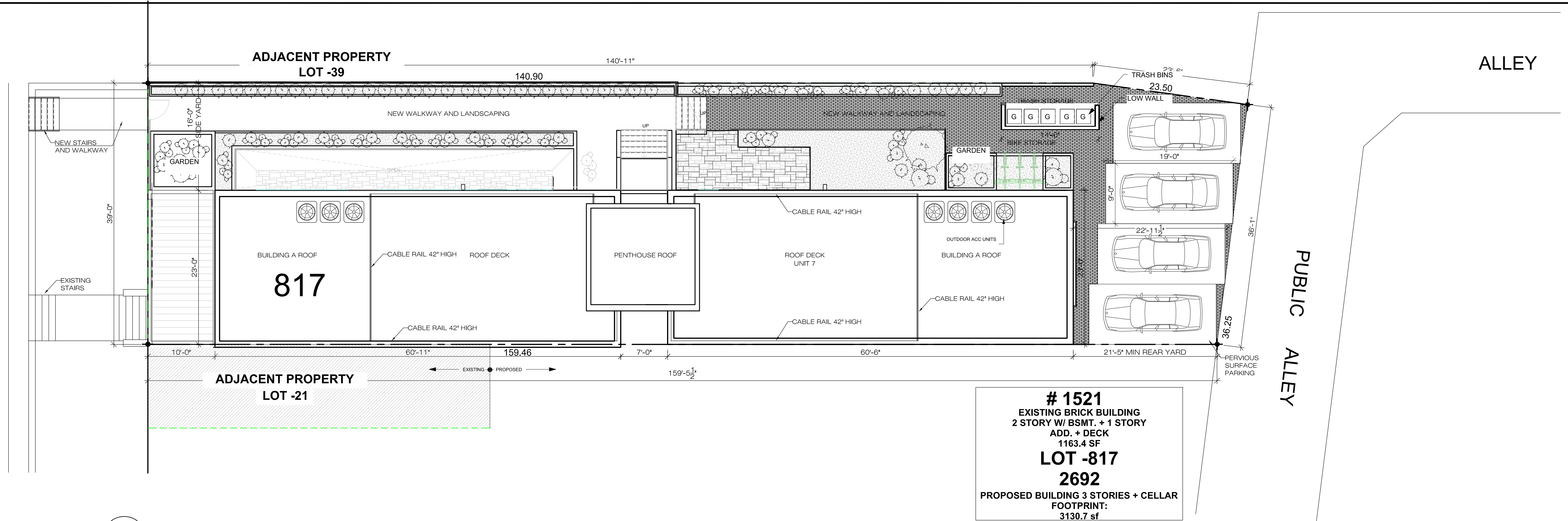


VARNUM STREET NW

VARNUM STREET, N.W.



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WESTEND DEVELOPMENT
1521 VARNUM ST, NW
WASHINGTON, DC

EXISTING & NEW WORK SITE PLANS

REVISIONS

S NOTED

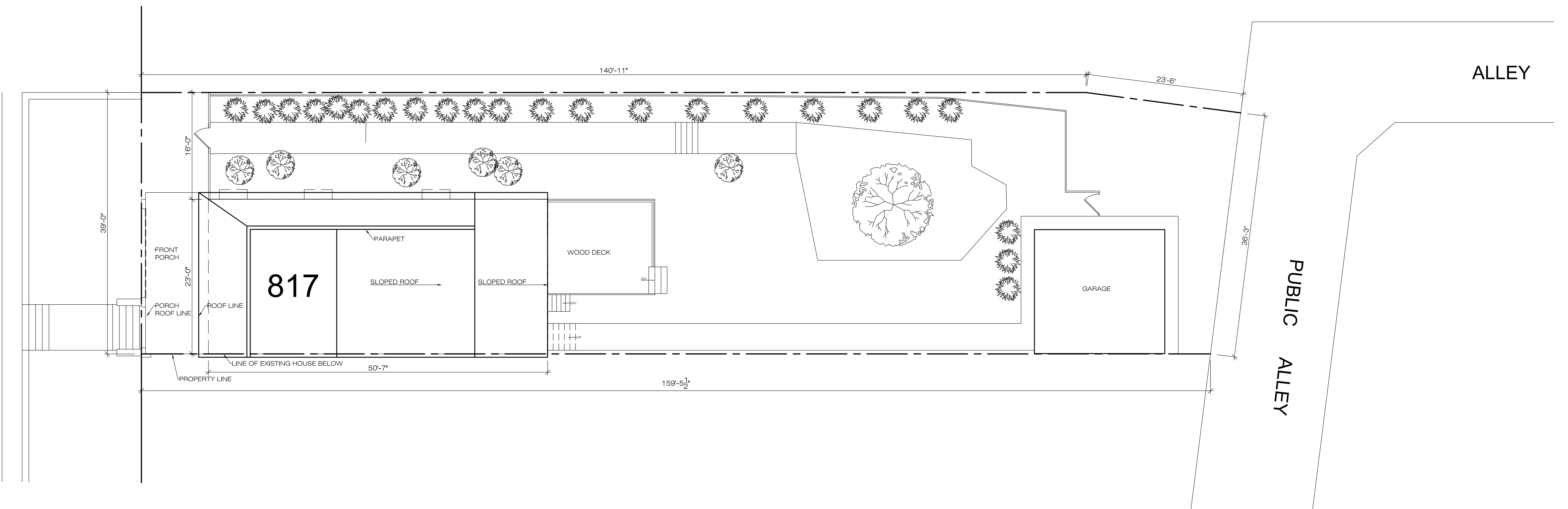
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DRAWING NUMBER

-1521 VARNUM ST, NW

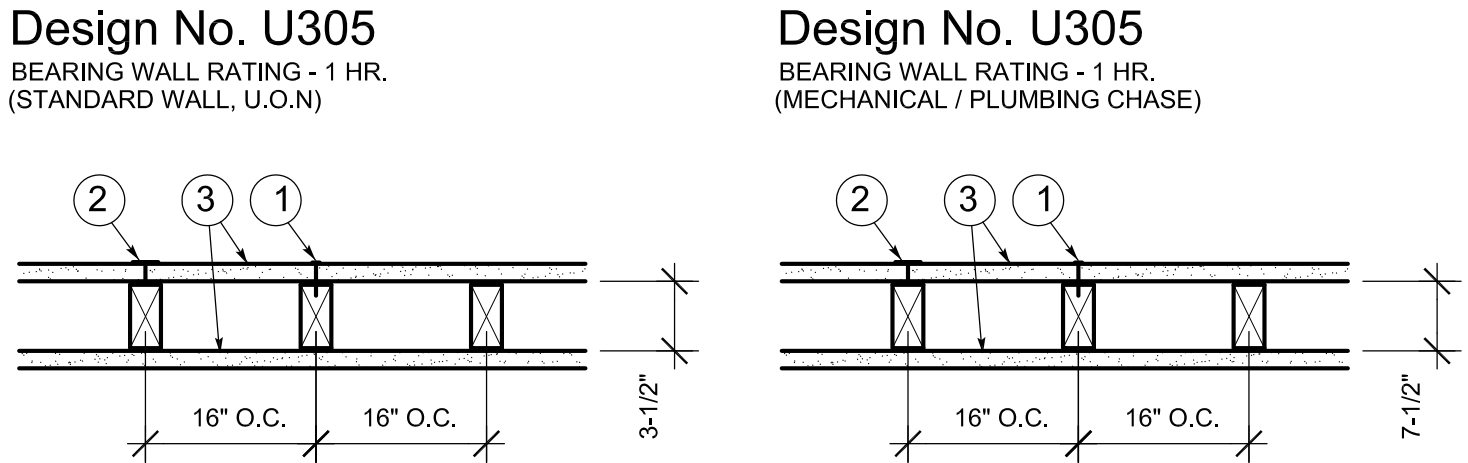
VARNUM STREET, N.W.



2) NEW WORK SITE PLAN
1/8" = 1'-0"

1 EXISTING SITE PLAN
1/8" = 1'-0"

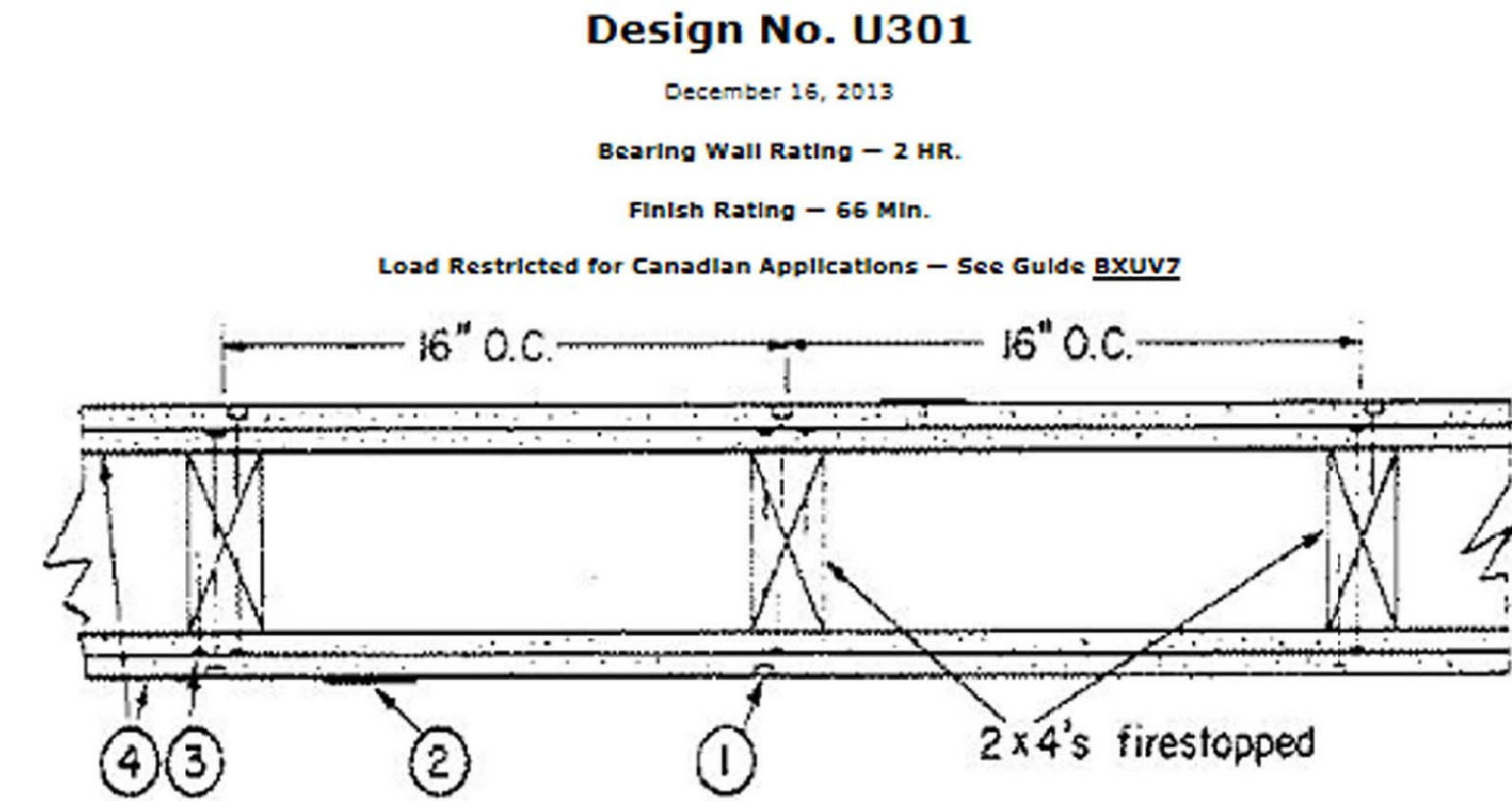
[PROPOSED 1-HR. RATED WALL SYSTEMS - INTERIOR]



1. NAILHEADS - EXPOSED OR COVERED WITH JOINT COMPOUND.
2. JOINTS - EXPOSED OR COVERED WITH FIBER TAPE AND JOINT COMPOUND, EXCEPT WHERE REQUIRED FOR SPECIFIC EDGE CONFIGURATION. FOR TAPERED, ROUNDED-EDGE WALLBOARD, JOINTS COVERED WITH COMPOUND OR FIBER TAPE AND JOINT COMPOUND. AS A ALERNATE, NOM. 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD. JOINTS REINFORCED.
3. WALLBOARD, GYPSUM* - 5/8 IN. THICK WALLBOARD PAPER OR VINYL SURFACED, WITH BEVELED SQUARE, OR TAPERED EDGES. APPLIED EITHER HORIZONTALLY OR VERTICALLY. WALLBOARD NAILED 7 IN. O.C. WITH 6D CEMENT COATED NAILS 1 7/8 IN. LONG, 0.0915 IN. SHANK DIA. AND 1/4 IN. DIA. HEADS. WHEN USED IN WIDTHS OF OTHER THAN 48 IN., WALLBOARD IS TO BE INSTALLED HORIZONTALLY. UNITED STATES GYPSUM CO. - TYPE AR (FINISH RATING 26 MIN.), TYPE SCX (FINISH RATING 26 MIN.), TYPE C (FINISH RATING 26 MIN.), TYPE WRX (FINISH RATING 26 MIN.), TYPE WRC (FINISH RATING 26 MIN.), TYPE IP-X1 (FINISH RATING 26 MIN.), TYPE FCV (FINISH RATING 26 MIN.), TYPE IP-X2 (FINISH RATING 26 MIN.), TYPE SHX (FINISH RATING 26 MIN.), TYPE FRX (FINISH RATING 20 MIN.).
4. STEEL CORNER FASTENERS - (OPTIONAL)-FOR USE AT WALL CORNERS. CHANNEL SHAPED, 2 IN. LONG BY 1 IN. HIGH ON THE BACK SIDE WITH TWO 1/8 IN. WIDE CLEATS PROTRUDING INTO THE 5/8 IN. WIDE CHANNEL. FABRICATED FROM 24 GAUGE GALV. STEEL. FASTENERS APPLIED ONLY TO THE END OR OUT EDGE (NOT ALONG TAPERED EDGES) OF THE WALLBOARD, NO GREATER THAN 2 IN. FROM CORNER OF WALLBOARD, MAX. SPACING 16 IN. O.C. NAILED TO ADJACENT STUD THROUGH TAB USING ONE No. 6D CEMENT COATED NAIL PER FASTENER. CORNERS OF WALLBOARD SHALL BE NAILED TO TOP AND BOTTOM PLATE USING No. 6D CEMENT COATED NAILS.
5. BATTS AND BLANKETS* - (OPTOINAL, NOT SHOWN) GLASS FIBER OR MINERAL WOOL INSULATION.

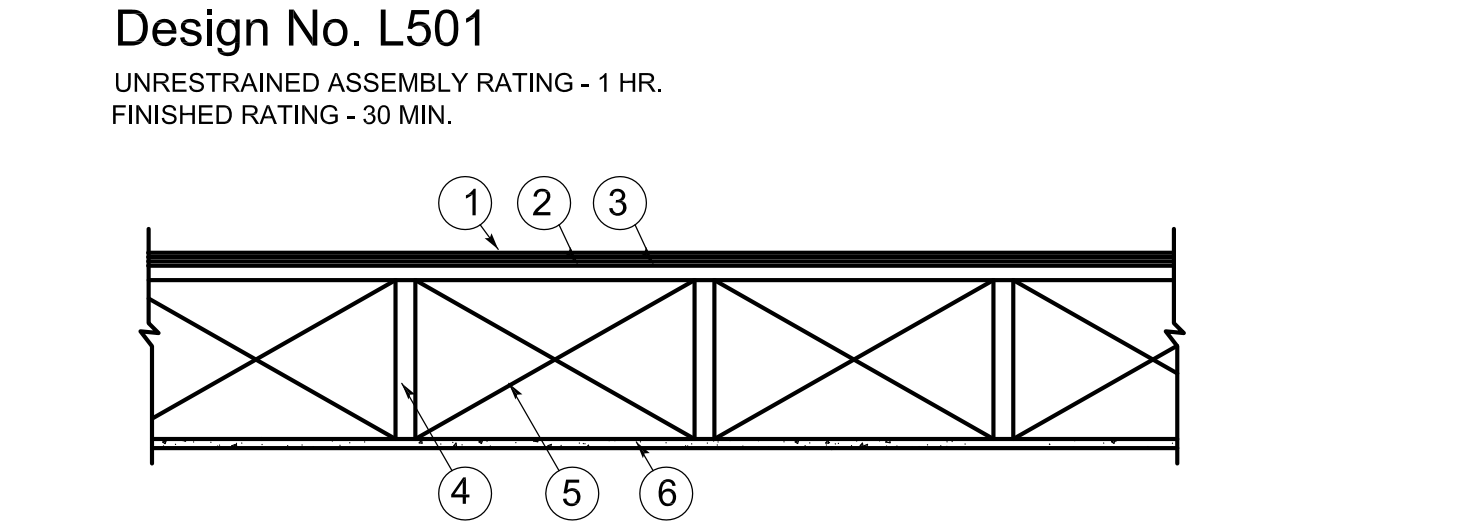
*BEARING THE UL CLASSIFICATION MARK

[PROPOSED 2-HR. RATED WALL SYSTEMS - EXTERIOR (below grade)]



1. Nailheads - Exposed or covered with joint compound.
 2. Joints - Exposed joints covered with joint compound and paper tape. Joint compound and paper tape may be omitted when square edge boards are used. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with the joints reinforced with paper tape.
 3. Nails - 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam, 1/4 in. diam heads, and 8d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam heads.
 4. Gypsum Board* - 5/8 in. thick, two layers applied either horizontally or vertically. Inner layer attached to studs with the 1-7/8 in. nails spaced 6 in. O.C. Outer layer attached to studs over inner layer with the 2-3/8 in. long nails spaced 8 in. O.C. Vertical joints located over studs. All joints in face layers staggered with joints in base layers. Joints of each base layer offset with joints of base layer on opposite side.
- When used in widths other than 48 in., gypsum board to be installed horizontally.
- When Steel Framing Members* (Item 6 or 6A) are used, base layer attached to furring channels with 1 in. long Type 5 bugle-head steel screws spaced max 24 in. O.C; face layer attached with 1-5/8 in. long Type 5 bugle-head steel screws spaced max 12 in. O.C.
- ACADIA DRYWALL SUPPLIES LTD - Type X

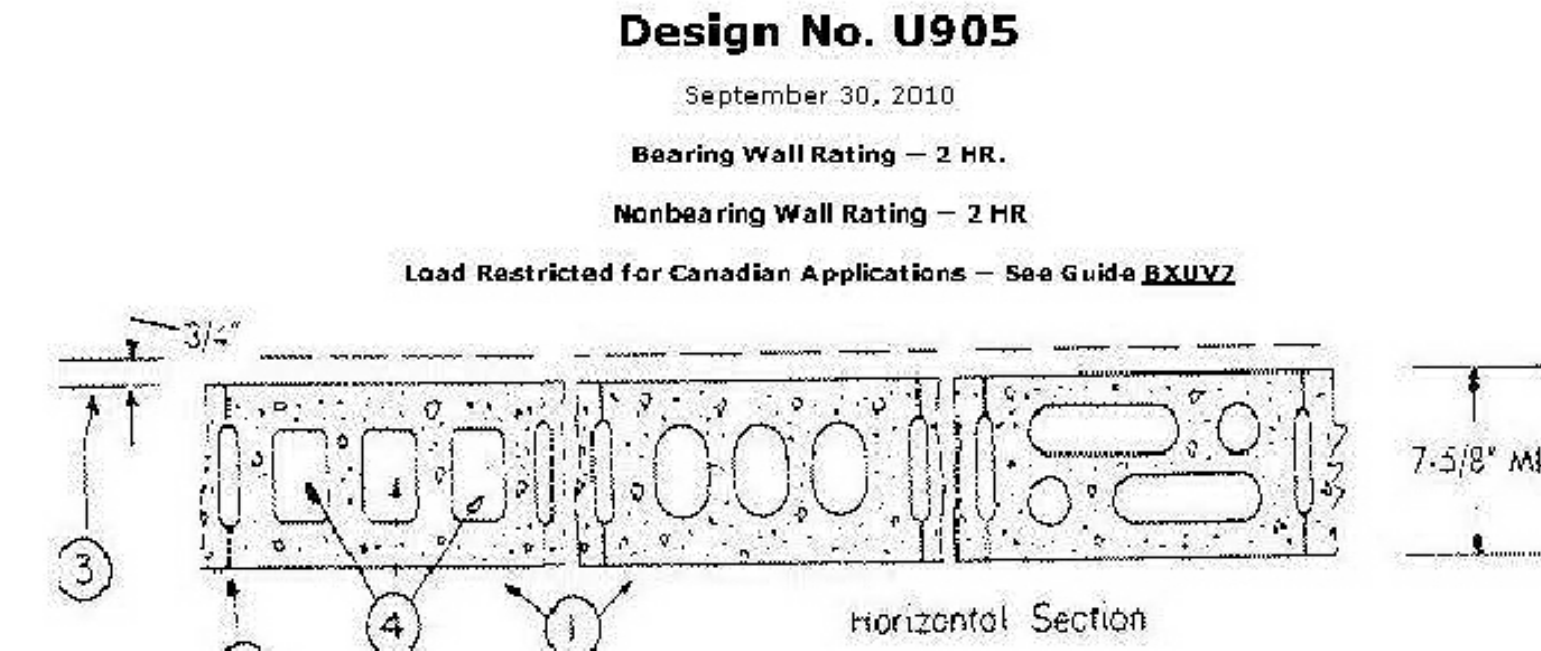
[EXISTING / PROPOSED FLOOR SEPARATION SYSTEM BETWEEN ALL FLOORS AND ROOF]



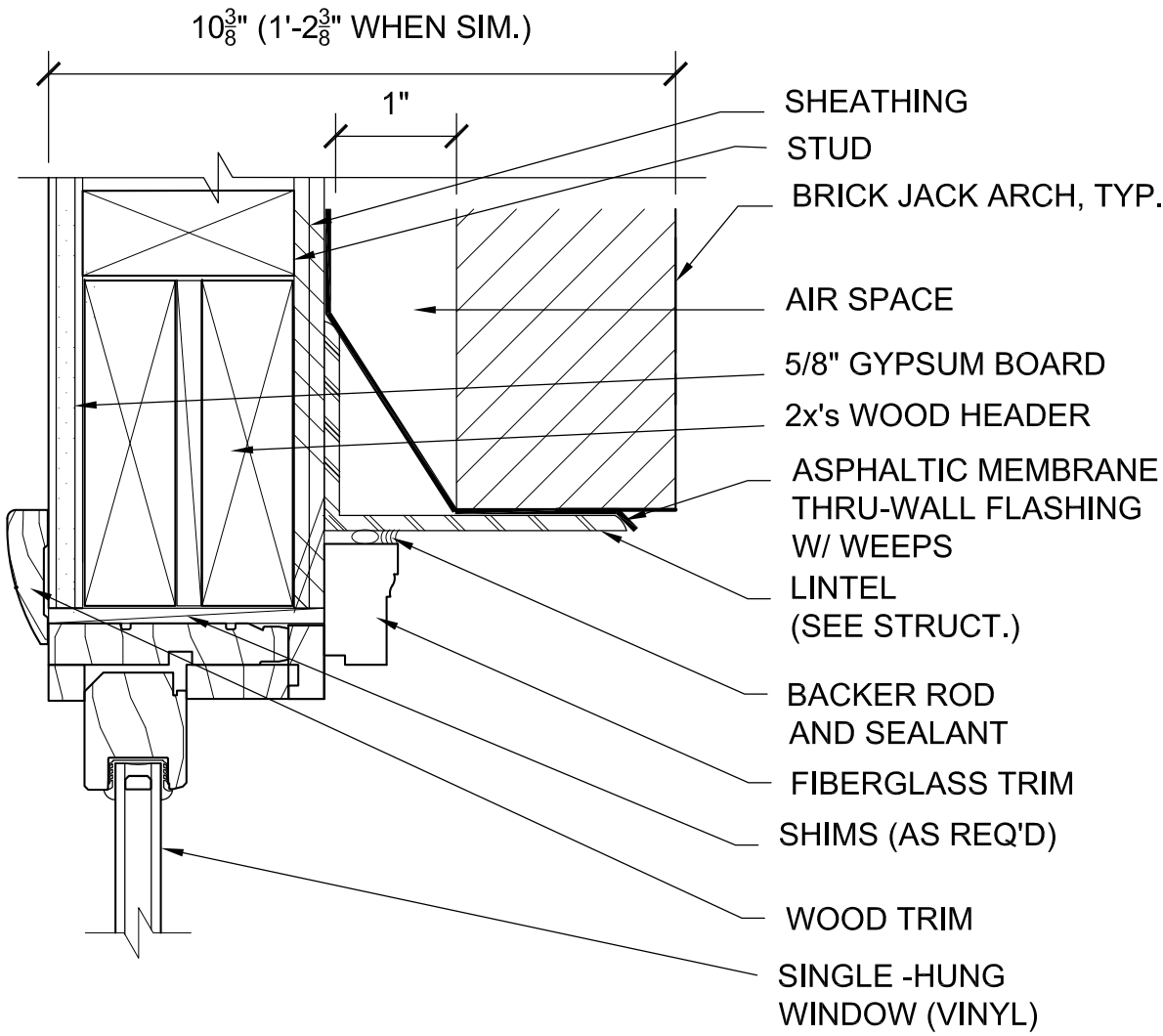
1. FINISH FLOORING 4 FT BY 8 FT BY 23/32 IN. THICK T & G WOOD STRUCTURAL PANELS MIN GRADE "UNDERLAYMENT" OR "SINGLE FLOOR". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANEL TO BE INSTALLED PERPENDICULAR TO TRUSSES WITH END JOINTS STAGGERED 4 FT. FINISH FLOORING PANELS SECURED TO TRUSSES WITH CONSTRUCTION ADHESIVE AND 6D RING SHANK NAILS. ADHESIVE APPLIED AS 3/8 IN. DIAM BEAD TO TOP CHORD OF TRUSSES AND GROOVE EDGES OF FINISH FLOORING PANELS. NAILS SPACED 12 IN. O.C ALONG EACH TRUSS.
2. VAPOR BARRIER - COMMERCIAL ROSIN-SIZED 0.010 IN THICK.
3. SUBFLOORING - 15 / 32 IN THICK PLYWOOD, MIN. GRADE "C-D" EXPOSURE 1 OR "C-D" WITH EXTERIOR GLUE CONFORMING WITH PS 1-83 SPECIFICATIONS FOR NON-VENEER APA RATED SHEATHING PANELS PER APA SPECIFICATIONS PRP-108.
4. WOOD JOIST - 2 BY 10 IN., SPACED 16" O.C., FIRESTOPPED
5. CROSS-BRACING - 1 BY 3 IN. MEMBERS
6. GYPSUM BOARD* ONE LAYERS OF 5/8 IN. THICK BY 48 IN. WIDE SHEETS (TYPE - FIRE RATED) INSTALLED WITH LONG DIMENSION PERPENDICULAR TO TRUSSES. INNER LAYER ATTACHED TO TRUSSES USING 1-1/4 IN. LONG, TYPE S BUGLE HEAD STEEL SCREWS SPACED 24 IN. O.C AND LOCATED A MIN 1-1/2 IN. FROM SIDE AND END JOINTS. OUTER LAYER ATTACHED TO TRUSSES THROUGH INNER LAYER WITH 1-7/8 IN. TYPE S BUGLE HEAD STEEL SCREWS SPACED 12 IN. OC. ALL JOINTS IN OUTER LAYER OFFSET 24 IN. FROM INNER LAYER JOINTS. BUTT JOINTS OCCUR OVER TRUSSES.

*BEARING THE UL CLASSIFICATION MARK

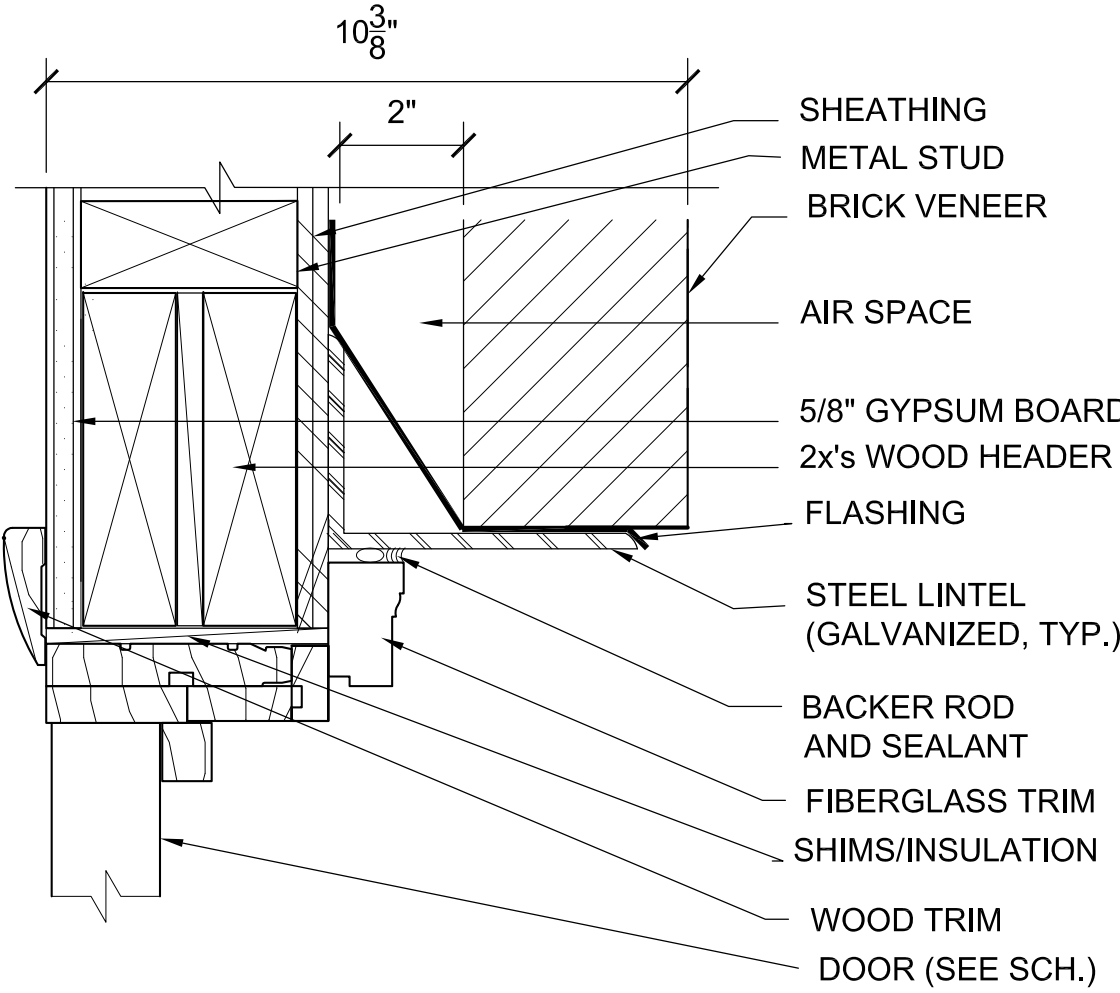
[PROPOSED 2-HR. RATED WALL SYSTEMS - EXTERIOR (above grade)]



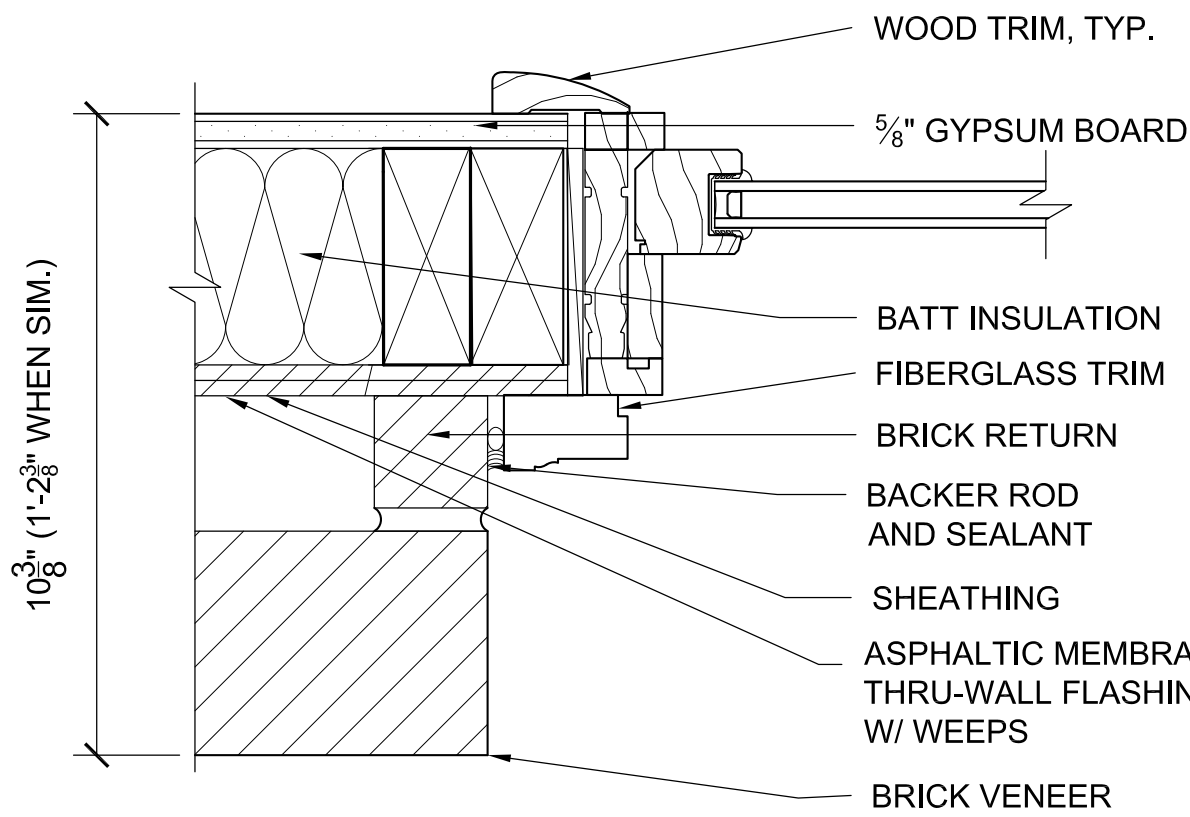
1. Concrete Blocks* - Various designs. Classification D-2 (2 hr). See Concrete Blocks category for list of eligible manufacturers.
 2. Mortar - Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
 3. Portland Cement Stucco or Gypsum Plaster - Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
 4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kiln Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
 5. Foamed Plastic* - (Optional-Not Shown) - 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).
- THE DOW CHEMICAL CO - Type Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax ci Exterior Insulation, Thermax IH Insulation, Thermax Plus Liner Panel and Thermax Heavy Duty Plus (HDP)



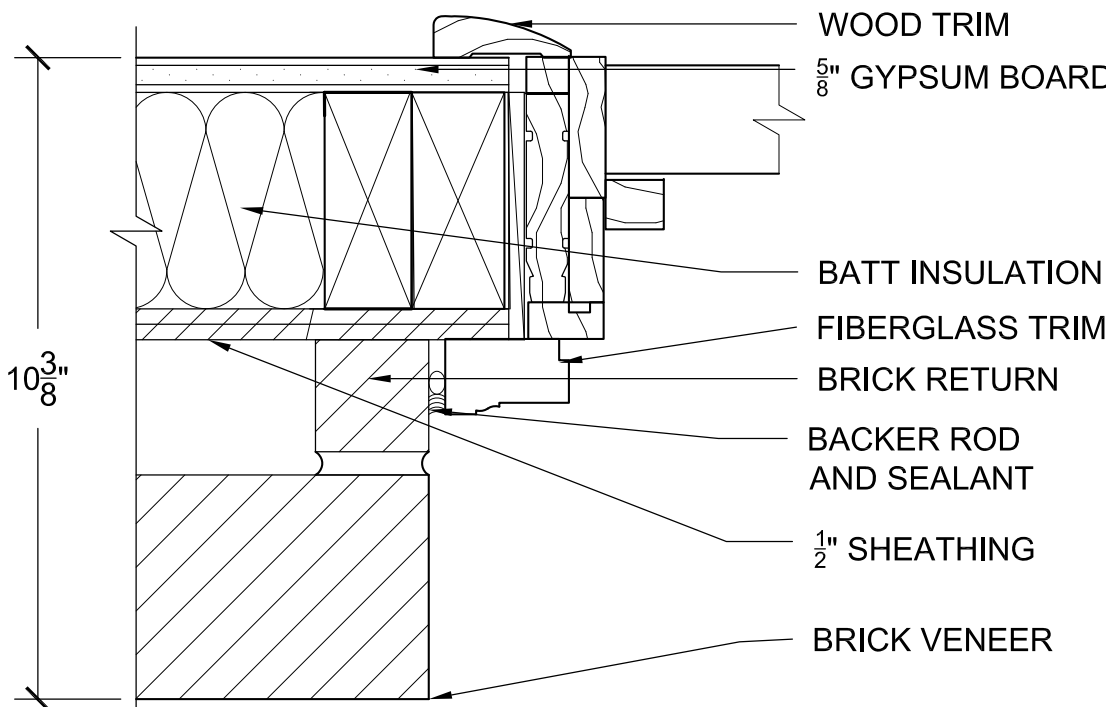
6 HEAD DETAILS
N.T.S.



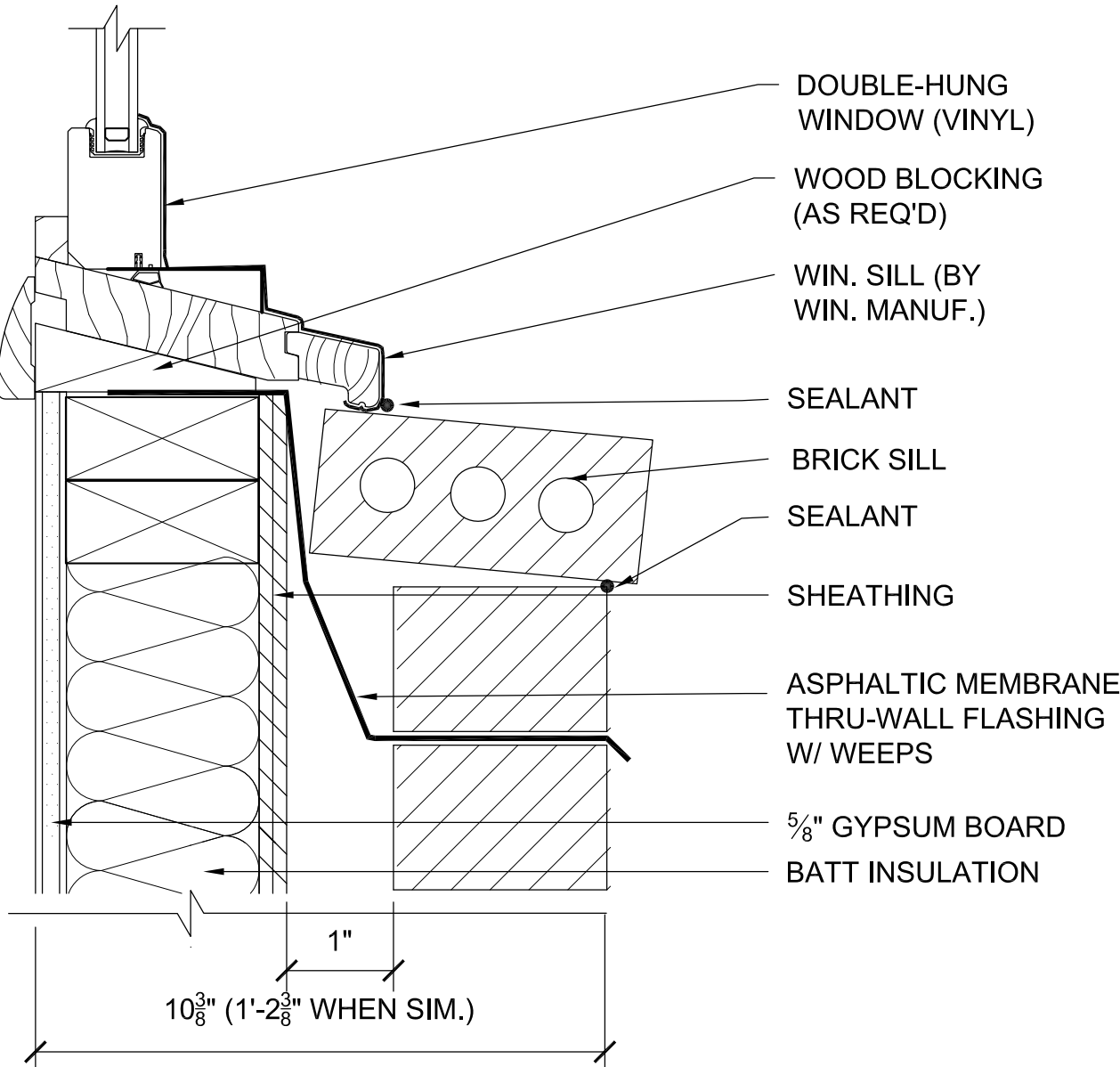
3 HEAD DETAILS
N.T.S.



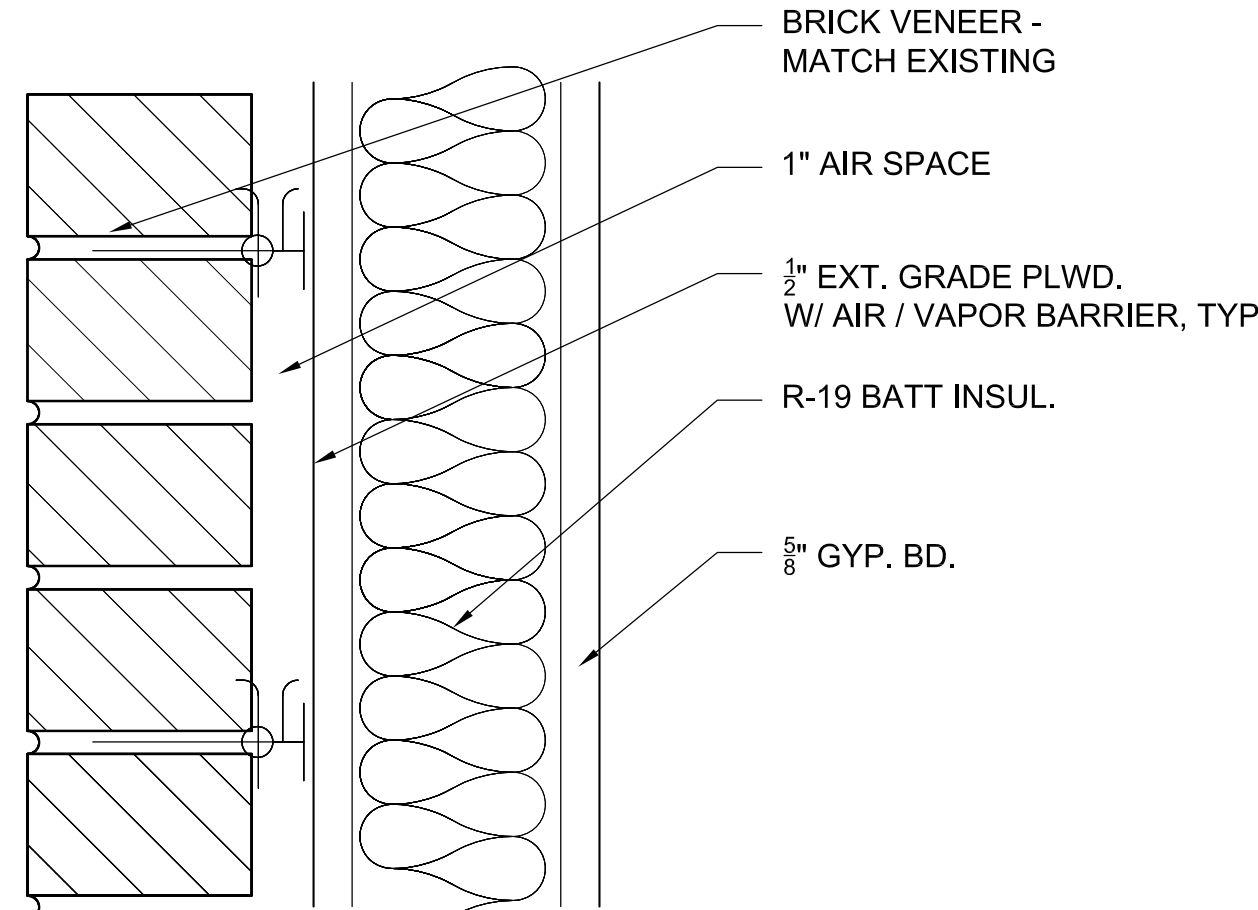
5 JAMB DETAILS
N.T.S.



2 JAMB DETAILS
N.T.S.



4 SILL DETAILS
N.T.S.



1 WALL DETAILS
N.T.S.

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PARTITION TYPES and
UL RATED DETAILS

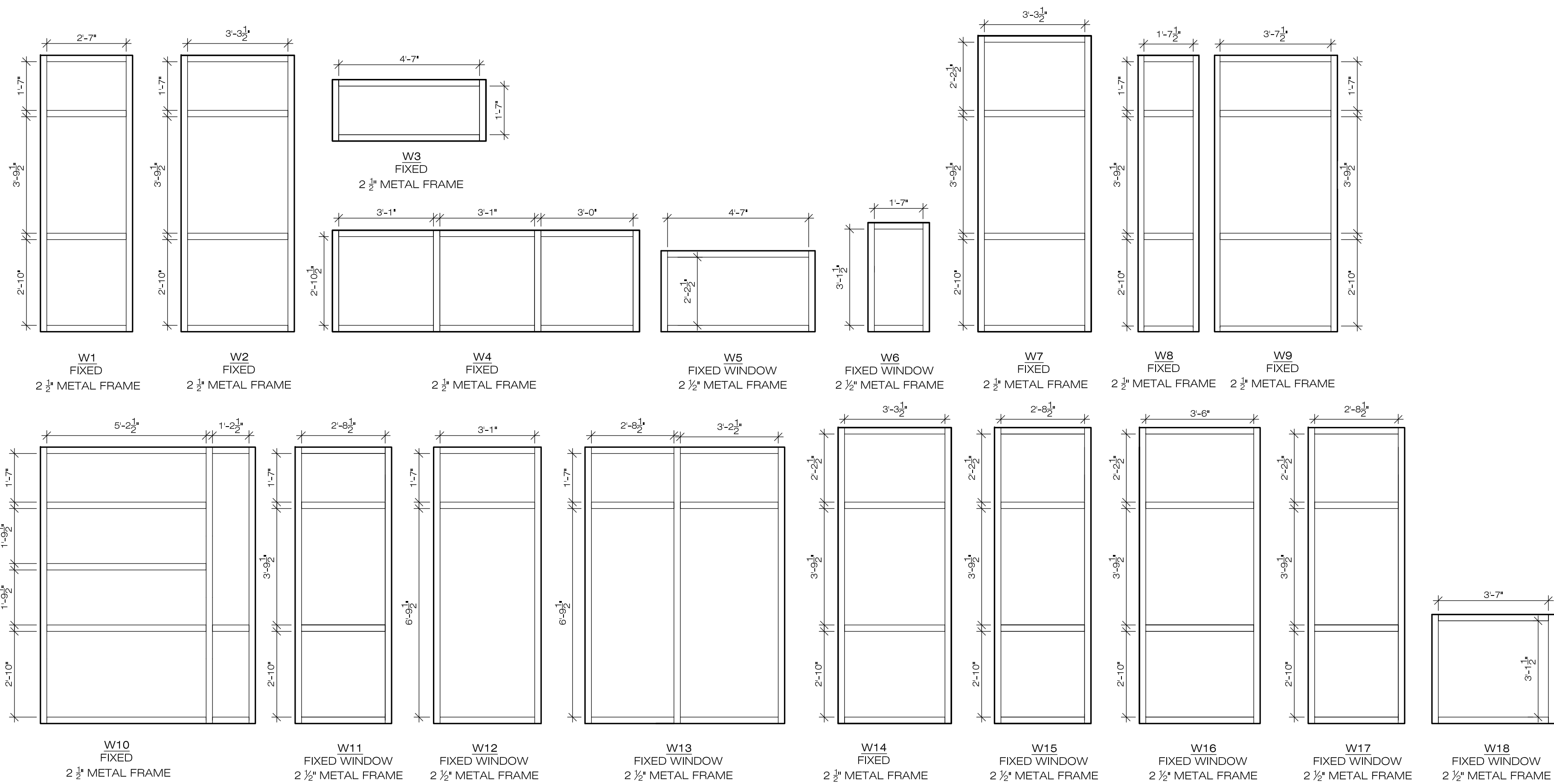
REVISIONS	

AS NOTED

JULY 29, 2014

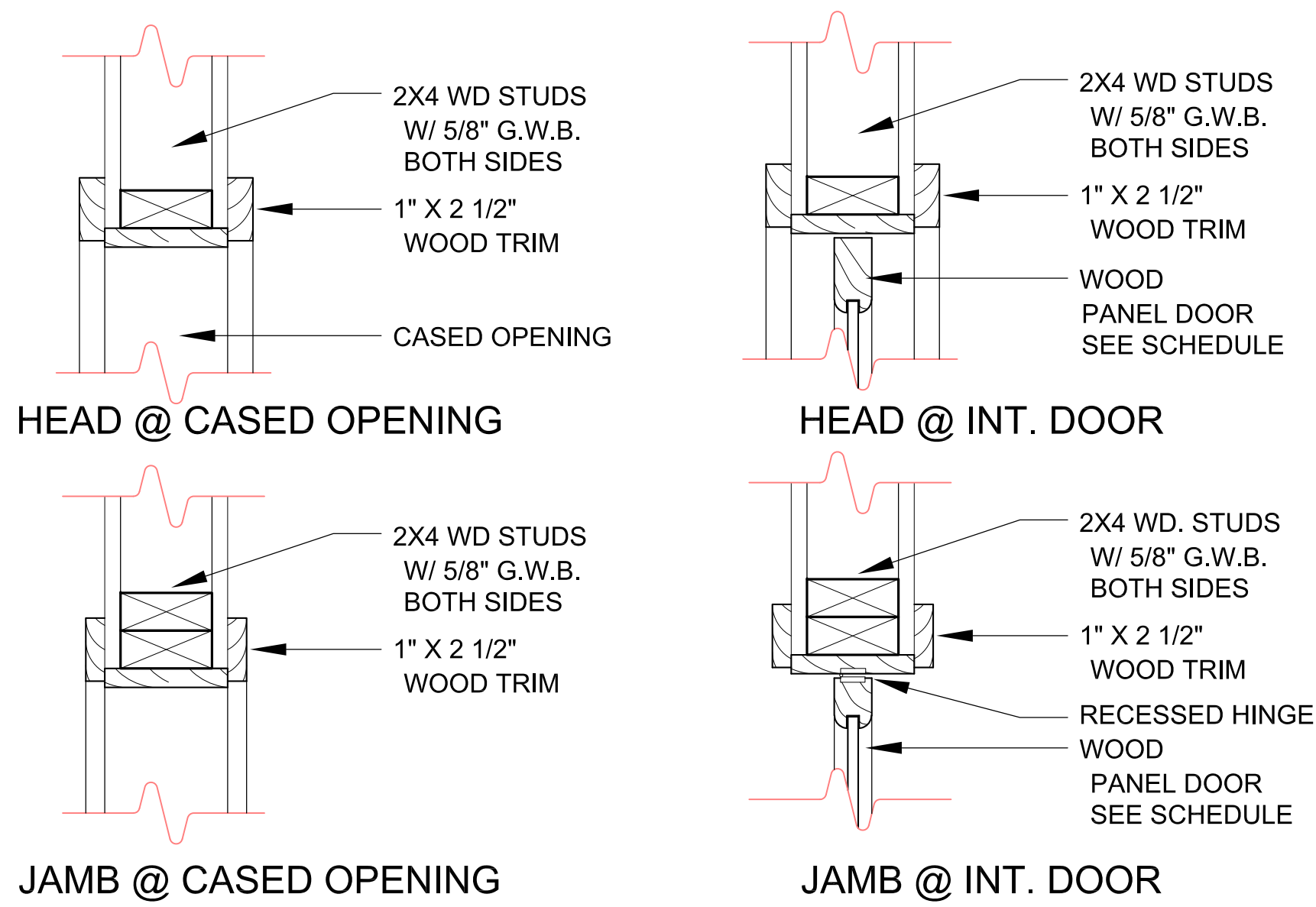
A002

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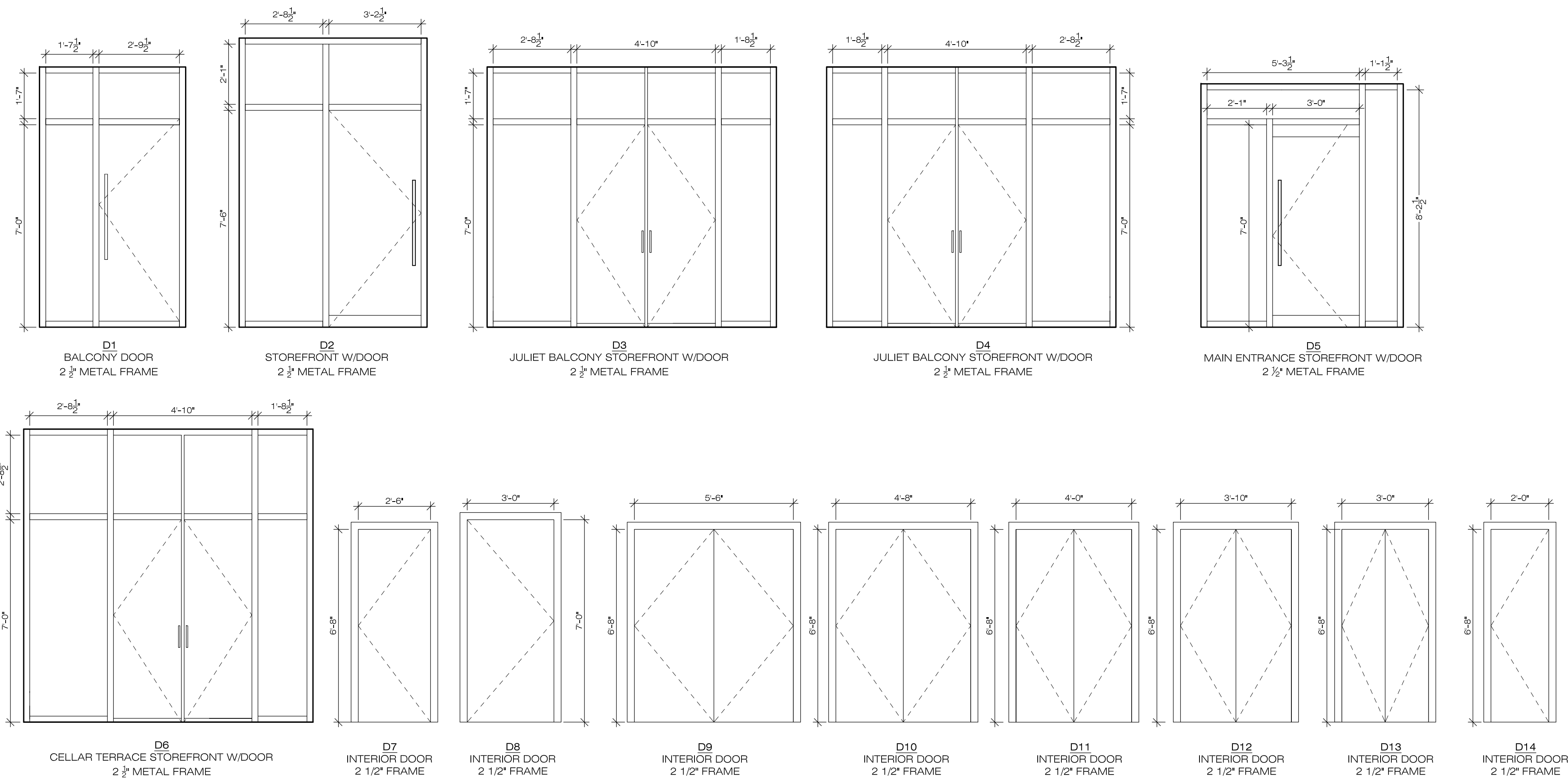


1 WINDOW SCHEDULE

3/8" = 1'-0"

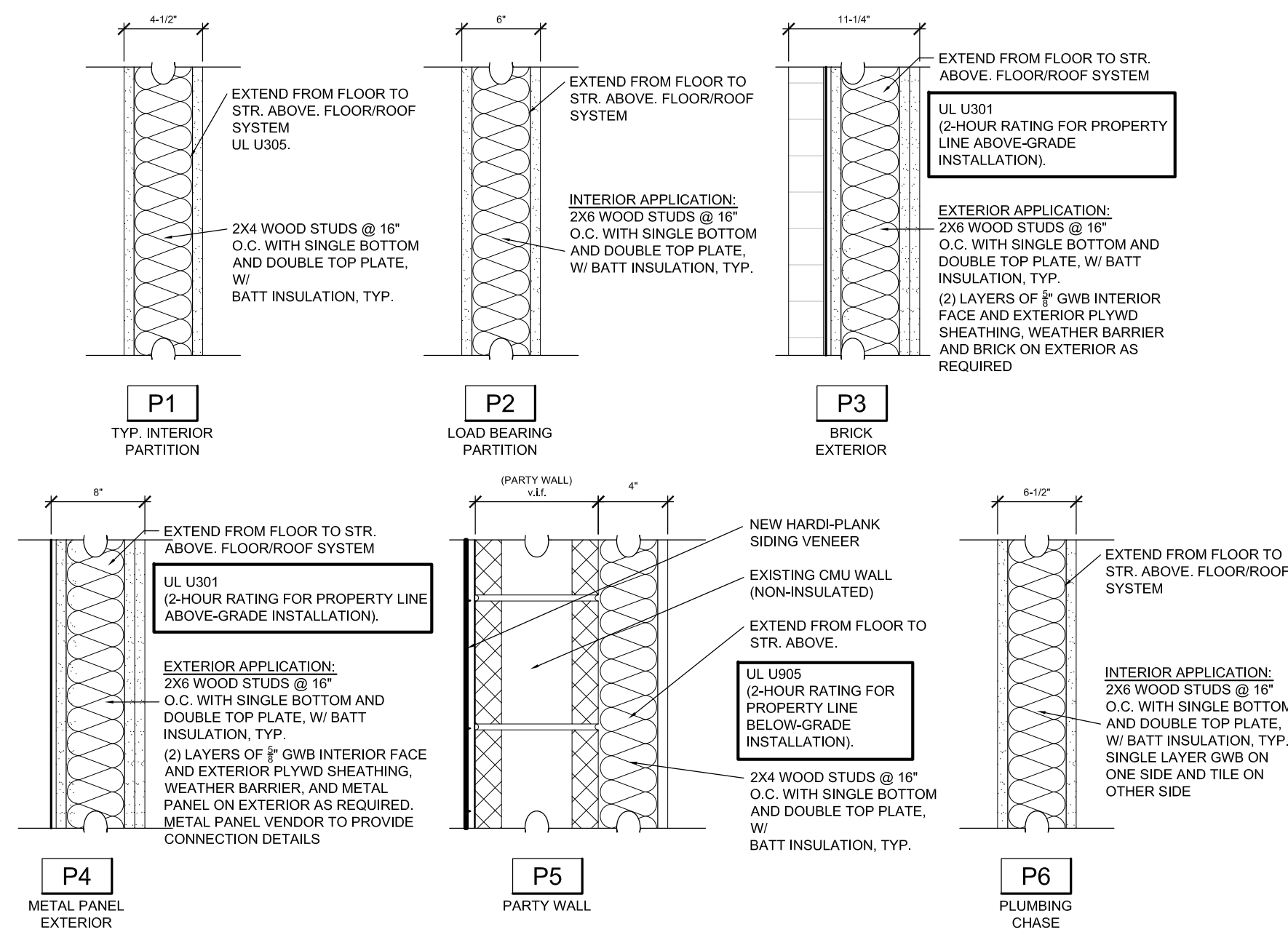


2 HEAD / JAMB DETAILS, TYP.
N.T.S.



2 DOOR SCHEDULE

3/8" = 1'-0"



1 PARTITION TYPES, TYP.
1" = 1'-0"

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WESTEND DEVELOPMENT
1521 VARNUM ST, NW
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WINDOW/DOOR
SCHEDULE WALL
TYPES and
HEAD-JAMB DETAILS

REVISIONS

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JULY 29, 2014

A003

DRAWING NUMBER

-1521 VARNUM ST, NW

KEY NOTES

01

EXISTING FOOTPRINT OF BUILDING- EXTERIOR WALLS EXCEPT FOR REAR WALL TO REMAIN. RE: DEMO DWGS.

02

EXISTING GARAGE TO BE REMOVED.

03

EXISTING WOOD DECK TO BE REMOVED.

04

EXCAVATION FOR WINDOW WELL.

05

AREA OF EXCAVATION FOR BUILDING ADDITION / ALTERATION

06

AREA FOR NEW PARKING LOT

07

SILT FENCE PERIMETER, TYPICAL

08

STABILIZED CONSTRUCTION ENTRANCE

LEGEND

EXISTING BUILDING

DEMOLISH / REMOVAL

EXTENT OF EXCAVATION

STABILIZED CONSTRUCTION ENTRANCE

SILT FENCE PERIMETER

PROPOSED EXCAVATION & DISTURBANCE

AREA	EXCAVATION (CU. YD.)	AREA OF DISTURBANCE (SF)
WINDOW WELL	25 CU YD	342 SF
BUILDING ADDITION / ALTERATION	86 CU YD	1165 SF
CELLAR	595 CU YD	1784 SF
TOTAL	706 CU YD	3291 SF

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VARNUM STREET, N.W.

1

SEDIMENT & EROSION PLAN

1/8" = 1'-0"

140'-11"

23'-6"

36'-3"

159'-5 1/2"

50'-7"

23'-0"

16'-0"

39'-0"

PROPERTY LINE

WOOD DECK

817

01

02

03

04

05

06

07

08

LINE OF EXISTING HOUSE BELOW

PUBLIC ALLEY

ALLEY

N

SEDIMENT & EROSION PLAN

AS NOTED

JULY 29, 2014

A004

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WESTEND DEVELOPMENT

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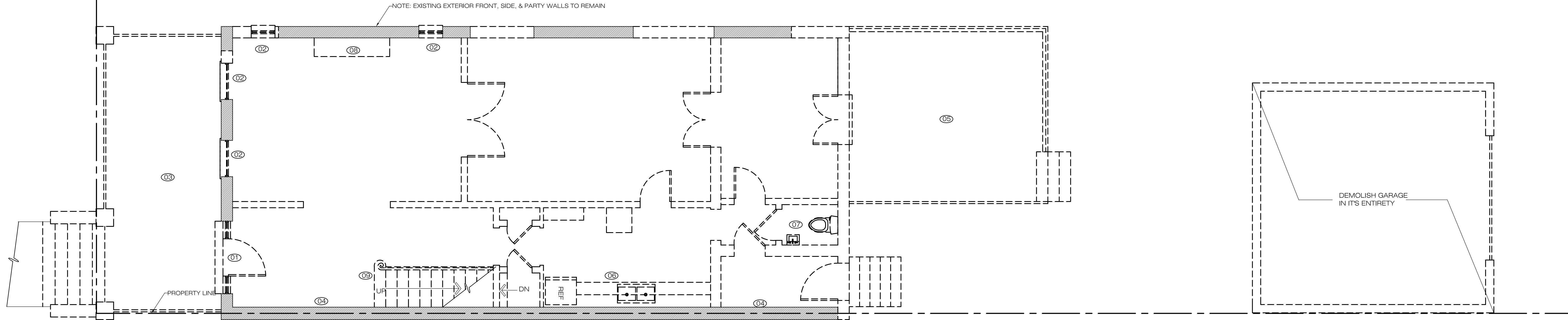
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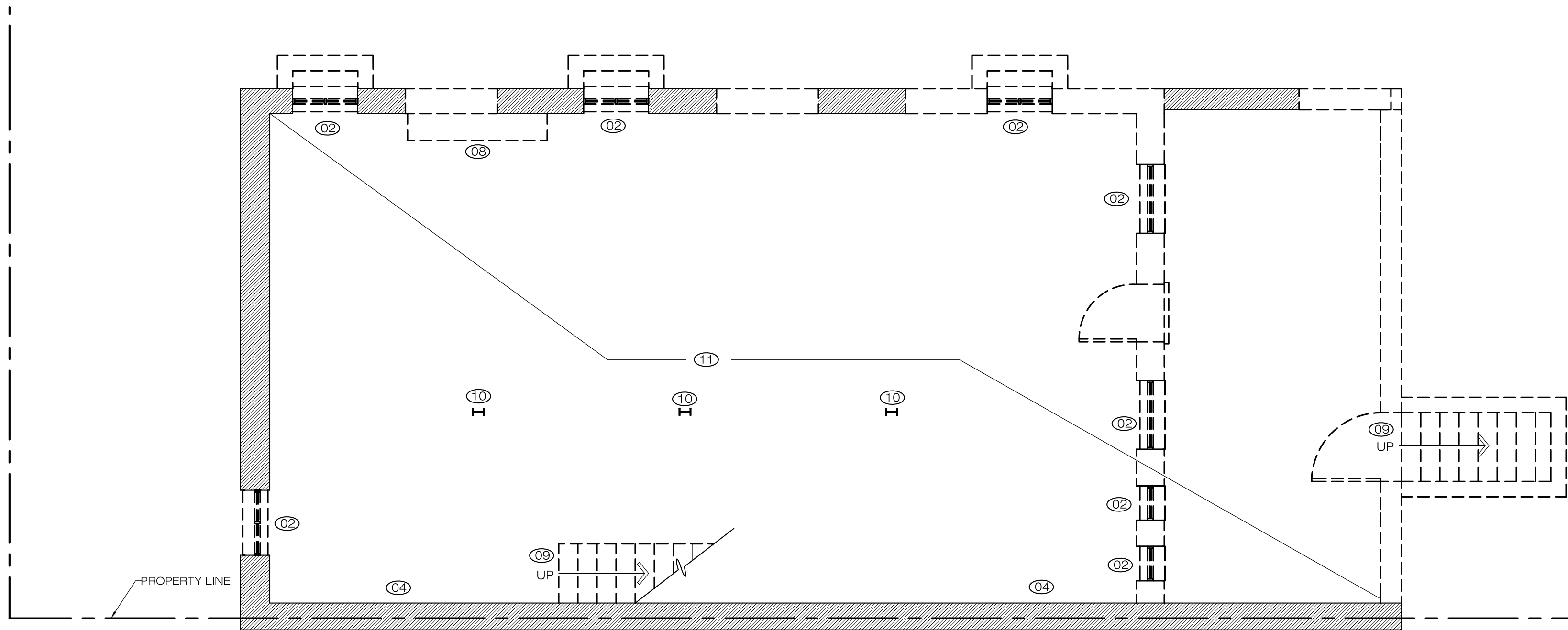
-1521 VARNUM ST, NW



2 FIRST FLOOR PLAN
1/4" = 1'-0"

DEMOLITION PLAN SYMBOLS

- 01 KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- EXISTING WALL TO REMAIN
- DEMOLISH
- NEW WALL



1 CELLAR FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- A. REMOVE ALL PLUMBING FIXTURES.
- B. REMOVE SECOND LEVEL FLOOR IN ITS ENTIRETY.
- C. REMOVE ALL EXISTING ELECTRIC AND TELEPHONE WIRING BACK TO SOURCE. WIRING TO REMAIN FOR CONSTRUCTION LIGHTS.
- D. WHERE EXISTING PARTITIONS, COLUMNS, FLOORING WERE AFFECTED BY DEMOLITION, PREPARE SURFACES TO RECEIVE SCHEDULED FINISH.
- E. WHERE EXISTING ELECTRICAL AND/OR COMMUNICATIONS DEVICES WERE REMOVED FROM EXISTING PARTITIONS AND FLOORS, PATCH AS REQUIRED TO RECEIVED SCHEDULED FINISHES.
- F. ALL EXISTING WINDOWS AND DOORS TO BE REMOVED.

KEYED NOTES

- 01 REMOVE EXISTING DOOR AND PREPARE OPENING FOR REPLACEMENT DOOR
- 02 EXISTING WINDOW TO BE DEMOLISHED. INFILL OPENING, REFER TO CONSTRUCTION PLAN FOR WALL TYPE.
- 03 DEMOLISH EXISTING WOOD PORCH.
- 04 EXISTING PARTY WALL TO REMAIN
- 05 DEMOLISH EXISTING WOOD DECK
- 06 REMOVE ALL KITCHEN APPLIANCES, AND PLUMBING FIXTURES.
- 07 REMOVE ALL PLUMBING FIXTURES.
- 08 EXISTING CHIMNEY TO BE DEMOLISHED.
- 09 REMOVE STAIR
- 10 STEEL COLUMN TO BE REMOVED. RE: STRUCT. DWGS
- 11 SLAB ON GRADE TO BE REMOVED. REFER TO STRUCT / UNDERPINNING DWGS

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DEMO PLANS

REVISIONS

AS NOTED

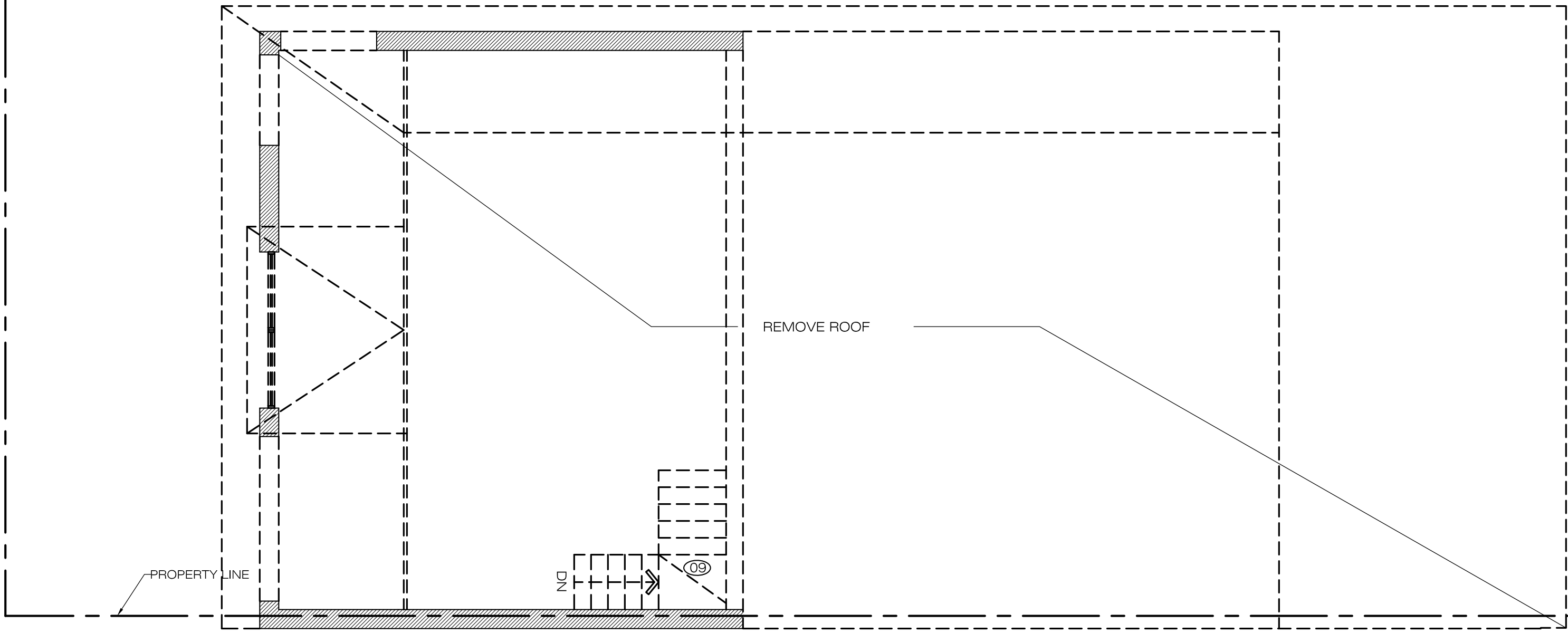
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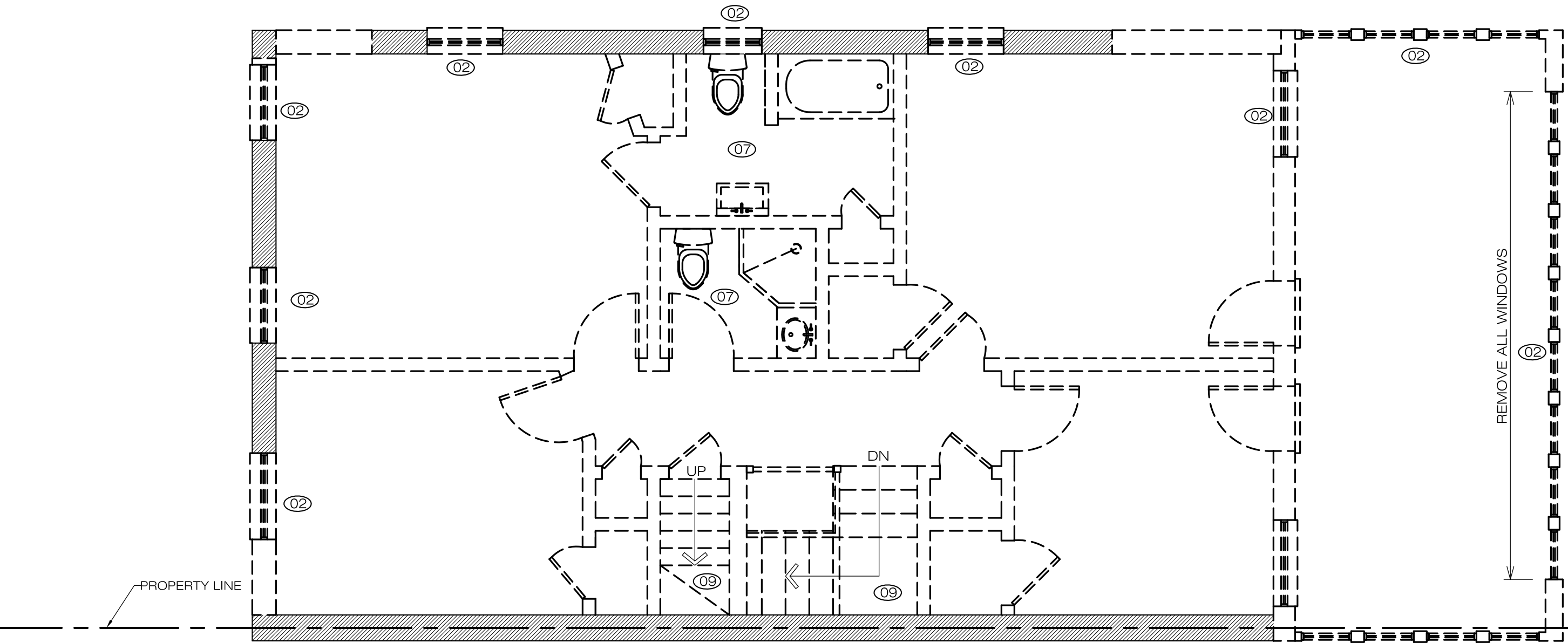
DRAWING NUMBER



ATTIC / ROOF FLOOR PLAN
1/4" = 1'-0"

DEMOLITION PLAN SYMBOLS

- ⑪ KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- EXISTING WALL TO REMAIN
- DEMOLISH
- NEW WALL



SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- A. REMOVE ALL PLUMBING FIXTURES.
- B. REMOVE SECOND LEVEL FLOOR IN ITS ENTIRETY.
- C. REMOVE ALL EXISTING ELECTRIC AND TELEPHONE WIRING BACK TO SOURCE. WIRING TO REMAIN FOR CONSTRUCTION LIGHTS.
- D. WHERE EXISTING PARTITIONS, COLUMNS, FLOORING WERE AFFECTED BY DEMOLITION. PREPARE SURFACES TO RECEIVE SCHEDULED FINISH.
- E. WHERE EXISTING ELECTRICAL AND/OR COMMUNICATIONS DEVICES WERE REMOVED FROM EXISTING PARTITIONS AND FLOORS, PATCH AS REQUIRED TO RECEIVED SCHEDULED FINISHES.
- F. ALL EXISTING WINDOWS AND DOORS TO BE REMOVED.

KEYED NOTES

- ① REMOVE EXISTING DOOR AND PREPARE OPENING FOR REPLACEMENT DOOR
- ② EXISTING WINDOW TO BE DEMOLISHED. INFILL OPENING, REFER TO CONSTRUCTION PLAN FOR WALL TYPE.
- ③ DEMOLISH EXISTING WOOD PORCH.
- ④ EXISTING PARTY WALL TO REMAIN
- ⑤ DEMOLISH EXISTING WOOD DECK
- ⑥ REMOVE ALL KITCHEN APPLIANCES, AND PLUMBING FIXTURES.
- ⑦ REMOVE ALL PLUMBING FIXTURES.
- ⑧ EXISTING CHIMNEY TO BE DEMOLISHED.
- ⑨ REMOVE STAIR
- ⑩ STEEL COLUMN TO BE REMOVED. RE: STRUCT. DWGS
- ⑪ SLAB ON GRADE TO BE REMOVED. REFER TO STRUCT / UNDERPINNING DWGS

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DEMO PLANS

REVISIONS

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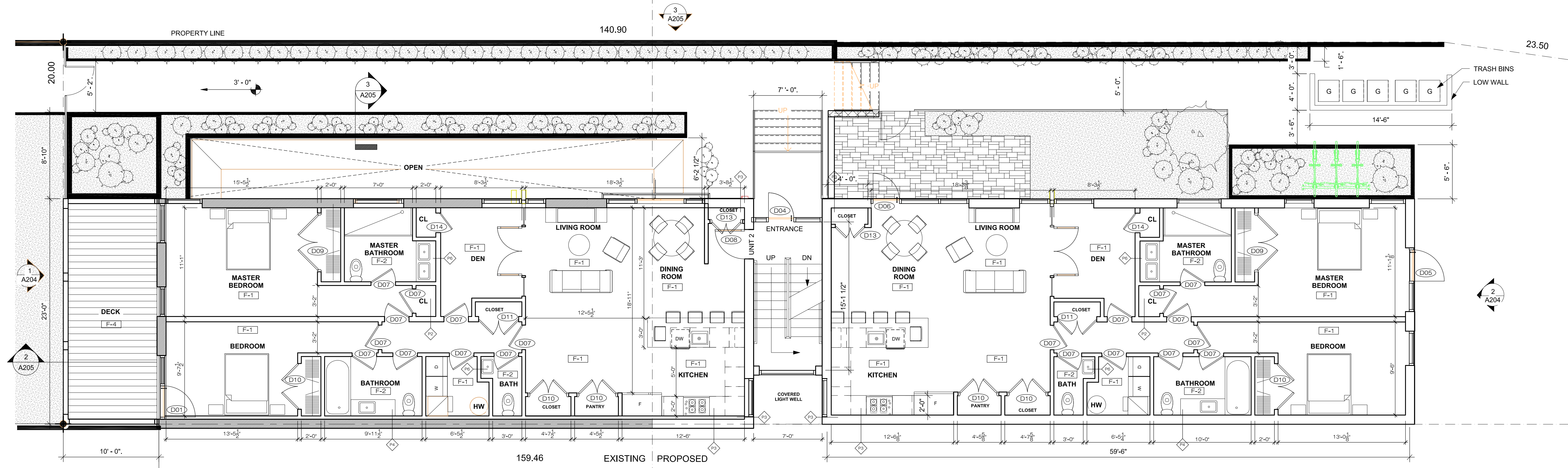
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DRAWING NUMBER



2 FIRST FLOOR PLAN
3/16" = 1'-0"

2A CELLAR FLOOR PLAN
3/16" = 1'-0"

LEGEND | SCHEDULES

ROOM FINISH SCHEDULE					
MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	--
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

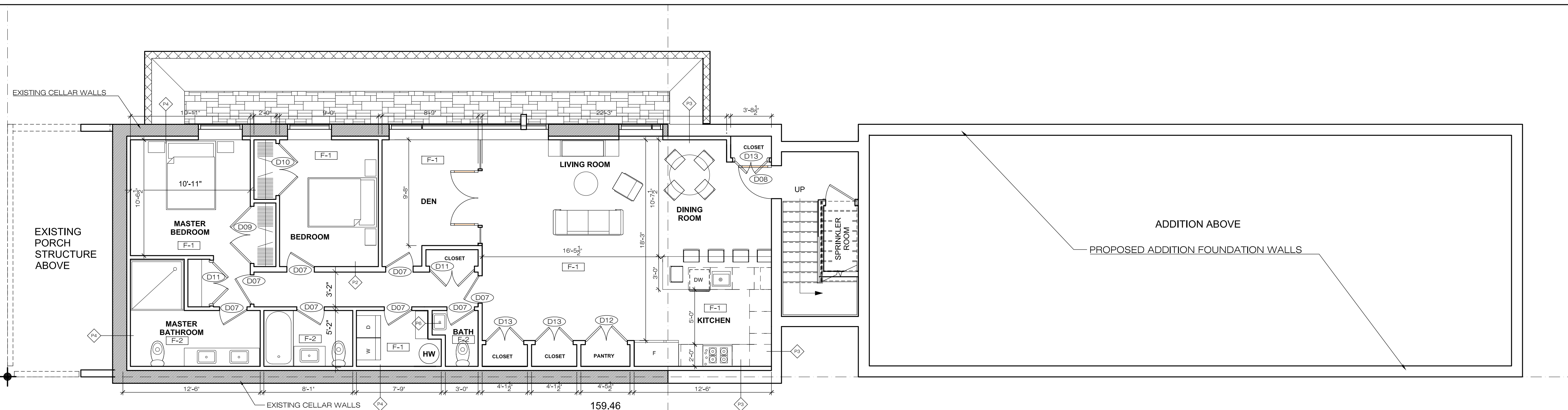
LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

CONSTRUCTION PLAN SYMBOLS

- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE; LETTER DESIGNATES SUB TYPE. RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
- DRAWING REFERENCE
- N

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- B. ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANSI / ADA REQUIREMENTS.
- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-003 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.
- F. THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HR FIRES RESISTANCE RATED CONSTRUCTION OR THE FIRE- RESISTANCE RATING OF STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. PER SECTION 1009.5.3 IBC 2006



1 CELLAR FLOOR PLAN
3/16" = 1'-0"

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WASHINGTON, DC

PROPOSED
FLOOR PLANS

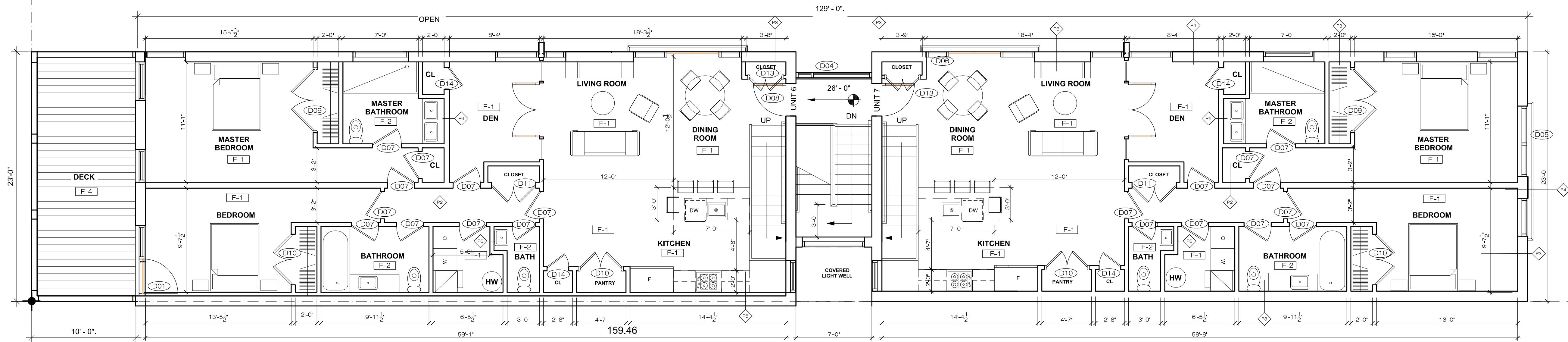
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JULY 29, 2014

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DRAWING NUMBER



2 THIRD FLOOR PLAN
3/16" = 1'-0"

LEGEND | SCHEDULES

MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

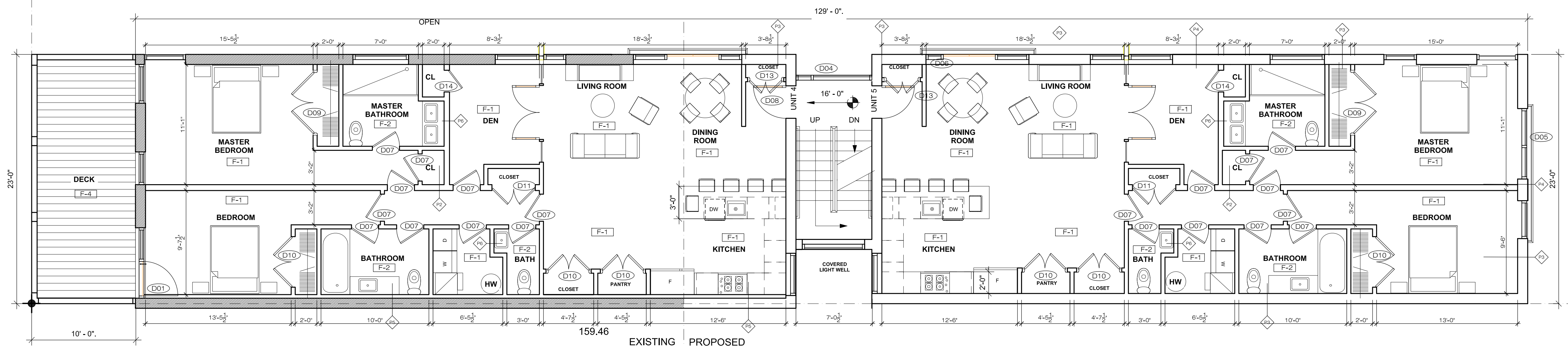
LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

CONSTRUCTION PLAN SYMBOLS

- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE.
RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES
RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE
RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
- DRAWING REFERENCE

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- B. ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANSI / ADA REQUIREMENTS.
- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-002 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.



1 SECOND FLOOR PLAN
3/16" = 1'-0"

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WESTEND DEVELOPMENT
1521 VARNUM ST, NW
WASHINGTON, DC

PROPOSED
FLOOR PLANS

REVISIONS

AS NOTED

SCALE

JULY 29, 2014

ISSUE

A202

DRAWING NUMBER

LEGEND | SCHEDULES

ROOM FINISH SCHEDULE					
MARK NO.	FLOOR	BASE	WALLS	CEILING	REMARKS
F-1	Wood	Wood	GPWB-PNT	GPWB-PNT	
F-2	Tile	Vinyl	GPWB-PNT	GPWB-PNT	
F-3	Paver	--	--	--	--
F-4	Wood Deck *	--	--	--	* Stain
F-5	Concrete	--	--	exposed	

LEGEND	
EXISTING WALL	
DEMO WALL	
NEW WALL	

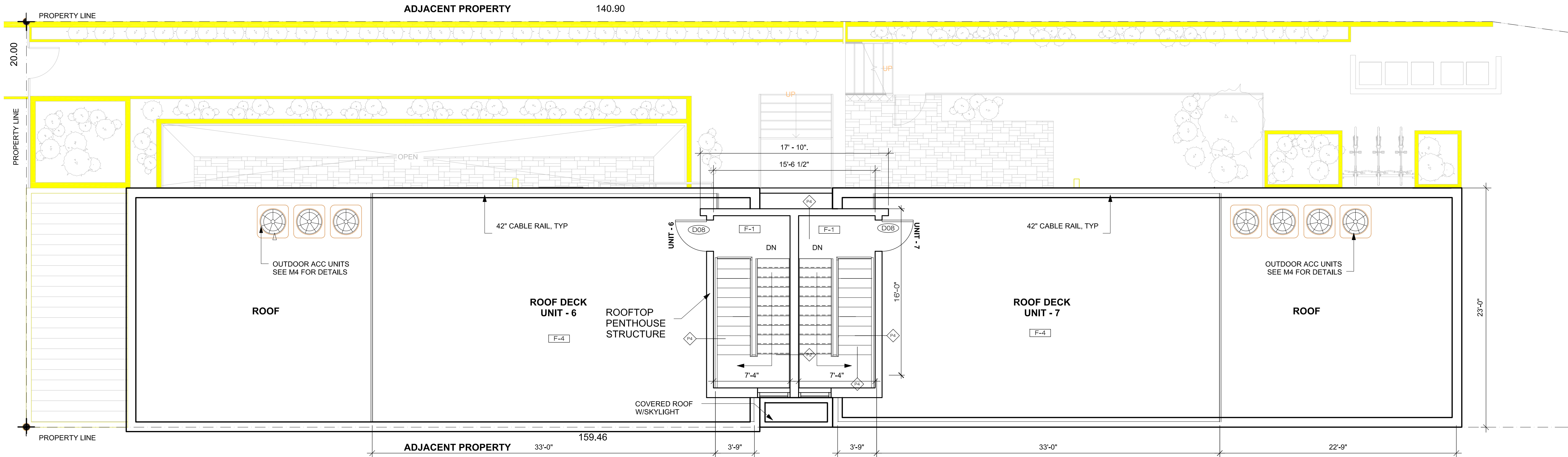
CONSTRUCTION PLAN SYMBOLS

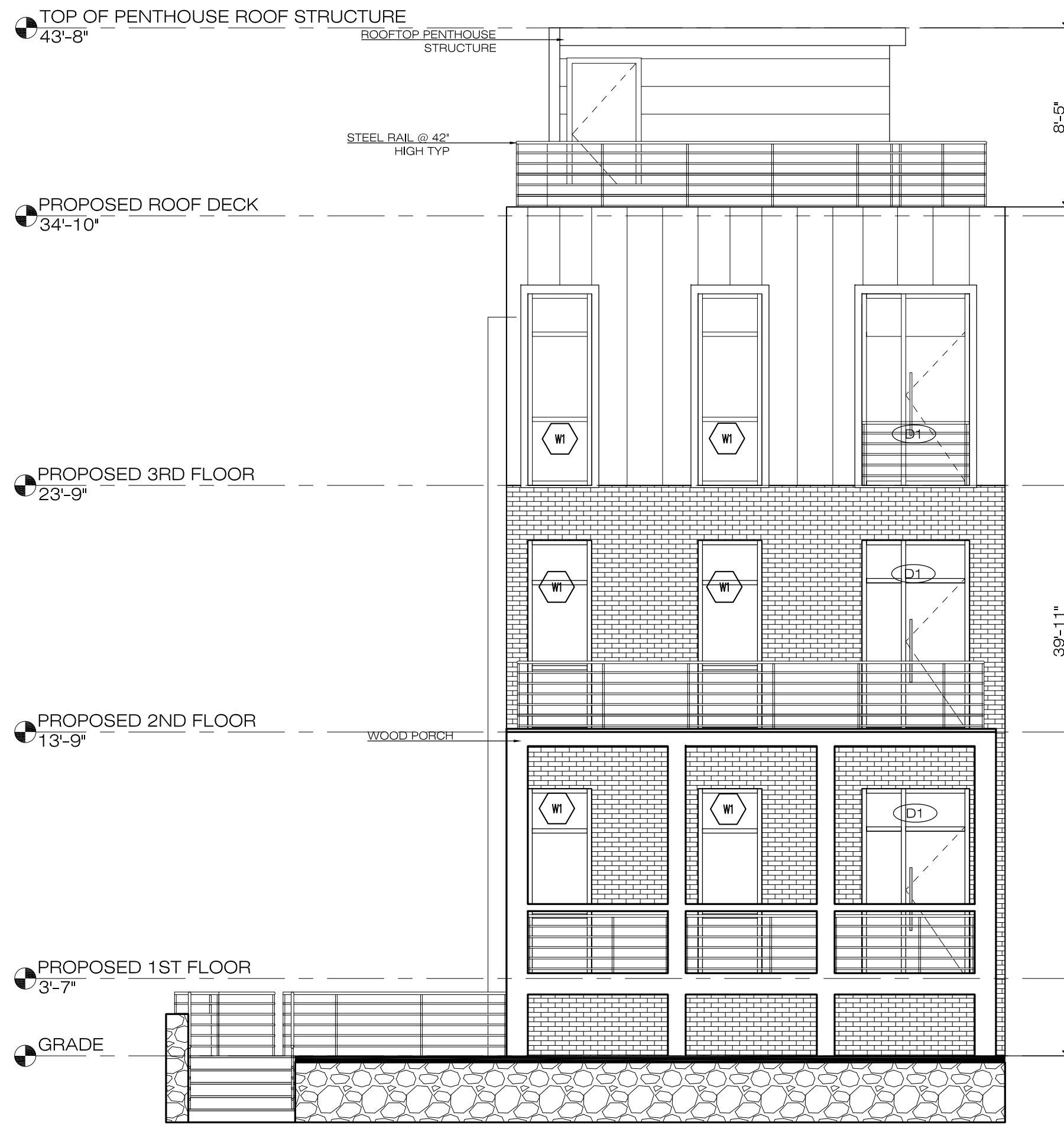
- KEY NOTE- SEE NOTES ON DRAWING SHEET.
- MASONRY INFILL
- DOOR TAG- NUMBER DESIGNATES DOOR TYPE, LETTER DESIGNATES SUB TYPE. RE: SHEET A-002 FOR DOOR SCHEDULE
- FINISH # TAG- NUMBER DESIGNATES FINISHES RE: THIS SHEET FOR FINISH SCHEDULE
- WINDOW TAG- LETTER DESIGNATES WINDOW TYPE RE: SHEET A-002 FOR WINDOW SCHEDULE
- PARTITION TYPE, SEE SHEET A-701
- ELEVATION REFERENCE
 DRAWING REFERENCE
- N

GENERAL NOTES

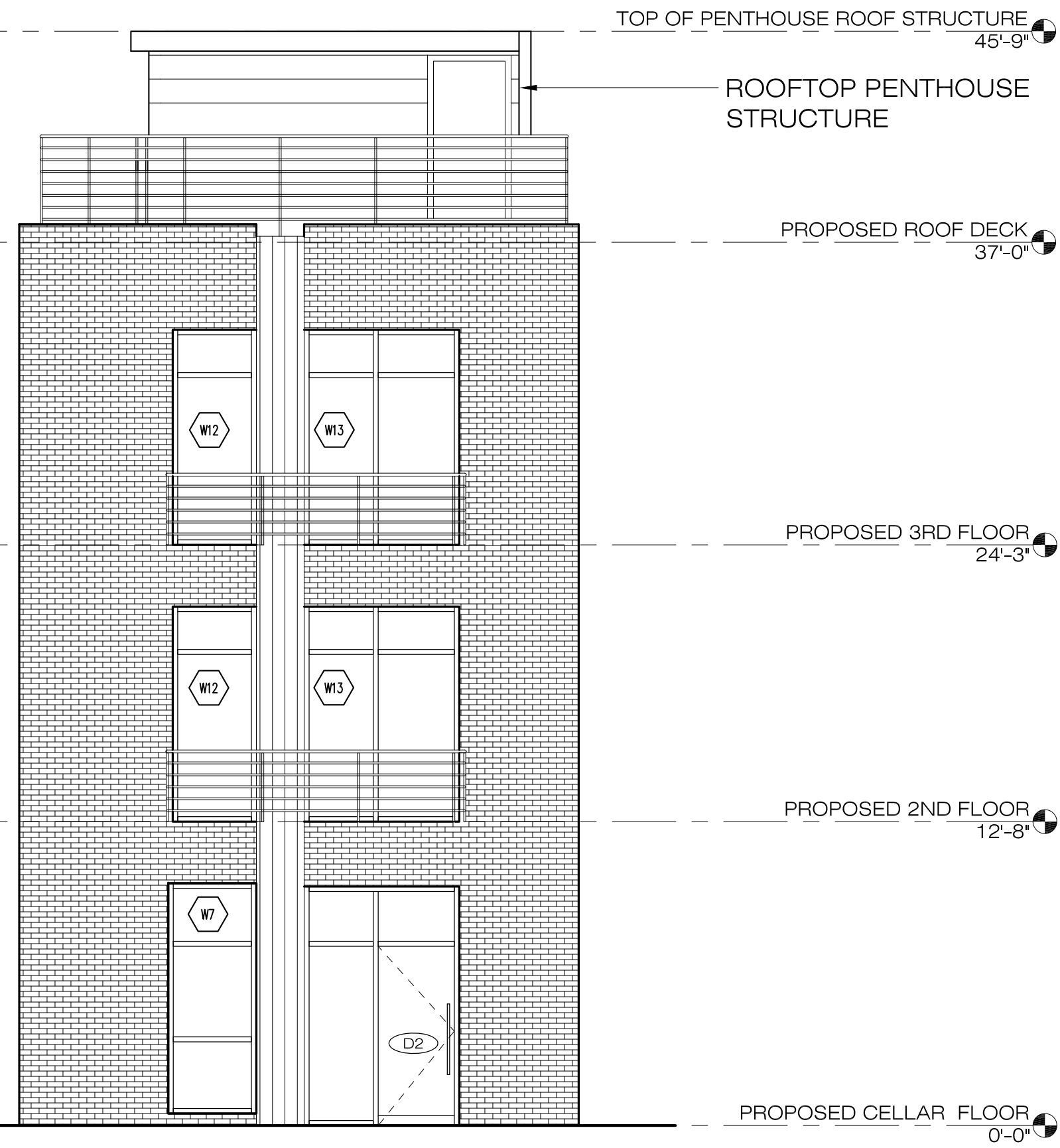
- A. ALL DIMENSIONS ARE TO FACE OF FINISHED PARTITION, U.N.O. REFER TO ENLARGED PLANS AND /OR ELEVATIONS FOR ADDITIONAL DIMENSIONS AS REQUIRED.
- B. ALL NEW DOORS SHALL BE LOCATED AT A DISTANCE OF 4" MEASURED FROM THE NEAREST ADJACENT PARTITION TO THE INSIDE EDGE OF TO ANY CONSTRUCTION, PER ANSI / ADA REQUIREMENTS.
- C. ALL LATCHSETS SHALL BE INSTALLED WITH THE LEVER AT A HEIGHT AS NOTED ON SHEET A-601. BUT IN NO CASE SHALL BE HIGHER THAN 48" A.F.F.
- D. ALL PARTITIONS SHALL BE TYPE U.N.O. SEE SHEET A-002 FOR PARTITION TYPES.
- E. PROVIDE BLOCKING FOR MILLWORK AS REQUIRED FOR PROPER SUPPORT. REFER TO ELEVATIONS FOR ADDITIONAL INFO.

1 ROOFTOP DECK PLAN
3/16" = 1'-0"

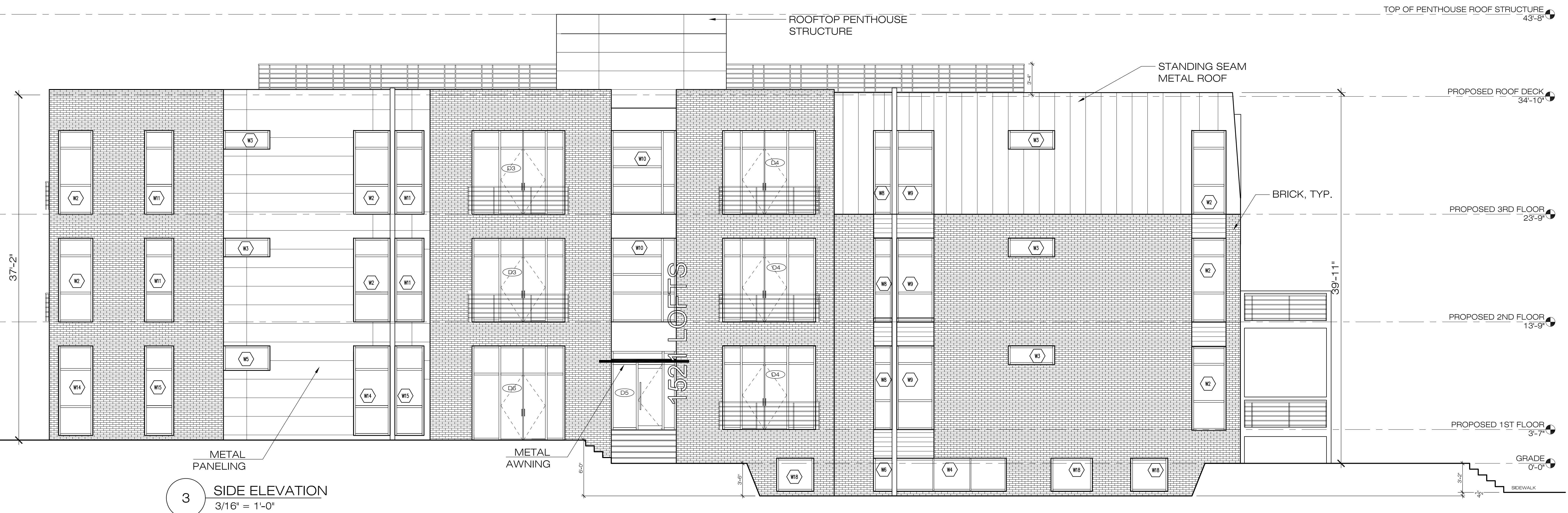




1 FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"



3 SIDE ELEVATION
3/16" = 1'-0"

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WASHINGTON, DC

BUILDING
ELEVATIONS

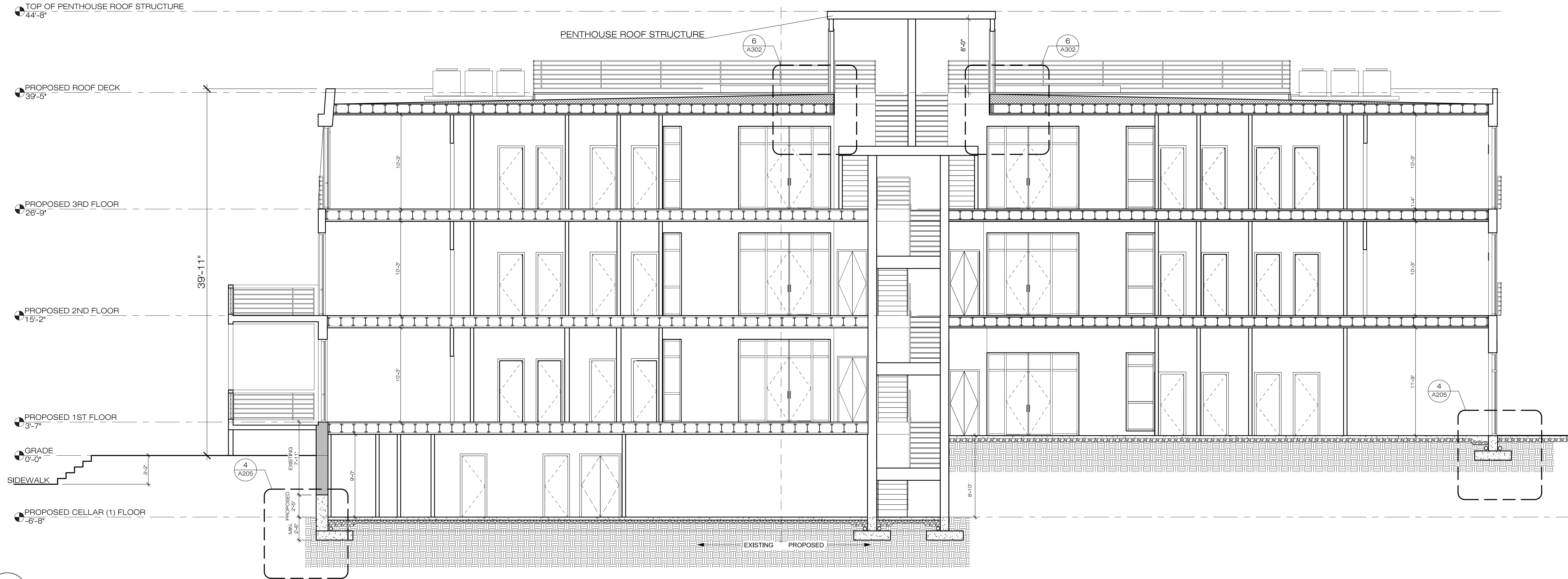
REVISIONS

AS NOTED

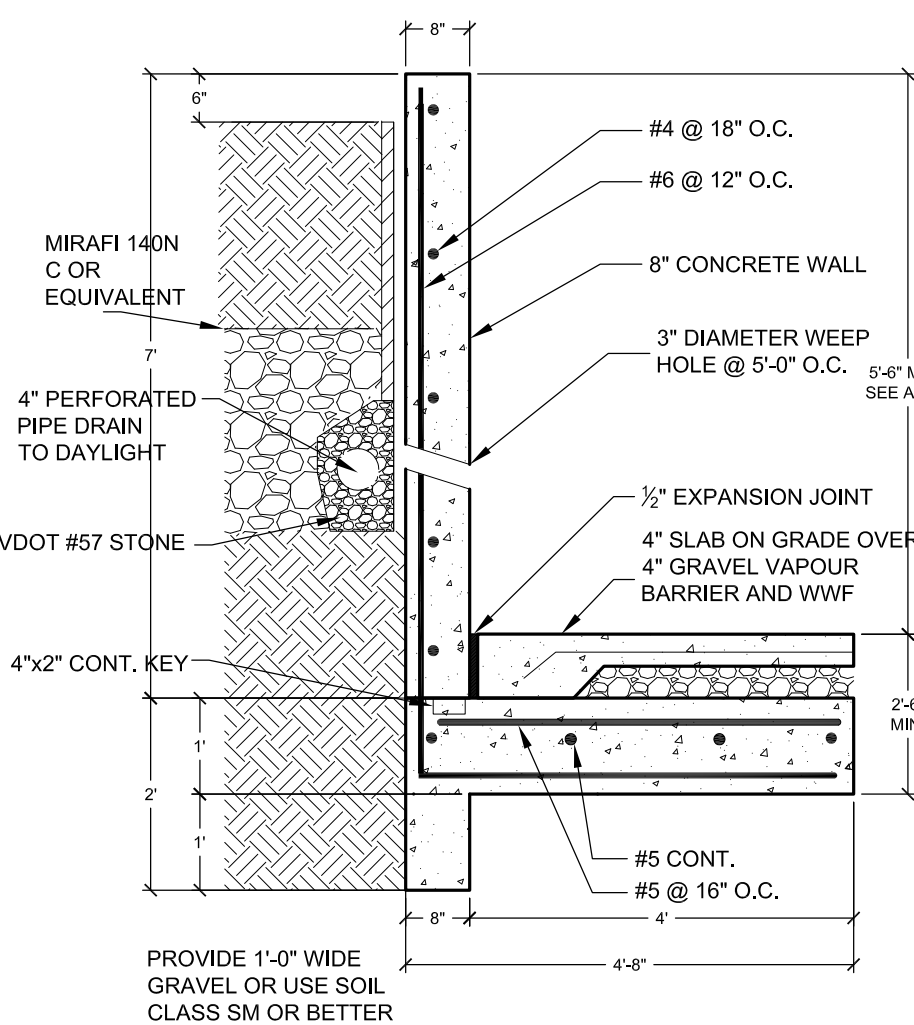
JULY 29, 2014

A204

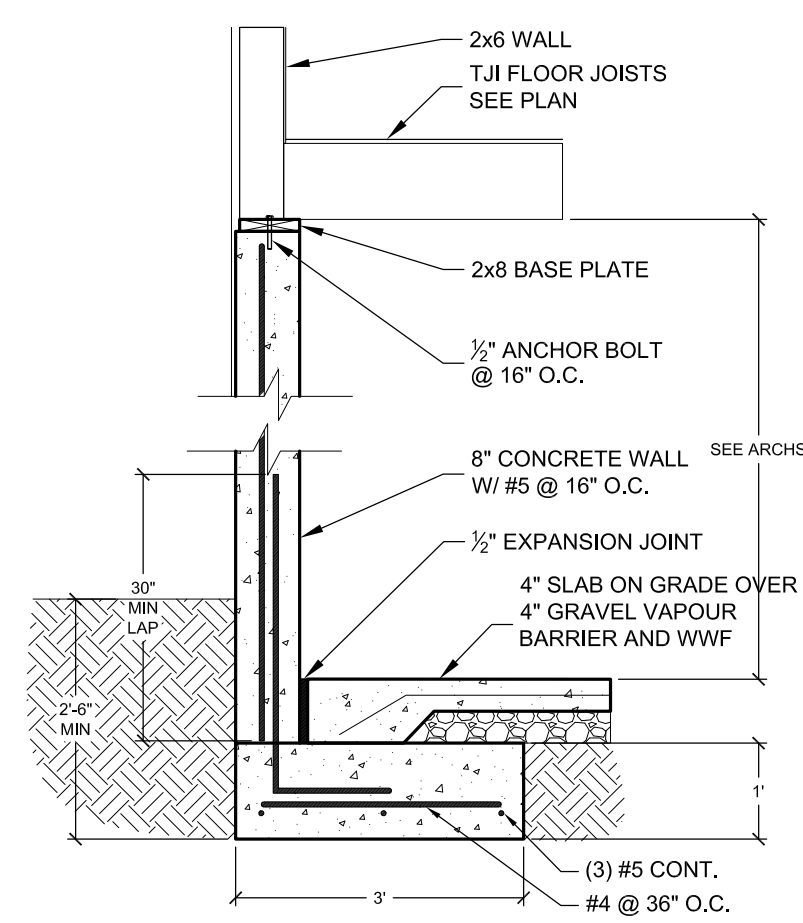
DRAWING NUMBER



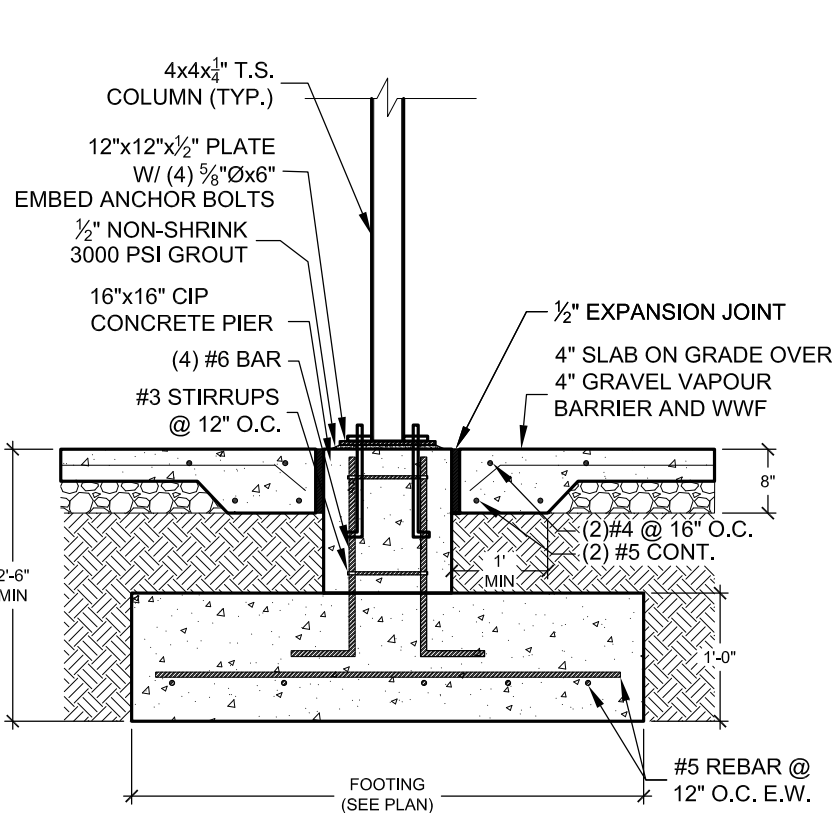
1 LONG BUILDING SECTION
3/16" = 1'-0"



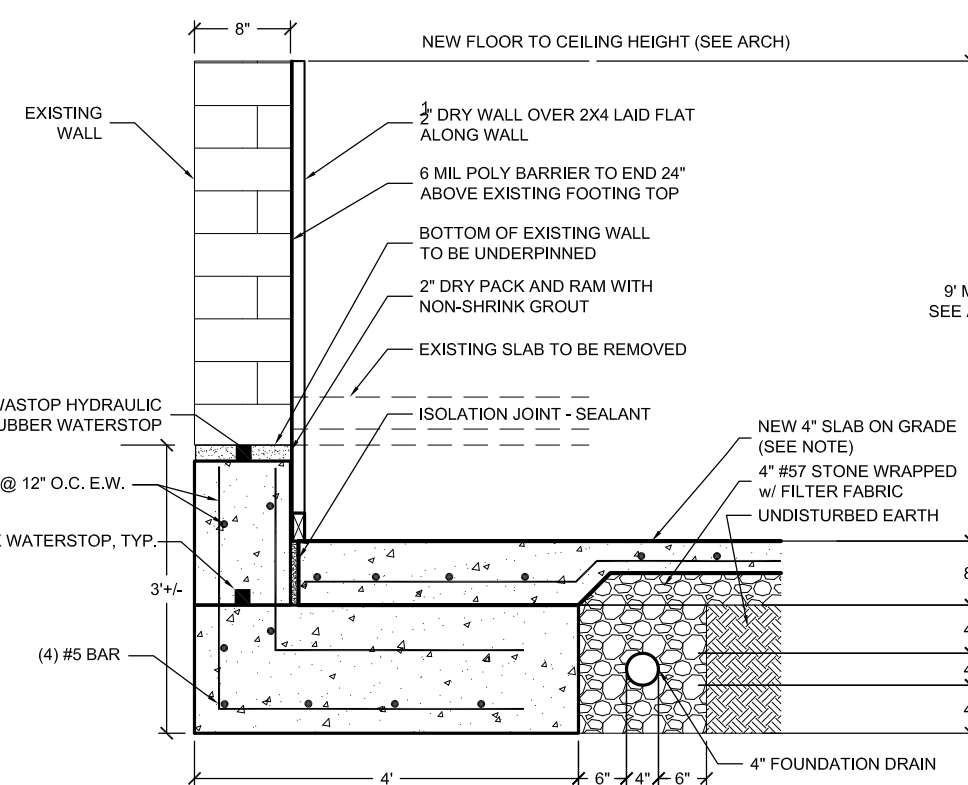
3 RETAINING WALL SECTION
1/2" = 1'-0"



4 EXTERIOR WALL SECTION
1/2" = 1'-0"



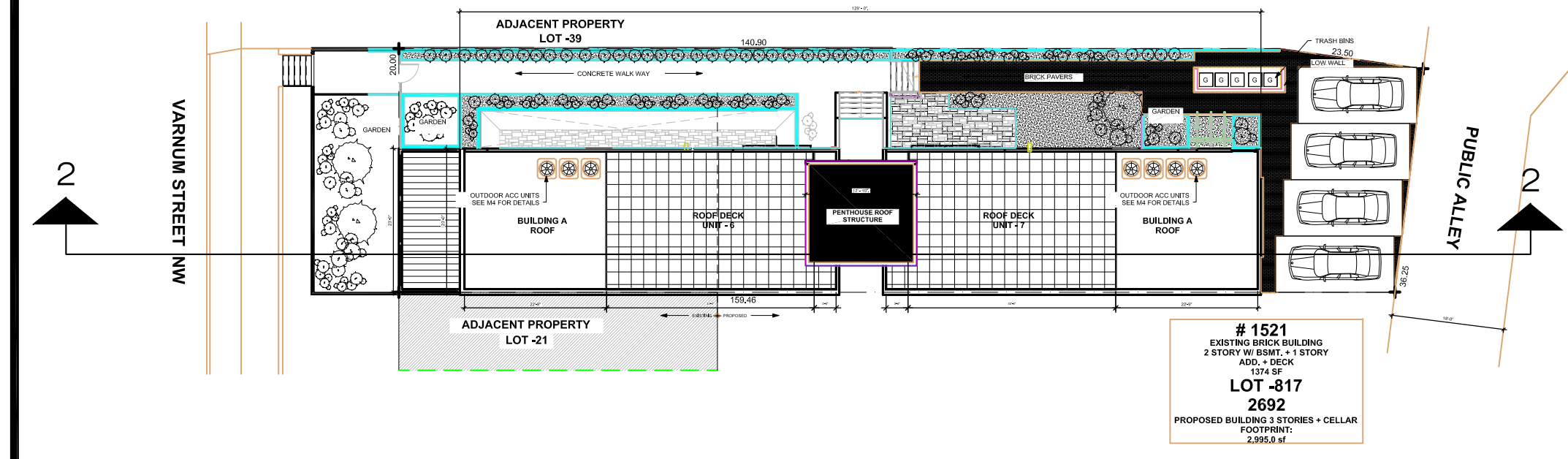
5 POST CONNECTION DETAIL
1/2" = 1'-0"



6 EXTERIOR WALL SECTION
1/2" = 1'-0"

GENERAL NOTE
A. SEE STRUCTURALS FOR MORE DETAILS.

KEY PLAN



7 KEY PLAN
NTS

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WESTEND DEVELOPMENT
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WASHINGTON, DC

PROPOSED BUILDING
SECTION

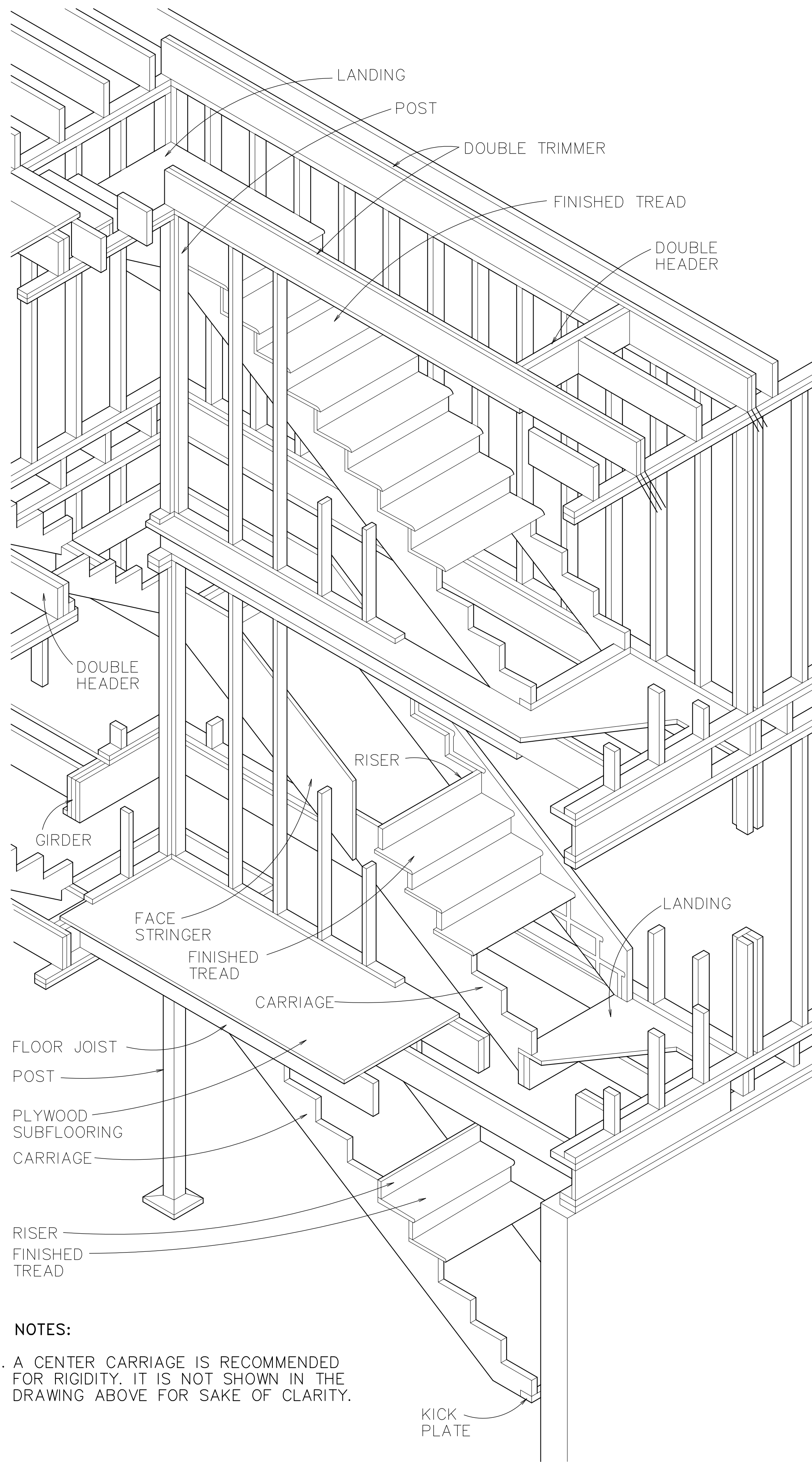
REVISIONS

AS NOTED

JULY 29, 2014

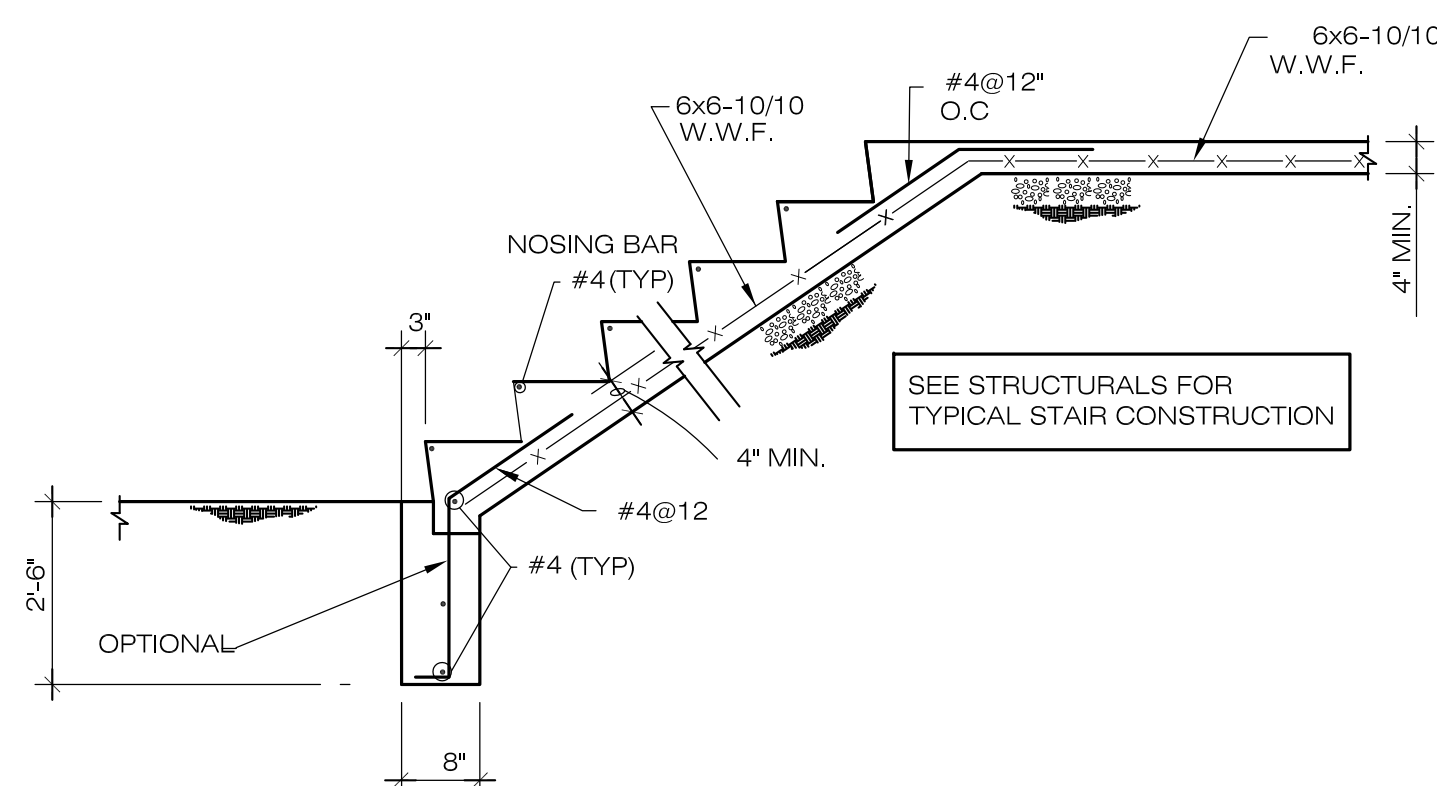
A205
DRAWING NUMBER

-1521 VARNUM ST, NW

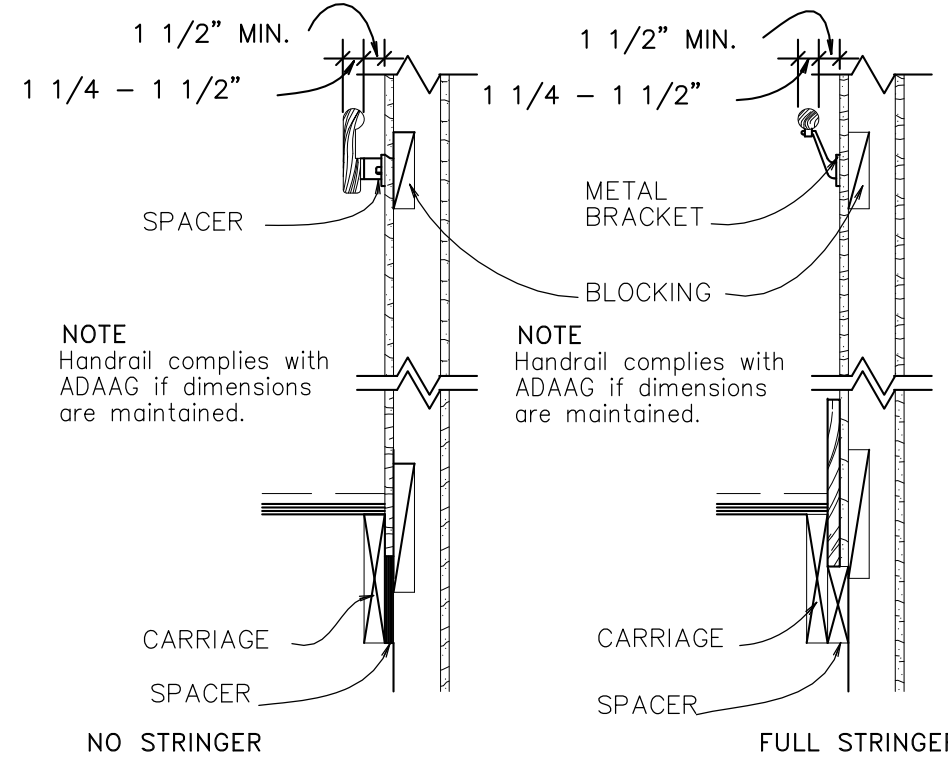


NOTES:
1. A CENTER CARRIAGE IS RECOMMENDED FOR RIGIDITY. IT IS NOT SHOWN IN THE DRAWING ABOVE FOR SAKE OF CLARITY.

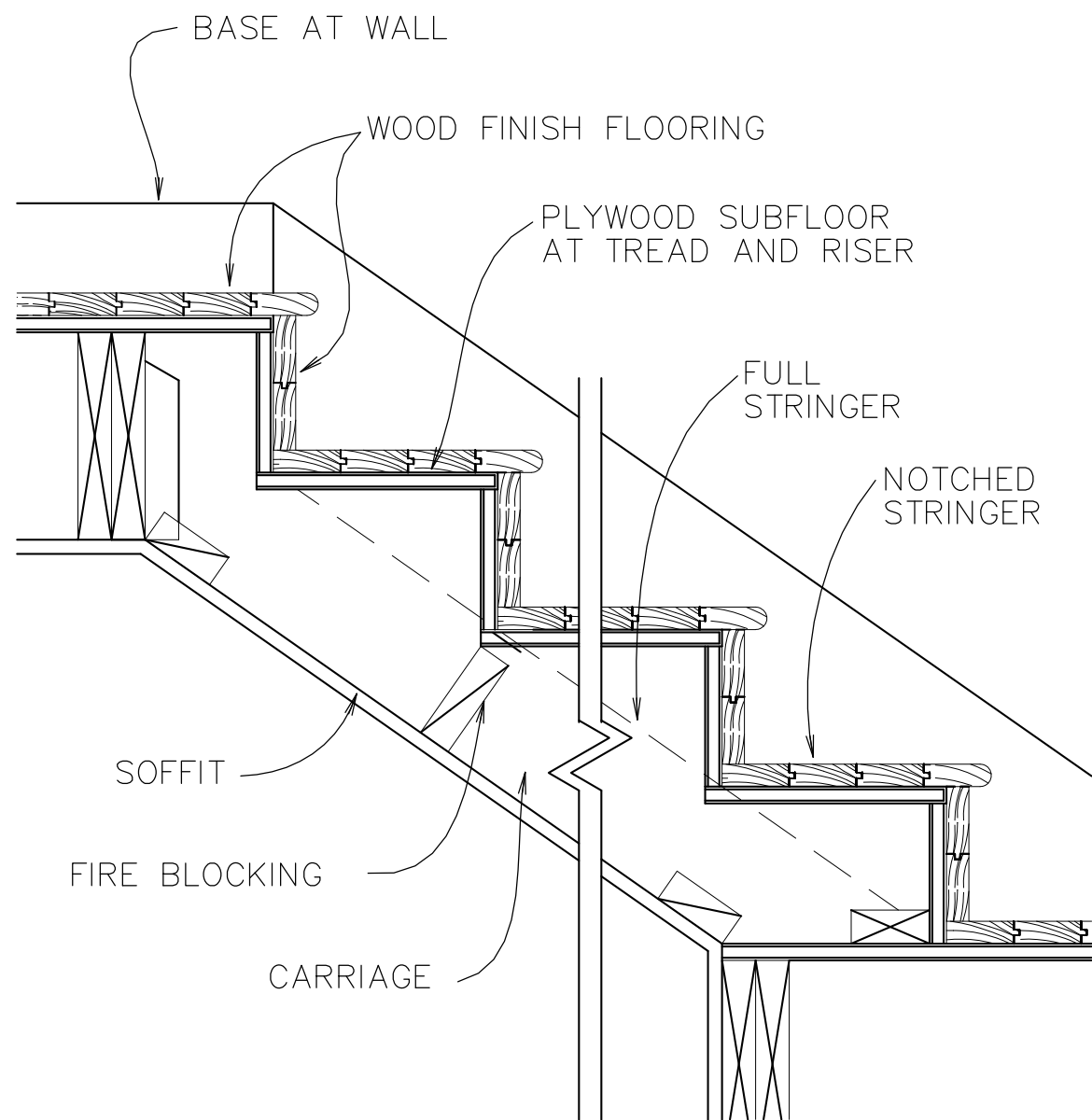
7 TYP. INTERIOR STAIR CONSTRUCTION
1/2" = 1'-0"



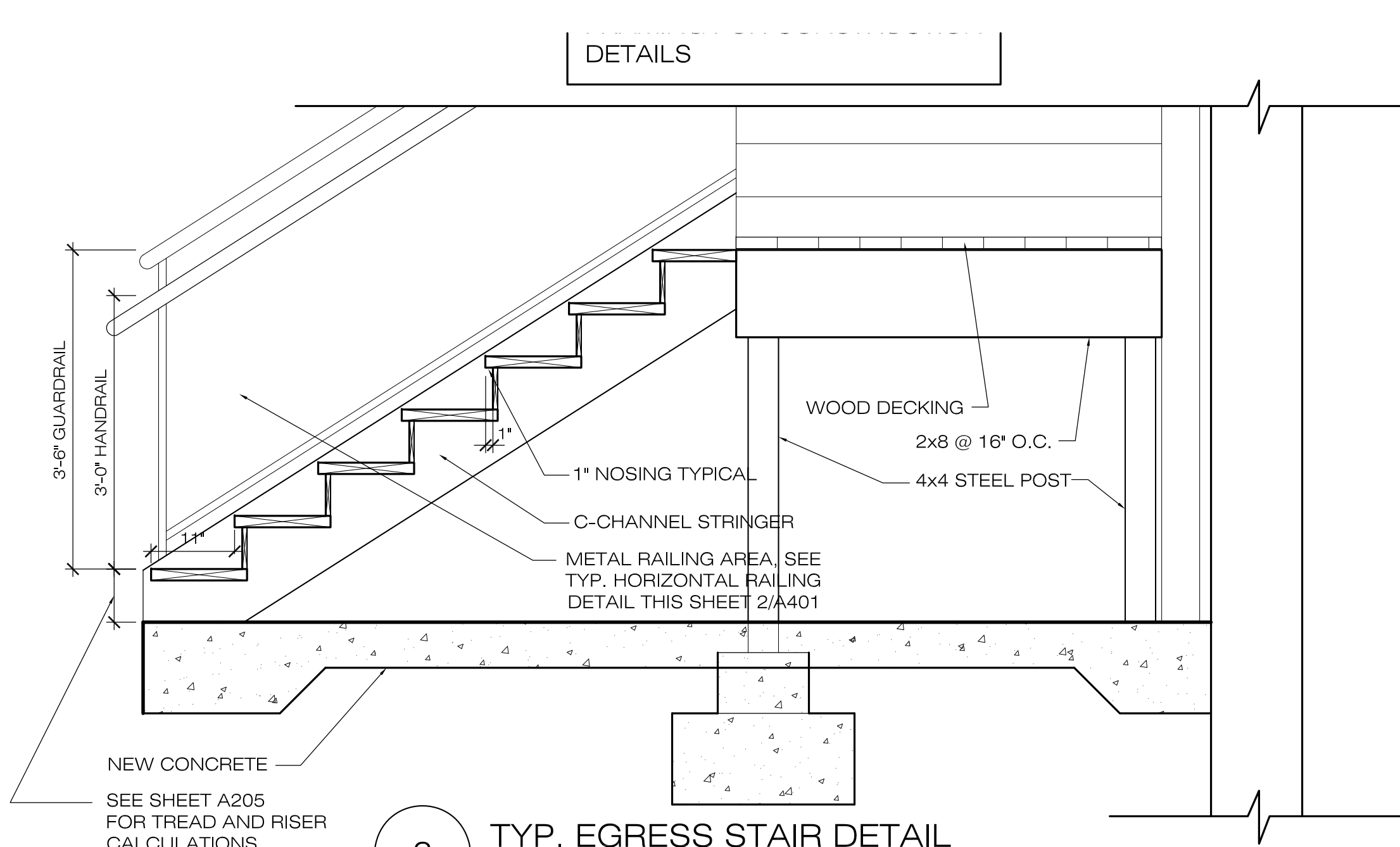
6 TYP. TERRACE STAIR DETAIL
1/4" = 1'-0"



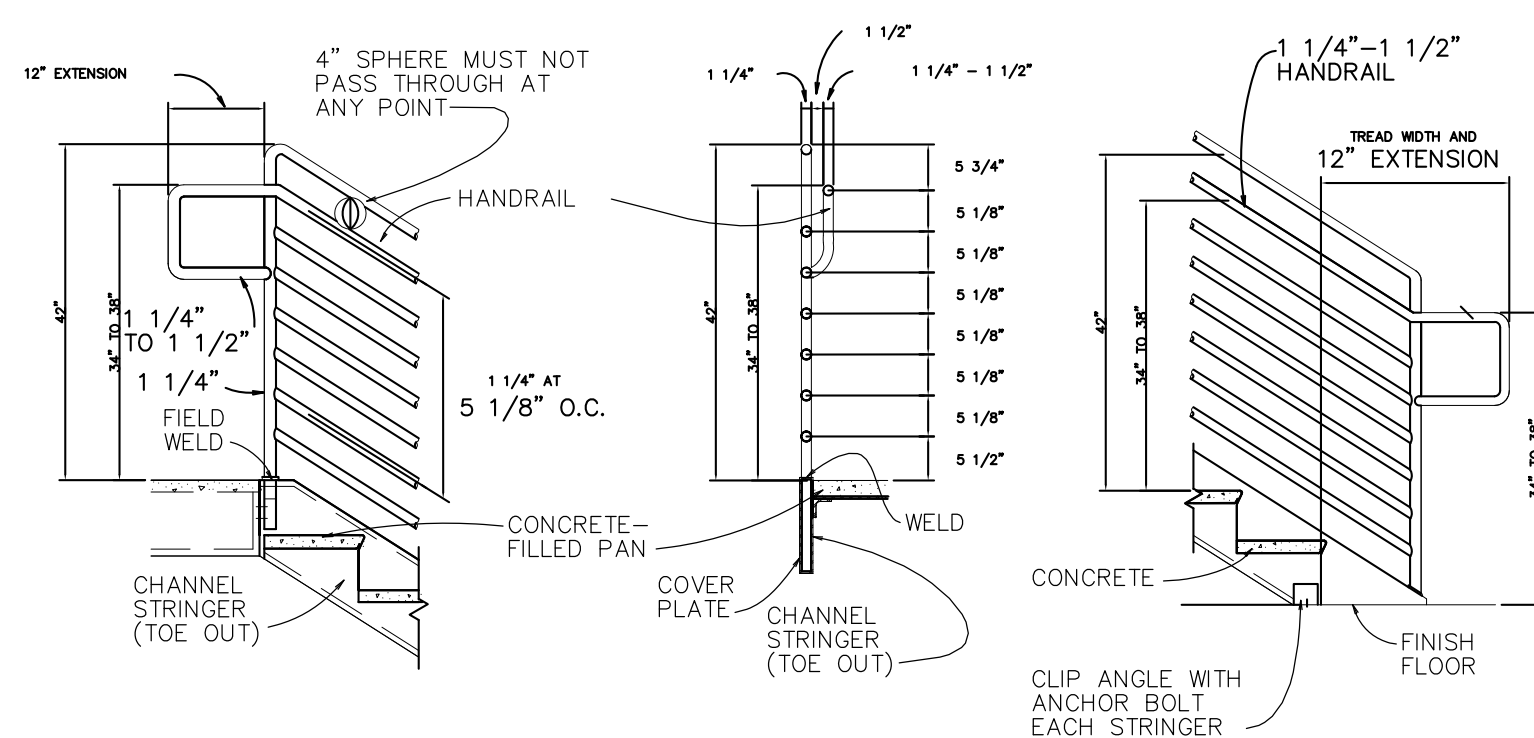
5 TYP. INTERIOR HAND RAIL DETAILS
N.T.S.



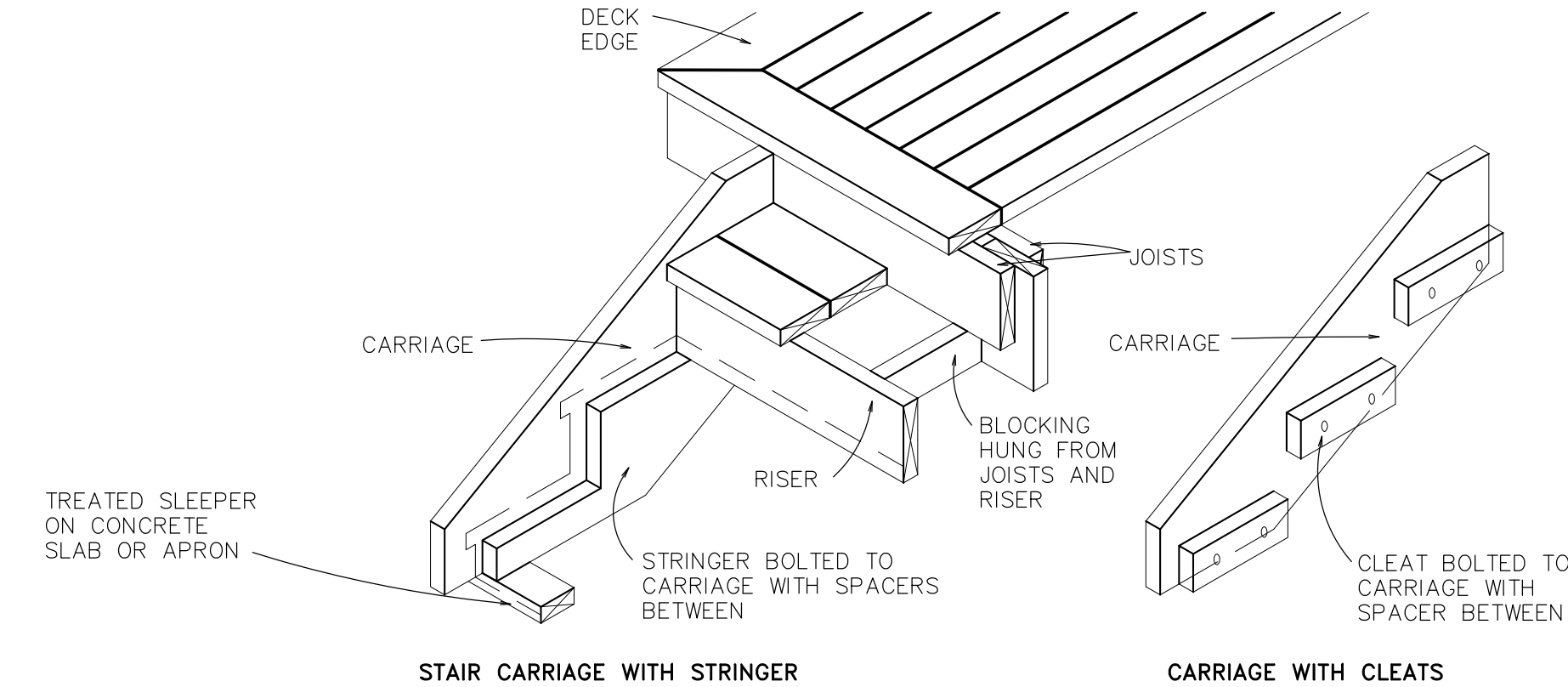
4 TYP. INTERIOR STAIR DETAILS
1 1/2" = 1'-0"



3 TYP. EGRESS STAIR DETAIL
3/4" = 1'-0"



2 TYP. EXTERIOR RAILING DETAIL
1/2" = 1'-0"



1 TYP. DECK STAIRS
3/4" = 1'-0"

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STAIR AND RAILING
DETAILS

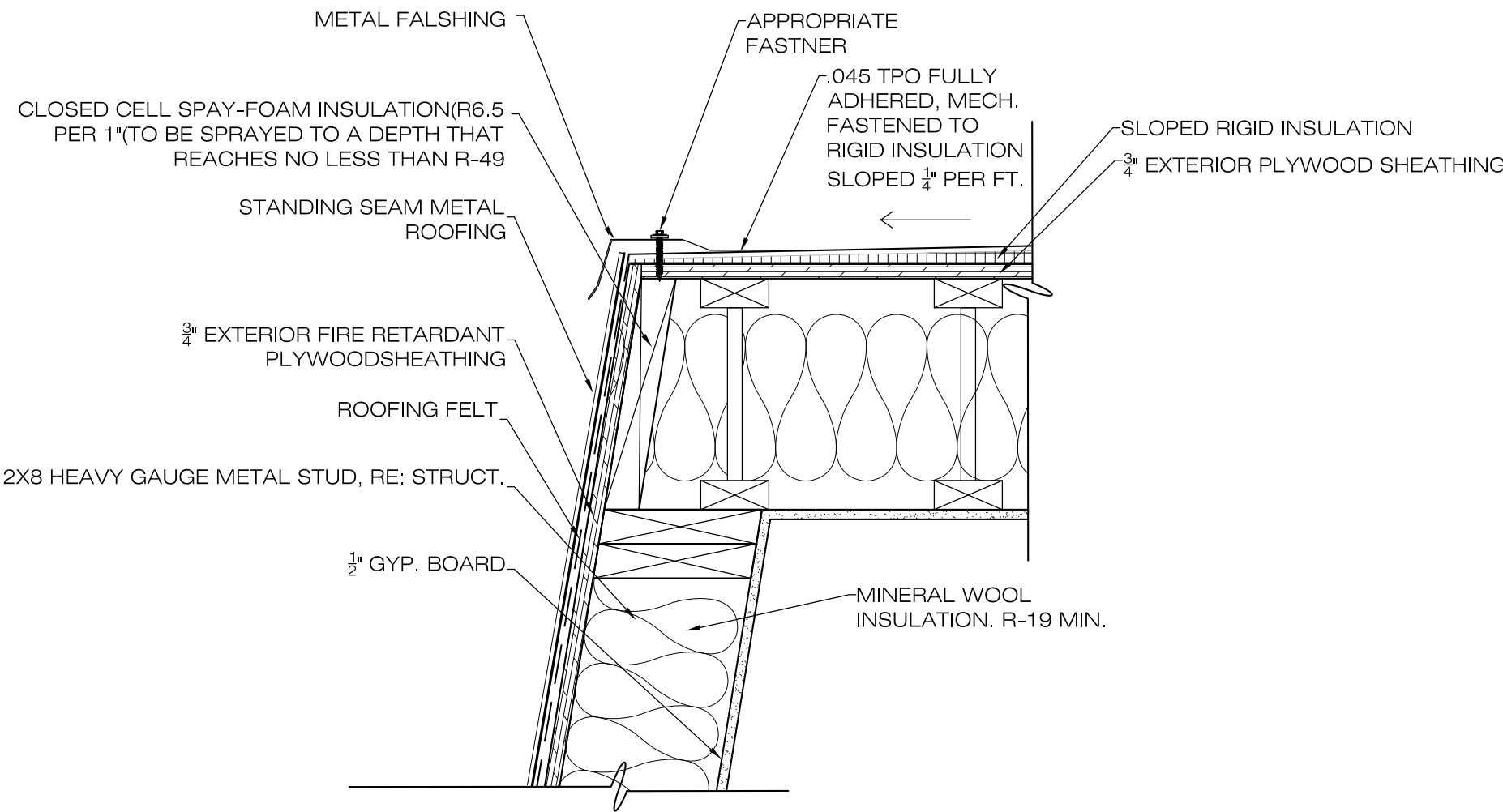
REVISIONS



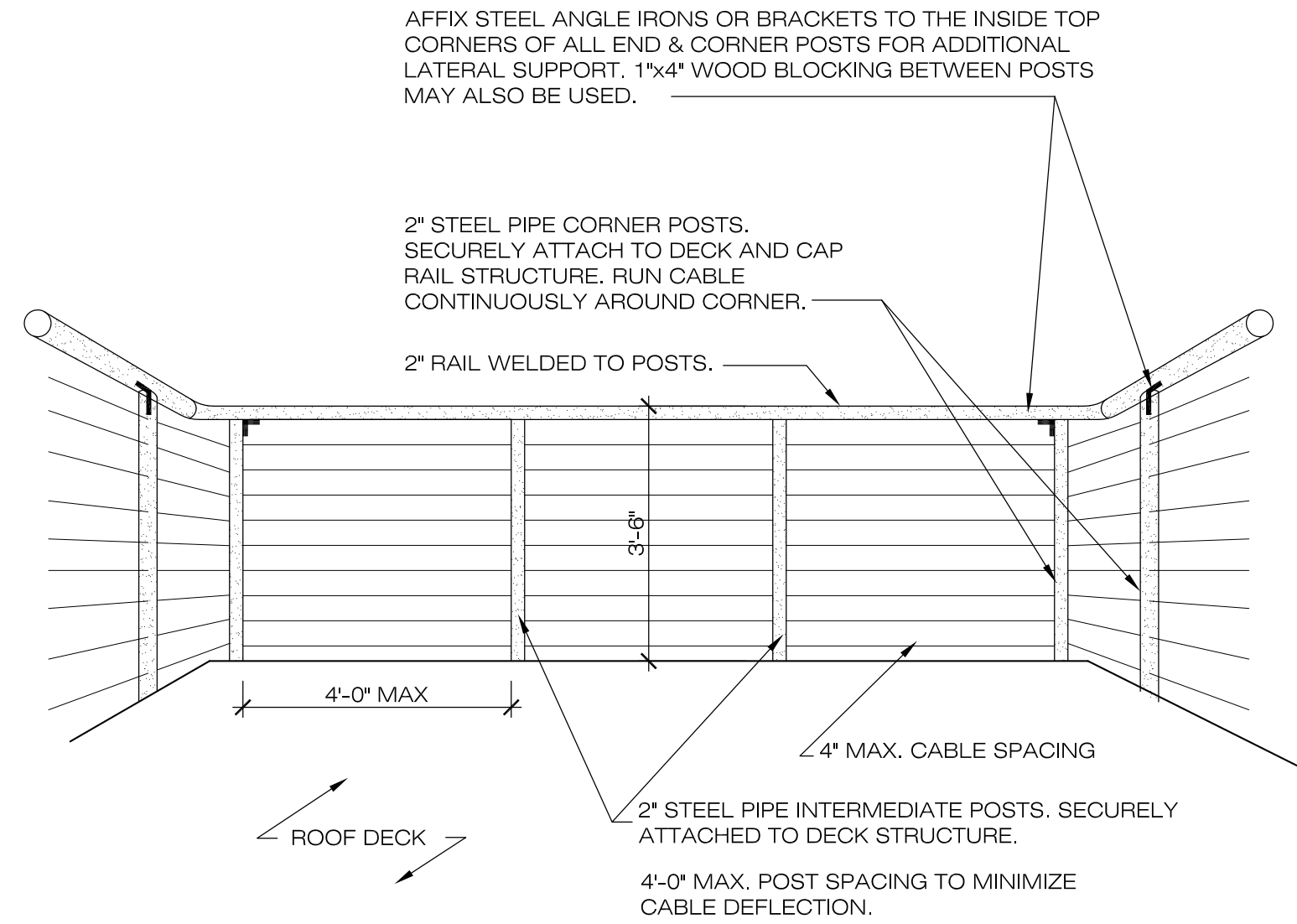
AS NOTED

JULY 25, 2014

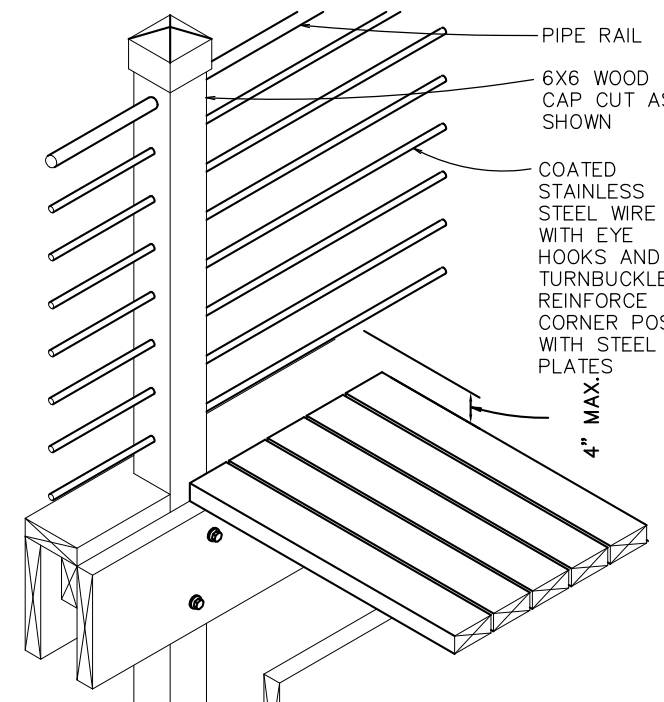
A301
DRAWING NUMBER



8 TYP. LOW SLOPED ROOFING
AT MANSARD ROOF DETAIL
1 1/2" = 1'-0"

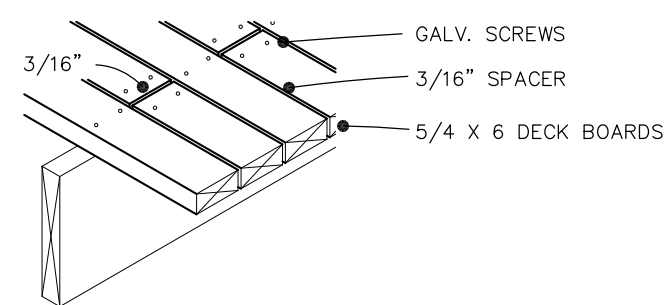


3 RAIL AT ROOF DECK
1/2" = 1'-0"



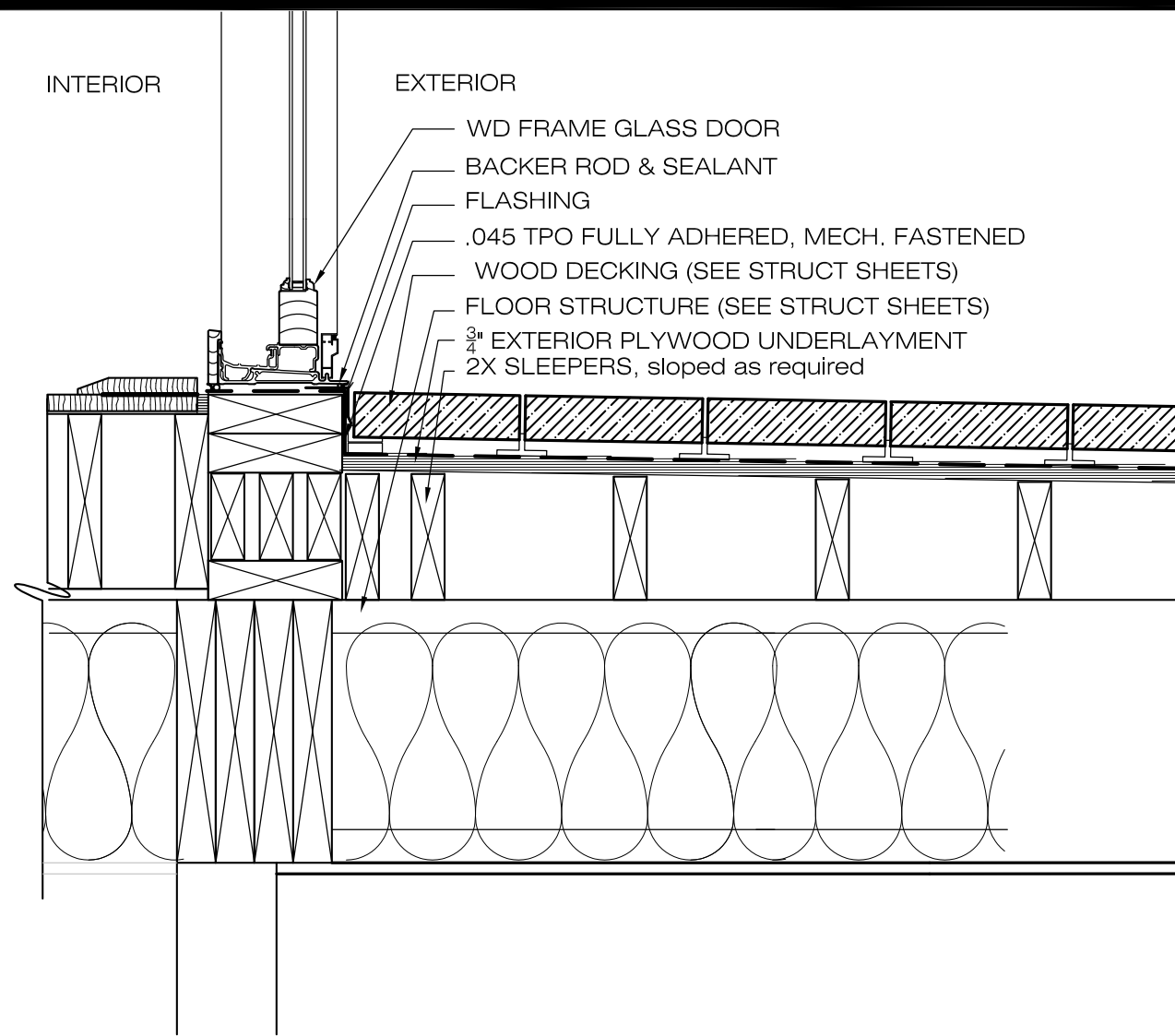
ALL DECK MATERIAL SHALL BE PRESSURE TREATED.

5 TYP. RAILING DETAIL
3/4" = 1'-0"

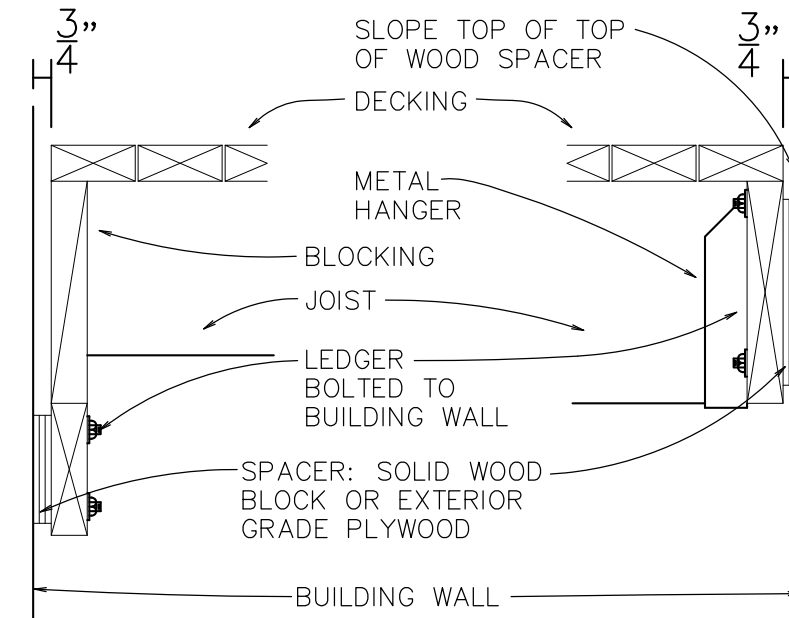


ALL DECK MATERIAL SHALL BE PRESSURE TREATED.

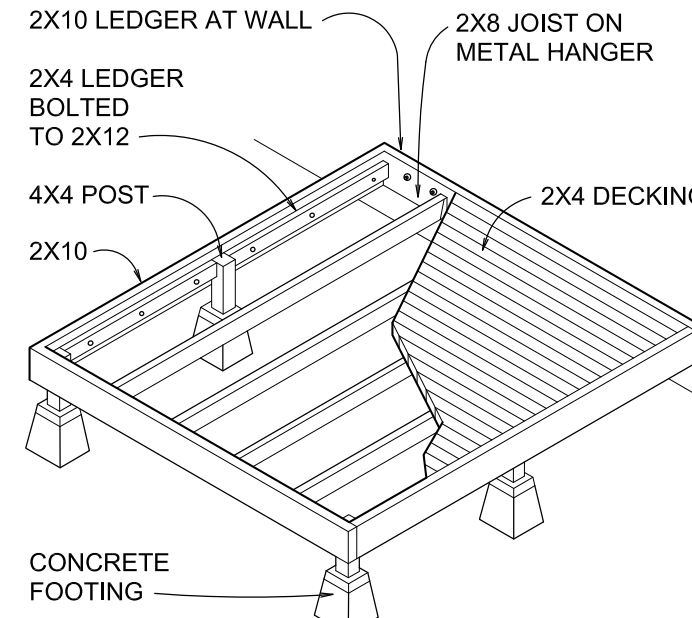
2 TYP. DECKING DETAIL
3/4" = 1'-0"



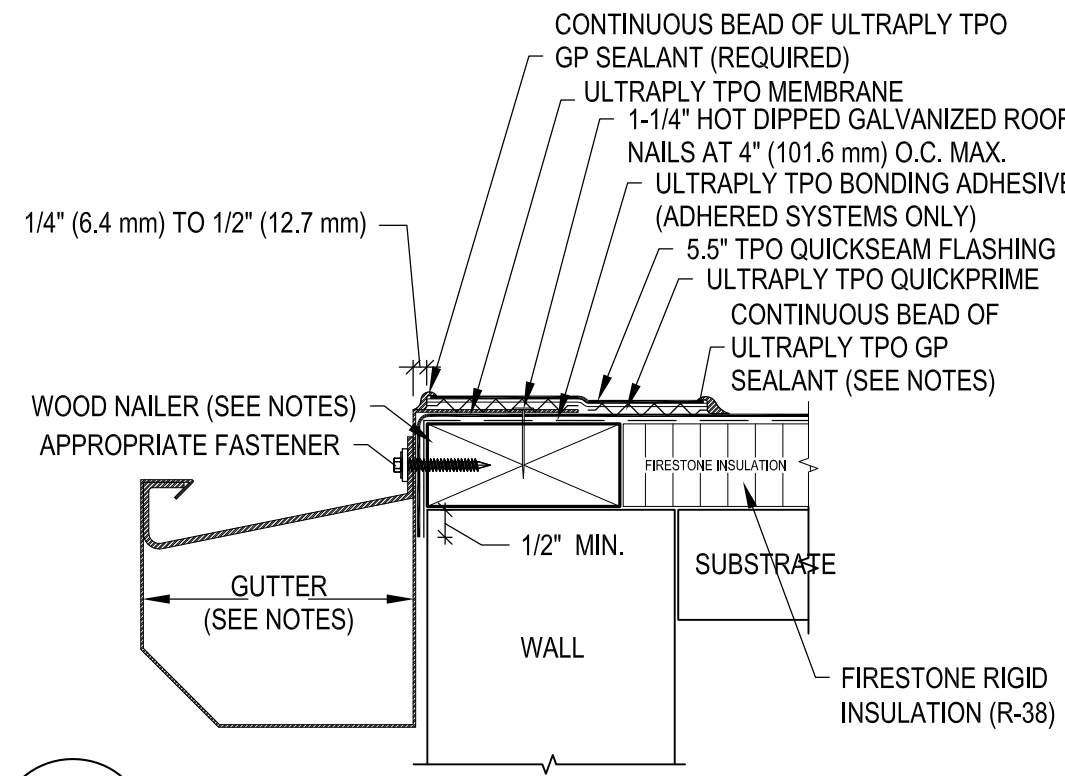
6 TYP. TERRACE DETAIL
AT PENTHOUSE STRUCTURE
1 1/2" = 1'-0"



4 TYP. TERRACE CONNECTION DETAIL
1 1/2" = 1'-0"



1 TYP. BALCONY DETAIL
1/4" = 1'-0"



9 TYP. GUTTER DETAIL
1 1/2" = 1'-0"

- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
 2. GP SEALANT IS REQUIRED ALONG ENTIRE UPSLOPE EDGE OF QUICKSEAM FLASHING WHEN ROOF SLOPE IS 1" (25.4 mm) PER FOOT OR GREATER.
 3. ROUND ALL METAL CORNERS AND PLACE BACK OF GUTTER STRAP 1/4" (6.4 mm) BELOW TOP OF WOOD NAILER.
 4. DO NOT PRE-NAIL MEMBRANE TO THE FACE OF THE WOOD NAILER.
 5. ANCHOR GUTTER IN ACCORDANCE WITH SMACNA RECOMMENDATIONS.
 6. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT MINIMUM IN ANY GIVEN DIRECTION.
 7. FLANGE OF METAL GUTTER MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 1/2" (12.7 mm) FROM EDGE OF WOOD.
 8. CONTACT FIRESTONE ROOFING SOLUTIONS FOR BALLASTED ROOF SYSTEMS.
 9. IF THE FLANGE OF THE METAL GUTTER IS NOT COMPLETELY COVERED WITH QUICKSEAM FLASHING, THEN AN ADDITIONAL PIECE OF QUICKSEAM FLASHING SHALL BE INSTALLED AT ALL METAL SPICES. REFER TO UT-RE-27.

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WASHINGTON, DC

ROOF DECK AND
RAILING DETAILS

DATE	REVISIONS
JULY 29, 2014	

AS NOTED

JULY 29, 2014

A302

DRAWING NUMBER