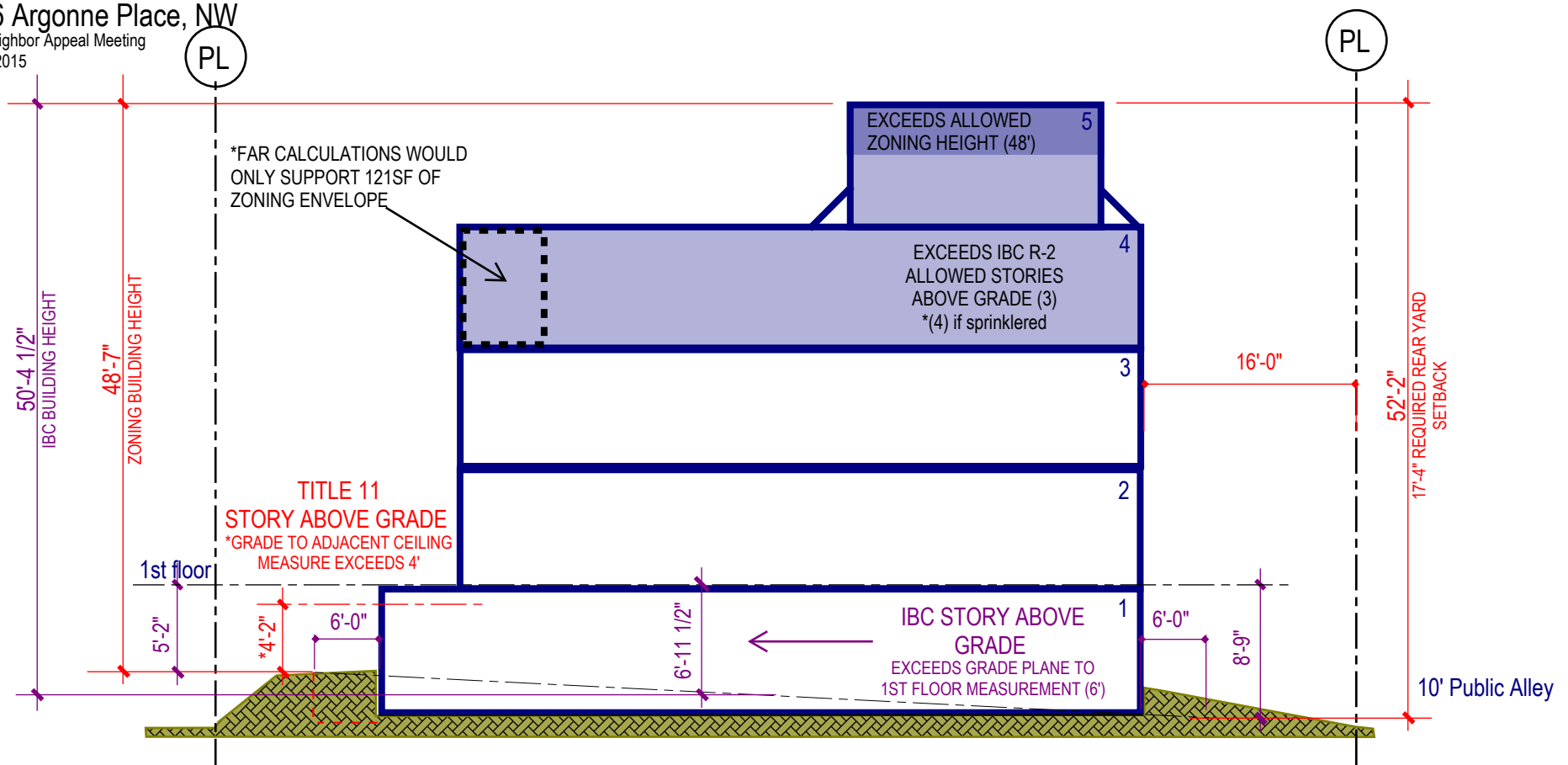




ZONING QUESTIONS

1. Grade measurement first presented (4'-2" to Basement ceiling) to DCRA was verified, which ties the project to a Basement interpretation. Zoning definition of a story above grade is tied to building height calculation.
2. IBC grade plane calculation on the August 2014 drawings is not supported by the actual grade measurements. Actual grade plane calculation ensures a "story above grade" which limits the project to the first 3 levels.
3. Built height is represented exceeding the allowed height of 48'. A setback of 17'-4" is required to support a height of structure 52' from read grade to top of parapet.

Title 11

Story - the space between the surface of two (2) successive floors in a building or between the top floor and the ceiling or underside of the roof framing. *The number of stories shall be counted at the point from which the height of the building is measured.*

For the purpose of determining the maximum number of permitted stories, the term "story" shall not include cellars, stairway or elevator penthouses, or other roof structures; provided, that the total area of all roof structures located above the top story shall not exceed one-third (1/3) of the total roof area.

Cellar - that portion of a story, the ceiling of which is less than four feet (4 ft.) above the adjacent finished grade.

Building, height of - in Residence Districts (R) the vertical distance measured at the existing grade at the mid-point of the building façade of the principal building that is closest to a street lot line to a point designated in the zone district. *Berms or other forms of artificial landscaping shall not be included in measuring building height.*

The term curb shall refer to a curb at grade. In the case of a property fronting a bridge or a viaduct, the height of the building shall be measured from the lower of the natural grade or the finished grade at the middle of the front of the building to the highest point of the roof or parapet or a point designated by a specific zone district.

R-5-B MINIMUM DEPTH OF REAR YARD (4" / foot of vertical distance from the mean finished grade at the middle of the rear of the structure to the highest point of the main roof or parapet wall, but not less than 15 feet.)

Board of Zoning Adjustment
Case No. 18980
Exhibit No. 27BB