

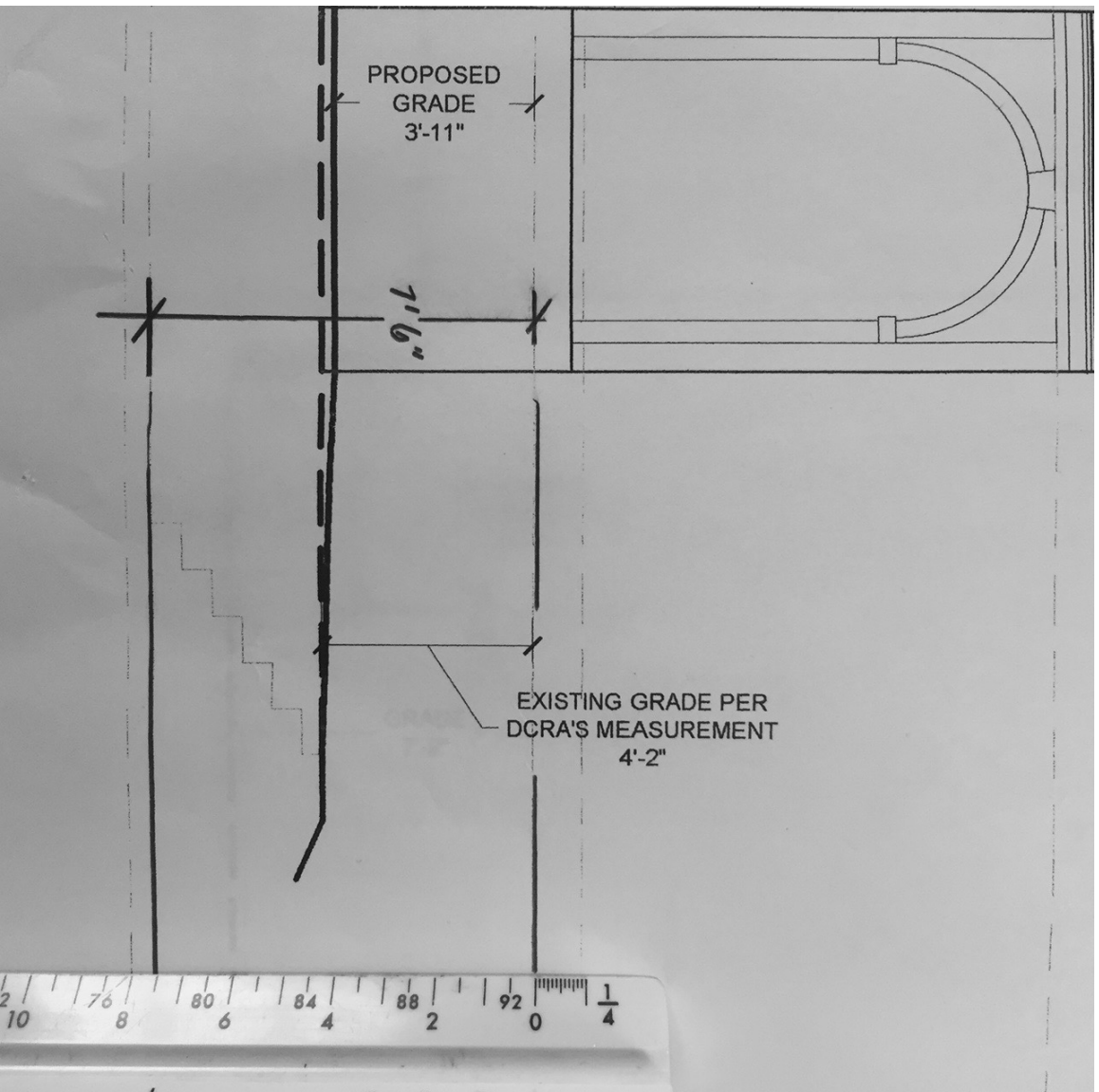
1636 Argonne Place, NW Existing Conditions

Front Elevation & Grade June 2015

FRONT GRADE - Revised Plans, Proposed – East Elevation
Sheet A0201 (12/17/14) - Unchanged in Sheet A0201 (6/4/15)

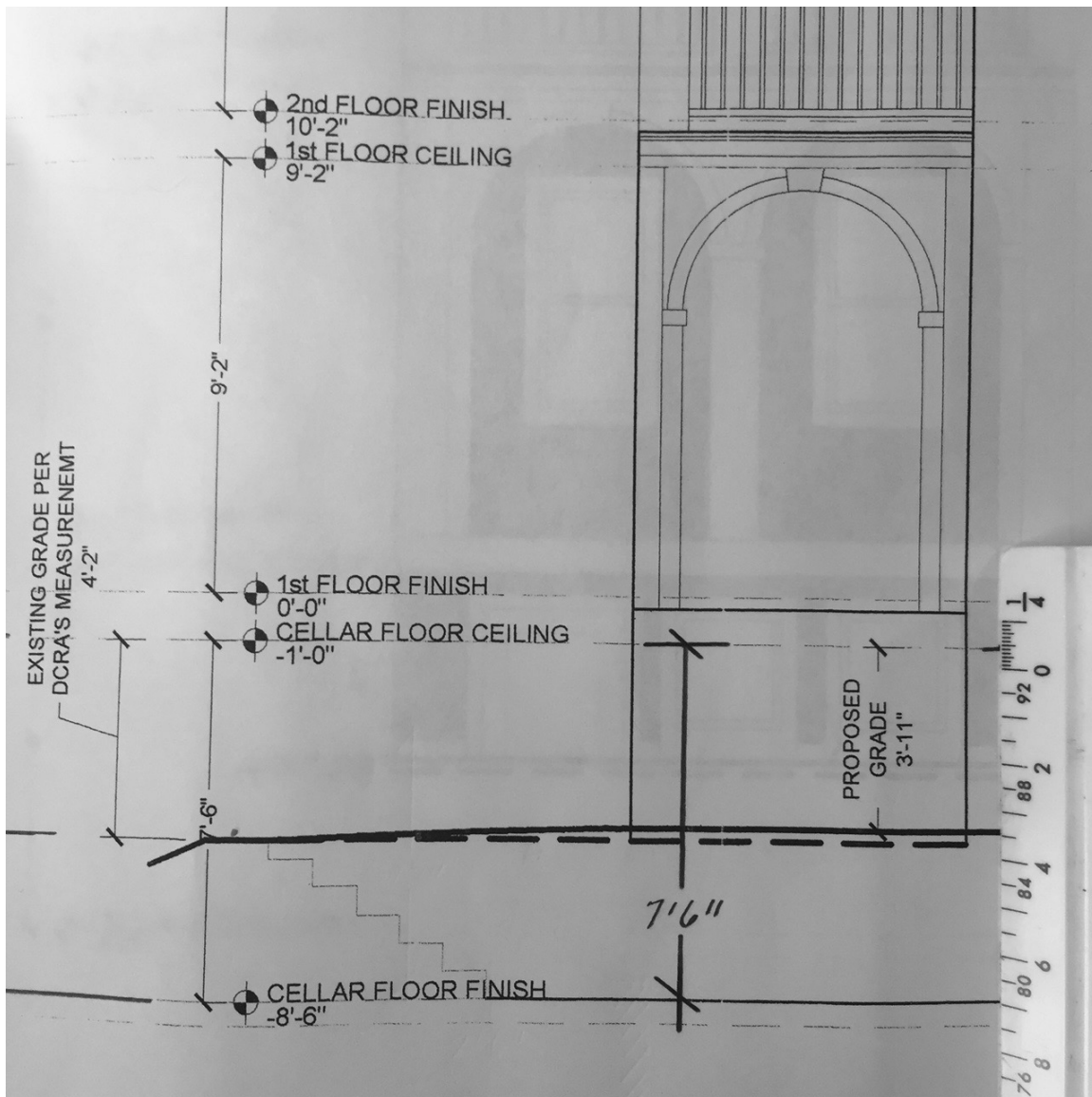
DCRA Notes Existing Grade as 4'2"

This Establishes Lower Level Front Grade as Basement
Drawing Misrepresents Proposed Grade as 3'11", which
Would be Impossible to Achieve as Space is Part of LL Unit



FRONT GRADE – Revised Plans, Proposed – West Elevation
Sheet A0202 (12/16/14) - Unchanged in Sheet A0202 (6/4/15)

DCRA Notes Existing Grade as 4'2"
This Establishes Lower Level Front Grade as Basement
Drawing Misrepresents Grade as 3'11"



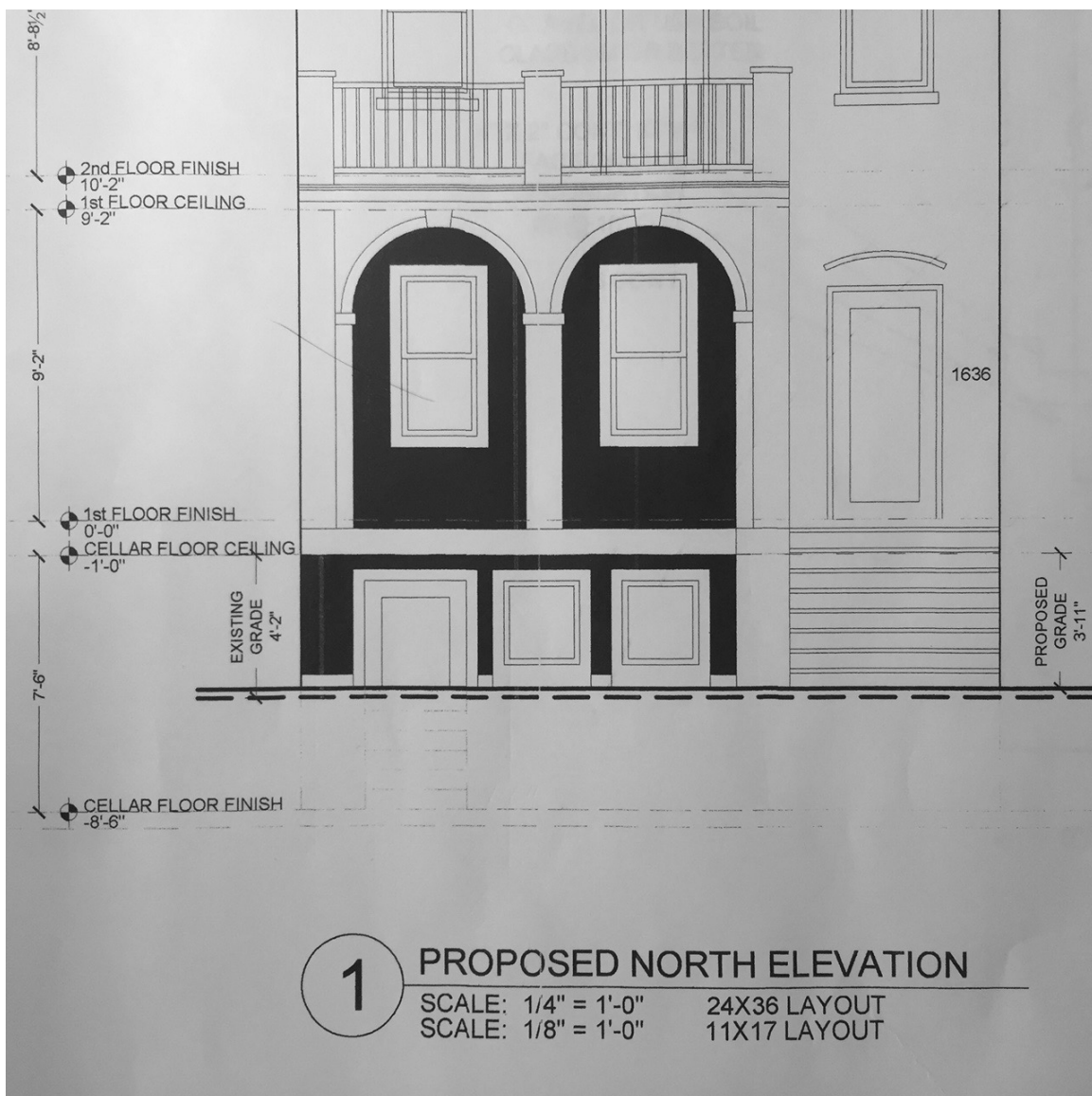
FRONT ELEVATION - Revised Plans, Proposed

Sheet A0203 (12/17/14) - Unchanged in Sheet A0203 (6/4/15)

Existing Grade is Noted as 4'2."

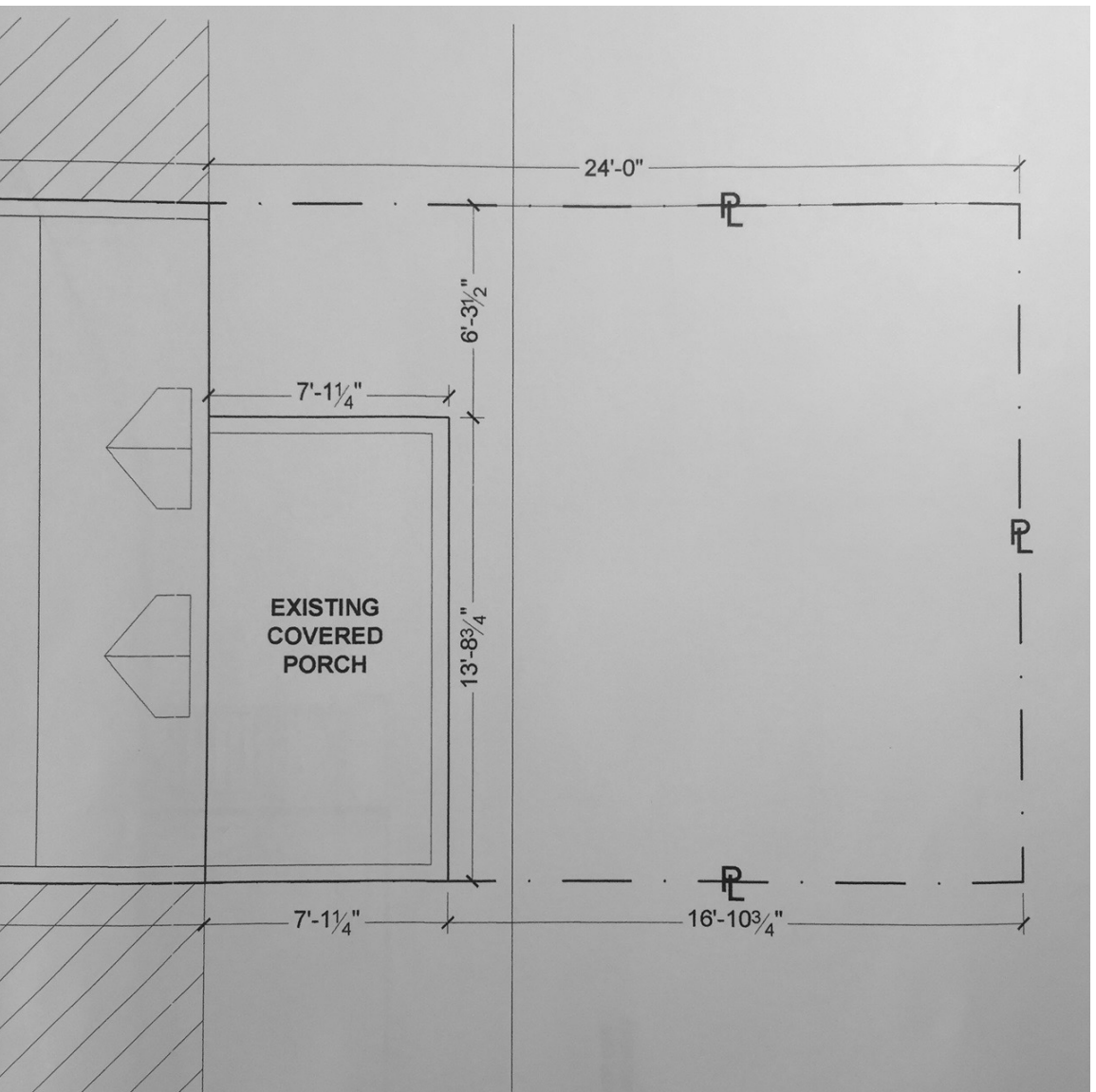
This Establishes Front Grade as Basement
For Purposes of Calculating Existing FAR

Noting Proposed Grade of 3'11" is Moot for Purposes of Establishing FAR



FRONT ENTRYWAY - Revised Plans, Proposed
A0100 (12/17/14) - Unchanged in Sheet DDOE1 (6/4/15)

Entryway at Lower Level is 7 ¼ Width, 7" 6" Grade
Entryway is NOT Definable as Areaway and is Proper Point of Measurement

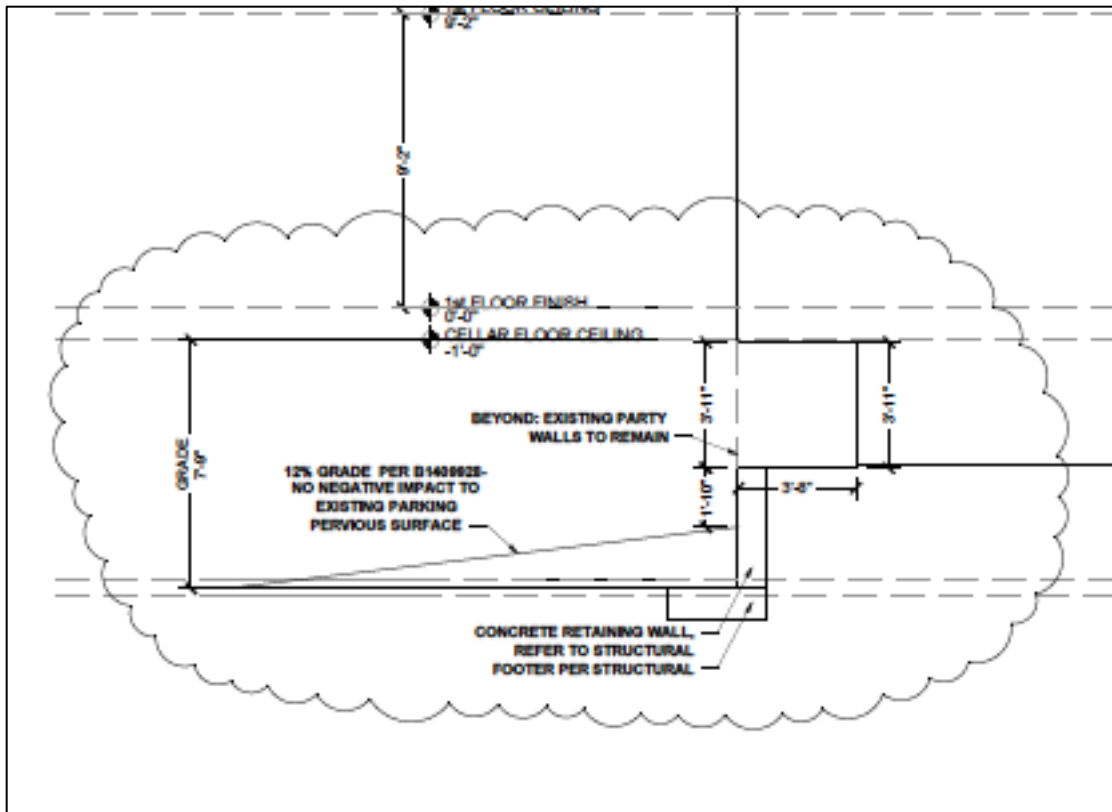


1636 Argonne Place, NW Existing Conditions

Rear Elevation & Grade

REAR GRADE- Revised Plans, Proposed - East Elevation
Sheet A0201 (6/4/15)

Existing Grade is 7'9", Establishing Rear as Basement Grade
Retaining Wall and Sloped Parking Do Not Exist as of 6/23/15
3'11" is within Building and Not Definable as Adjacent Finished Grade
Grade is 5'9" as Measured from Un-built Slope to Ceiling of Lower Level



REAR ELEVATION - Revised Plans, Proposed

A0203 (6/4/15)

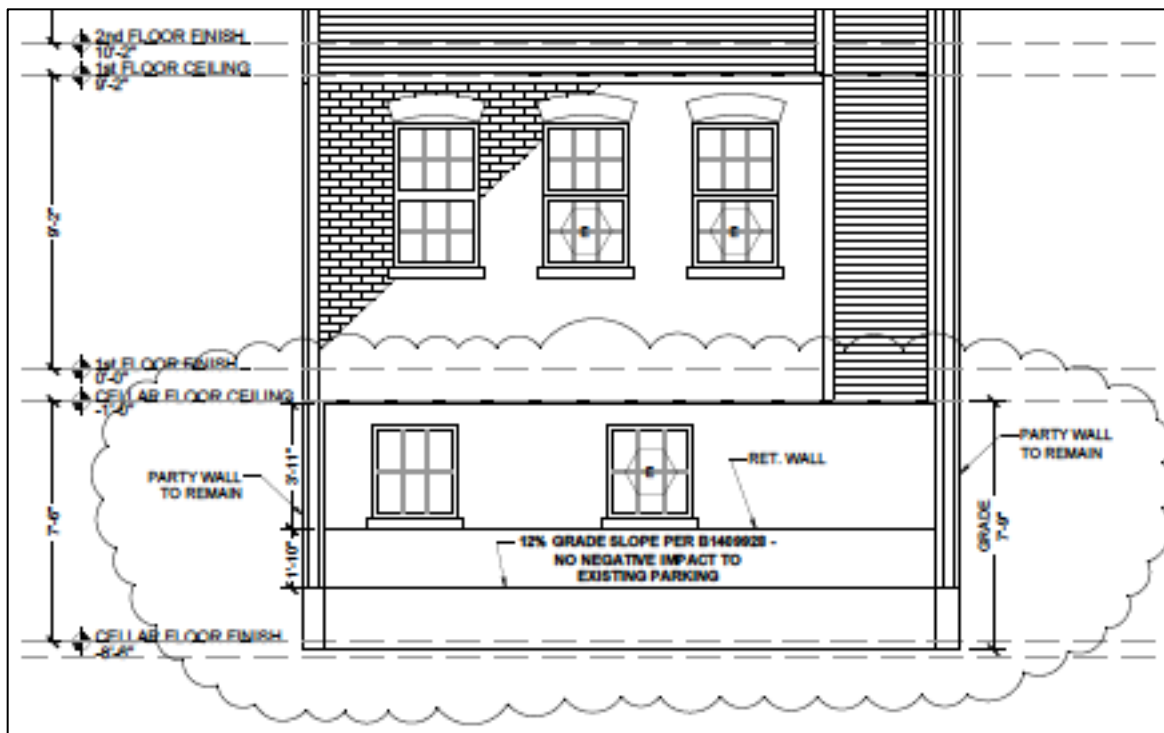
Existing Grade is 7'9", Basement Level

Retaining Wall and Sloped Parking Do Not Exist as of 6/23/15

3'11" is within Building and Not Definable as Adjacent Finished Grade

Grade is 5'9" as Measured from Un-built Slope to Ceiling of Lower Level

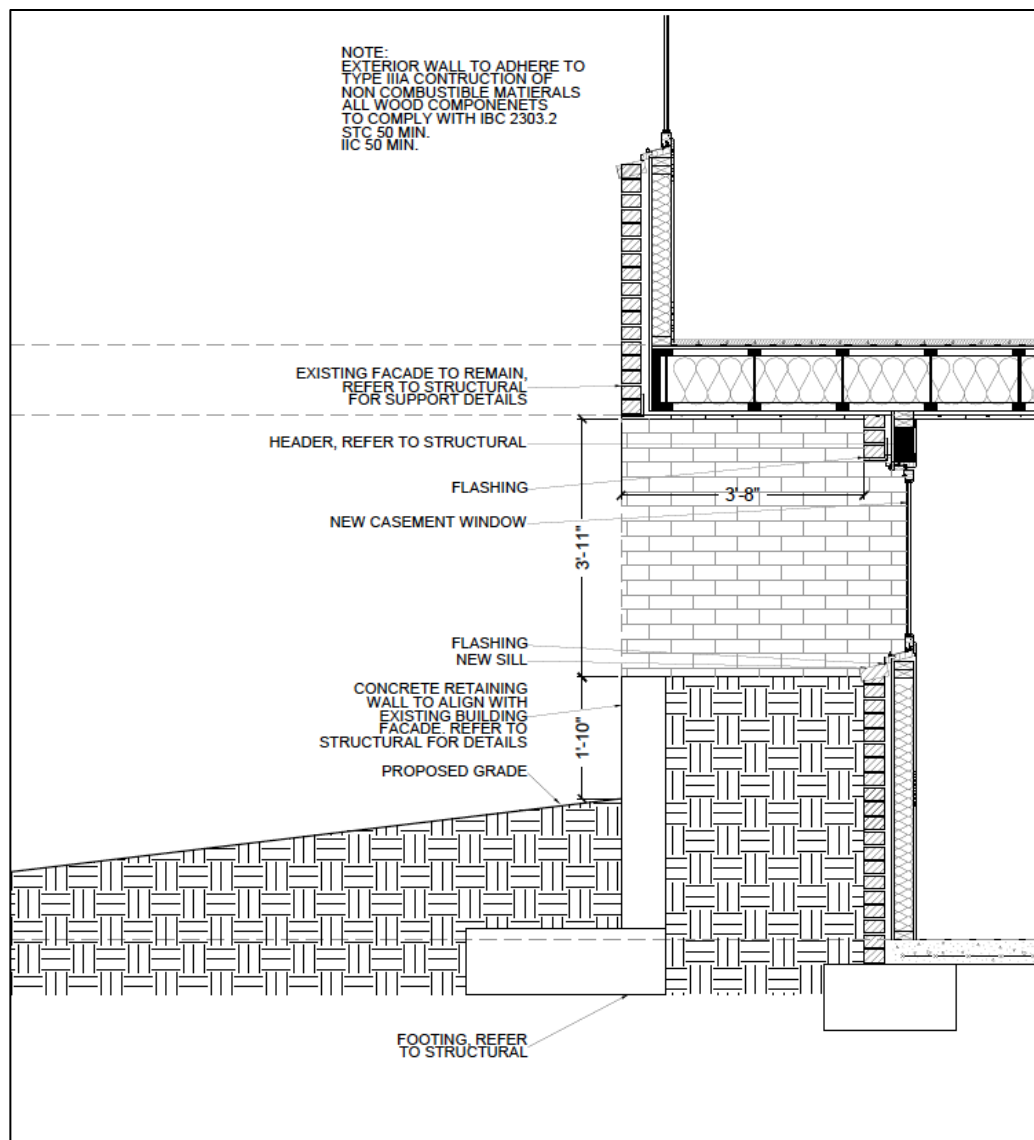
Drawing Illustrates Windows of ~3'6" But 49" Windows are Currently Installed



REAR ELEVATION - Revised Plans, Proposed

A0203 (6/4/15)

Retaining Wall and Sloped Parking Do Not Exist as of 6/23/15
3'11" is within Building and Not Definable as Adjacent Finished Grade
Grade is 5'9" as Measurement from Point Defined as "Proposed Grade"
Drawing Illustrates Embedded Windows But 49" Windows are Currently Installed



1636 Argonne Place, NW

Existing Conditions

Parking

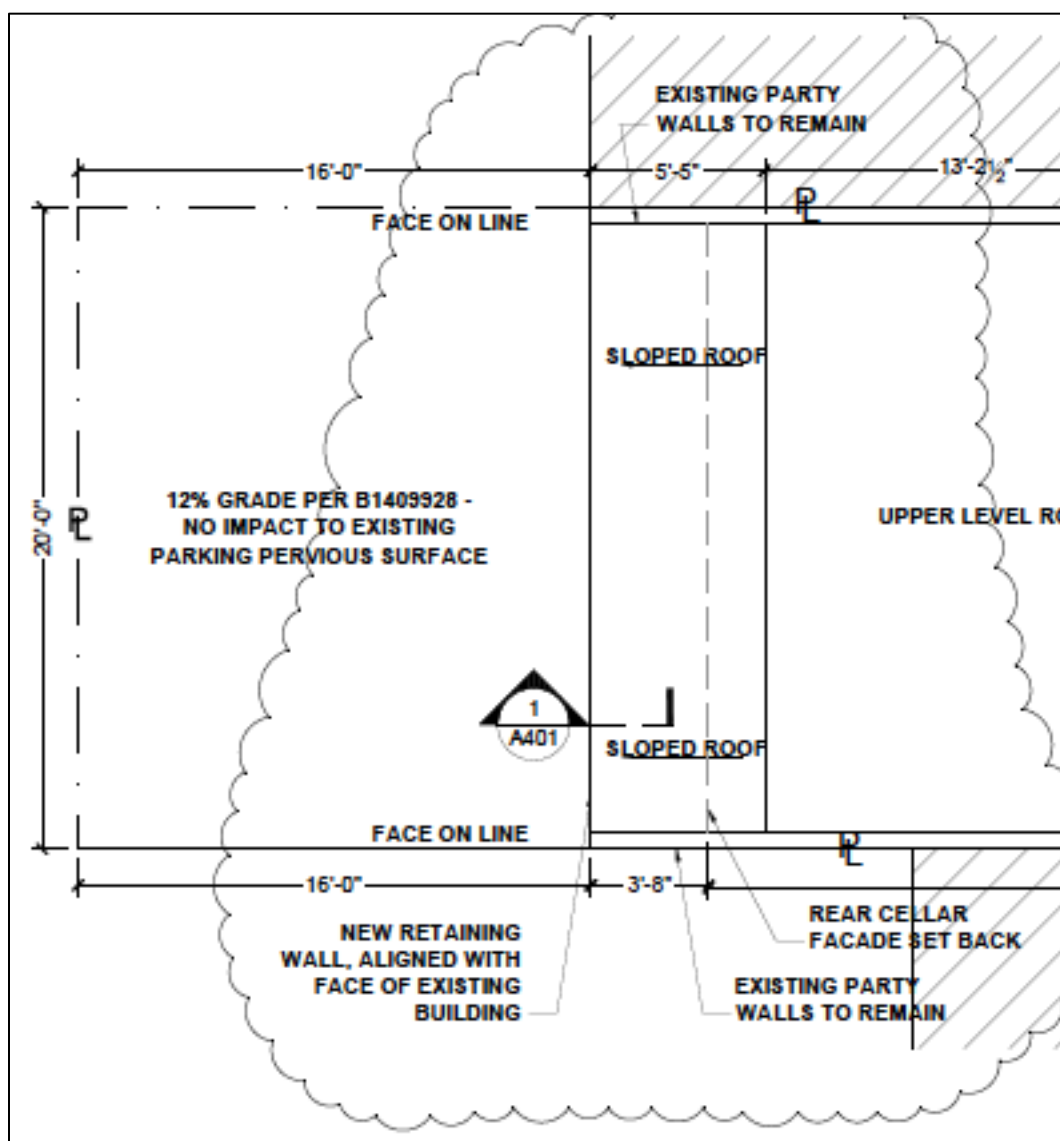
PARKING – Revised Plans, Proposed – Upper View
Sheet A0100 (6/4/15)

Current Parking Area is 16' Deep, Insufficient for 19' Regulation Spaces

Current Parking is NOT Pervious Surface But Rather is Concrete

12% Grade Parking is Non-Existent as of 6/23/15

12% Slope Worsens Already Non-Compliant Condition



PARKING – Revised Plans, Proposed – Lower View
Sheet A0101 (6/4/15)

Current Parking Area is 16' Deep, Insufficient for 19' Regulation Spaces
Notch/Retaining Wall is Non-Existent as of 6/23/15
Drawing Provides Inaccurate Depiction of Adjacent Finished Grade

