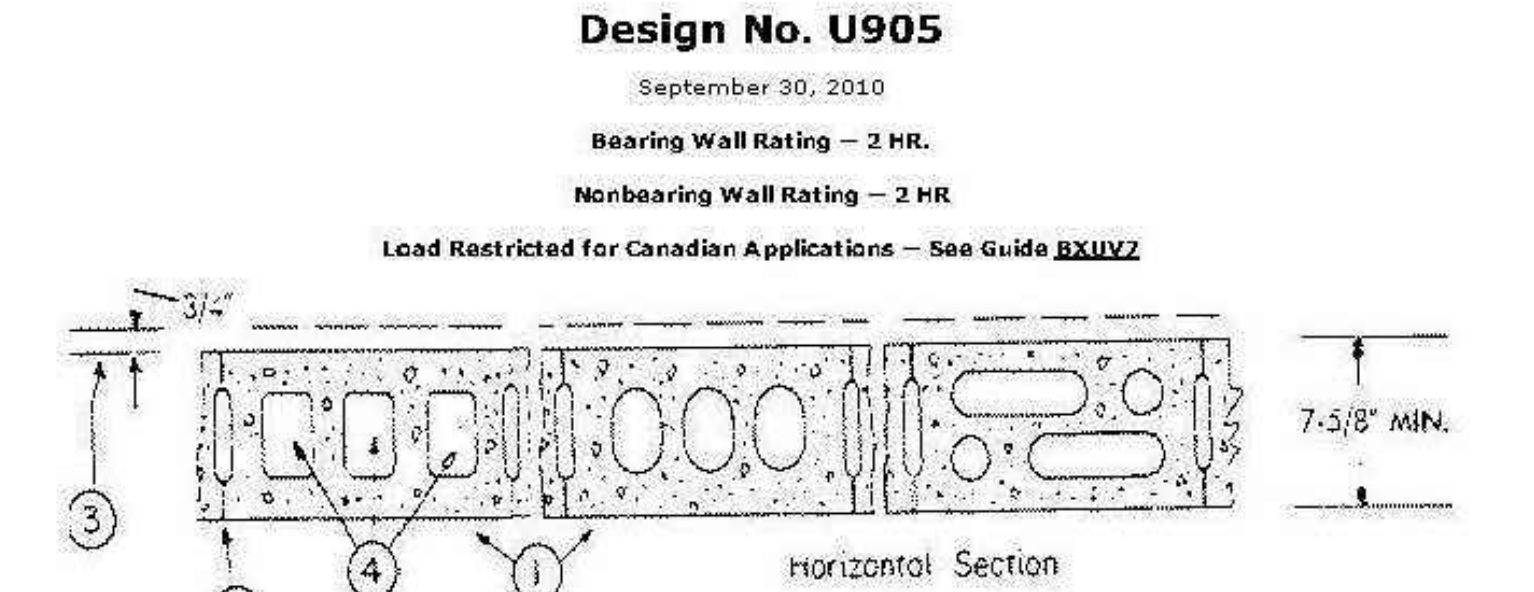
7 UL RATED DETAILS
N.T.S.

[PROPOSED 2-HR. RATED WALL SYSTEMS - EXTERIOR (below grade)]



1. Nailheads - Exposed or covered with joint compound.
 2. Joints - Exposed joints covered with joint compound and paper tape. Joint compound and paper tape may be omitted when square edge boards are used. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with the joints reinforced with paper tape.
 3. Nails - 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam, 1/4 in. diam heads, and 8d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam heads.
 4. Gypsum Board* - 5/8 in. thick, two layers applied either horizontally or vertically. Inner layer attached to studs with the 1-7/8 in. nails spaced 6 in. OC. Outer layer attached to studs over inner layer with the 2-3/8 in. long nails spaced 8 in. OC. Vertical joints located over studs. All joints in face layers staggered with joints in base layers. Joints of each base layer offset with joints of base layer on opposite side.
- When used in widths other than 48 in., gypsum board to be installed horizontally.
- When Steel Framing Members* (Item 6 or 6A) are used, base layer attached to furring channels with 1 in. long Type S bugle-head steel screws spaced max 24 in. OC; face layer attached with 1-5/8 in. long Type S bugle-head steel screws spaced max 12 in. OC.
- ACADIA DRYWALL SUPPLIES LTD - Type X

[PROPOSED 2-HR. RATED WALL SYSTEMS - EXTERIOR (above grade)]



1. Concrete Blocks* - Various designs. Classification D-2 (2 hr).
See Concrete Blocks category for list of eligible manufacturers.
 2. Mortar - blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
 3. Portland Cement Stucco or Gypsum Plaster - Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
 4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
 5. Foamed Plastic* - (Optional-Not Shown) - 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).
- THE DOW CHEMICAL CO. - Type Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax d Exterior Insulation, Thermax LH Insulation, Thermax Plus Liner Panel and Thermax Heavy Duty Plus (HDP)

6 HEAD DETAILS
N.T.S.

5 JAMB DETAILS
N.T.S.

4 SILL DETAILS
N.T.S.

3 HEAD DETAILS
N.T.S.

2 JAMB DETAILS
N.T.S.

1 WALL DETAILS
N.T.S.

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

PARTITION TYPES and
UL RATED DETAILS

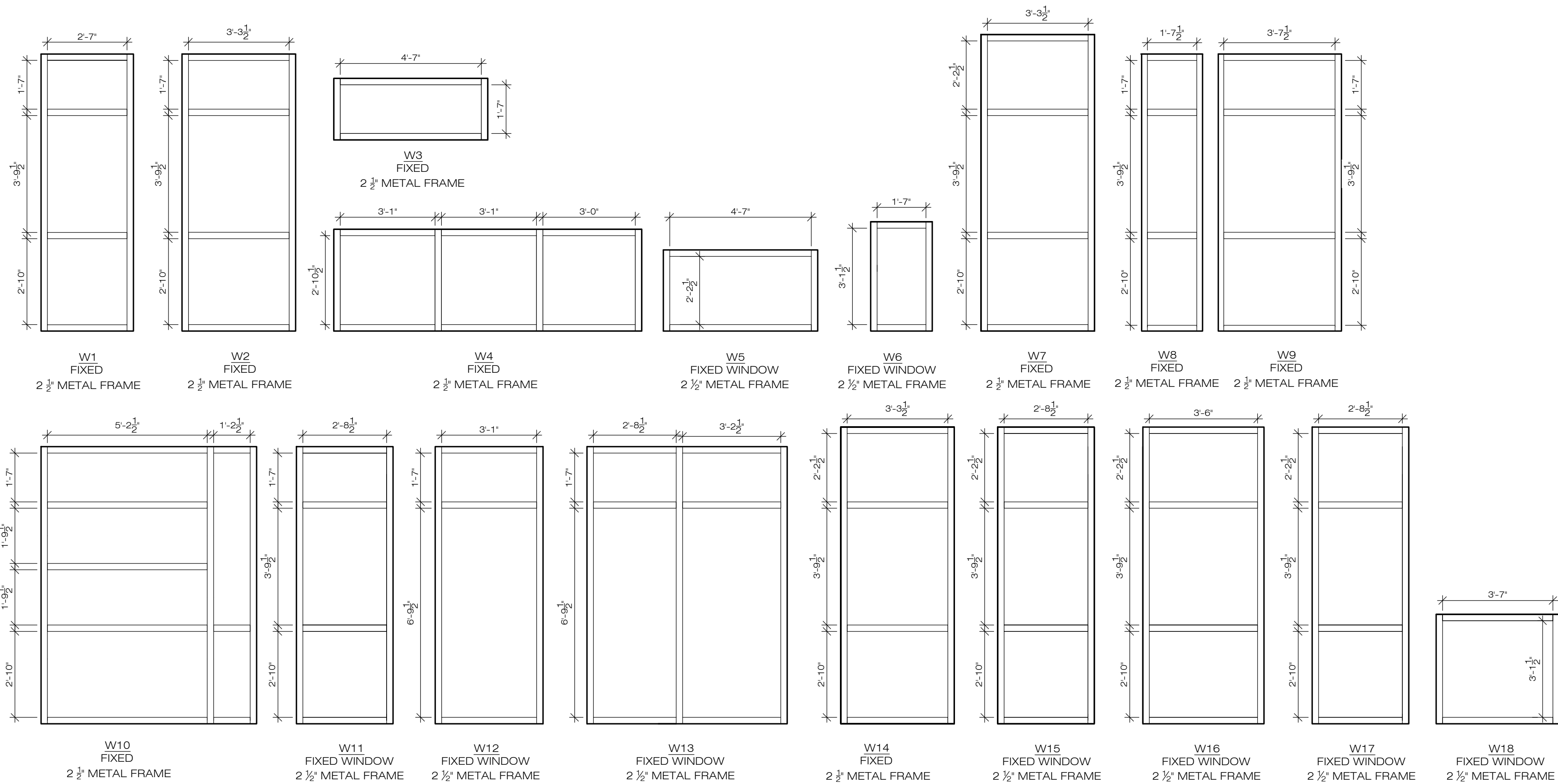
REVISIONS				

ISSUE FOR PERMIT
JULY 29, 2014

A002
DRAWING NUMBER

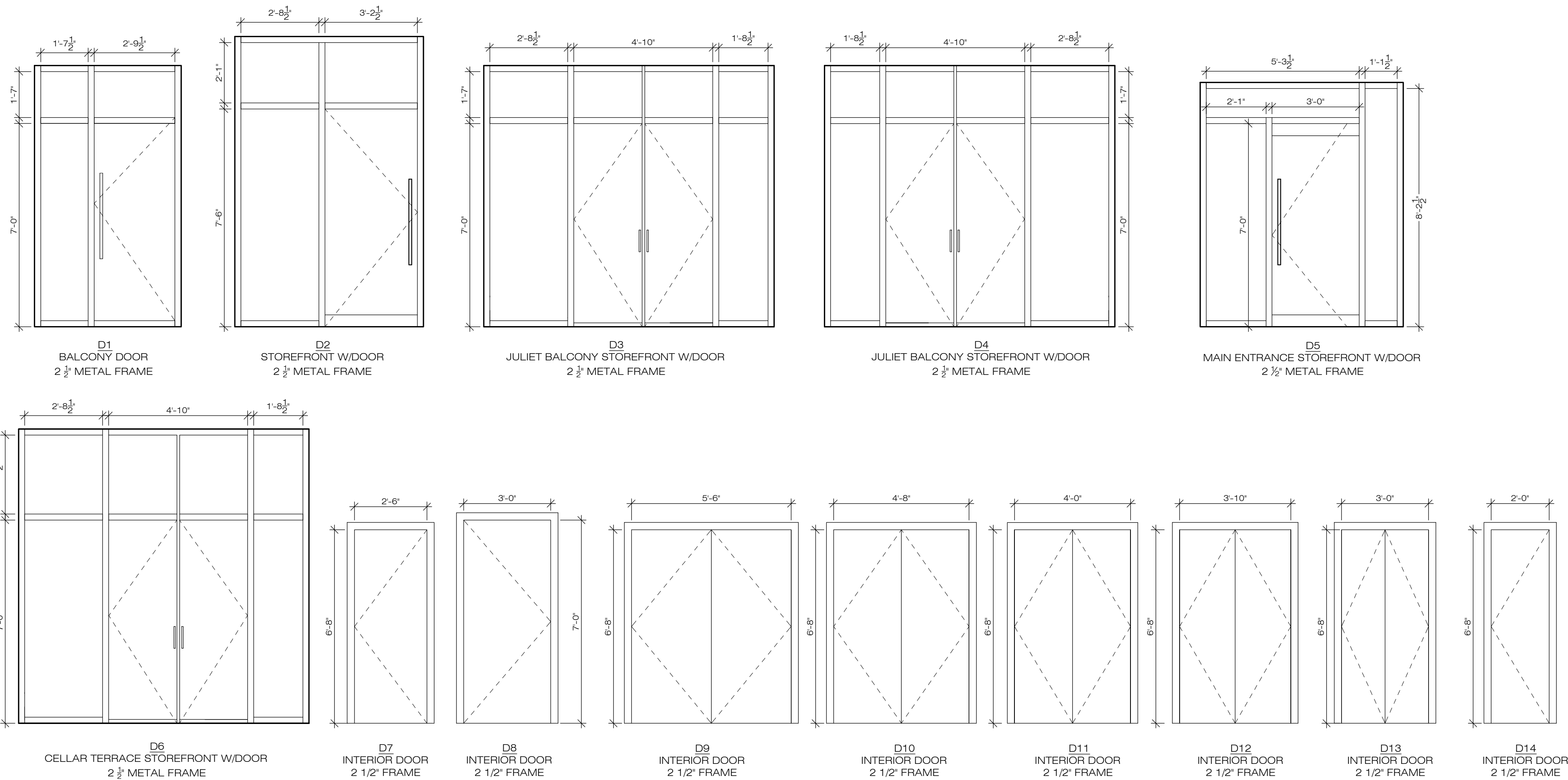
RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

AS NOTED



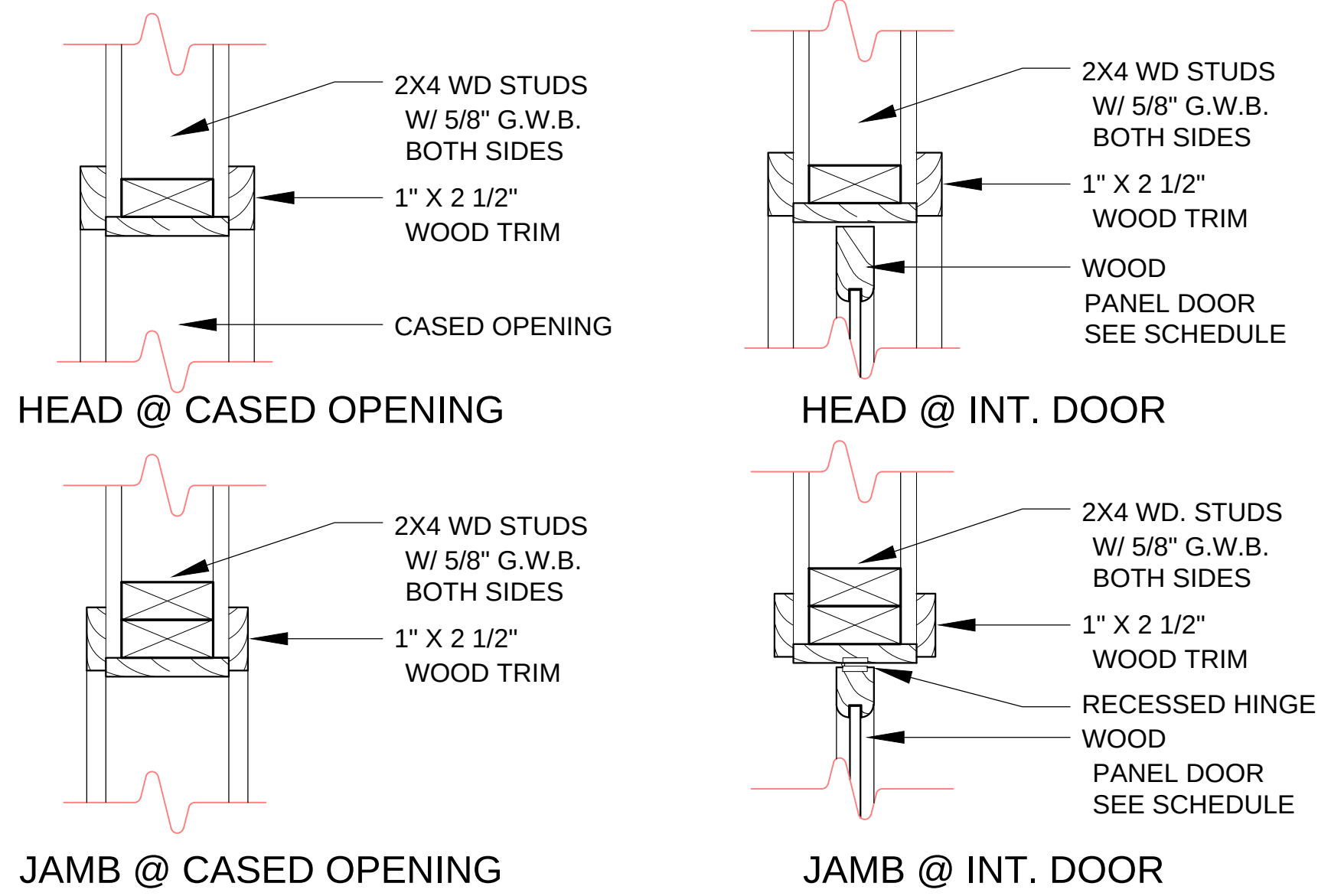
1 WINDOW SCHEDULE

3/8" = 1'-0"

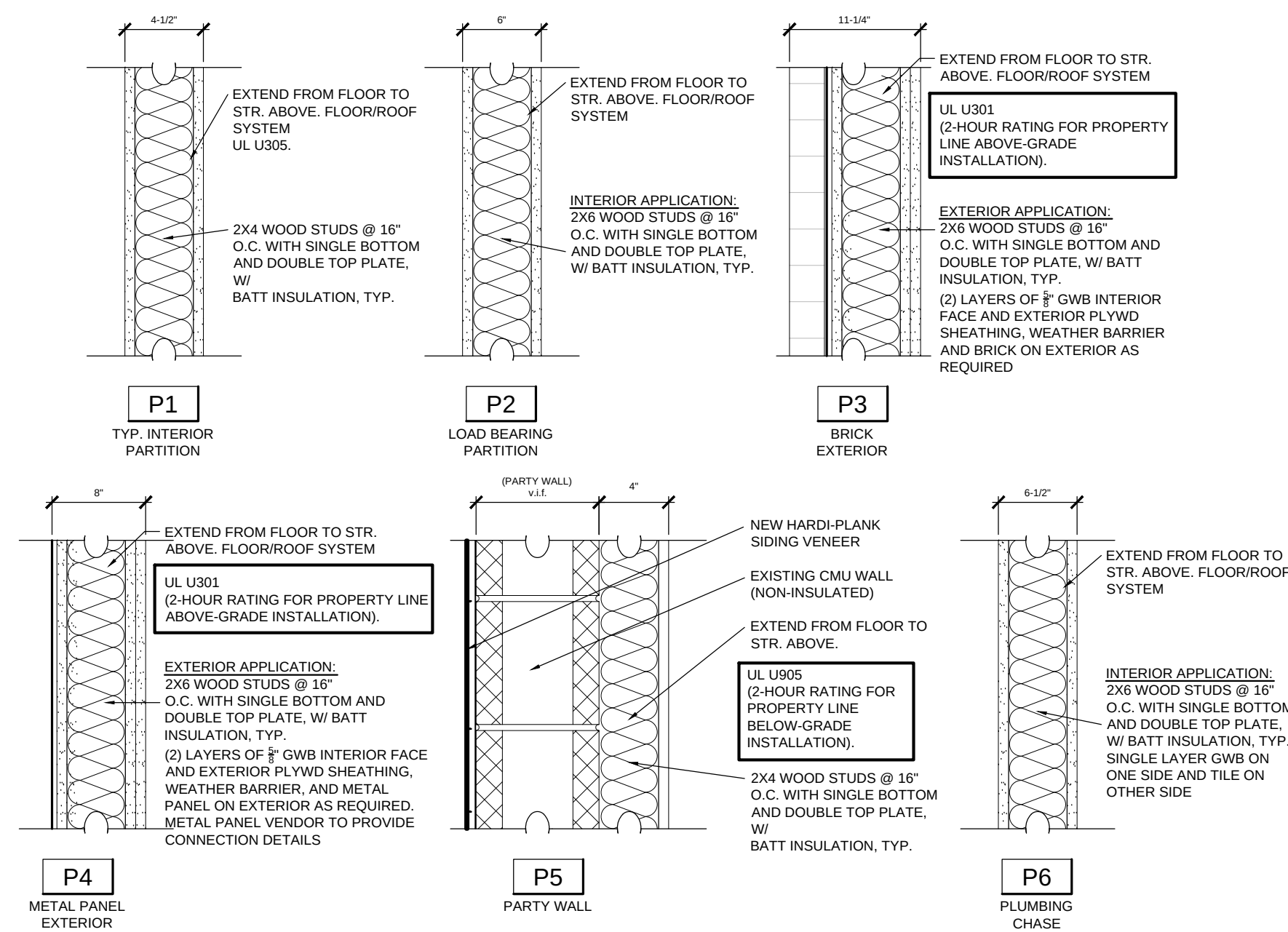


2 DOOR SCHEDULE

3/8" = 1'-0"



2 HEAD / JAMB DETAILS, TYP.
N.T.S.



1 PARTITION TYPES, TYP.
1" = 1'-0"

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

WINDOW/DOOR
SCHEDULE WALL
TYPES and
HEAD-JAMB DETAILS

REVISIONS

AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

A003

DRAWING NUMBER

KEY NOTES

01

EXISTING FOOTPRINT OF BUILDING- EXTERIOR WALLS EXCEPT FOR REAR WALL TO REMAIN. RE: DEMO DWGS.

02

EXISTING GARAGE TO BE REMOVED.

03

EXISTING WOOD DECK TO BE REMOVED.

04

EXCAVATION FOR WINDOW WELL.

05

AREA OF EXCAVATION FOR BUILDING ADDITION / ALTERATION

06

AREA FOR NEW PARKING LOT

07

SILT FENCE PERIMETER, TYPICAL

08

STABILIZED CONSTRUCTION ENTRANCE

LEGEND

EXISTING BUILDING

DEMOLISH / REMOVAL

EXTENT OF EXCAVATION

STABILIZED CONSTRUCTION ENTRANCE

SILT FENCE PERIMETER

LOD

LAND OF DISTURBANCE PERIMETER

PROPOSED EXCAVATION & DISTURBANCE

AREA	EXCAVATION (CU. YD.)	AREA OF DISTURBANCE (SF)
WINDOW WELL	25 CU YD	342 SF
BUILDING ADDITION / ALTERATION	86 CU YD	1165 SF
CELLAR	595 CU YD	1784 SF
TOTAL	706 CU YD	3291 SF

LAND OF DISTURBANCE: 3291 SF

RICH MARKUS ARCHITECTS

2601 P STREET NW, 2ND FLR

WASHINGTON DC 20007

202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT

1521 VARNUM STREET, NW

WASHINGTON, DC

SEDIMENT & EROSION

PLAN

REVISIONS

FEB. 2015

AS NOTED

SCALE

ISSUE FOR PERMIT

JULY 29, 2014

ISSUE

A004

DRAWING NUMBER

VARNUM STREET, N.W.

817

WOOD DECK

LINE OF EXISTING HOUSE BELOW

PROPERTY LINE

ALLEY

PUBLIC ALLEY

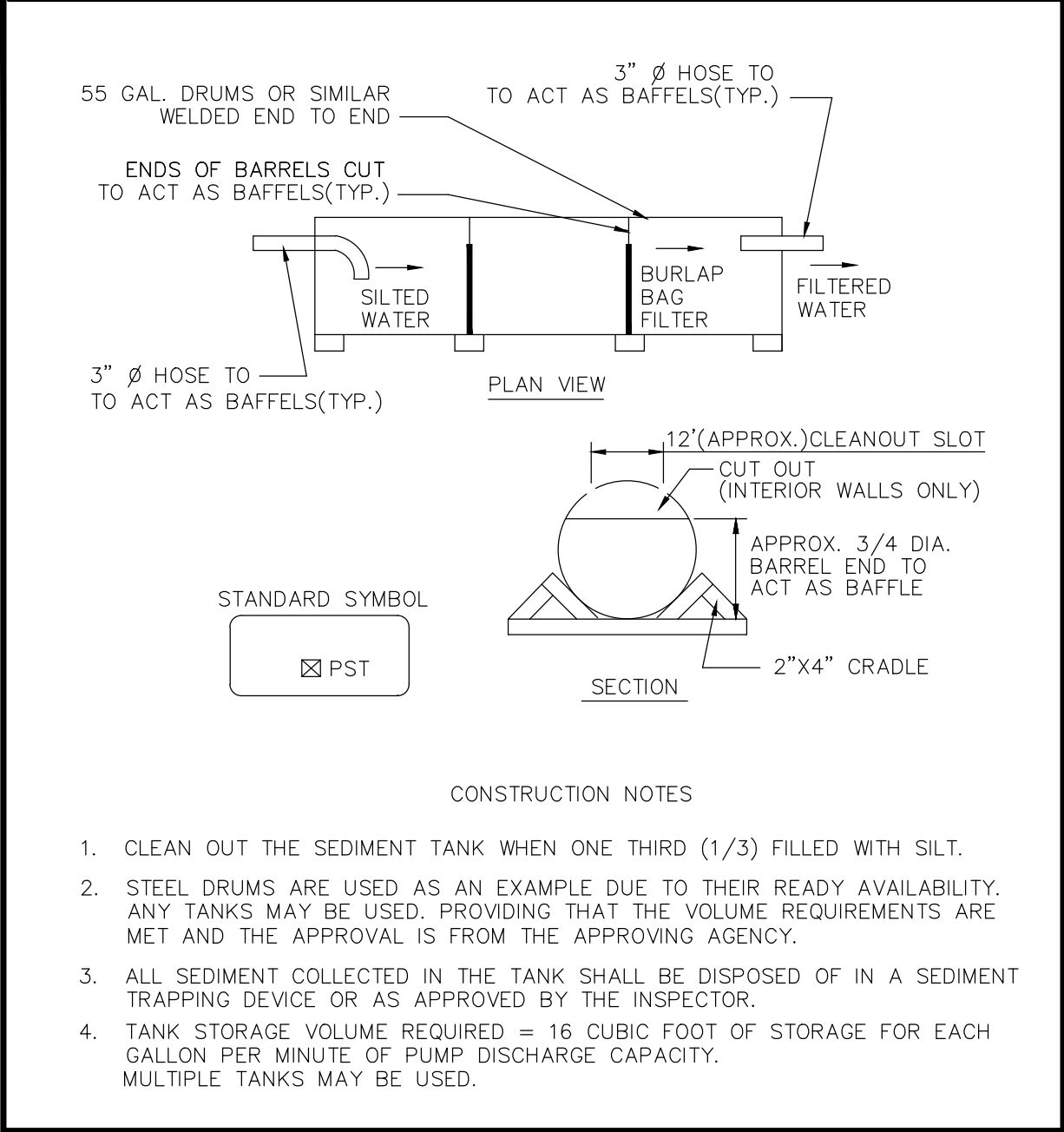
1

SEDIMENT & EROSION PLAN

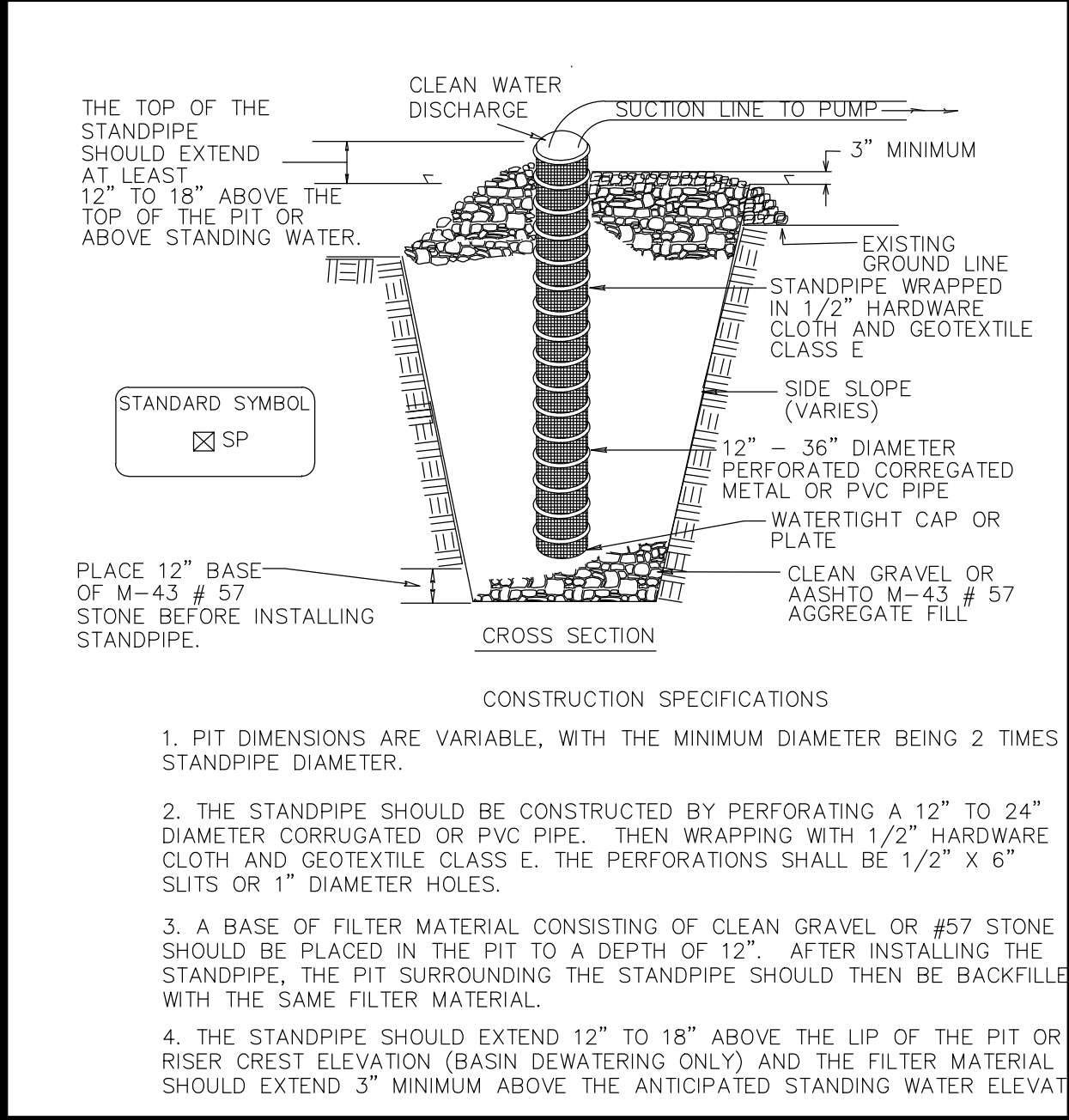
1/8" = 1'-0"

N

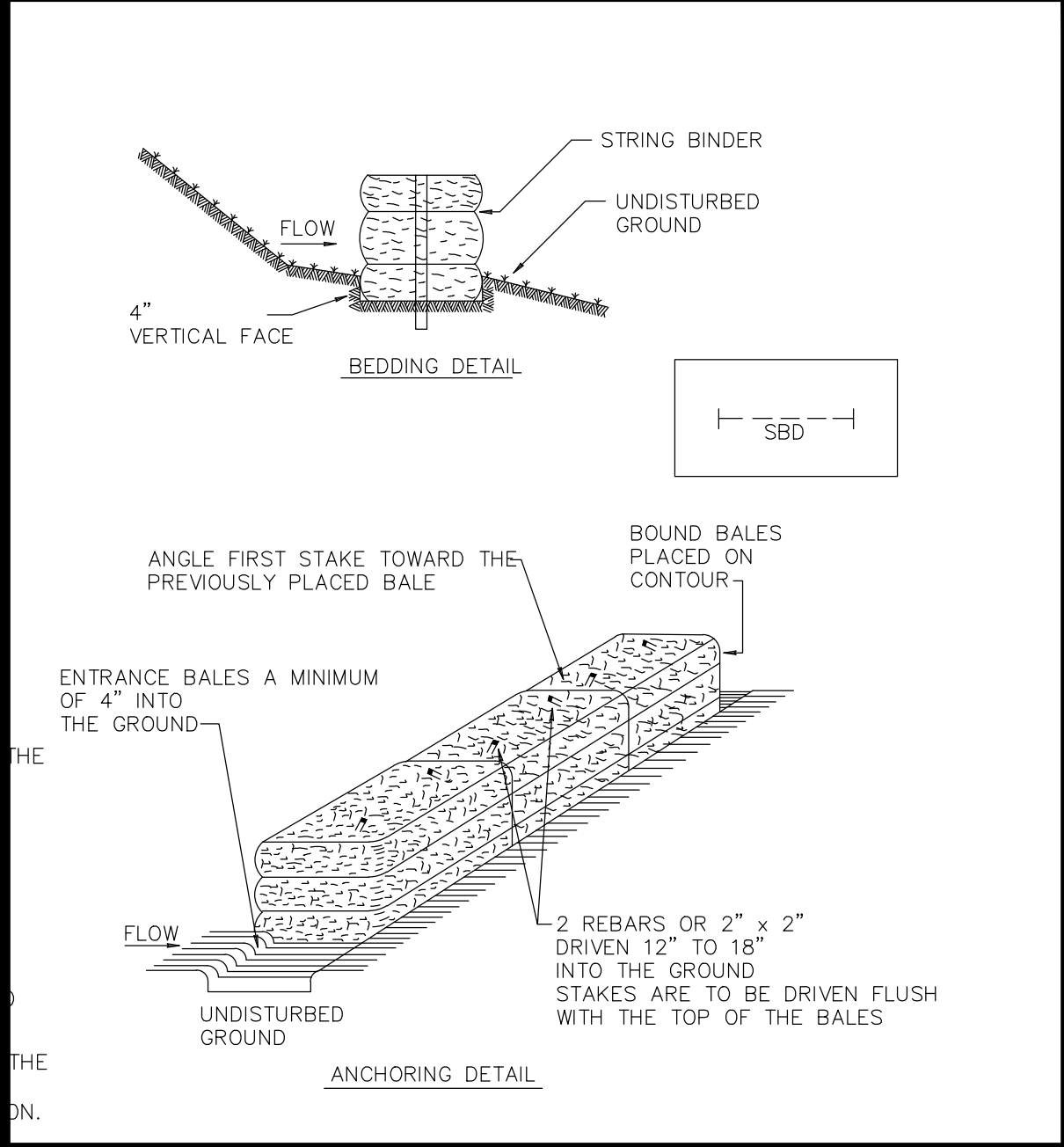
PORTABLE SEDIMENT TANK DETAIL



SUMP PIT DETAIL



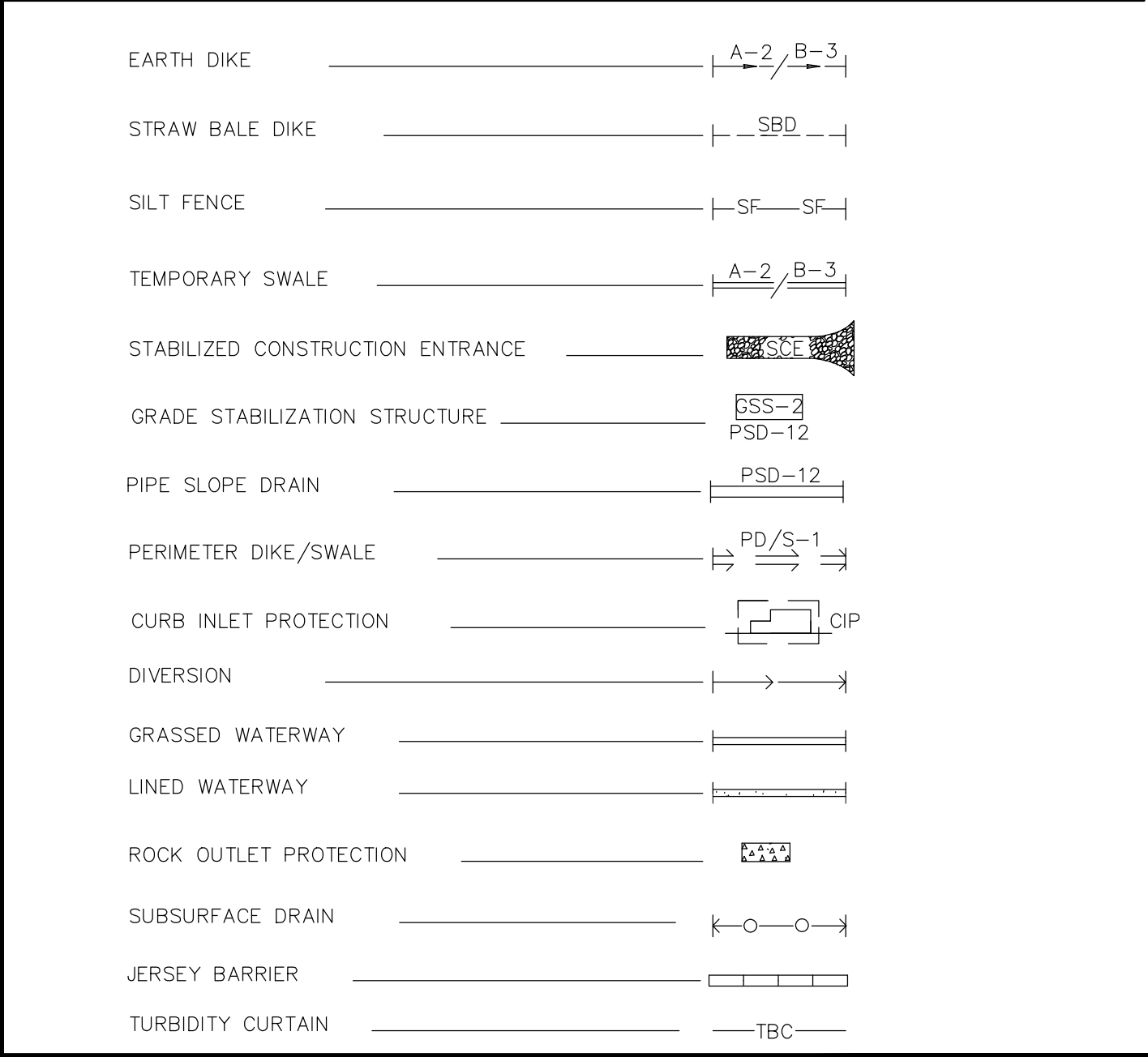
STRAW BALE DIKE DETAIL



STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE SO AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE.
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER.
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8kPa), MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES.
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE BOUNDARIES.

STANDARD SYMBOLS



SILT FENCE		
SILT FENCE DESIGN CRITERIA		
SLOPE STEEPNESS	(MAXIMUM) SLOPE LENGTH	(MAXIMUM) SILT FENCE LENGTH

FLATTER THAN 50:1
50:1 TO 10:1
10:1 TO 5:1
5:1 TO 3:1
3:1 TO 2:1
2:1 AND STEEPER

UNLIMITED
125 FT.
100 FT.
60 FT.
40 FT.
20 FT.

UNLIMITED
1,000 FT.
750 FT.
500 FT.
250 FT.
125 FT.

NOTE: IN AREAS OF LESS THAN 2% SLOPE AND SANDY SOILS (USDA GENERAL CLASSIFICATION SYSTEM, SOIL CLASS A) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED, IN THESE AREAS SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.

CONSTRUCTION SPECIFICATIONS

1. FENCE POST SHALL BE A MINIMUM OF 36" LONG DRIVEN 16" MINIMUM INTO THE GROUND. WOOD POST SHALL BE 1 1/2" SQUARE (MINIMUM) CUT, OR 1 3/4" DIAMETER (MINIMUM) ROUND AND SHALL BE OF SOUND QUALITY HARDWOOD. STEEL POST WILL BE STANDARD T OR U SECTION WEIGHING NOT LESS THAN 1.00 POUND PER LINEAR FOOT.

2. GEOTEXTILE SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:

TENSILE STRENGTH	50 LBS./IN. (MIN)	TEST: MSMT 509
TENSILE MODULUS	20 LBS./IN. (MIN.)	TEST: MSMT 509
FLOW RATE	0.3 GAL FT/(MIN.(MAX)	TEST: MSMT 322
FILTERING EFFICIENCY	75% (MIN.)	TEST: MSMT 322

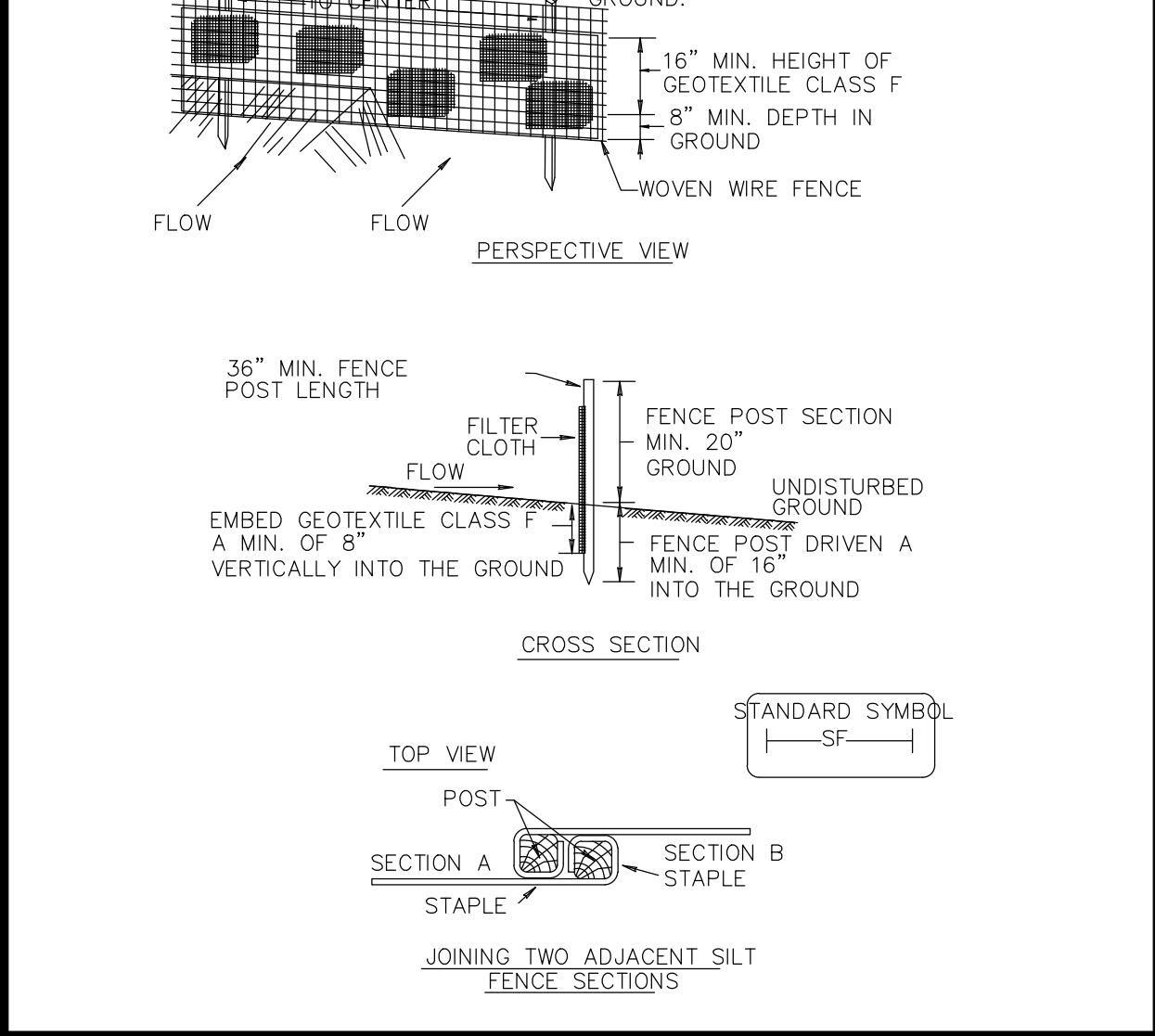
3. WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.

4. SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHES 50% OF THE FABRIC HEIGHT.

SILT FENCE DETAIL

10' MAXIMUM CENTER
TO CENTER OF FENCE

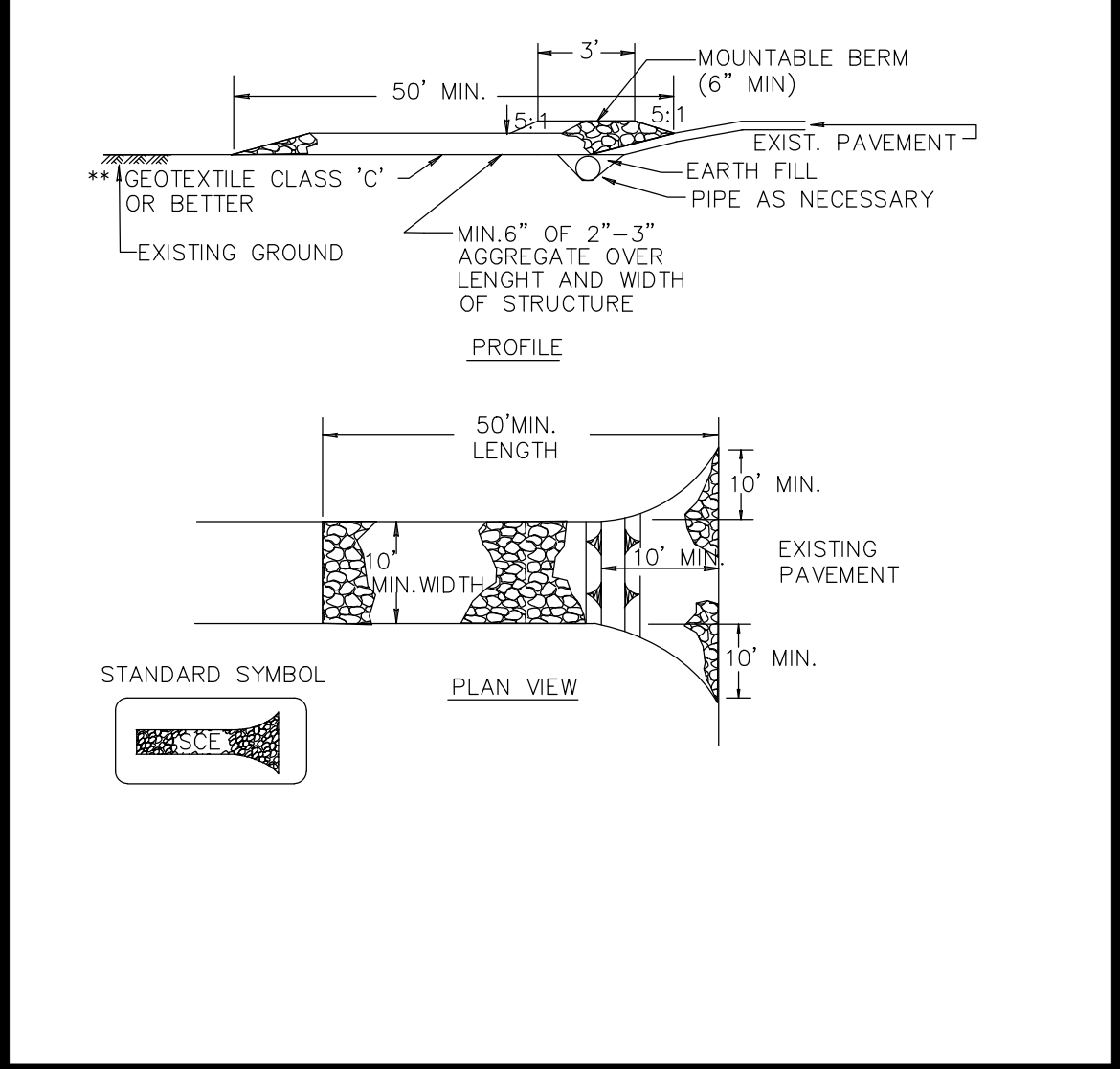
36" MIN. LENGTH FENCE POST,
DRIVEN A MIN. OF 16" (406 MM) INTO
GROUND



SCE CONSTRUCTION SPECIFICATION	
1. LENGTH – MIN. OF 50' RAMP x 30' RAMP FOR SINGLE RESIDENCE LOT.	

2. WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
3. GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE.
4. STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
5. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE SHALL BE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MIN. OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MIN. WILL BE REQUIRED.
6. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO A APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL



DETAIL 1 - EARTH DIKE

2:1 SLOPE OR FLATTER

b

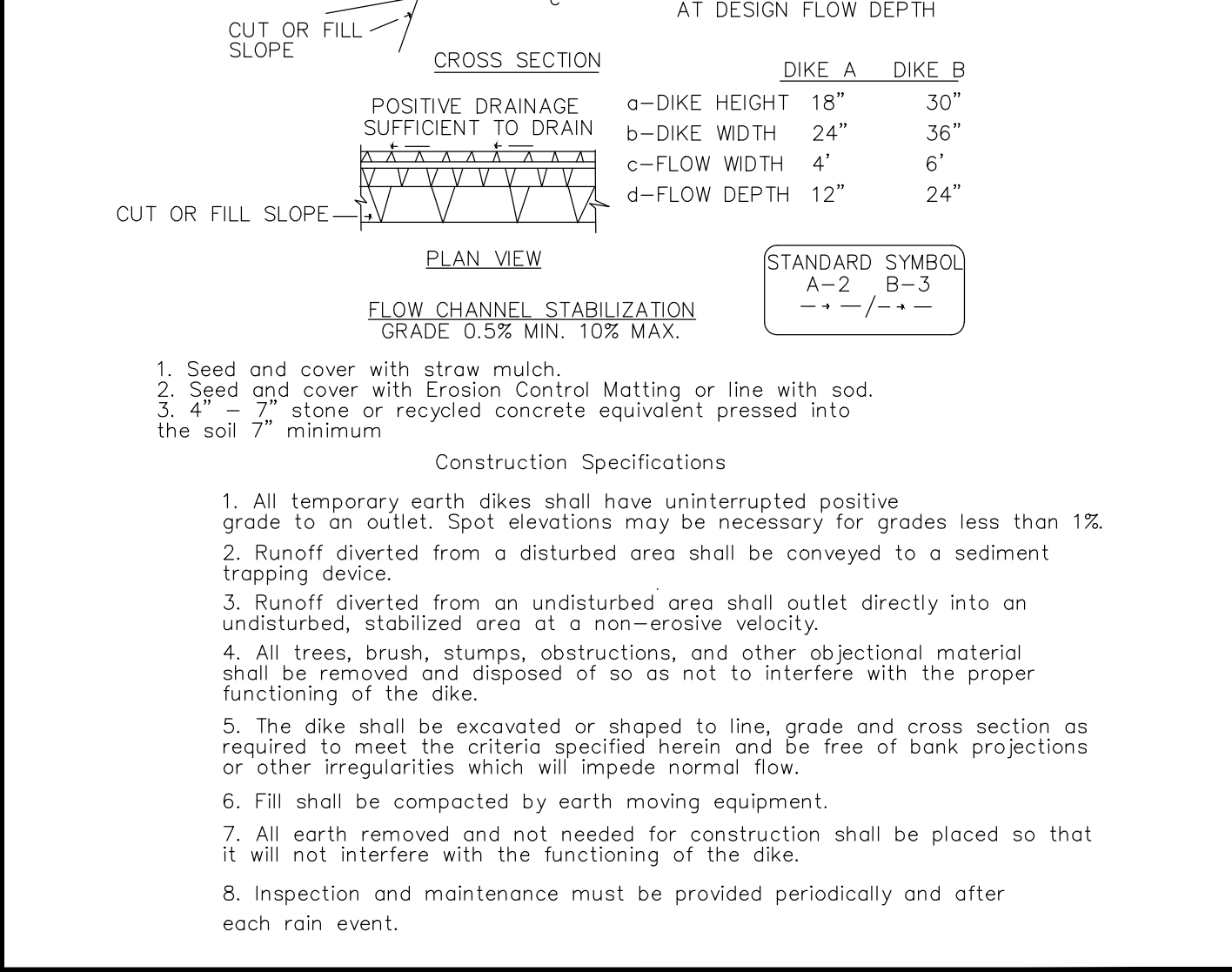
2:1 SLOPE OR FLATTER

GRADE LINE

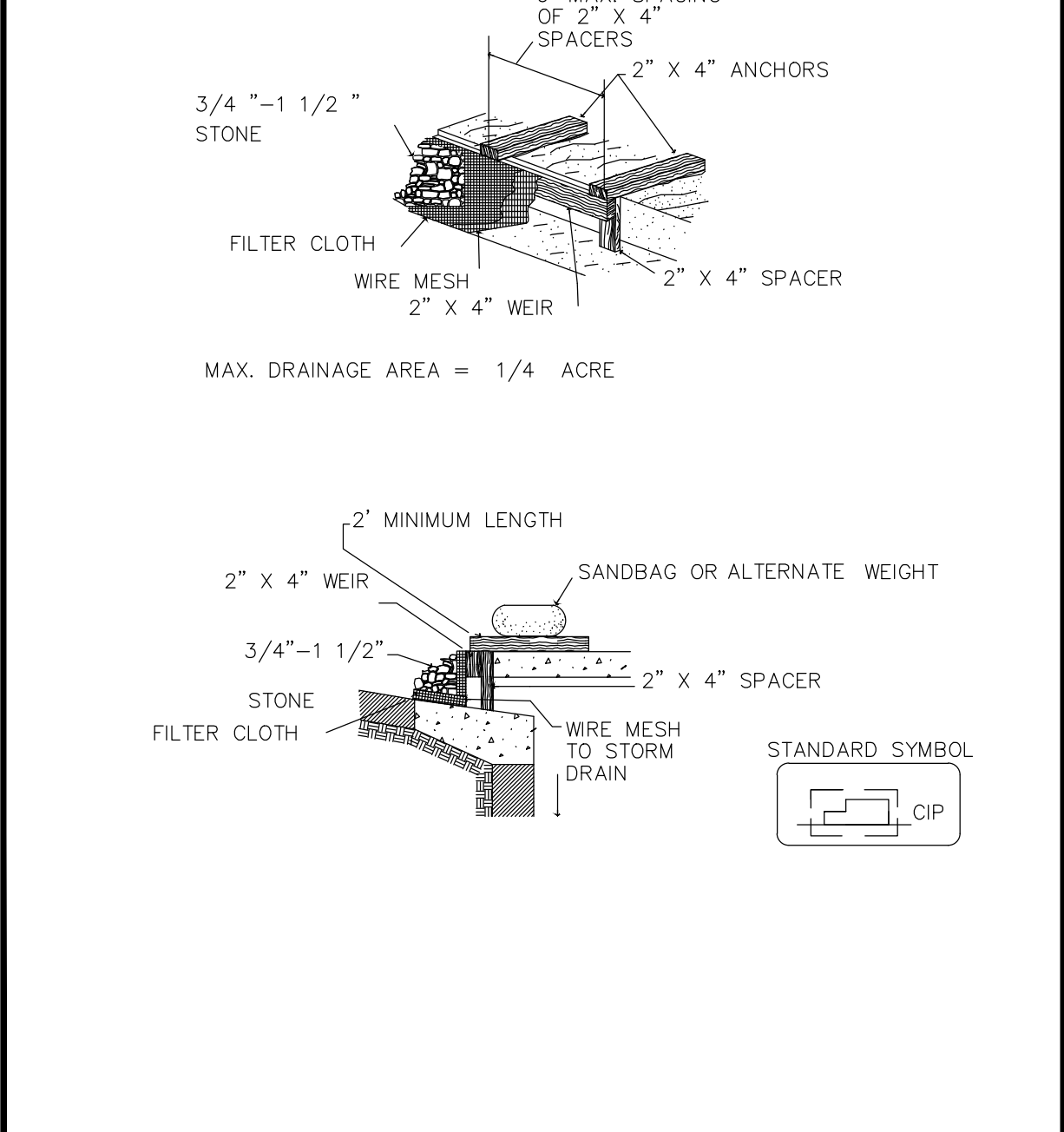
d

FLOW

EXCAVATE TO PROVIDE REQUIRED FLOW WIDTH



CURB INLET PROTECTION
(COG OR COS INLETS)
6" MAX. SPACING

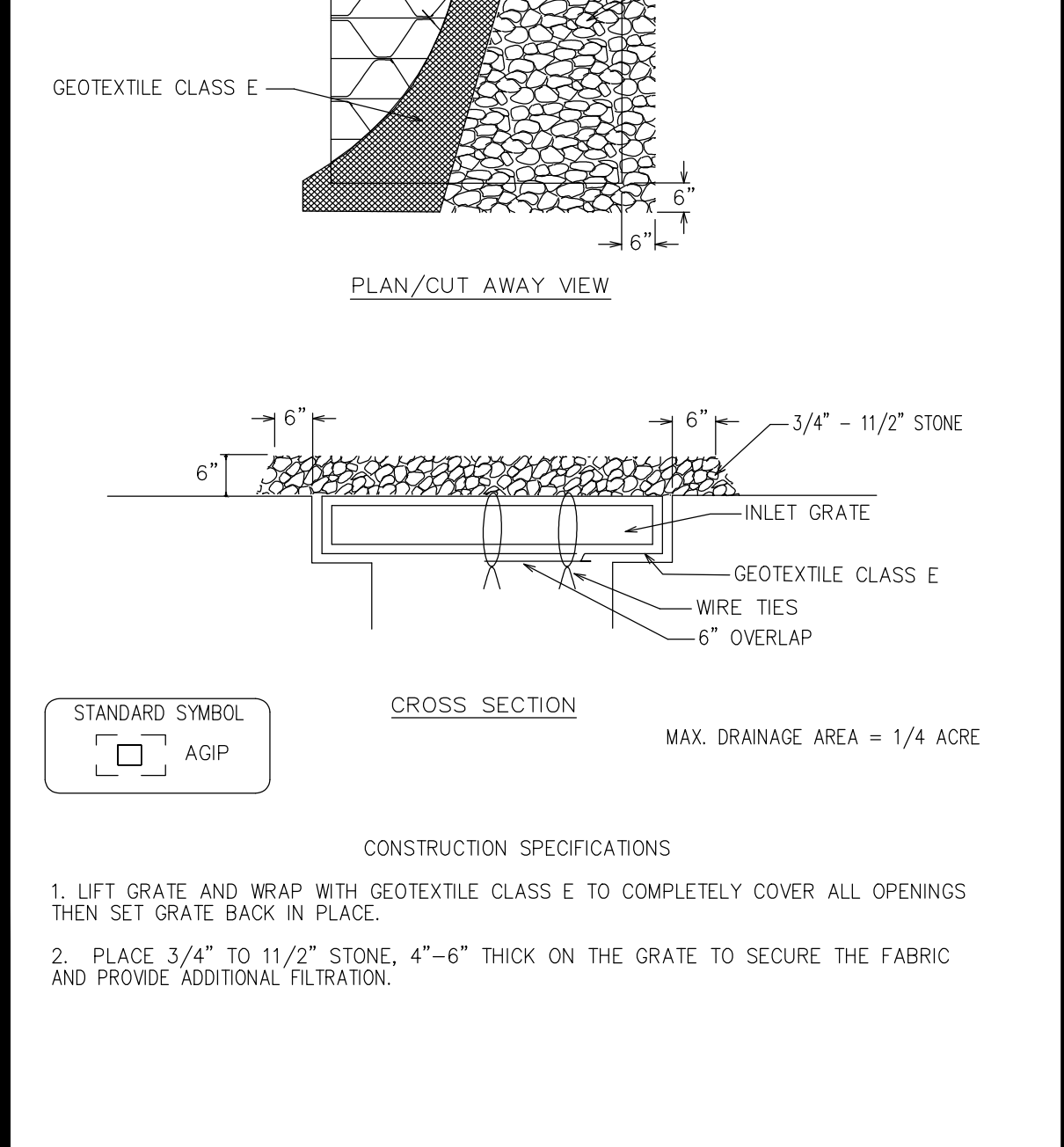


CURB INLET PROTECTION NOTES
CONSTRUCTION SPECIFICATIONS

1. ATTACH A CONTINUOUS PIECE OF WIRE MESH 30" MIN. WIDTH BY THROAT LENGTH PLUS 4" TO THE 2"x4" WEIR (MEASURING THROAT LENGTH) PLUS 2' AS SHOWN ON THE STANDARD DRAWING
2. PLACE A CONTINUOUS PIECE OF GEOTEXTILE CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2"x4" WEIR.
3. SECURELY NAIL THE 2"x4" WEIR TO A 9" LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAX. 4' APART).
4. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL (MIN. 2' LENGTHS OF 2"x4" TO THE TOP OF THE WEIR AT SPACER LOCATIONS). THE 2"x4" ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHT.
5. THE ASSEMBLY SHALL BE PLACED SO THAT THE END SPACERS ARE A MIN. 1' (0.31 m) BEYOND BOTH ENDS OF THE THROAT OPENING.
6. FORM THE 1/2"x1/2" WIRE MESH AND THE GEOTEXTILE FABRIC TO THE CONCRETE GUTTER AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 3/4"x1/2" STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE.
7. THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED WHEN CLOGGED WITH SEDIMENT.
8. ASSURE THAT STORM FLOW DOES NOT BYPASS THE INLET BY INSTALLING A TEMPORARY EARTH OR ASPHALT DIKE TO DIRECT FLOW TO THE INLET.

DETAIL 23B - AT GRADE INLET PROTECTION

3/4" - 1 1/2" STONE



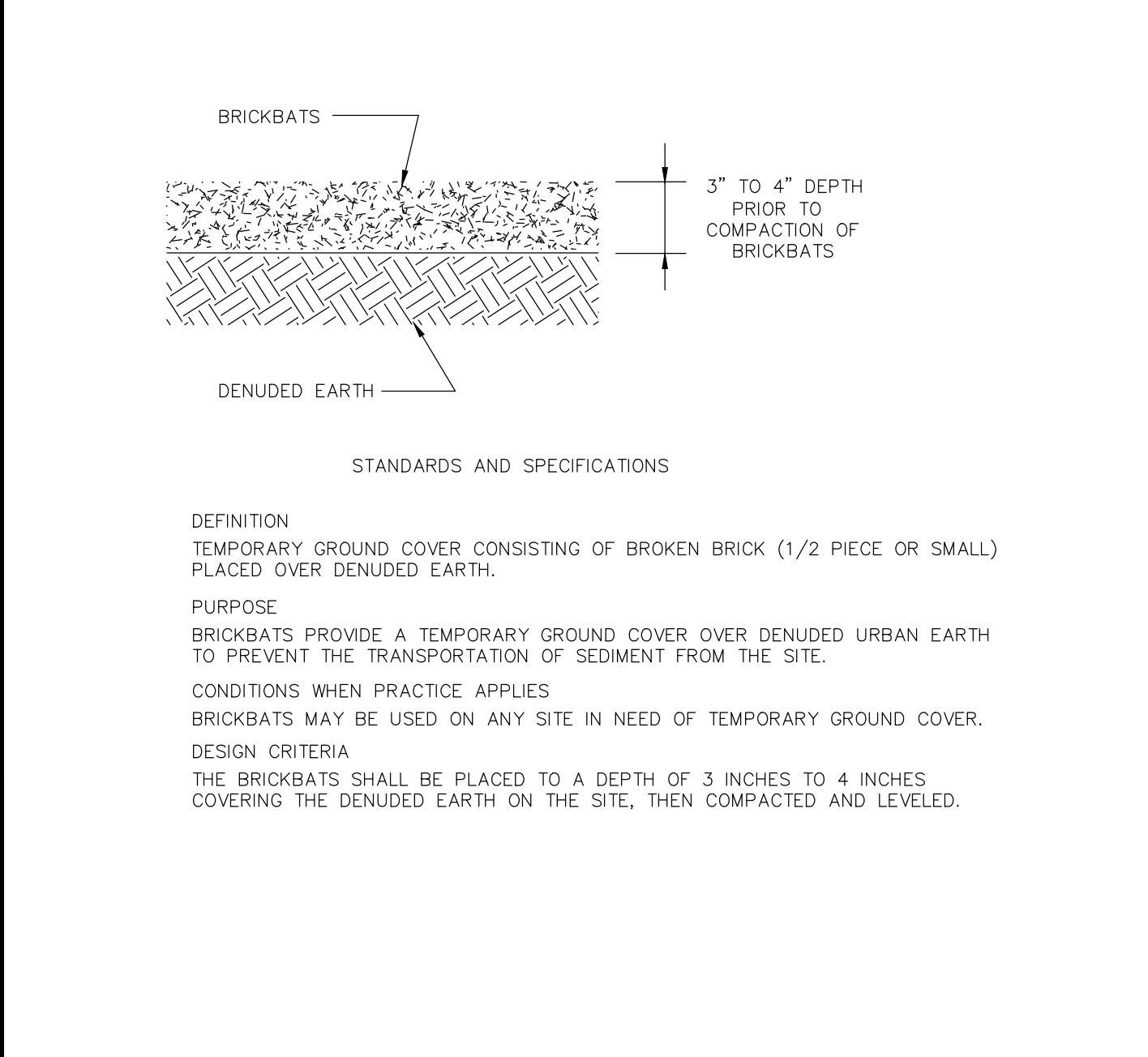
SEQUENCE OF CONSTRUCTION ACTIVITIES	



VEHICLE WASH DETAIL

Diagram illustrating a vehicle wash detail. A large truck is shown being washed by a person using a high-pressure hose. The area is labeled "VEHICLE WASH AREA". The truck is positioned in front of a "STABILIZED CONSTRUCTION ENTRANCE". A "FLOW" arrow indicates the direction of water spray from the hose onto the truck's rear wheel area.

BRICKBAT GROUND COVER



RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

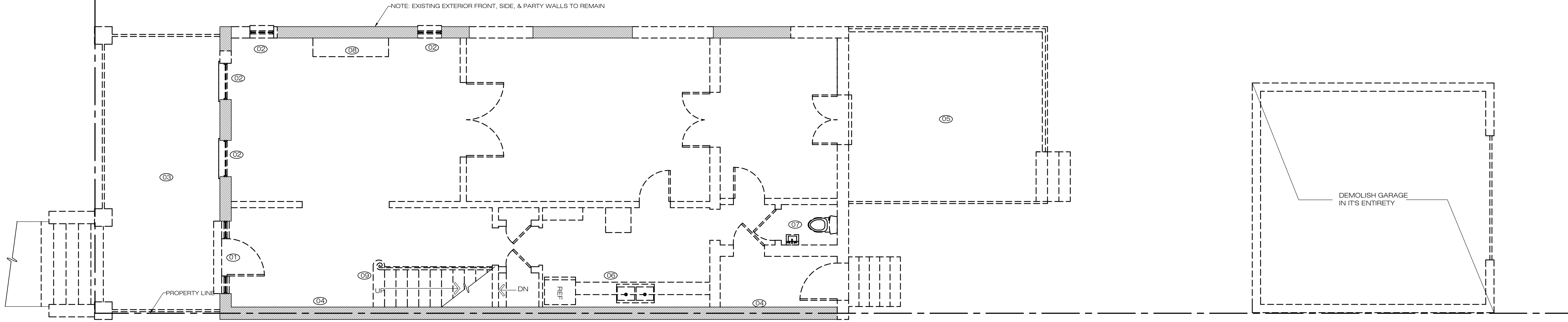
WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

SEDIMENT & EROSION PLAN AND DETAILS

[illegible]

AS NOTED	SCALE
ISSUE FOR PERMIT JULY 29, 2014	ISSUE
A005	
DRAWING NUMBER	

DRAWING NUMBER



2 FIRST FLOOR PLAN
1/4" = 1'-0"

DEMOLITION PLAN SYMBOLS

- 01 KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- EXISTING WALL TO REMAIN
- DEMOLISH
- NEW WALL

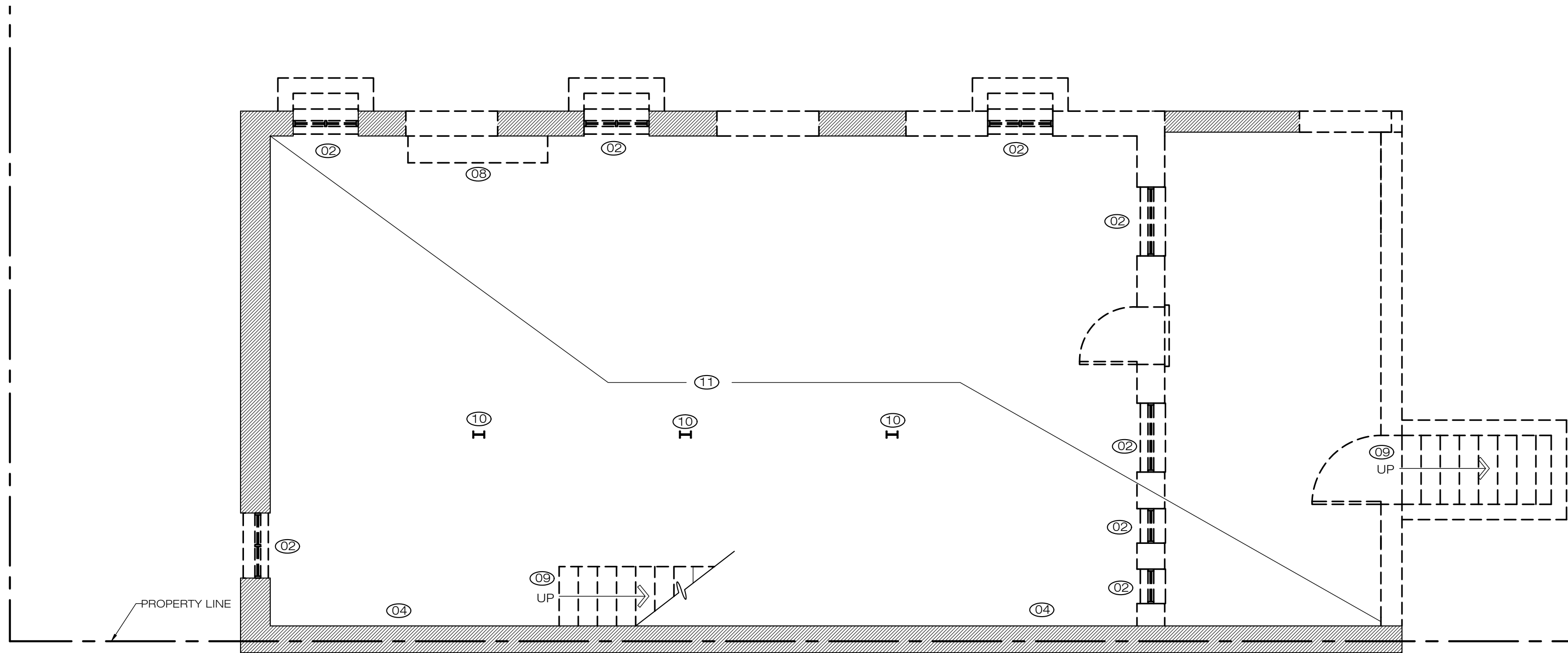


GENERAL NOTES

- A. REMOVE ALL PLUMBING FIXTURES.
- B. REMOVE SECOND LEVEL FLOOR IN ITS ENTIRETY.
- C. REMOVE ALL EXISTING ELECTRIC AND TELEPHONE WIRING BACK TO SOURCE. WIRING TO REMAIN FOR CONSTRUCTION LIGHTS.
- D. WHERE EXISTING PARTITIONS, COLUMNS, FLOORING WERE AFFECTED BY DEMOLITION. PREPARE SURFACES TO RECEIVE SCHEDULED FINISH.
- E. WHERE EXISTING ELECTRICAL AND/OR COMMUNICATIONS DEVICES WERE REMOVED FROM EXISTING PARTITIONS AND FLOORS, PATCH AS REQUIRED TO RECEIVED SCHEDULED FINISHES.
- F. ALL EXISTING WINDOWS AND DOORS TO BE REMOVED.

KEYED NOTES

- 01 REMOVE EXISTING DOOR AND PREPARE OPENING FOR REPLACEMENT DOOR
- 02 EXISTING WINDOW TO BE DEMOLISHED. INFILL OPENING, REFER TO CONSTRUCTION PLAN FOR WALL TYPE.
- 03 DEMOLISH EXISTING WOOD PORCH.
- 04 EXISTING PARTY WALL TO REMAIN
- 05 DEMOLISH EXISTING WOOD DECK
- 06 REMOVE ALL KITCHEN APPLIANCES, AND PLUMBING FIXTURES.
- 07 REMOVE ALL PLUMBING FIXTURES.
- 08 EXISTING CHIMNEY TO BE DEMOLISHED.
- 09 REMOVE STAIR
- 10 STEEL COLUMN TO BE REMOVED. RE: STRUCT. DWGS
- 11 SLAB ON GRADE TO BE REMOVED. REFER TO STRUCT / UNDERPINNING DWGS



1 CELLAR FLOOR PLAN
1/4" = 1'-0"

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

DEMO PLANS

REVISIONS

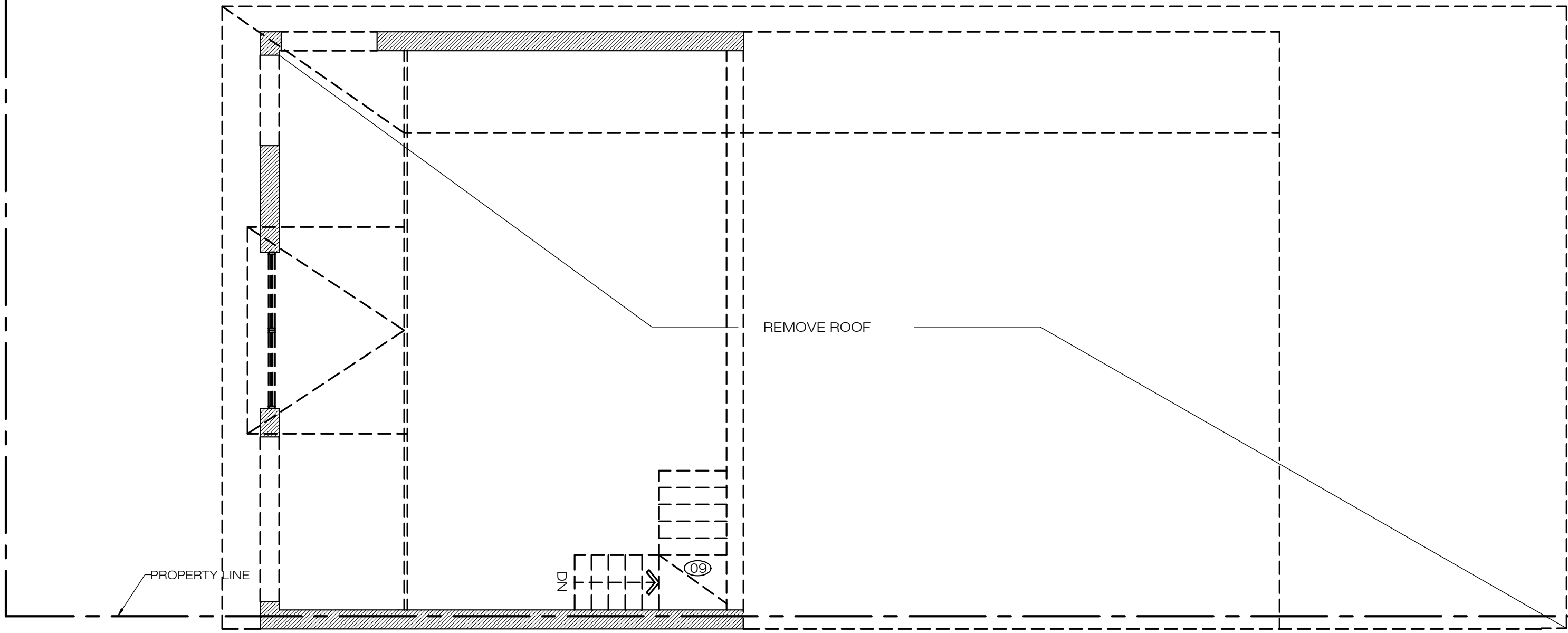
AS NOTED

SCALE

ISSUE FOR PERMIT
JULY 29, 2014

A101

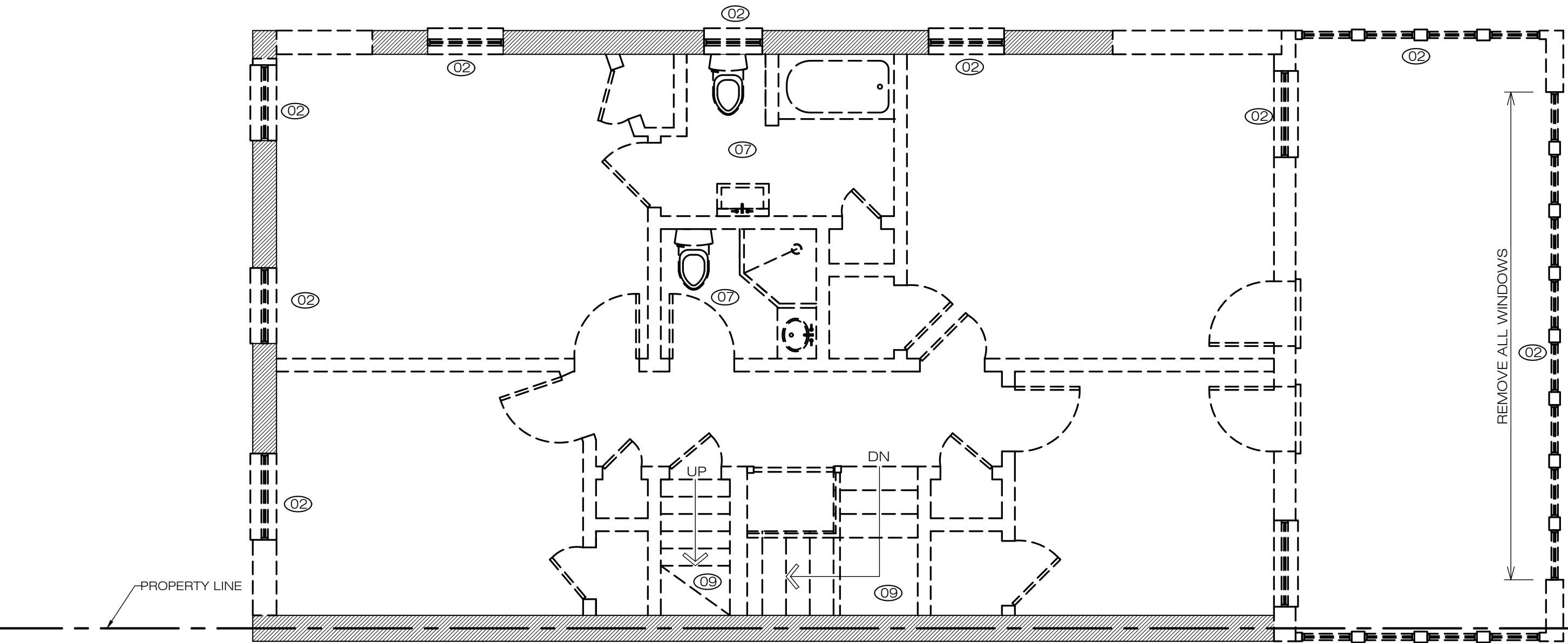
DRAWING NUMBER



ATTIC / ROOF FLOOR PLAN
1/4" = 1'-0"

DEMOLITION PLAN SYMBOLS

- ⑪ KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- EXISTING WALL TO REMAIN
- DEMOLISH
- NEW WALL



SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- A. REMOVE ALL PLUMBING FIXTURES.
- B. REMOVE SECOND LEVEL FLOOR IN ITS ENTIRETY.
- C. REMOVE ALL EXISTING ELECTRIC AND TELEPHONE WIRING BACK TO SOURCE. WIRING TO REMAIN FOR CONSTRUCTION LIGHTS.
- D. WHERE EXISTING PARTITIONS, COLUMNS, FLOORING WERE AFFECTED BY DEMOLITION. PREPARE SURFACES TO RECEIVE SCHEDULED FINISH.
- E. WHERE EXISTING ELECTRICAL AND/OR COMMUNICATIONS DEVICES WERE REMOVED FROM EXISTING PARTITIONS AND FLOORS, PATCH AS REQUIRED TO RECEIVED SCHEDULED FINISHES.
- F. ALL EXISTING WINDOWS AND DOORS TO BE REMOVED.

KEYED NOTES

- ① REMOVE EXISTING DOOR AND PREPARE OPENING FOR REPLACEMENT DOOR
- ② EXISTING WINDOW TO BE DEMOLISHED. INFILL OPENING, REFER TO CONSTRUCTION PLAN FOR WALL TYPE.
- ③ DEMOLISH EXISTING WOOD PORCH.
- ④ EXISTING PARTY WALL TO REMAIN
- ⑤ DEMOLISH EXISTING WOOD DECK
- ⑥ REMOVE ALL KITCHEN APPLIANCES, AND PLUMBING FIXTURES.
- ⑦ REMOVE ALL PLUMBING FIXTURES.
- ⑧ EXISTING CHIMNEY TO BE DEMOLISHED.
- ⑨ REMOVE STAIR
- ⑩ STEEL COLUMN TO BE REMOVED. RE: STRUCT. DWGS
- ⑪ SLAB ON GRADE TO BE REMOVED. REFER TO STRUCT / UNDERPINNING DWGS

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

DEMO PLANS

REVISIONS

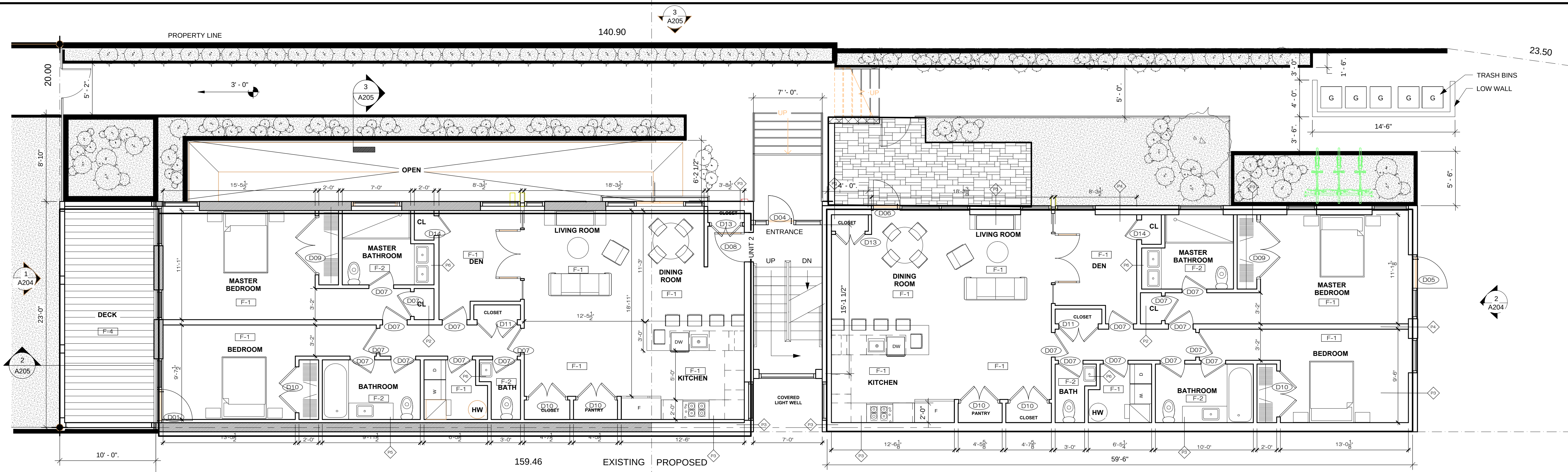
AS NOTED

SCALE

ISSUE FOR PERMIT
JULY 29, 2014

A102

DRAWING NUMBER



2 FIRST FLOOR PLAN
3/16" = 1'-0"

2A CELLAR FLOOR PLAN
3/16" = 1'-0"

LEGEND | SCHEDULES

ROOM FINISH SCHEDULE					
MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	--
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

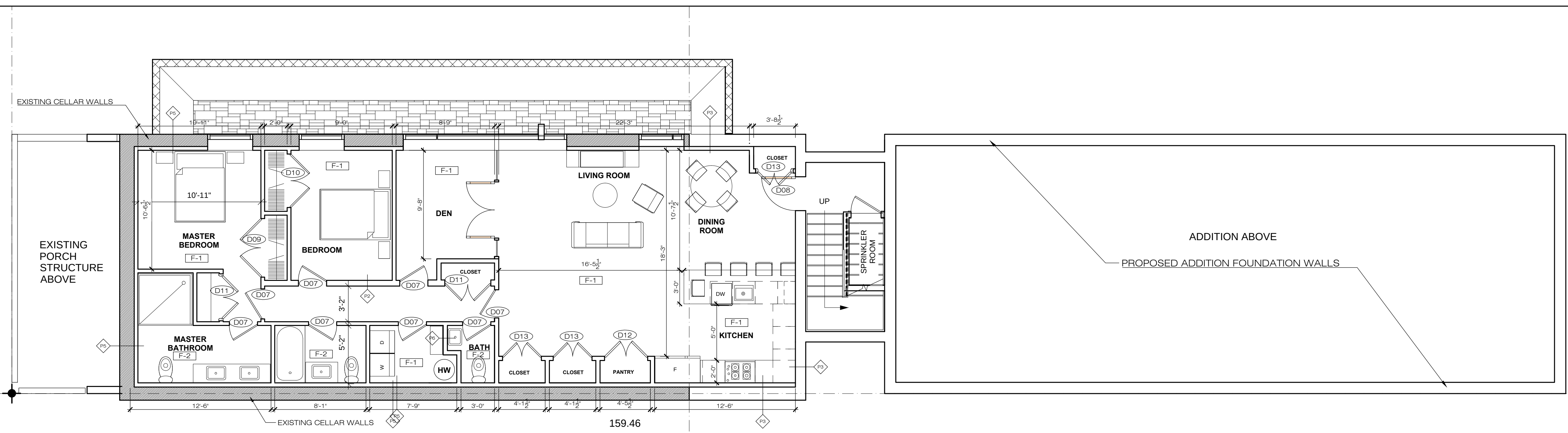
LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

CONSTRUCTION PLAN SYMBOLS

- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
- DRAWING REFERENCE
-

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- B. ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANSI / ADA REQUIREMENTS.
- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-003 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.
- F. THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HR FIRES RESISTANCE RATED CONSTRUCTION OR THE FIRE- RESISTANCE RATING OF STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. PER SECTION 1009.5.3 IBC 2006



1 CELLAR FLOOR PLAN
3/16" = 1'-0"

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

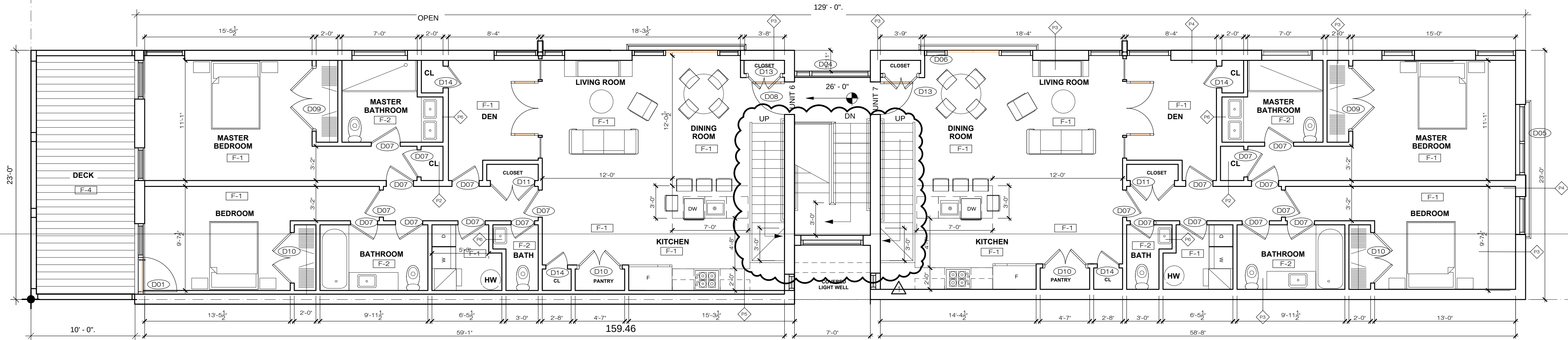
PROPOSED
FLOOR PLANS

REVISIONS

AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

A201
DRAWING NUMBER



2 THIRD FLOOR PLAN
3/16" = 1'-0"

LEGEND | SCHEDULES

ROOM FINISH SCHEDULE					
MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

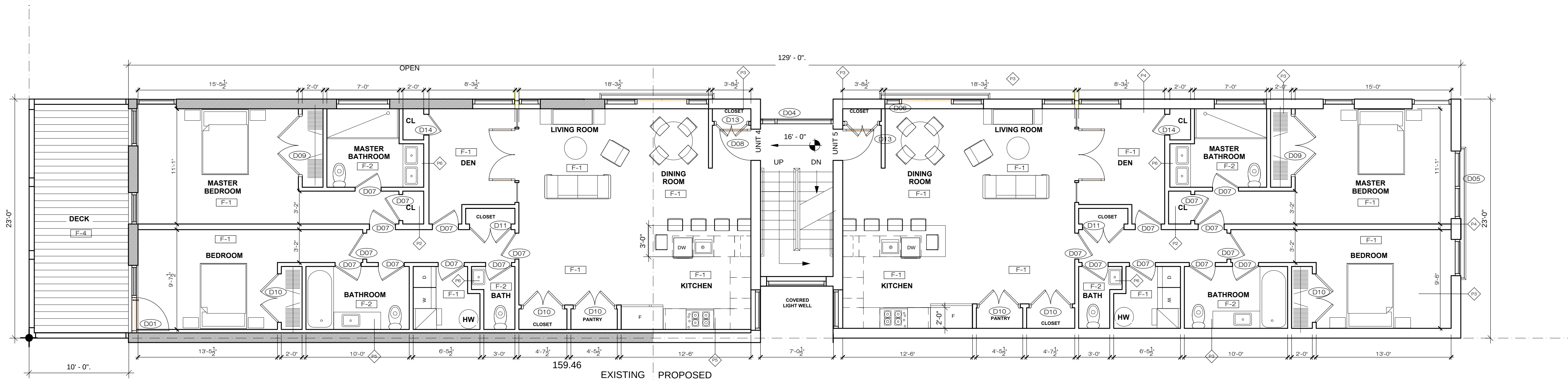
LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

CONSTRUCTION PLAN SYMBOLS

- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
- DRAWING REFERENCE

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- B. ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANSI / ADA REQUIREMENTS.
- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-002 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.



1 SECOND FLOOR PLAN
3/16" = 1'-0"

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

PROPOSED
FLOOR PLANS

FEB. 2015	REVISIONS	
	NO.	DESCRIPTION

AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

A202

DRAWING NUMBER

LEGEND | SCHEDULES

ROOM FINISH SCHEDULE					
MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	--
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

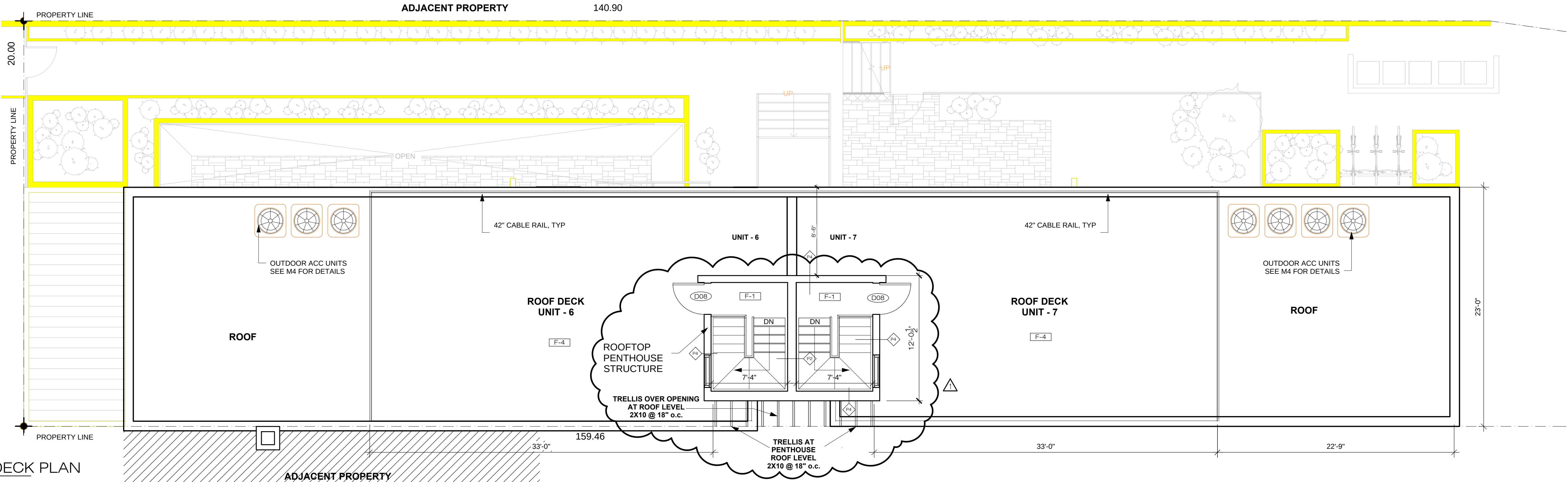
LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

CONSTRUCTION PLAN SYMBOLS

- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
DRAWING REFERENCE
- N

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- B. ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANSI / ADA REQUIREMENTS.
- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-002 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.



1 ROOFTOP DECK PLAN
3/16" = 1'-0"

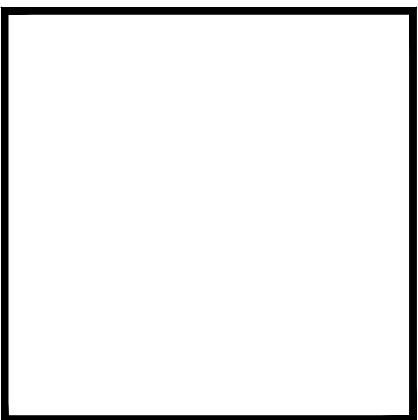


RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

**BUILDING
ELEVATIONS**

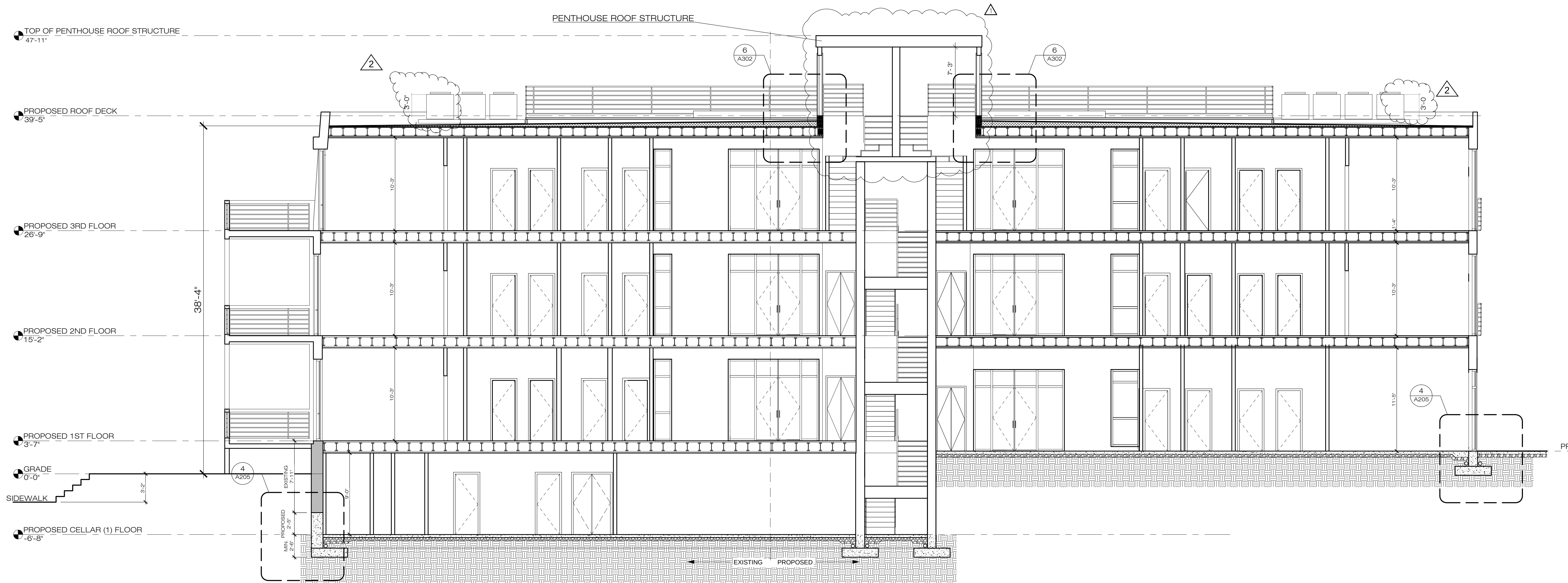
REVISIONS
FEB. 2014



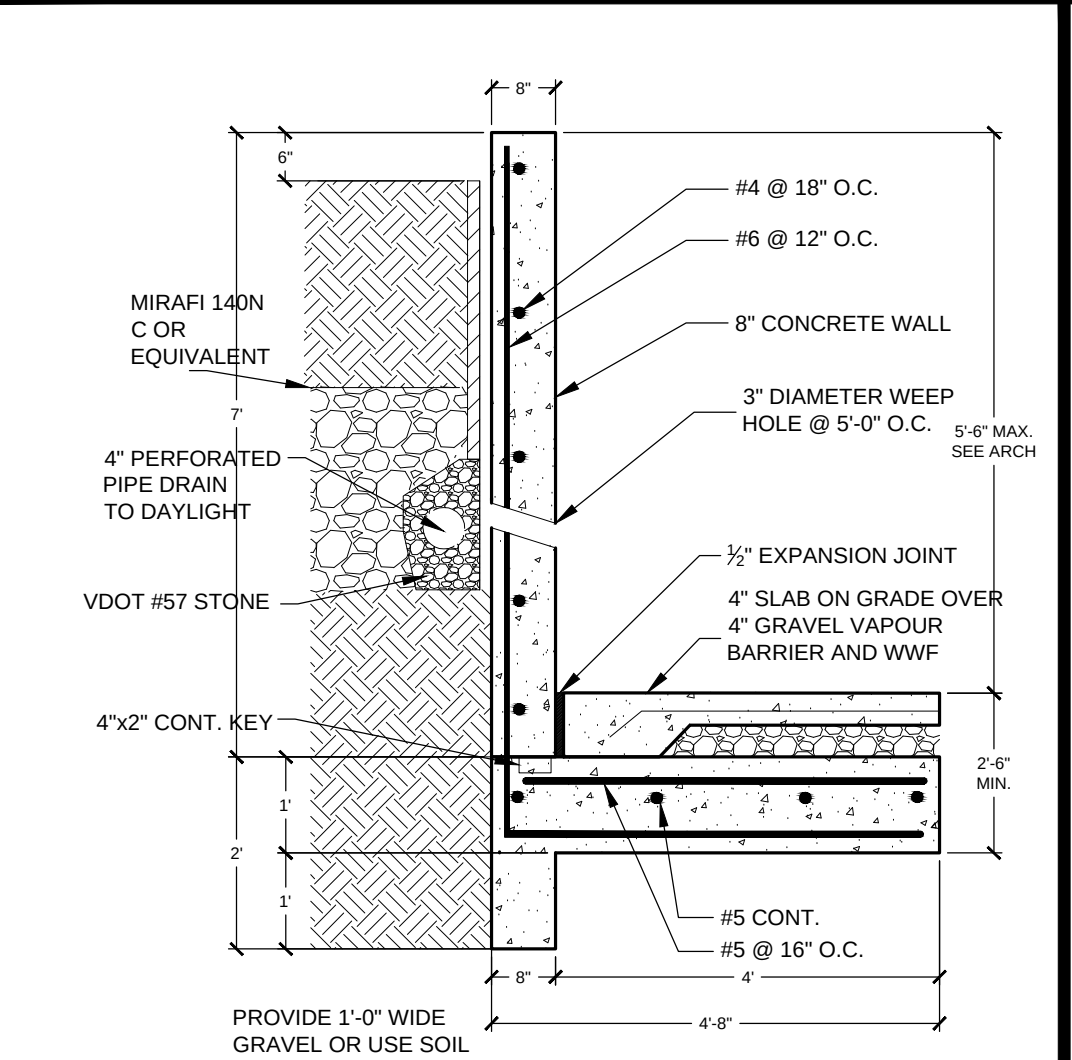
AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

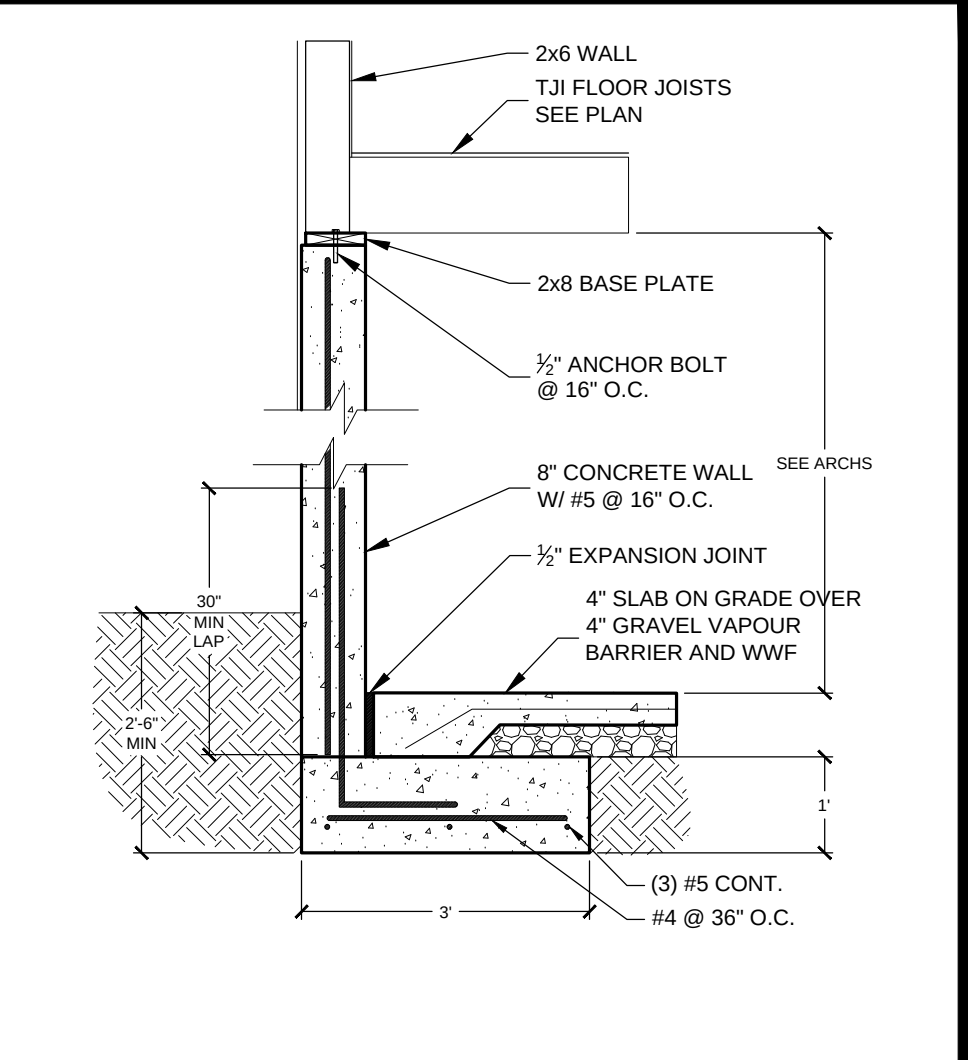
A204
DRAWING NUMBER



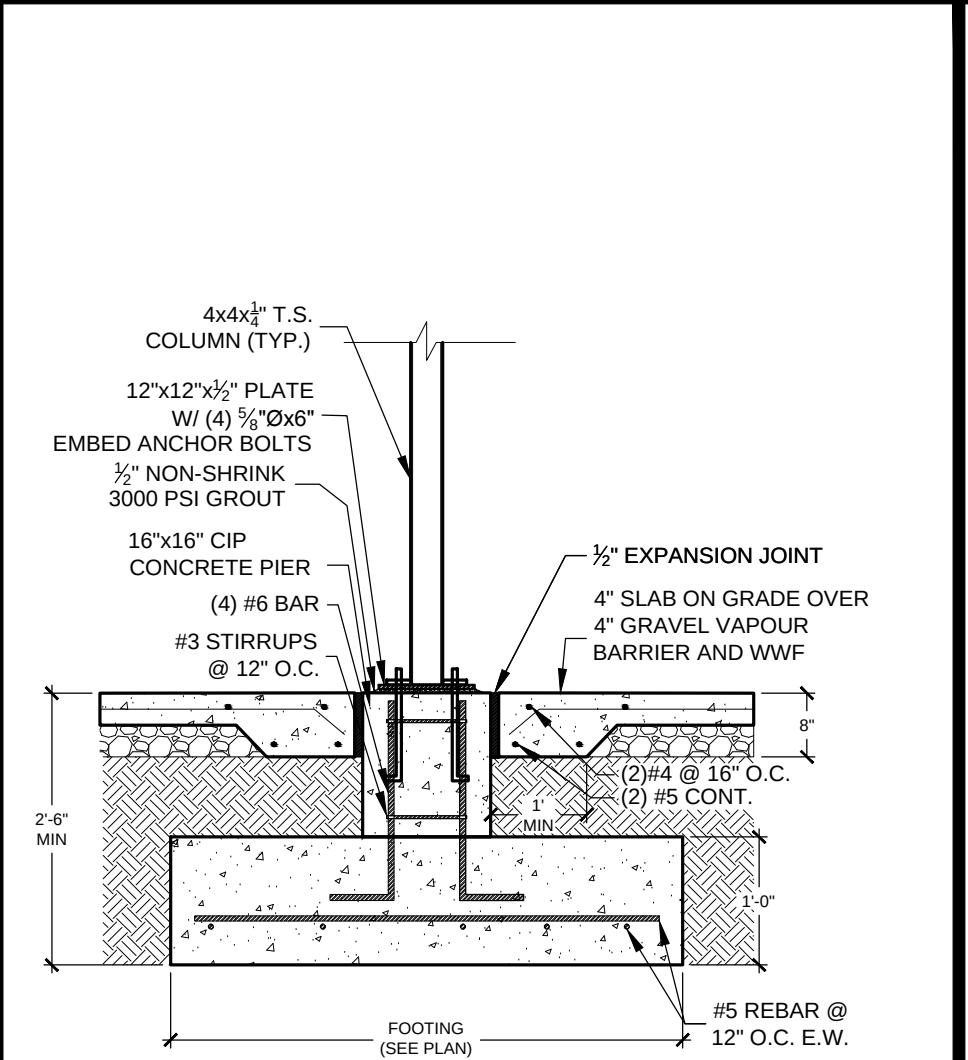
1 LONG BUILDING SECTION
3/16" = 1'-0"



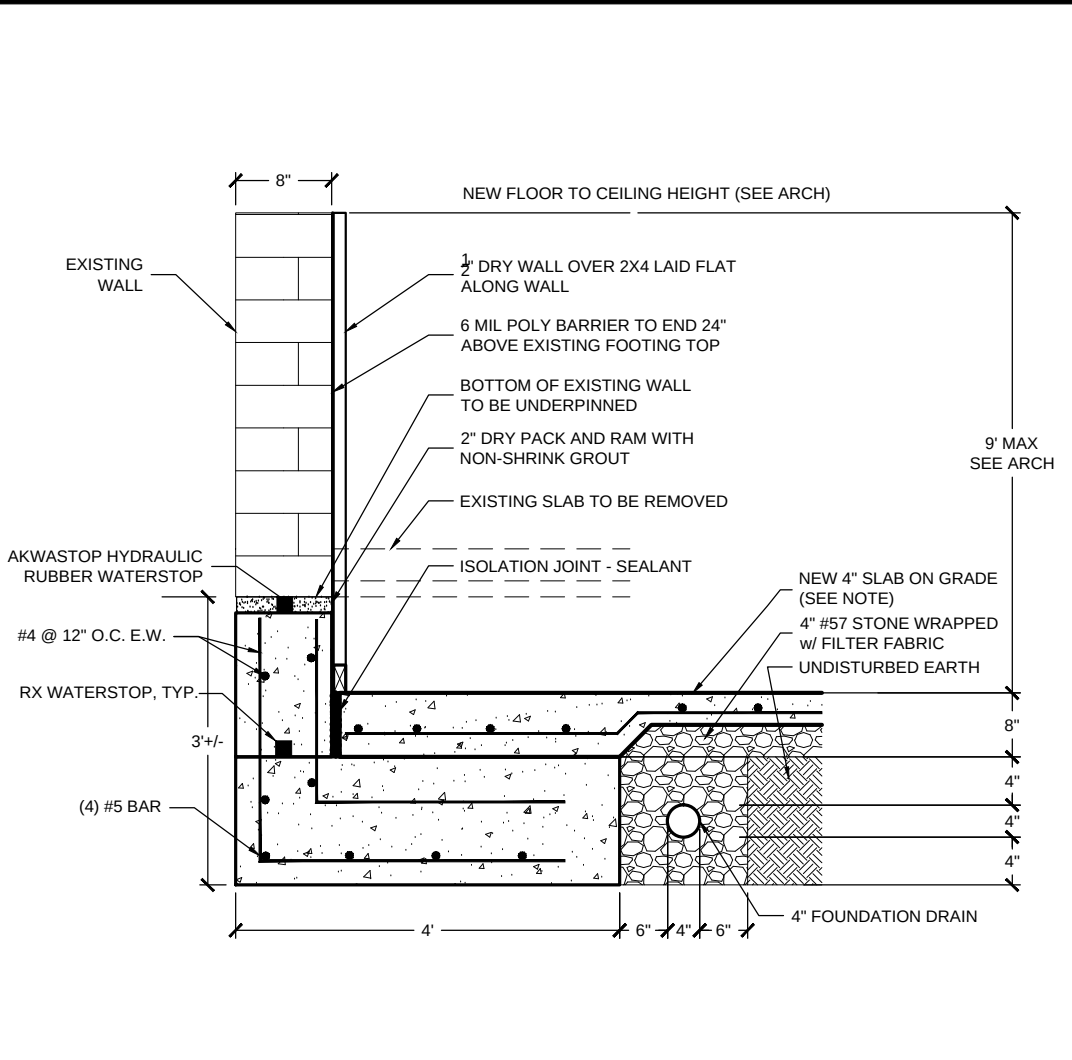
3 RETAINING WALL SECTION
1/2" = 1'-0"



4 EXTERIOR WALL SECTION
1/2" = 1'-0"



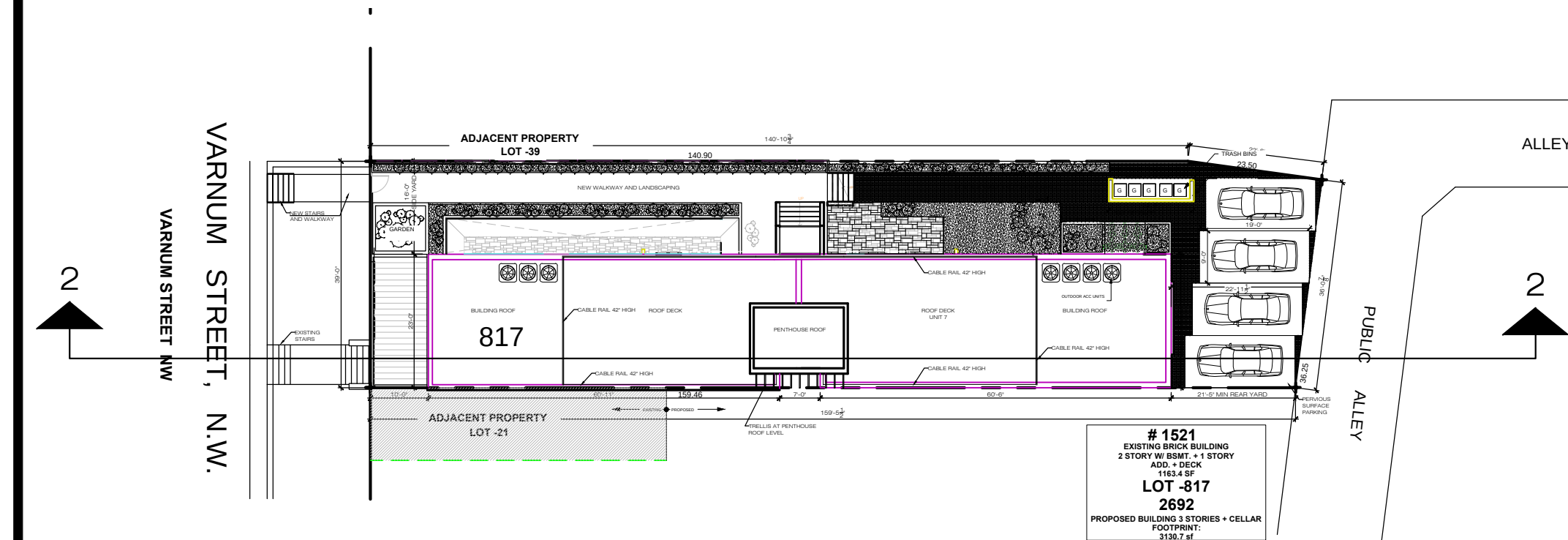
5 POST CONNECTION DETAIL
1/2" = 1'-0"



6 EXTERIOR WALL SECTION
1/2" = 1'-0"

GENERAL NOTE
A. SEE STRUCTURALS FOR MORE DETAILS.

KEY PLAN



7 KEY PLAN
NTS

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

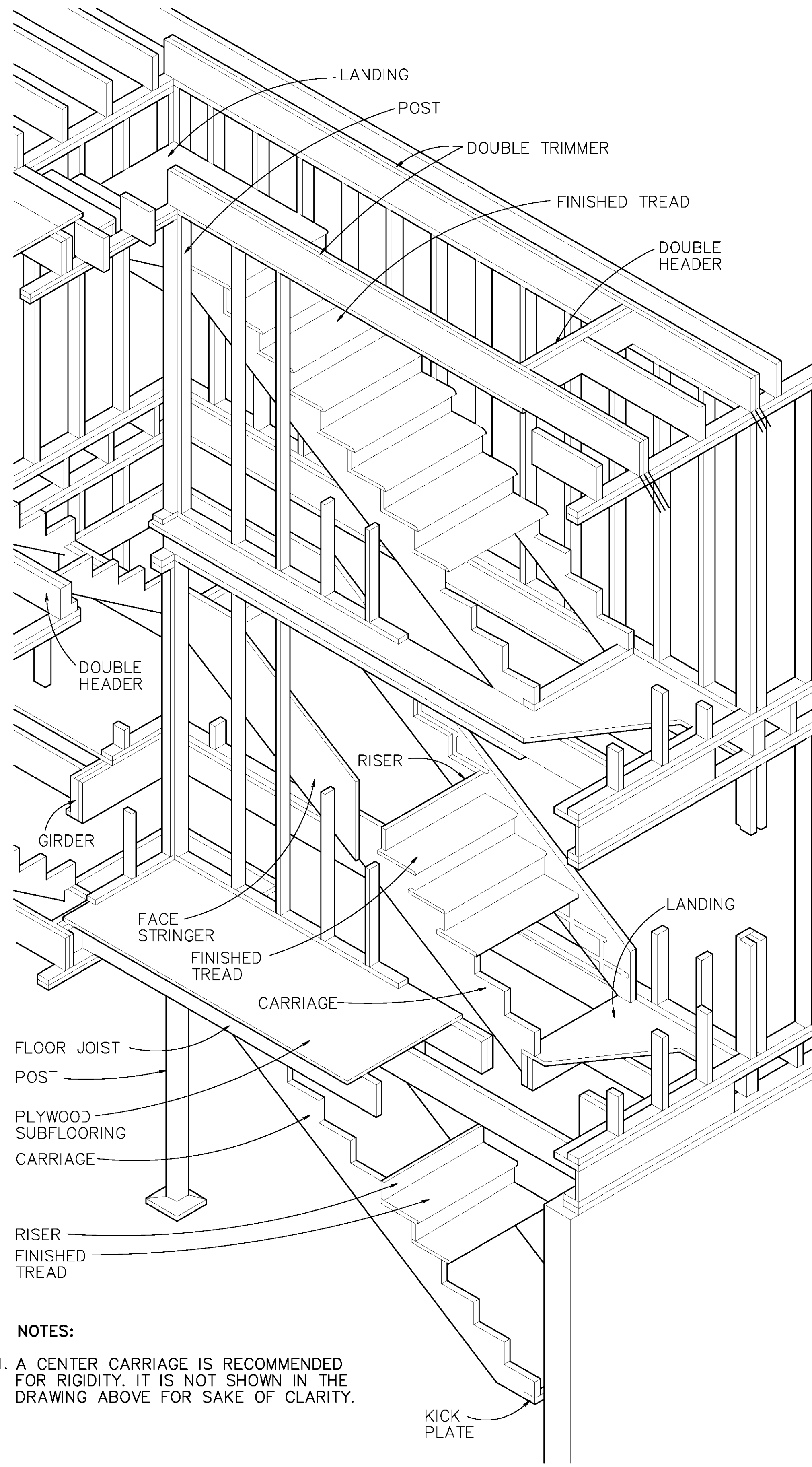
PROPOSED BUILDING
SECTION

REVISIONS
FEB 2015
05/12/15

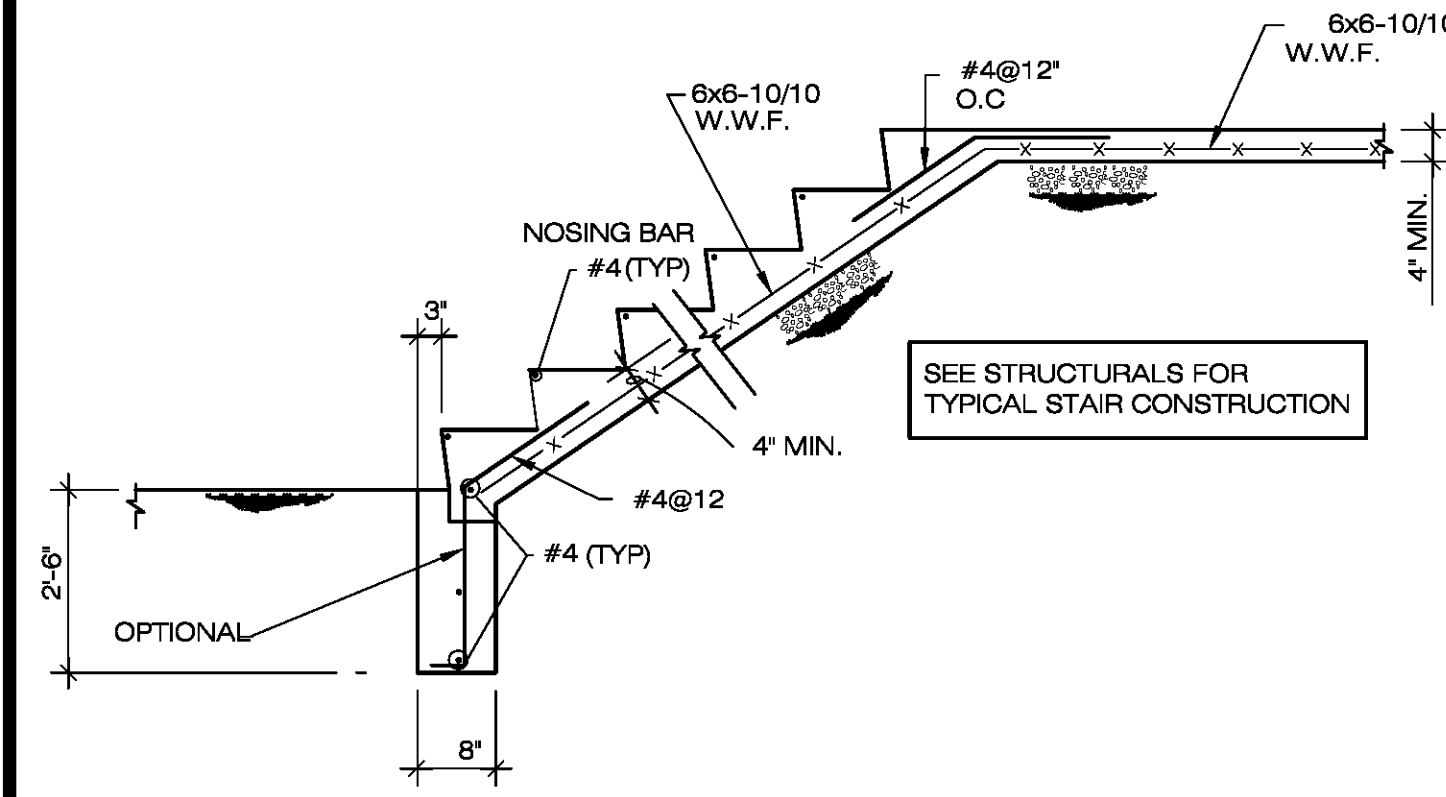
AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

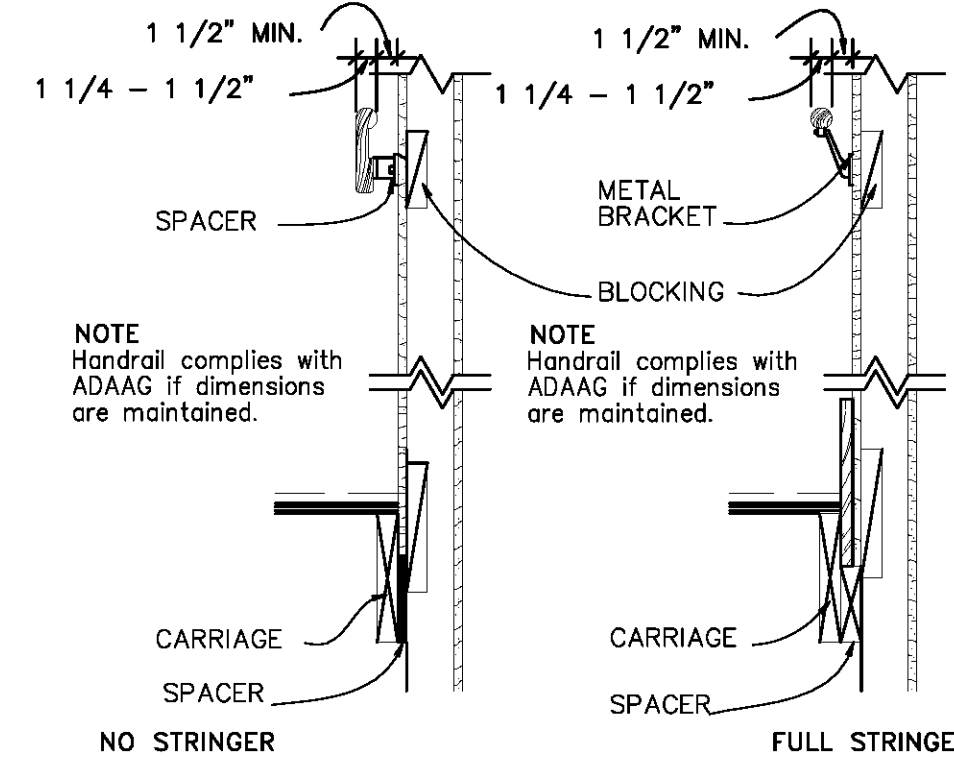
A205
DRAWING NUMBER



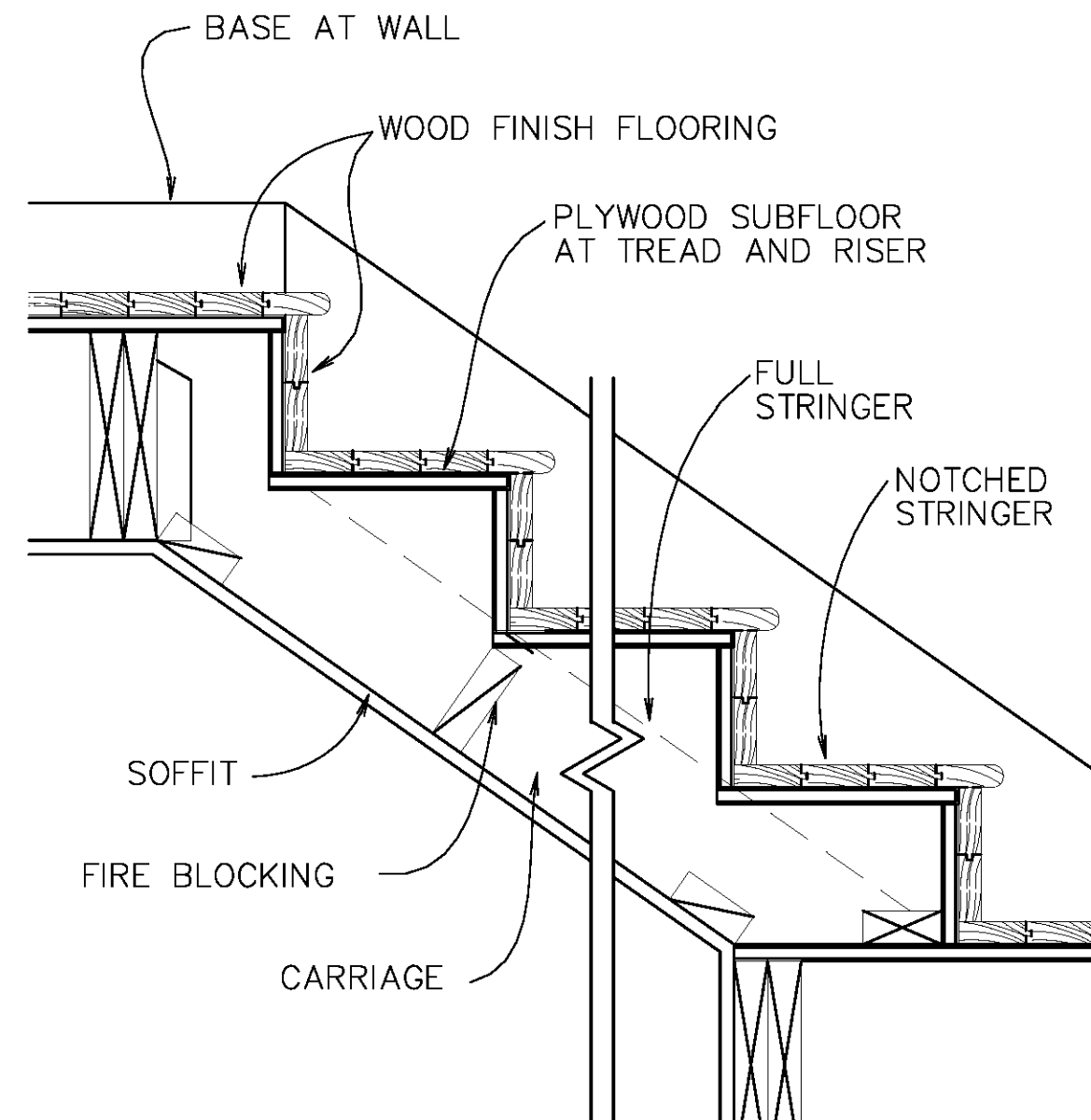
7 TYP. INTERIOR STAIR CONSTRUCTION
1/2" = 1'-0"



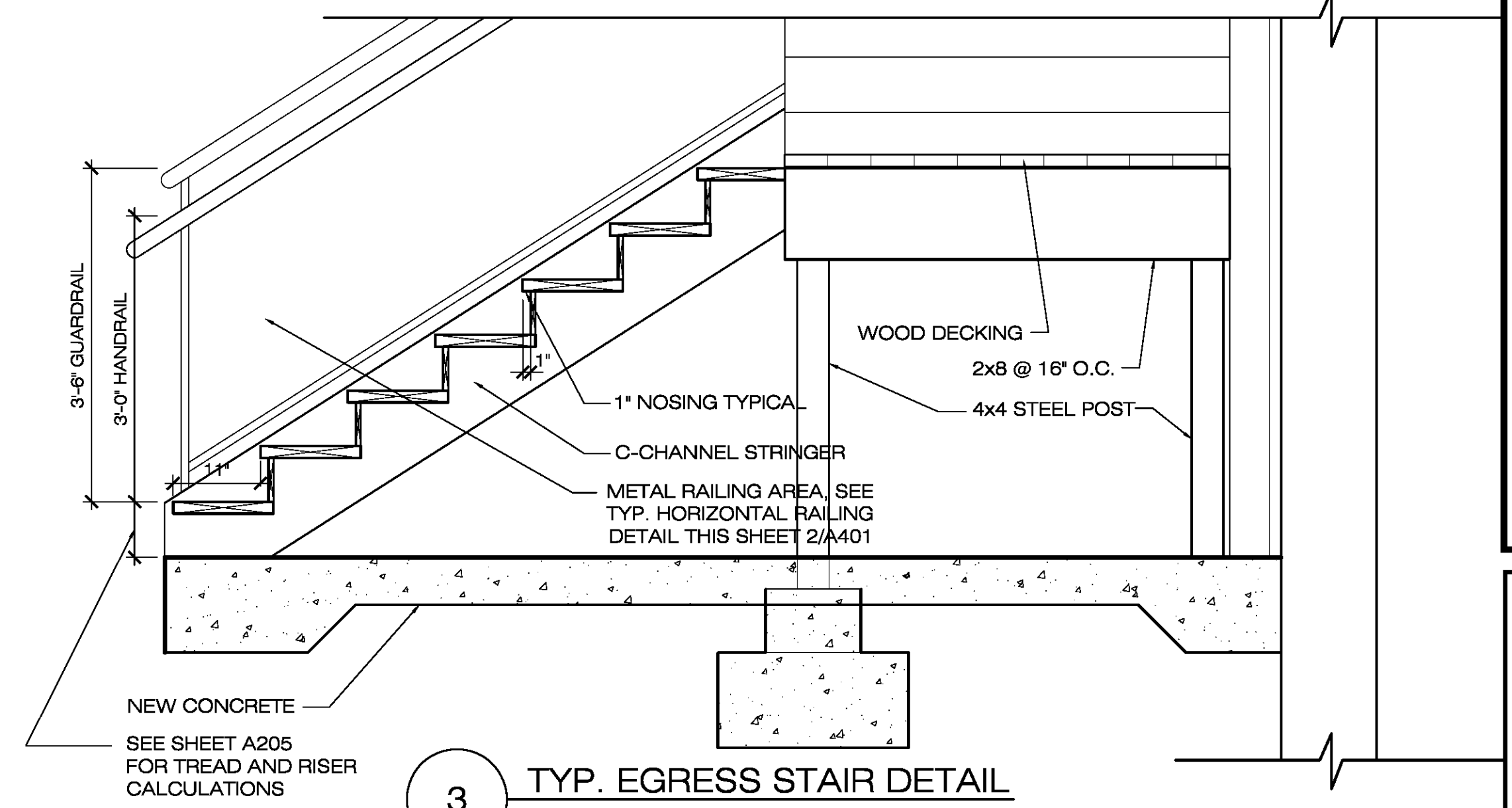
6 TYP. TERRACE STAIR DETAIL
1/4" = 1'-0"



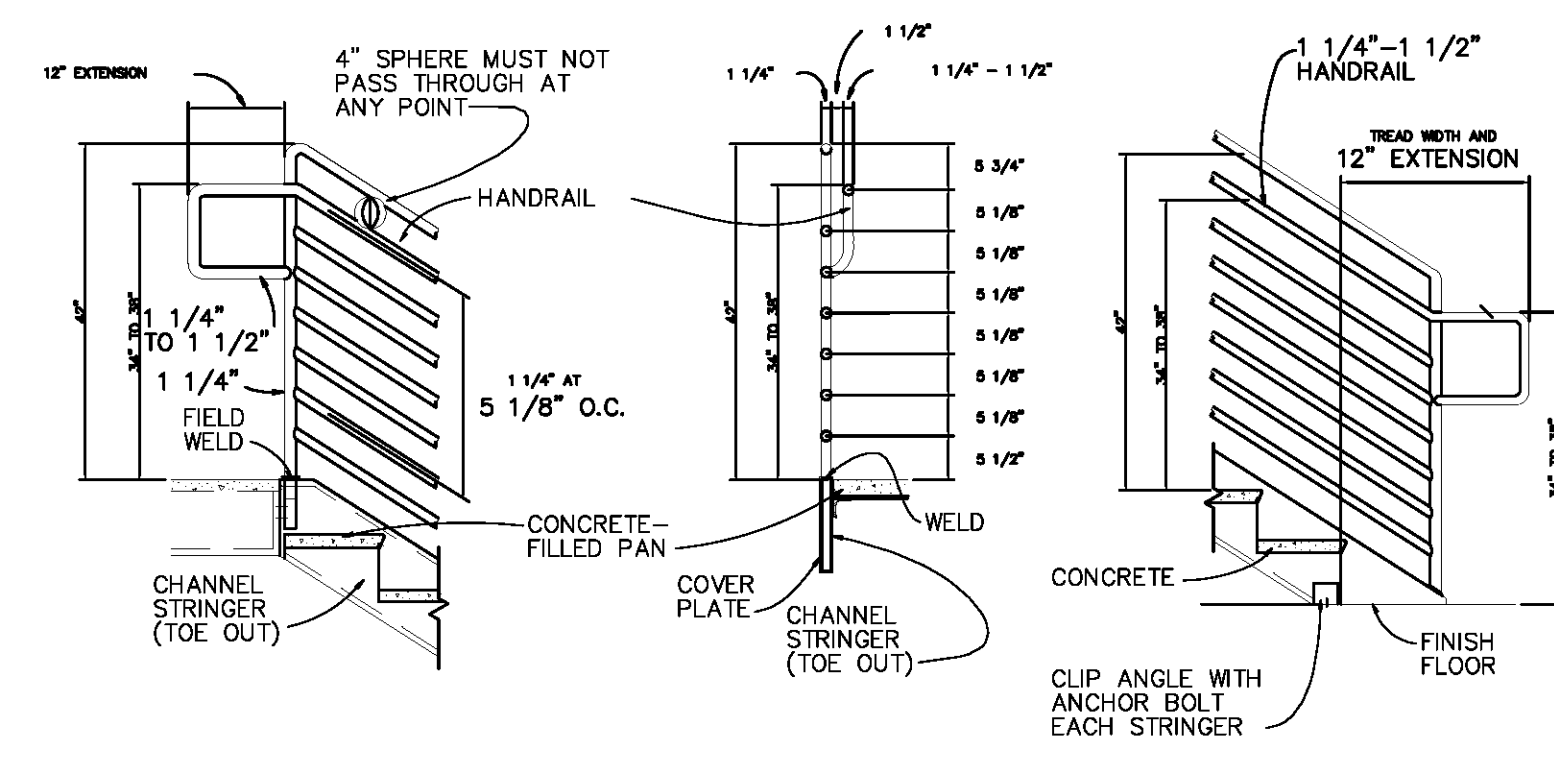
5 TYP. INTERIOR HAND RAIL DETAILS
N.T.S.



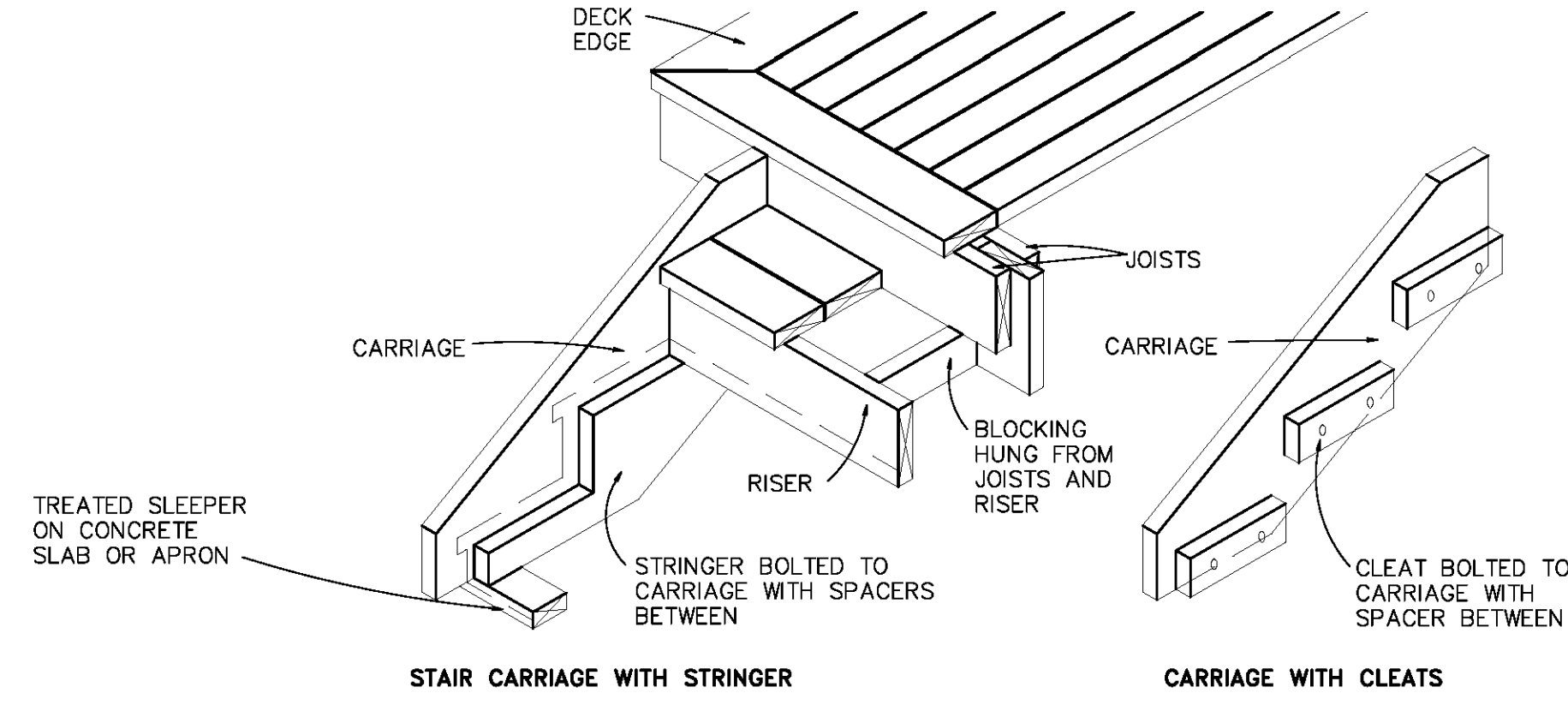
4 TYP. INTERIOR STAIR DETAILS
1 1/2" = 1'-0"



3 TYP. EGRESS STAIR DETAIL
3/4" = 1'-0"



2 TYP. EXTERIOR RAILING DETAIL
1/2" = 1'-0"



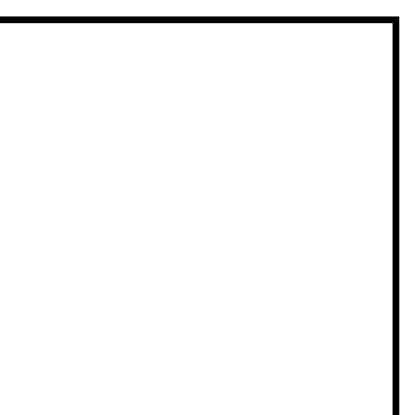
1 TYP. DECK STAIRS
3/4" = 1'-0"

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM ST, NW
WASHINGTON, DC

STAIR AND RAILING
DETAILS

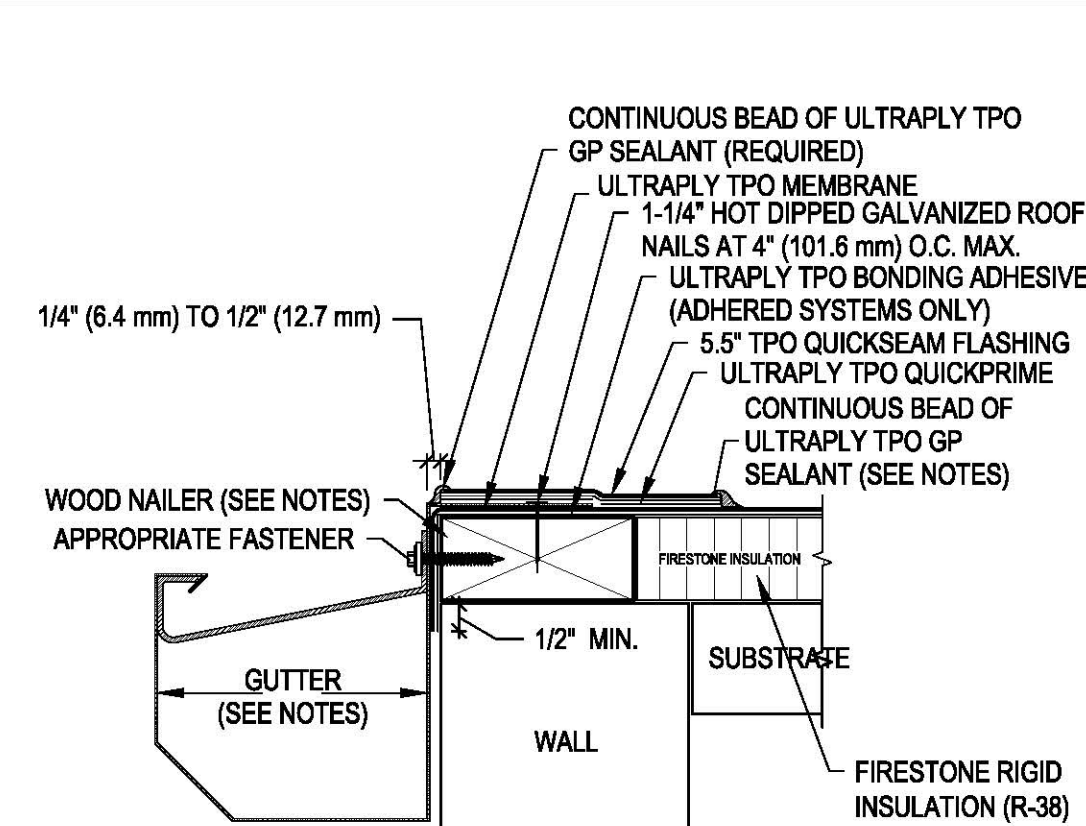
NO.	REVISIONS
1	
2	
3	
4	
5	
6	
7	



AS NOTED

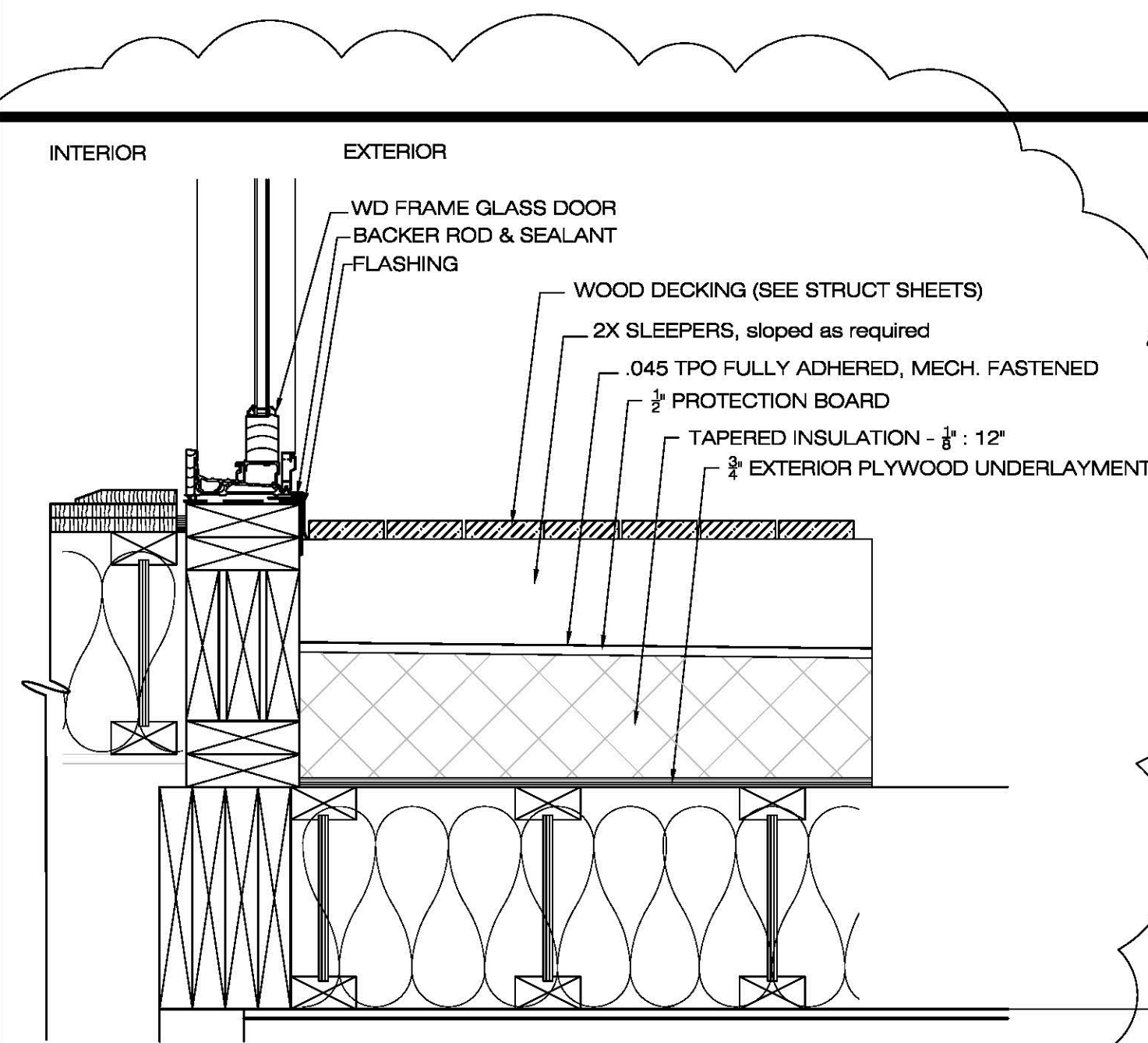
ISSUE FOR PERMIT
JULY 29, 2014

A301
DRAWING NUMBER

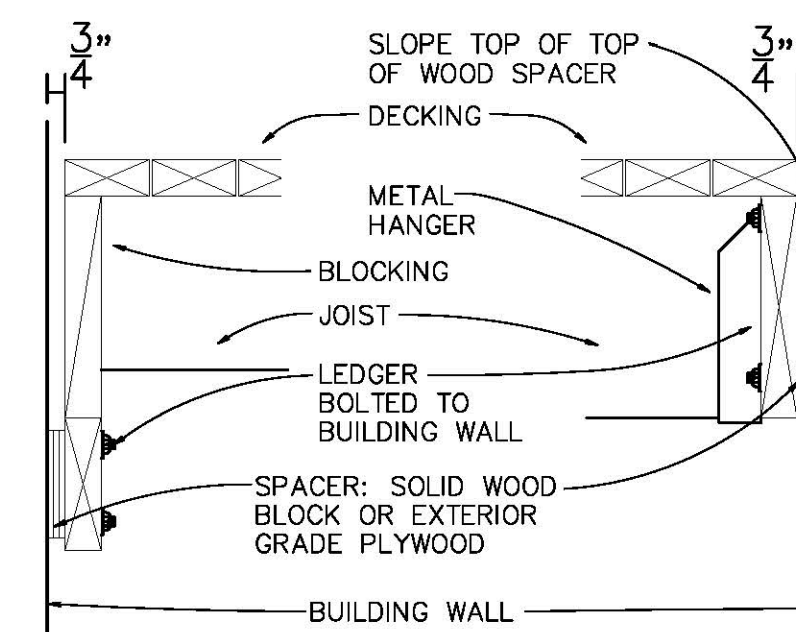


9 TYP. GUTTER DETAIL
1 1/2" = 1'-0"

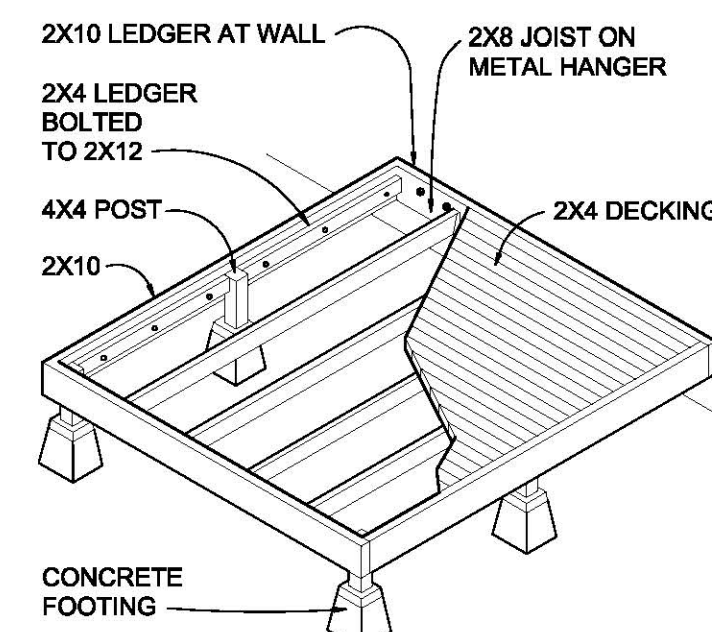
- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
 2. GP SEALANT IS REQUIRED ALONG ENTIRE UPSLOPE EDGE OF QUICKSEAM FLASHING WHEN ROOF SLOPE IS 1" (25.4 mm) PER FOOT OR GREATER.
 3. ROUND ALL METAL CORNERS AND PLACE BACK OF GUTTER STRAP 1/4" (6.4 mm) BELOW TOP OF WOOD NAILER.
 4. DO NOT PRE-NAIL MEMBRANE TO THE FACE OF THE WOOD NAILER.
 5. ANCHOR GUTTER IN ACCORDANCE WITH SMACNA RECOMMENDATIONS.
 6. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT MINIMUM IN ANY GIVEN DIRECTION.
 7. FLANGE OF METAL GUTTER MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 1/2" (12.7 mm) FROM EDGE OF WOOD.
 8. CONTACT FIRESTONE ROOFING SOLUTIONS FOR BALLASTED ROOF SYSTEMS.
 9. IF THE FLANGE OF THE METAL GUTTER IS NOT COMPLETELY COVERED WITH QUICKSEAM FLASHING, THEN AN ADDITIONAL PIECE OF QUICKSEAM FLASHING SHALL BE INSTALLED AT ALL METAL SPLICES. REFER TO UT-RE-27.



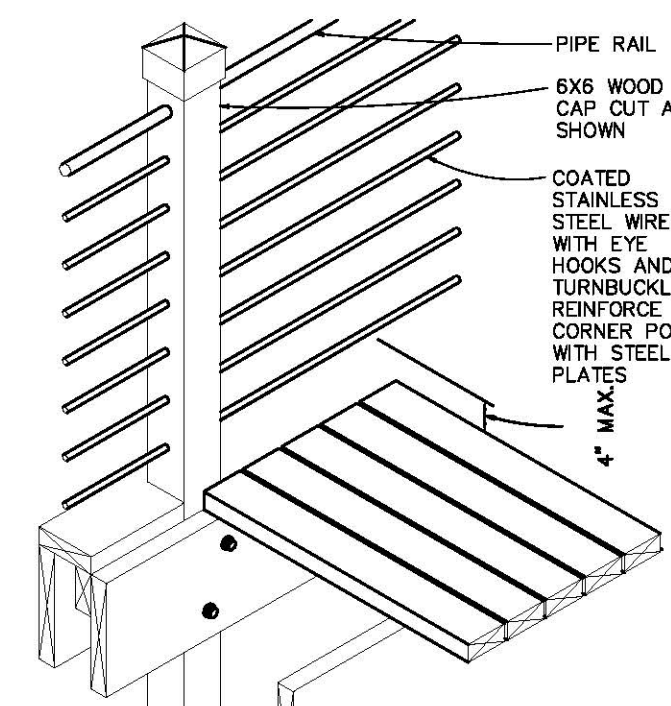
6 TYP. TERRACE DETAIL AT PENTHOUSE STRUCTURE
1 1/2" = 1'-0"



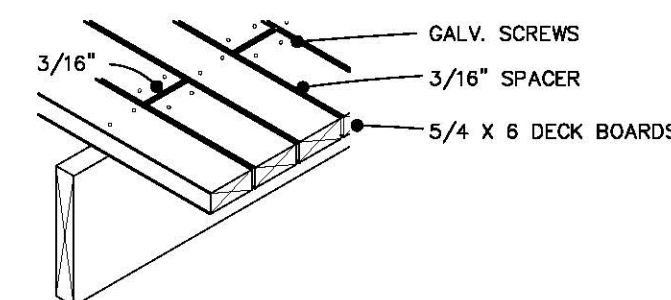
4 TYP. TERRACE CONNECTION DETAIL
1 1/2" = 1'-0"



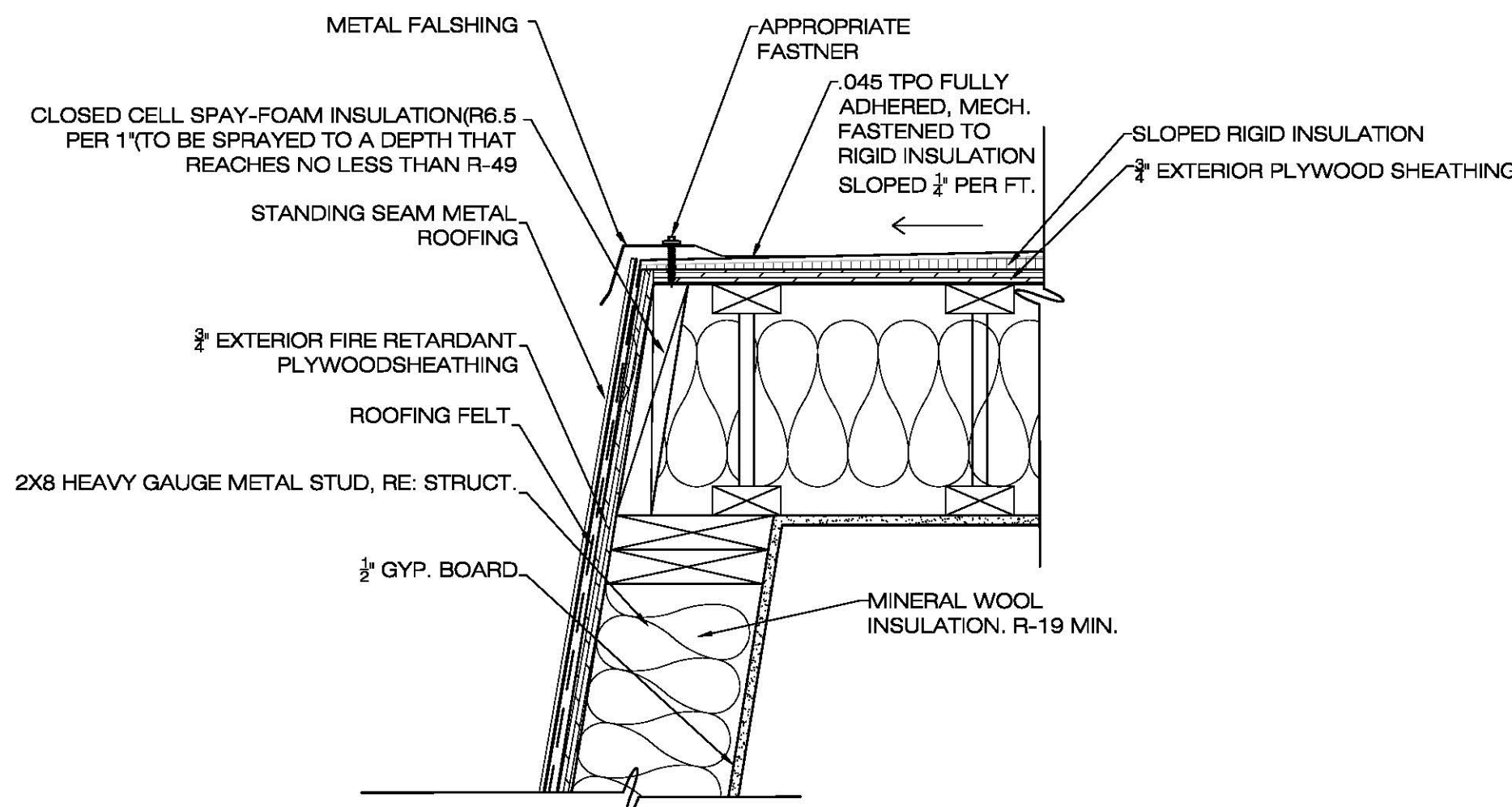
1 TYP. BALCONY DETAIL
1/4" = 1'-0"



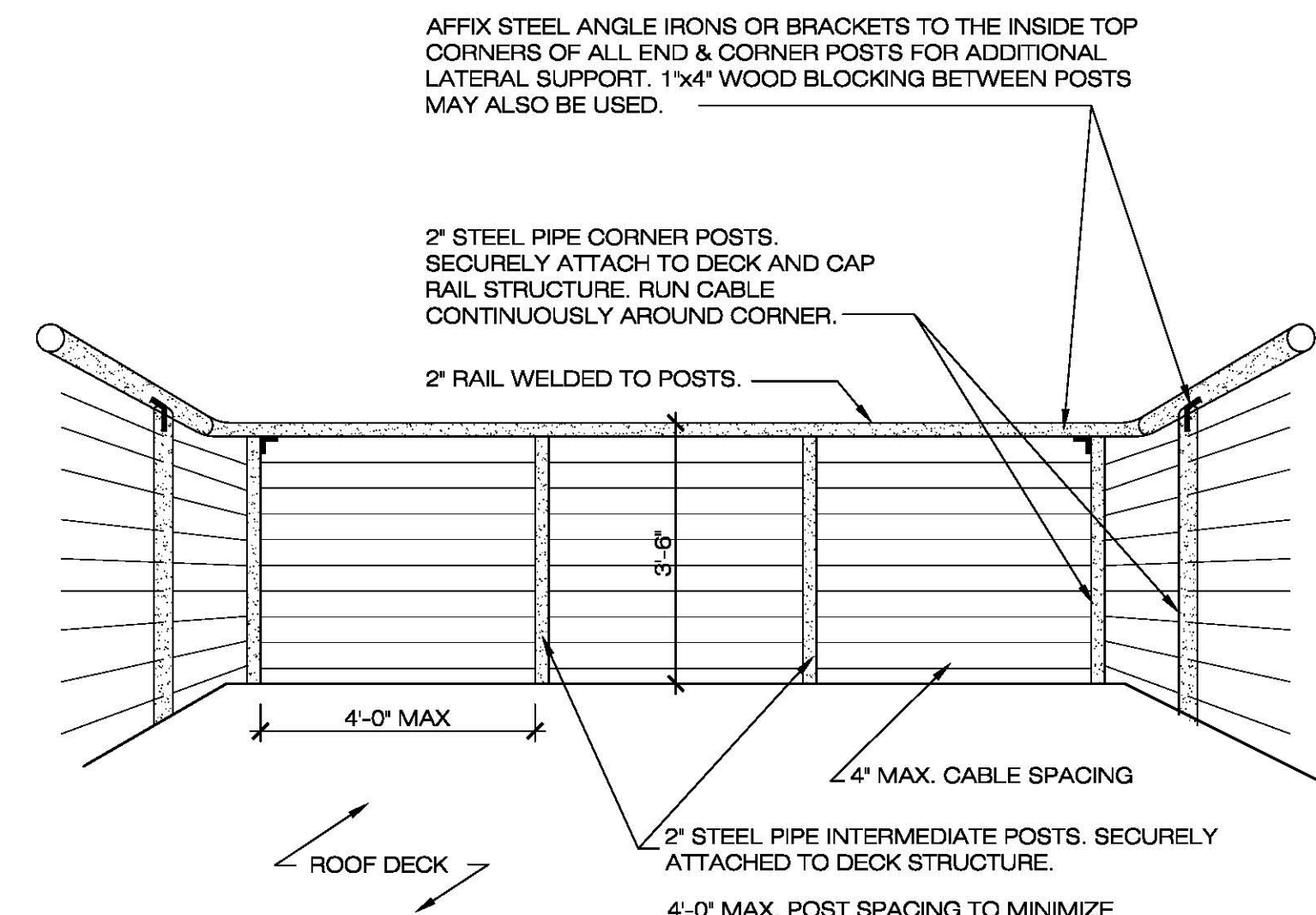
5 TYP. RAILING DETAIL
3/4" = 1'-0"



2 TYP. DECKING DETAIL
3/4" = 1'-0"



8 TYP. LOW SLOPED ROOFING AT MANSARD ROOF DETAIL
1 1/2" = 1'-0"



3 RAIL AT ROOF DECK
1/2" = 1'-0"

RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLR
WASHINGTON DC 20007
202.333.2733 V 202.333.2779 FAX

WESTEND DEVELOPMENT
1521 VARNUM STREET, NW
WASHINGTON, DC

ROOF DECK AND
RAILING DETAILS

REVISIONS

AS NOTED

ISSUE FOR PERMIT
JULY 29, 2014

A302

DRAWING NUMBER